

ZONING APPLICATION NARRATIVE

1-ZN-2022



SHADOW RIDGE NORTH



Project Location:

128th Street and Juan Tabo
Scottsdale, Arizona

JULY 2022

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APPLICATION REQUEST

PURPOSE OF REQUEST:

Camelot Homes seeks to develop approximately 29.5 acres (gross area of land) located at the south west corner of 128th Street and Juan Tabo in Scottsdale Arizona, as a private gated enclave of single-family homes, as conceptually depicted on the site plan accompanying this application.

This application is a request to rezone the Property from R1-130 ESL to R1-43 ESL, with the exception of lots 15 and 16 along the southern boundary that will remain R1-130. (See Exhibit 1 for reference).

The proposed development of 19 home sites closely aligns with the intent of the Environmentally Sensitive Lands district while remaining consistent with the General Plan Goals and Approaches and Rural Neighborhoods land use designation as outlined in the recently adopted City of Scottsdale General Plan 2035 (the "GP").

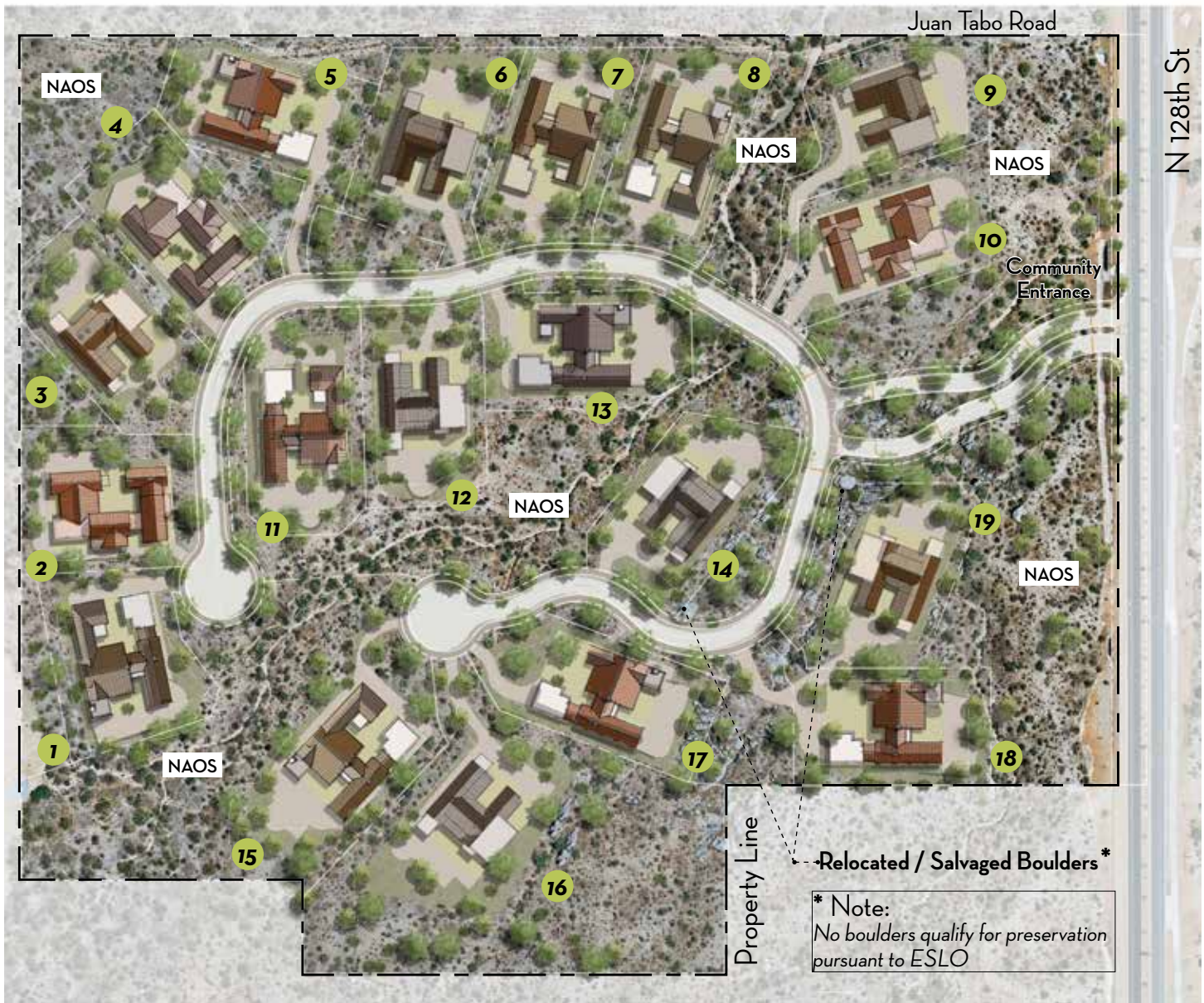
The zoning proposed with this request retains a density of one dwelling unit per acre (0.64 du/ac proposed) and is ideal allowing for development of the Property in a manner that protects environmentally sensitive lands and is harmonious with the adjacent neighbors and embraces a predominant native desert vegetation character as established in the area. Note, however, R1-43 zoning allows a density factor of 0.83 du/ac; this request is well below that threshold.

Camelot Homes desires to amend several development standards applicable to the R1-43 and R1-130 zoning district. The proposed changes are identified in the table on page 11.

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NOTE: MASTER PLAN ILLUSTRATION IS FOR CONCEPTUAL USE ONLY.

EXHIBIT 1 – ILLUSTRATIVE SITE PLAN

Current Zoning: R1-130 ESL
 Proposed Zoning: R1-43 ESL & R1-130*
 *Lot 15 and 16 will remain R1-130

Total NAOS 11.83 ac
(Required NAOS 11.68 ac)

Total: 19 lots
Property Size: 29.5 gross acres

Density: 0.64 u/ac

Lot Size range: 32,256 to 121,744 s.f.

PROJECT DESCRIPTION

PROJECT DESCRIPTION:

The Shadow Ridge North site area is approximately 29.5 gross acres consisting of eight (8) contiguous, undeveloped (vacant) parcels located at the southwest corner of N 128th Street and the E JuanTabo road alignment in North Scottsdale. The Property is surrounded by significant on-going development and the following associated range of residential uses:

- On the east by N 128th Street, followed by the Storyrock development (residential PCD zoning) including a range of comparable zoning districts: R1-18 to R1-70.
- On the south by three (3) undeveloped residential parcels (zoned R1-130).
- On the north by the Juan Tabo Road alignment, followed by a 40-acre residential parcel (zoned R1-43 ESL) currently going through the City's entitlement process and generally known as the "McDowell Mountain Manor" project.
- On the west by the Sereno Canyon master plan.

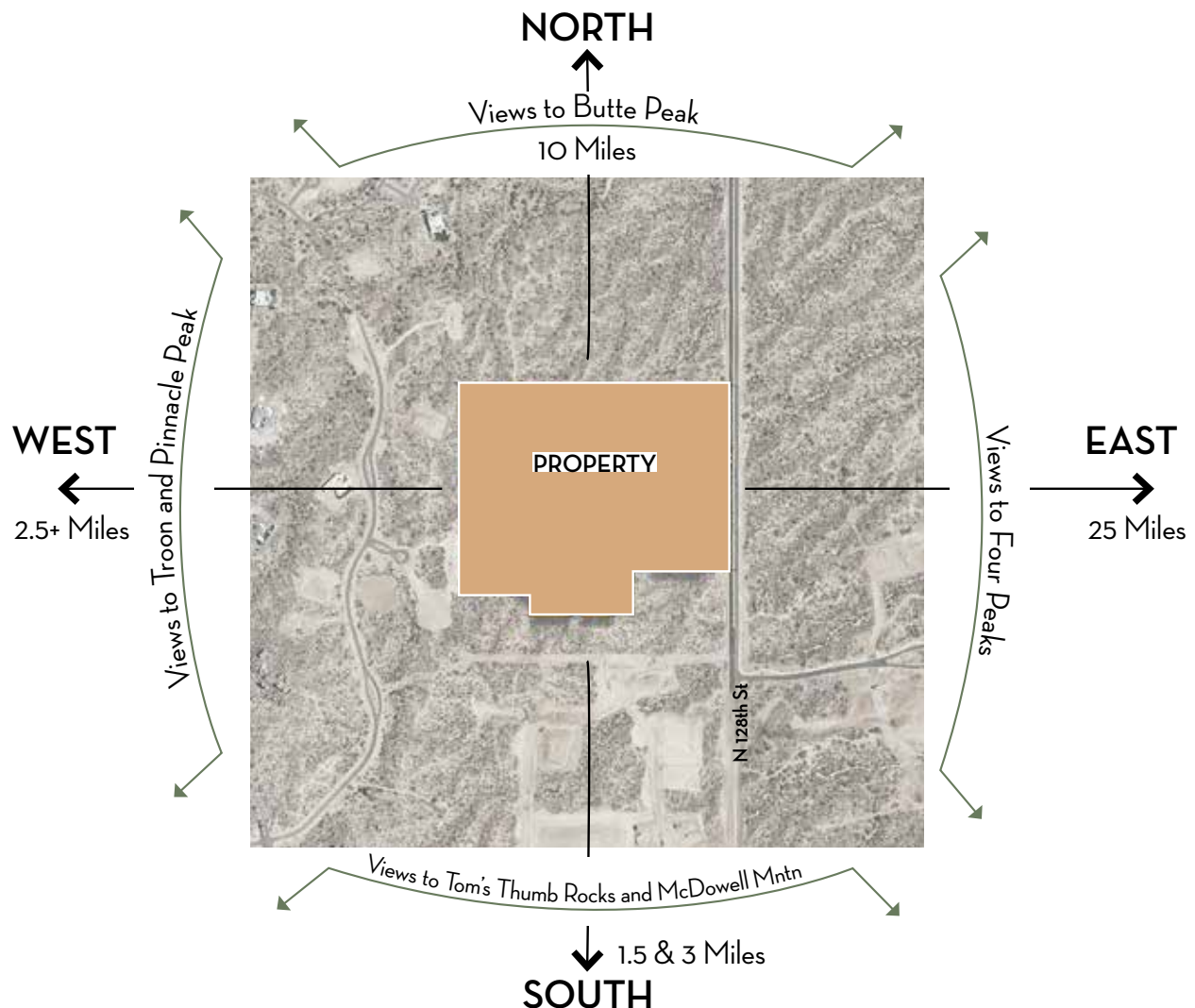
(See Community Vicinity Map exhibit on page 19 for a visual reference to the above)

The proposed Shadow Ridge North residential enclave is planned for 19 single family home sites with a minimum lot size of 32,256 square feet (average lot size 42,828 sf., yielding an overall density of 0.64 units/ gross acre. The General Plan for this area is identified as Rural Residential. For Shadow Ridge North, Camelot Homes is proposing a gated neighborhood enclave with access off of N 128th Street.

DESIGN INTENT, DESIGN CRITERIA AND DEVELOPMENT STANDARDS:

Intent

The proposed project has been conceptualized in a very creative manner that first focused on considerable time and effort analyzing and understanding the land. Most suburban oriented projects are laid out initially on paper by a civil engineer- not Shadow Ridge North. Camelot's team of consultants first focused on all the opportunities and constraints associated with the site and spent considerable time out on the property to carefully identify, locate and orient the very best homes sites. A heightened sensitivity to surrounding mountain views (both in the foreground and background) helped to inform the team as to the orientation of each home site and how to best position homes to maximize the indoor/ outdoor experience and integrate these special view corridors.



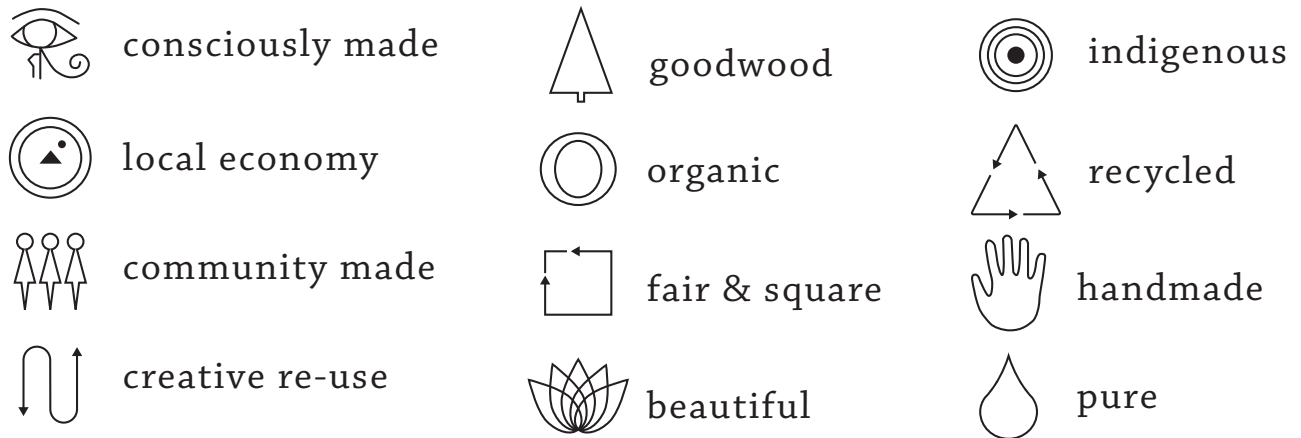
Based on each homes preferred location, careful attention was then focused on the preferred finish floor elevation of lot (which would vary from lot to lot). Reacting to the topography in a sensitive manner, focusing on mountain views, and establishing very specific finish floor elevations for each lot ensures a more visually interesting setting. Once these home sites were established, the team turned its attention to the roadway layout, by providing an attractive, functional and safe circulation system. The result is a very unique neighborhood enclave that ensures a varied street scene based on the overall planning and design as well as the envisioned architecture that will also be designed specifically for this property.

In addition to the overarching planning and design methodology, the Applicant is also committed to incorporated sustainable oriented building practices as well as site-oriented measures associated with Low Impact Development (“LIDs”).

Sustainable Oriented Building Practices:

“The Goal of energy conservation and waste reduction through building techniques and homeowner sensitive usage”

- **Energy-efficiency** improvements, such as high levels of insulation, efficient HVAC systems, high-performance windows and energy-efficient appliances or lighting;
- **Water conservation** measures, such as water-efficient appliances, water-conserving fixtures, filtration systems, and water-efficient or low-maintenance landscaping;
- **Resource conservation** techniques, such as using high-performance engineered wood, wood alternatives, allergen-free materials, recycled building materials, sustainable harvested lumber and more durable products;
- **Indoor environmental quality** considerations, such as effective HVAC equipment, use of formaldehyde-free finishes, and products with minimum off-gassing or low volatile organic compounds;
- **Homeowner education** through orientations and manuals or operating guides.



To design, build, and live in the authentic splendor of nature is to take a positive hand in creation.

Low Impact Development Site Measures:

“The Goal of water conservation through storm water capture/ filter and recharge”

- Bio swales and rain gardens
- Storm water capture basins
- Drought tolerant/ native vegetation
- Vegetative and rock swales
- Overflows and outlets techniques, like minimizing disruption and preserving open space
- Sediment traps and check basins
- Dry wells
- Ribbon curb
- Permeable pavement
- Desert pavement (vs. typical decomposed granite (DG))

Criteria

As this parcel is adjacent to, and surrounded by, several active development projects (described earlier in this text), the Applicant strongly believes this specific proposal is “in-line” with these neighboring projects as it relates to density and intensity.

We believe our heightened sensitivity to the planning and design for Shadow Ridge North provides the City with a better type of development to consider this, and future similar scenarios. The proposed re-zoning and the requested amended development standards, will allow for this proposed design framework to be achieved per the attached conceptual master plan. The proposed density for this neighborhood enclave (0.64 du/ac) is allowed within ESL.

The amended development standards results in almost forty (40) percent of the property set aside for NAOS (including land area for the scenic corridor). The scenic corridor buffer along N 128th street is one hundred (100) feet (plus an additional forty-two (42) feet set back from the closest planned lot). Landscape buffers proposed along the north and west sides of the property range from fifteen (15) feet to twenty (20) feet from the perimeter property line to the proposed lot lines.

The gated access off of N 128th Street and the internal street system provides logical access to each home site and orients key alignments to mountain views both to the west and south. Existing rock outcroppings have been strategically incorporated into the design directly at the termination of the entry drive (prior to turning left or right to access home sites).

A combination of native landscape and revegetated areas will provide a beautiful adjacent treatment on both sides of the narrow street to help reinforce the more organic nature of the development. Driveway access will also reinforce these themes and will be done in a way to limit grading and to limit any straight-run drives.

In order to achieve this unique, more organic design and all it's associated attributes, the Applicant is requesting the change in zoning as well as adding the designation. This would allow for the proposed reduced lot sizes and setbacks, which help to provide the necessary physical flexibility to achieve the desired overall community design as well as the individual envisioned home design. All homes will be limited to single story and twenty-four (24) feet maximum height.

Development Standards

The zoning proposed with this request retains an overall density of one dwelling unit per acre (0.64 du/ac proposed) and is ideal for allowing development of the Property in a manner that protects environmentally sensitive lands and is harmonious with the adjacent neighbors. In more detail, the site plan proposes a density of 0.31 du/ac and remains R1-130 for lots 15 & 16 adjacent to the southern neighboring properties with a existing zoning of R1-130 (*see R1-130 ESL Proposed revisions below for parcels 15 & 16*). The site plan proposes a density of 0.74 du/ac for the northern 17 lots with a proposed zoning of R1-43 ESL (*see R1-43 ESL Proposed revisions below for parcels 1-14 and 17-19*). The proposed site plan also embraces a predominant native desert vegetation character as established in the area. Camelot Homes desires to amend several development standards applicable to the R1-43* and R1-130 zoning districts. Refer to Exhibit 7 - Proposed Zoning for area and density.

The proposed changes are identified in the table below.

Standards	R1-43 BASE	R1-43 ESL Proposed	R1-130 BASE	R1-130 ESL Proposed (lots 15 & 16)
Lot Size	43,000 s.f.	33,977 s.f. (average)	130,00 s.f.	118,069 s.f. (average)
Lot Width	150'	120'	200'	340'
Front	40'	30'	60'	60'
Side	20'	15'	30'	22.5'
Rear	35'	35'	60'	60'
Building Height	30'	24'	30'	24'

* Note: Lot # 18: average 30' side yard setback along the length of the abutting southern property line.

The subject site is a private gated neighborhood with no cut through traffic. This requested change will have no negative impact on any of the neighboring property owners since the rear setbacks remain unchanged adjacent to any boundary with existing neighbors. By reducing the front yard setback, the impact on the neighboring properties improves by allowing for the opportunity to move the homes forward on the lots thus increasing the size of the rear yard and increasing the distance from the rear of the homes to the adjacent property owners bordering the site.

IMPROVEMENT, OWNERSHIP AND MAINTENANCE OF COMMON AREAS:

The project will include an HOA to provide for the maintenance of all streets, gated entry feature, perimeter walls and other common area tracts within the community.

BUILDING HEIGHTS:

All homes will be restricted to single story only with a height not to exceed 24' from natural grade.

PURCHASE OF THE PROPERTY:

Camelot Homes is currently in escrow to purchase the properties comprising this project from six (6) unrelated property owners.

Site Constraints

The accompanying illustration (Exhibit 2 - Constraints) provides a visual reference to the existing site conditions in context with the proposed design. Property perimeter & configuration, required scenic corridor along N 128th, proposed perimeter buffers, key existing boulder configurations, existing drainage corridors, existing landforms and highlighted views have all contributed to the proposed design for Shadow Ridge North.

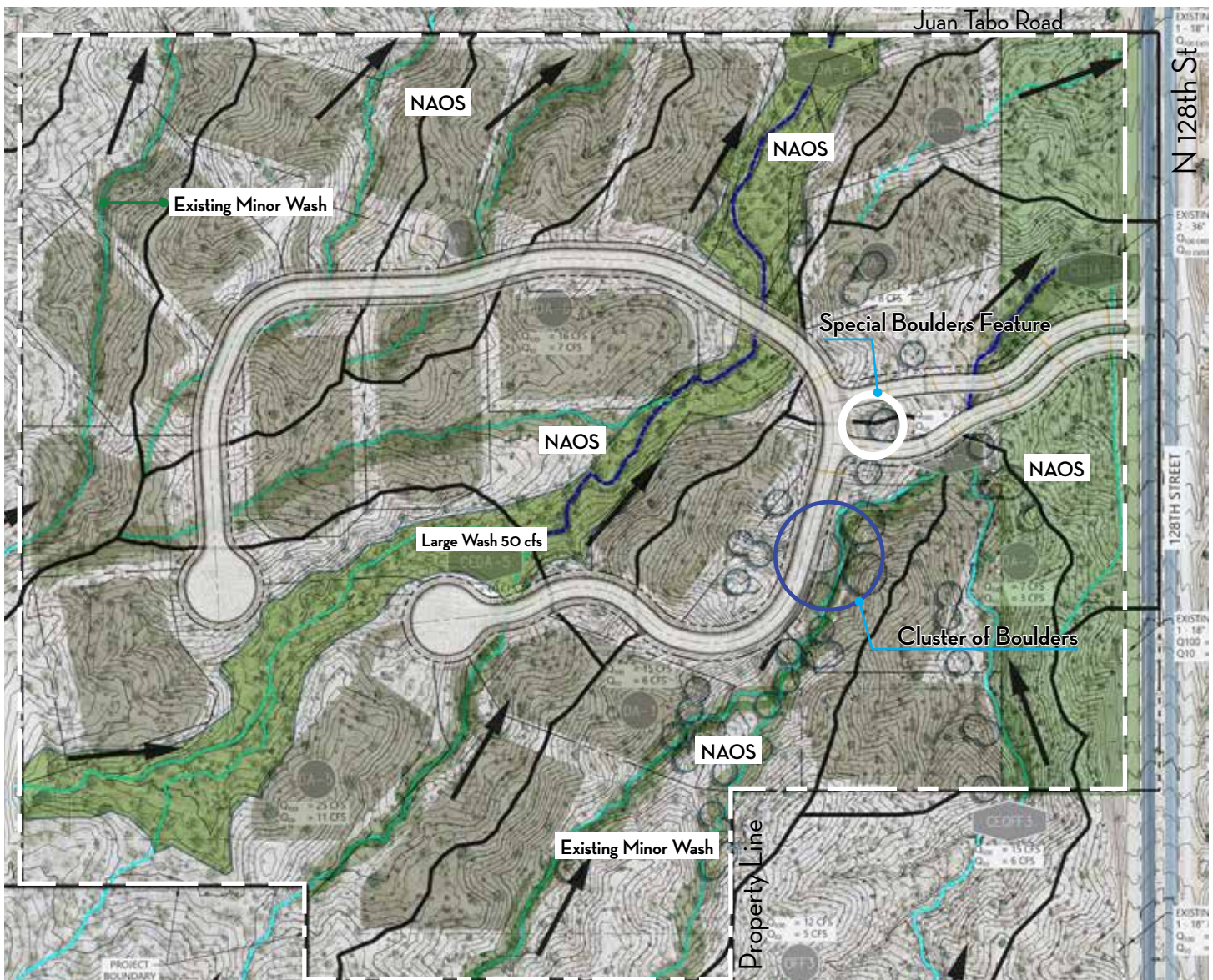


EXHIBIT 2 – CONSTRAINTS

Natural Area Open Space (NAOS):

The project area is located within the Upper Desert Landform category of the ESL overlay district. Approximately forty (40) percent (11.83 acres) of the site area (29.5 acres) will be dedicated as Natural Area Open Space (NAOS). At least seventy four (74) percent of the NAOS will remain undisturbed (8.77 acres), while up to twenty six (26) percent will be revegetated.

NAOS will be located along most of the perimeter of the property, between several of the home sites, along the existing major wash corridor that bi-sects the property, and on the west side of N 128th street (See Exhibit 3 - Natural Open Space). As referenced earlier, because the site plan has been organized to take advantage of surrounding views, as well as taking on a more “organic” layout that reacts more to the existing conditions, there’s no visual reference to many of the “subdivision” style layouts (throughout the Valley) that simply re-peat lot after lot- stacked (forced) one after another. That suburban model would have likely yielded more lots but, the result would not be in the spirit of this unique neighborhood enclave design.

All the homes will be designed to take advantage of this unique layout and emphasize key attributes of indoor/outdoor desert living. Home orientation (emphasizing views where appropriate and incorporated buffers where necessary), strategically placed meandering driveways, dramatic backyard terraces & amenities, and carefully placed perimeter lot walls, will all look to “blend” with the organic nature of this overarching design intent.

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EXHIBIT 3 – NATURAL AREA OPEN SPACE

	Required	Proposed
NAOS	11.68 acres	11.83 acres
Undisturbed NAOS	8.18 acres	8.77 acres
Revegetated NAOS	3.51 acres	3.06 acres
Non-NAOS		

Native Plant Materials

Throughout the project area, in those locations that will not remain in an undisturbed state, the landscape vegetation will be surveyed, tagged, and if possible and appropriate, salvaged and boxed for re-use on the property. This plant material will be used to re-vegetate areas (that have been re-graded and or disturbed) in order to enhance the visual natural landscape character across the property. Special attention will be given to the main entrance to help enhance the sequence of “passage” into and out of the property. The proposed development recognizes the value and visual significance that the landscaping has upon the character of the proposed development.



SITE CONTEXT

The project area is approximately thirty (30) acres and is located south of Ranch Gate Road and directly west of N 128th Street at the Juan Tabo alignment. Site access/ egress is planned from N 128th Street. The project area (see Exhibit 4 - Community Vicinity Map) is surrounded by a series of new developments including the Sereno Canyon and Storyrock master plans. From the Community Vicinity Map, it is easy to visualize the context of new homes planned, under development and/or in the permitting stage. As articulated in this narrative, while the proposed density is “similar” to the surroundings, the proposed plan is very unique and brings a new level of sophistication to the planning and design effort for similar lower density “in-fill” type projects.

The property’s rolling terrain is embedded with a central wash corridor that bisects the property at an irregular angle from the west to east. These conditions, along with the existing bolder out-crops and the extensive 360 degree views, provide the basis for design. The vegetation itself is mostly rich with understory scrub growth and small cacti, with some native tree species in and around the wash areas and low points on the property. (see Exhibit 5- Context Map).



Southwest view from the western property line

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Northwest corner of the property



View from the center area of the property



Southern side of the property



Eastern area of the property along wash



Southeast view



View from the eastern side looking east toward Four Peaks Mountain

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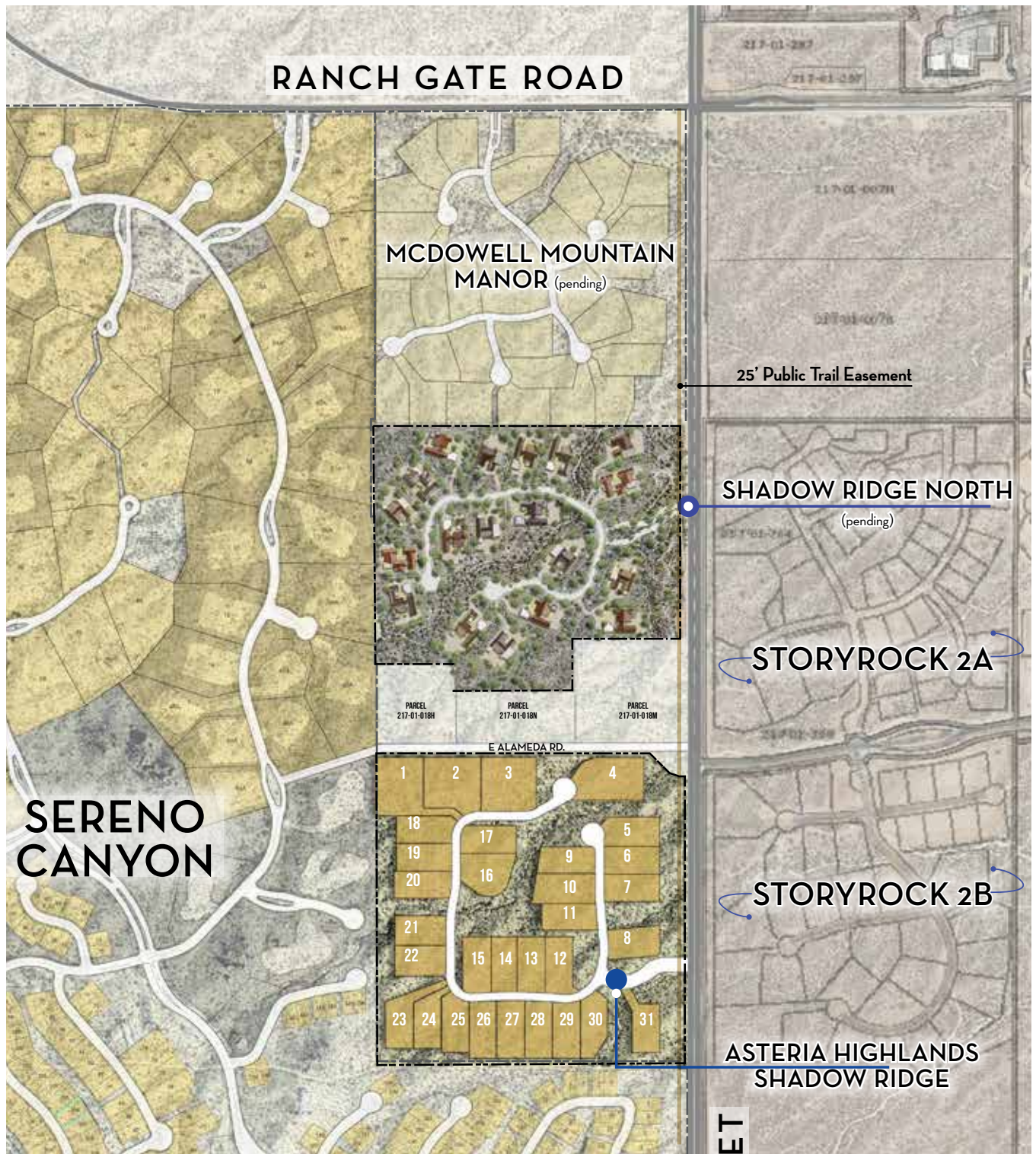


EXHIBIT 4 – COMMUNITY VICINITY MAP

SHADOW RIDGE NORTH ZONING APPLICATION NARRATIVE

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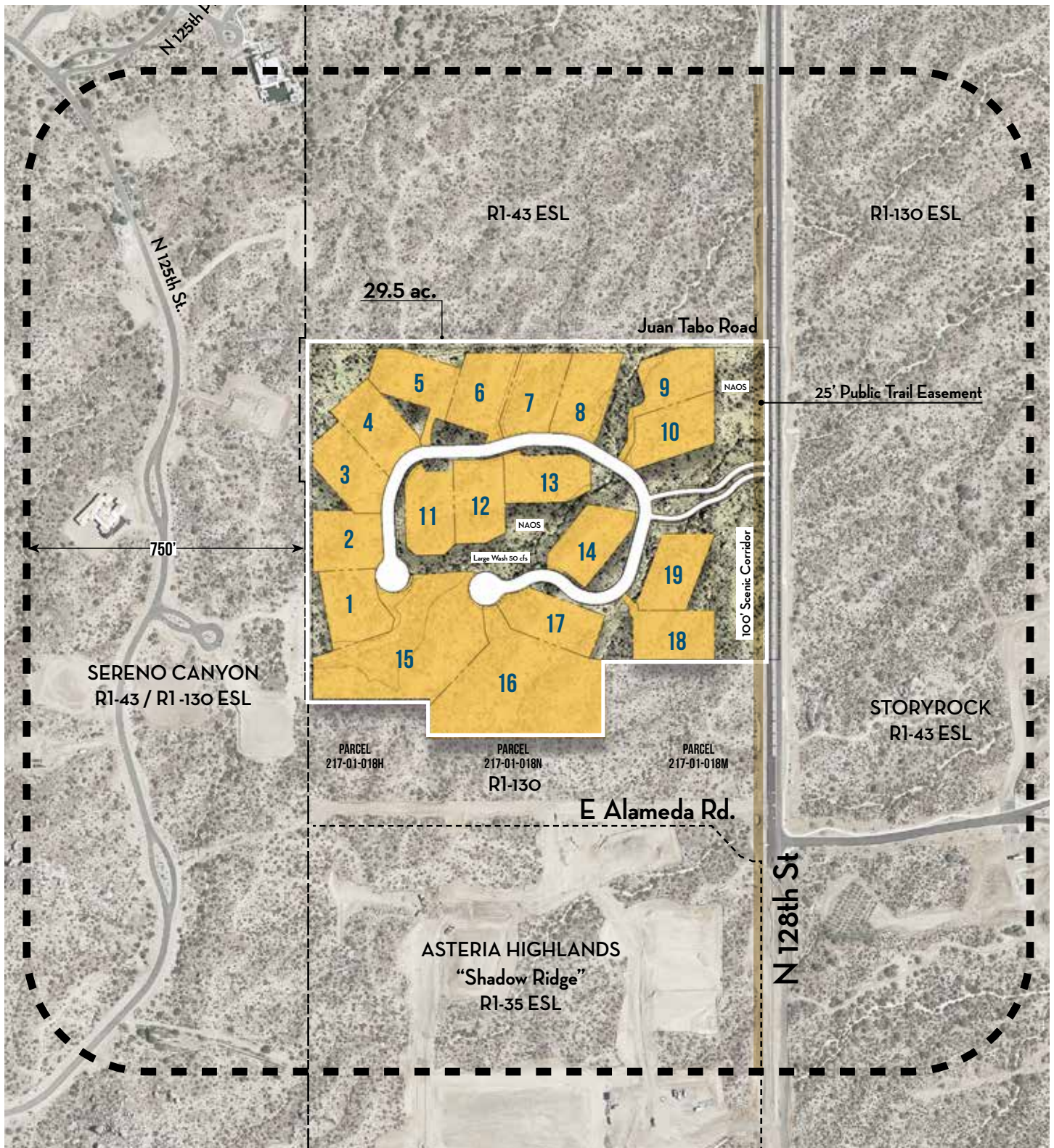


EXHIBIT 5 – CONTEXT MAP

EXISTING AND PROPOSED ZONING

The project area, located in the northern portion of the City, is within the Upper Desert Character of the Environmentally Sensitive Lands (“ESL”) district. It is currently zoned R1-130 ESL as shown on Exhibit 6 - Existing Zoning. This exhibit also highlights the adjacent zoning in and around the project area that includes several parcels of R1-43 ESL as well as “Shadow Ridge” Asteria Highlands which is zoned R1-35 ESL.

This proposed zoning would be “in-line” with the above references and the actual land plan would help set a new higher standard of thoughtful and more site responsive design. In order to provide this opportunity for a more creative, site responsive and “organic” plan and design, the Applicant is proposing a cluster development option. Amended standards for the project area are R1-43 ESL (see Exhibit 6 - Existing Zoning and Exhibit 7 - Proposed Zoning)*.

** Note: Lots # 15 and #16 of Exhibit 1 will follow the existing ordinance requirements for R1-130.*

These zoning tools allow the Applicant to create this preferred more organic planning model. While additional units/lots could have been achieved within the specifics of the zoning designation, the Applicant is committed to a planning and design that highlights the “organic” nature and layout of the neighborhood enclave to reinforce the unique setting and special nature of the surroundings.

SURROUNDING USES AND ZONING:

NORTH: R1-43 ESL

EAST: Storyrock R1-43 ESL

SOUTH: “Shadow Ridge” Asteria Highlands R1-35 ESL

WEST: Sereno Canyon R1-43 / R1- 130 ESL

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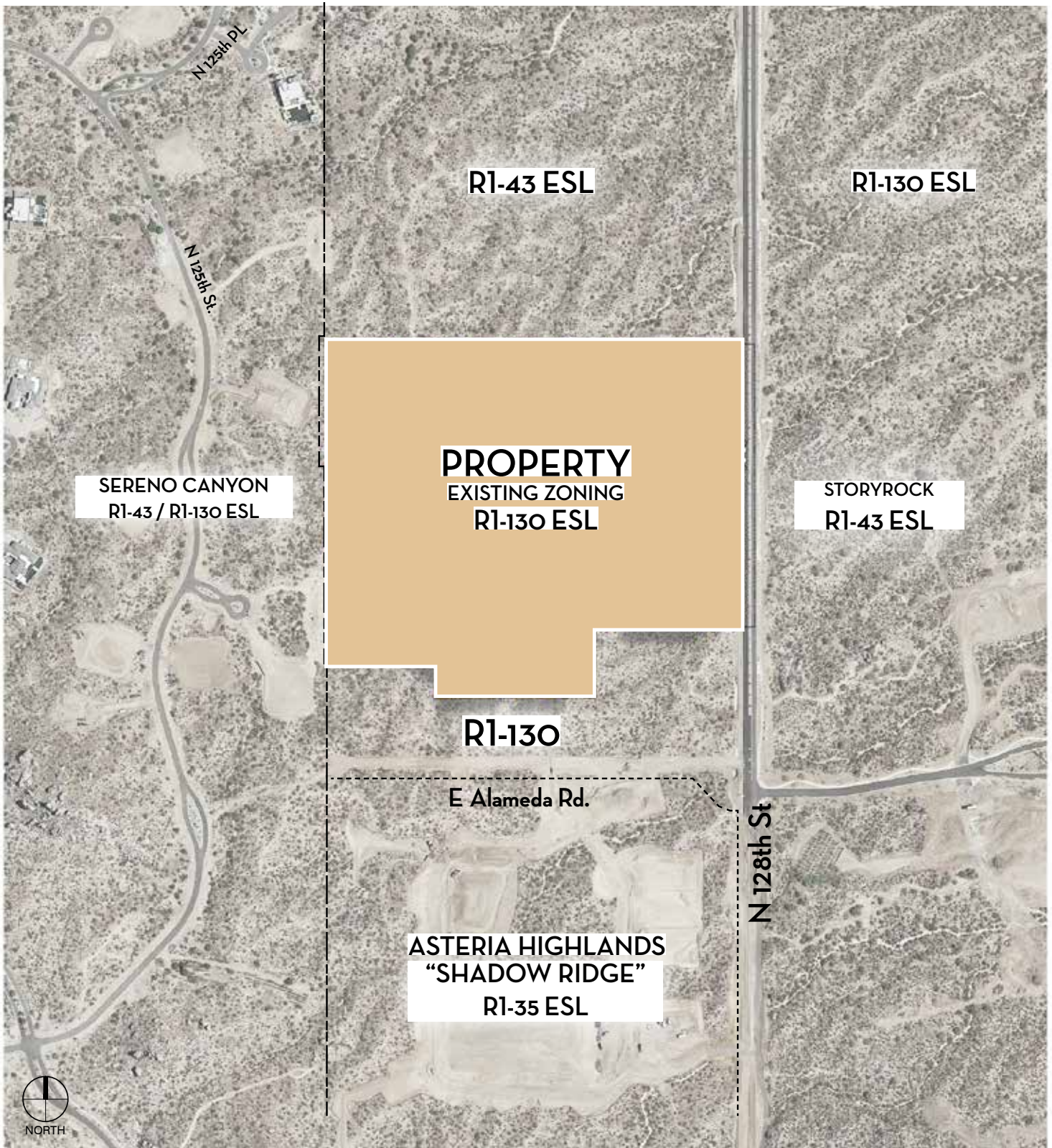


EXHIBIT 6 – EXISTING ZONING

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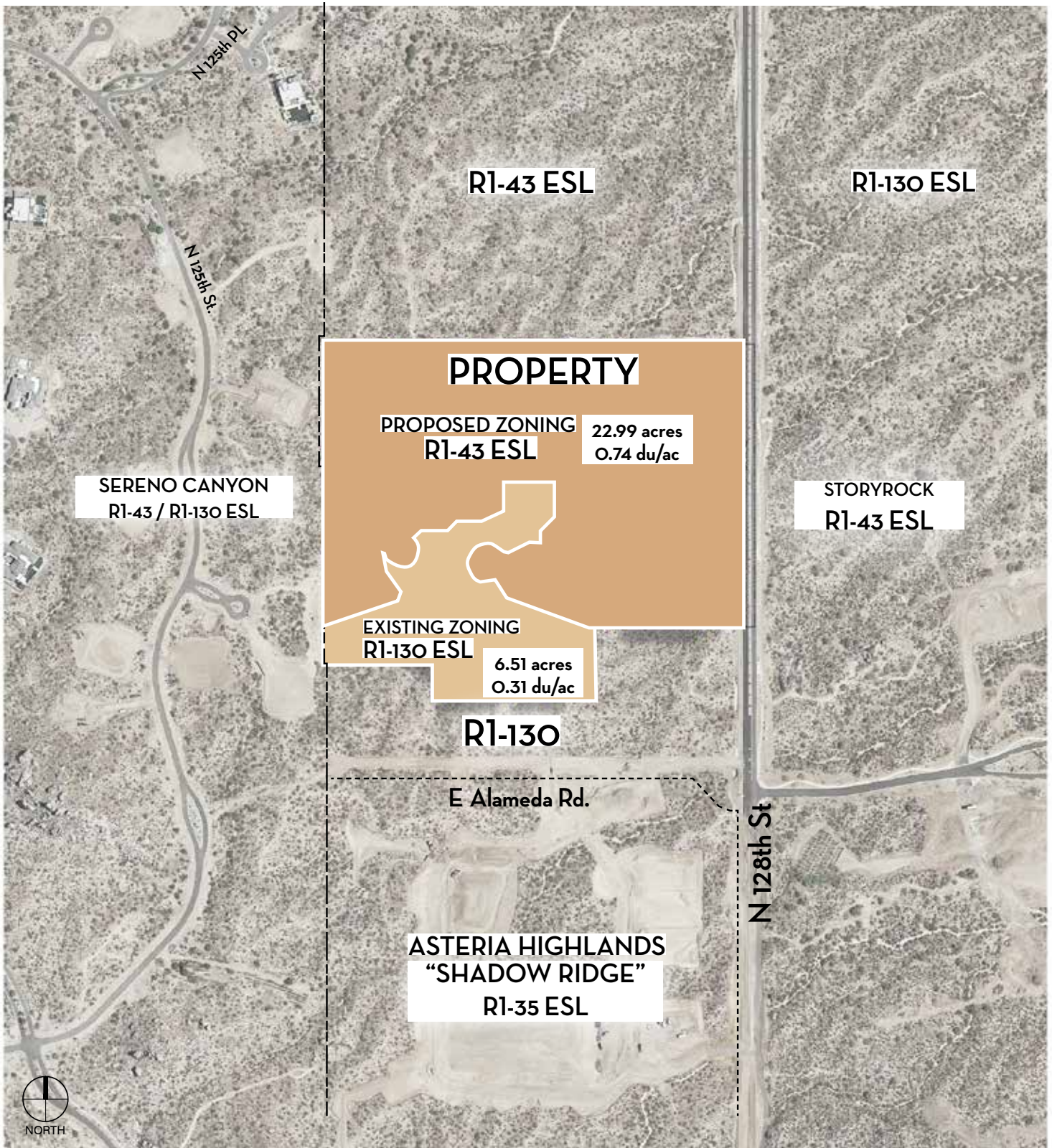


EXHIBIT 7 – PROPOSED ZONING

GENERAL PLAN GOALS AND APPROACHES

The request includes rezoning the property from R1- 130 to R1-43 ESL *(with the exception of Lots #15 and #16 per Exhibit 1 that will follow the existing ordinance requirements for R1-130).*

The following narrative illustrates how the proposed zoning change is consistent with the newly adopted General Plan for the City of Scottsdale.

Specifically, the Rural Neighborhoods land use category allows for clustering to preserve desert vegetation, washes, and natural features as is proposed in this application.

The Applicant has taken this opportunity to expand the clustering “intent”, to also introduce a very creative, site responsive and “organic” design that will raise the overall quality and character of the proposed neighborhood enclave.

(See Exhibit 8 - General Plan 2035 Land Use).

Rural Area (as stated in the General Plan)

“Generally, a less-developed area where the land used preliminary for low-density residential uses.”

“RURAL NEIGHBORHOODS: This category includes the largest-lot, single-family neighborhoods. Densities in Rural Neighborhoods are usually one dwelling unit per one or more acres. Within the Environmentally Sensitive Lands (ESL) areas, native desert vegetation is abundant and special care is needed to preserve open desert character and environmental features.

The goal in Rural Neighborhoods is to retain the large-lot character while preserving desert vegetation, washes, and natural features. Clustering of development may be used to achieve this goal. Rural Neighborhoods may also include equestrian or limited golf course uses.”

The General Plan establishes policies, goals and strategies for each of the twenty-four elements. The following information illustrates how the proposed development aligns with specific elements within the General Plan as it relates to the Rural Neighborhood Land Use Category.

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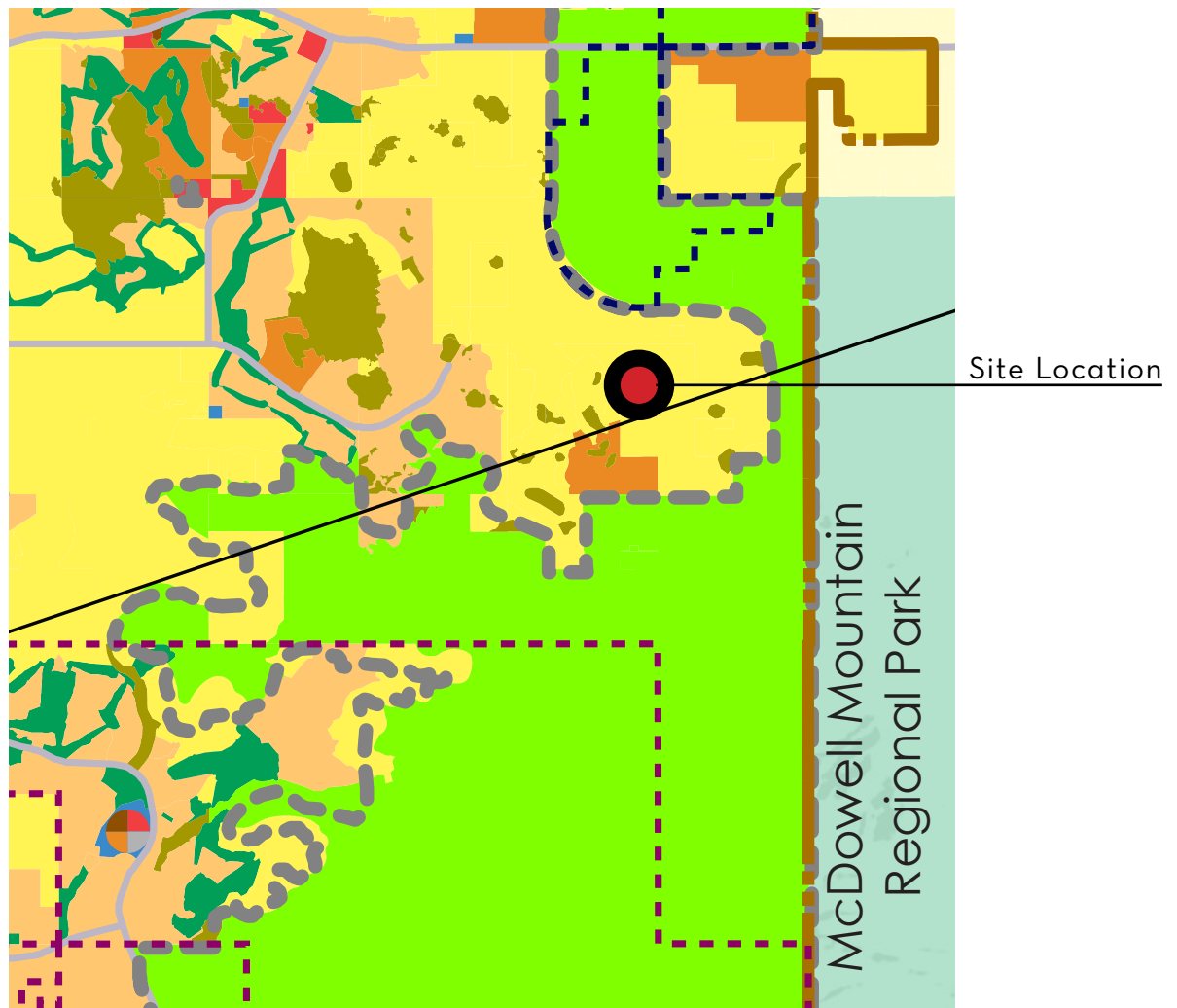


EXHIBIT 8 – General Plan 2035 CONCEPTUAL LAND USE PLAN

Character and Culture

Character & Design Element:

“Each neighborhood setting holds an important image that, when grouped together, completes the Scottsdale mosaic.”

The proposed project is in-line with the adjacent “mosaic” of current and proposed developments “grouped together” in and around this property. The proposed densities and intensities of these projects are also very similar. (see EXHIBIT 9 - General Plan Character Types)

“Scottsdale’s rich design heritage is a product of proactive, creative, and inspired solutions to community design opportunities and issues.”

While the proposed project has similar densities and intensities to surrounding development (either proposed, under construction or in the development stage), the design for this property embraces “Scottsdale’s rich design heritage” with a “proactive, creative and inspired” design solution that raises the bar with respect to site sensitive community design.

The project aligns with the following Character and Design Element Goals and Policies:

Goal CD 1: “Determine the appropriateness of all development in terms ofsurrounding area character and context...”

Response: The proposed developed has a density of 0.64 du/ acre based on the 29 home site illustrated. The project to the north, McDowell Mountain Manor has a proposed density of 0.8 du/ acre and Story Rock directly east has a density of .98 du/ acre. Asteria Highlands (Shadow Ridge) to the south has a density of 0.77 du/ acre. In all cases, this proposed development has a lower density than these adjacent surrounding and contextual examples of development.

Policy- CD 1.1 “.....New development should respond to the neighborhood context.”

Response: The proposed development will fit into the neighborhood context of the surrounding area as described above. The overall density is lower, the total number of home site are fewer, and the lots sizes are comparable.

Goal CD 5: “Promote the value and visual significance landscaping has on the character of the community.”

Response: The proposed project’s planning and design strategy emphasizes a more organic layout of roads and home site across this property (still within the parameters of codes and regulations). This will compliment the ability to promote the value and visual significance of landscaping throughout the project. This will also better complement the native existing vegetation to remain on the property.

Policy- CD 5.2 “....replace dead and dying landscaping with drought resistant plants to maintain or improve density pattern, shade and area character.”

Response: The overall planning and design strategy for the proposed development will be complimented by a planting palette of landscape materials that will be drought resistant, will improve density patterns on the property (for trees, shrubs and ground covers) and will provide added shade cover.

SHADOW RIDGE NORTH ZONING APPLICATION NARRATIVE

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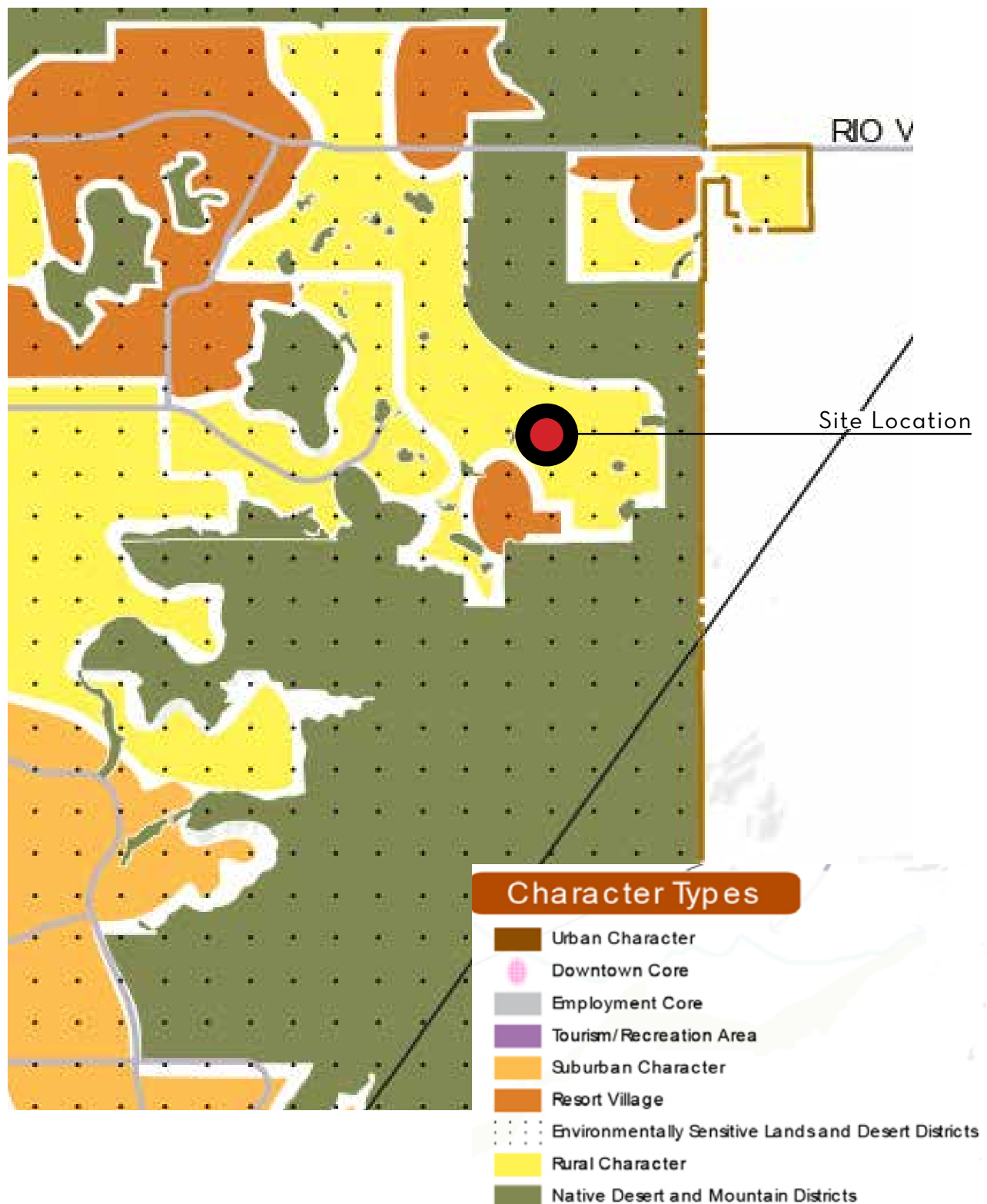


EXHIBIT 9 – General Plan 2035 CHARACTER TYPES

Land Use Element:

“Land use decisions must consider the relationships of adjacent land uses and sensitively integrate proposed land uses with existing natural and physical environments.”

The proposed project aligns with the context and “relationships of adjacent land uses” in terms of density and intensity. The specific proposed plan “sensitivity integrates” the proposed rural residential land use and overarching design with the natural and physical setting of the property.

The project aligns with the following Land Use Element Goals and Policies:

Goal LU 2: “Sensitively transition and integrate land uses with the surrounding natural and built environments.”

Response: The overall planning and design strategy for the proposed development will be complimented by a planting palette of landscape materials that will be drought resistant, will improve density patterns on the property (for trees, shrubs and ground covers) and will provide added shade cover.

Policy- LU 2.1 “Ensure neighborhood “edges” transition to one another through compatible land uses and development patterns.”

Response: The proposed project’s adjacent uses are residential and compatible in density and character. The proposed plan ensures a sensitive strategy for edge transitions with carefully sited lots and layouts (no “cookie-cutter” suburban style repetitions).

Goal LU 3: “Maintain a balance of land uses to support a high quality of life.”

Response: The proposed project can be considered an “in-fill” condition that continues the residential land uses currently seen in this area. This project, like the surrounding developments will provide opportunities for a high quality of life, within the desert setting.

Policy- LU 3.1 “Allow for the diversity and innovative development patterns of residential uses and supporting services to provide for the needs of the community.”

Response: The project has incorporated a unique and innovative development pattern for this particular neighborhood enclave that is more “organic” in nature. Home sites have been located and oriented based on special 360 degree views and the context of the land. Roads have been positioned in a manner that responds to the land, the home sites and design intent. We believe that this design methodology can be a new prototype for other areas in North Scottsdale requiring highly sensitive land planning.

Sustainability and Environmental

Open Space Element:

“.....Open space is vital for sustaining a high quality of life, thus, a strategically planned, balanced, and connected system of open spaces is essential to both citizen and visitor enjoyment.”

The creative planning and design of the proposed project also strategically incorporates open space which enhances not only the context of the project, but the surrounding areas as well (see EXHIBIT 10 - General Plan 2035 Open Space). This includes trail connectivity along N 128th Street (see EXHIBIT 11 - General Plan 2035 Trails).

The project aligns with the following Open Space Element Goals and Policies:

Goal OS 1: “Provide four primary public and private open space types; the Scottsdale McDowell Sonoran Preserve, natural open spaces, developed open spaces, and continuous open space.”

Response: The proposed development carefully integrates open space throughout the design to compliment the location and orientation of homesites.

Policy- OS 1.2 “”Provide public and private, natural open space to preserve wildlife habitat, views, and sensitive historical/ archeological sites, and , where appropriate, incorporate areas for passive recreation.”

Response: The proposed development’s open space will provide opportunities to ensure special views into and from the property. The protected open space, along with associated landscape improvements in disturbed areas, will provide an abundance of opportunities for wildlife habit.

Policy- OS 1.3 “Develop a system of continuous open spaces that connect citywide and regionally. Such open spaces includes washes, streetscapes, wildlife corridors, trails, and canals.

Response: The proposed development will connect to the City path/trail within the ROW along 128th Street. This will afford residents the opportunity to access south all the way to the Preserve.

Policy- OS 1.4 “Offer public and private parks and open spaces to accommodate both active and passive recreation.”

Response: The proposed development’s opens space will be passive in nature and afford residents the opportunity to walk along these adjacent open space zones.

Goal OS 3: “Maintain the lush desert character and wildlife corridors by protecting and preserving natural open space.”

Response: The proposed development protects the native wildlife corridor and wash area that bisects the property. This area helps to reinforce the sense of natural open space throughout the property.

Policy- OS 3.1 “.....Preserving existing natural open space, supporting the preservation of natural ecosystems, and protecting sensitive environmental features.”

Response: The proposed planning and design has carefully integrated the natural open space into the framework of the plan in a creative and thoughtful manner.

Policy- OS 3.2 “Protect environmentally sensitive lands from the impacts of development.”

Response: The proposed development carefully integrates the City’s requirements for addressing environmentally sensitive lands in a creative manner that results in a land plan that is more organic in nature- and thus, more in-line with native open spaces.

Policy- OS 3.3 “Provide opportunities for people to experience and enjoy the Sonoran Desert and mountains.....”

Response: The proposed development has carefully located and oriented home sites and roads in a manor that “highlights” all the surrounding mountain views. Combined with the preserved open space and design enhancements, the project will provide a great opportunity for its residents to enjoy the Sonoran Desert.

Goal OS 4: “Visually and physically connect open spaces to maintain a continuous open space system.”

Response: The proposed development’s unique layout and “structure”, provides a visual connection to the open space across the entire property and for all residents and guests.

Policy- OS 4.3 “As development and redevelopment occurs along transportation corridors, ensure the preservation of mountain views, the Sonoran Desert, natural features and landmarks.....”

Response: The Scenic Corridor incorporated along the western boundary of the 128 Street roadway corridor will help to ensure mountain view, the Sonoran Desert landscape and associated natural features.

Policy- OS 4.4 “Encourage the use of drainage area, vista corridors, and transmission line corridors as open space opportunities.”

Response: The proposed plan carefully incorporates drainage areas and treatments into the overall fabric of open space.

Goal OS 6: “Design and manage open spaces to relate to surrounding land uses and character.

Response: The project developments open spaces integrate with and connect to the context of the surrounding Sonoran Desert and the larger eco-system.

Policy- OS6.4 “Ensure development plans respect existing topography, view corridors, wildlife corridors, and open space.”

Response: The unique and special land planning model for this property has resulted in a more organic layout due to the careful consideration of views, wildlife corridors, open space and topographic landforms. Rather than the typical “cookie-cutter” subdivision with straight streets and perfectly align lots, the development’s proposed “structure” is more a response to all the nature features and conditions on the property.

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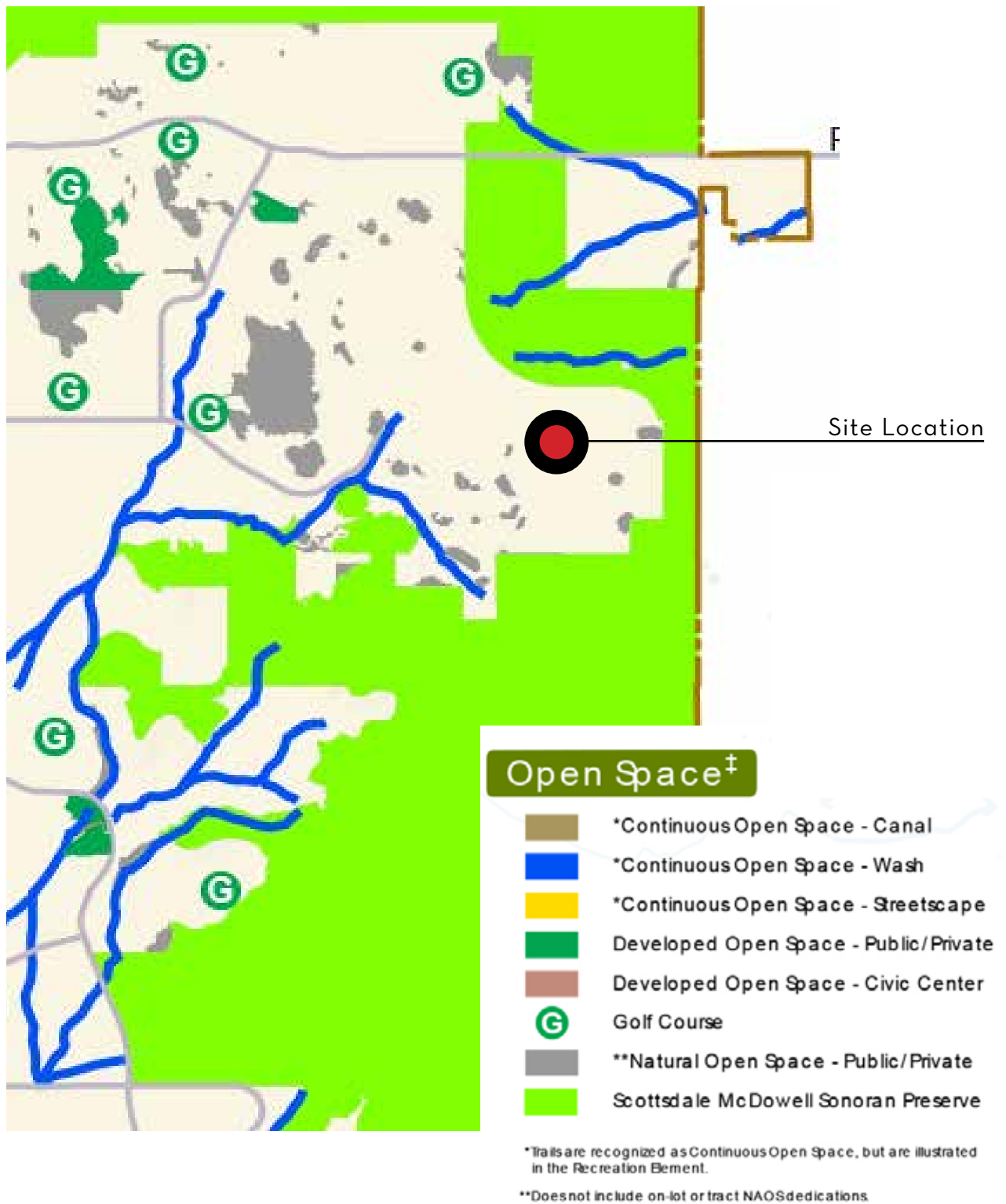


EXHIBIT 10 – General Plan 2035 OPEN SPACE

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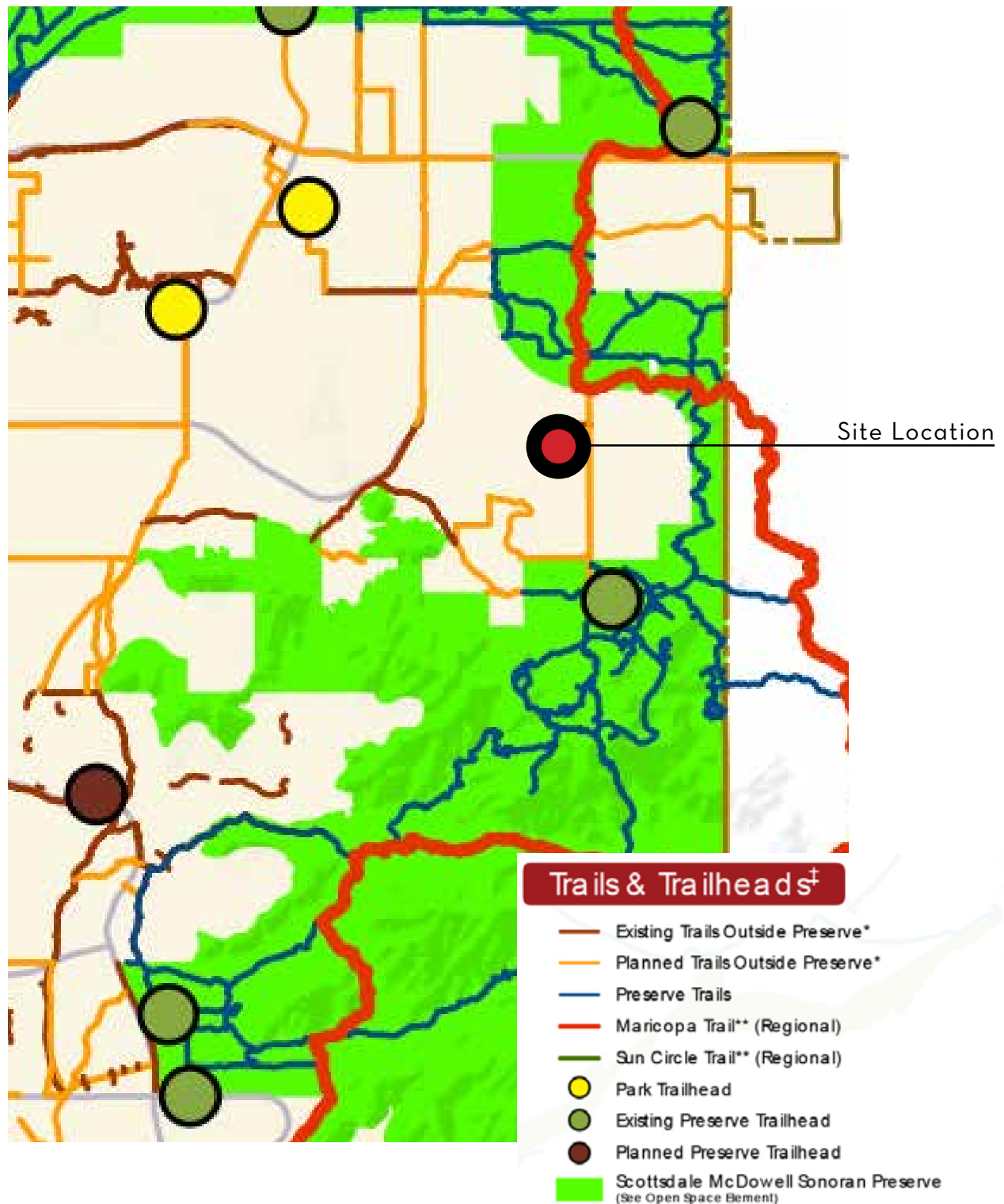


EXHIBIT 11 – General Plan 2035 TRAILS AND TRAILHEADS

Environmental and Planning Element:

“.....Citizens recognize that the unique and desert environment is valuable for community health, character, economic vitality, and quality of life. We provide ourselves as a leader and committed to environmental stewardship and sustainability.”

The proposed project has been designed with an emphasis on indoor/ outdoor living to help reinforce the connectivity to the Sonoran Desert. This planning model also promotes environmental stewardship and sustainability with the proposed Low Impact Development (LIDs) and Green Building initiatives.

The project aligns with the following Environmental Planning Element Goals and Policies:

Goal EP 1: “Protect and enhance Scottsdale’s human and Sonoran Desert habitats.”

Response: The wash corridor and wildlife habit corridor that bisects the project (and has been integrated into the overall design) will ensure the protection of existing desert habitat.

Policy- EP 1.2 “Protect the unique, rare, and significant features of Scottsdale’s natural environment.....”

Response: The proposed development’s unique design has provided the opportunity to protect significant desert features on the property including some of the major rock/ boulder outcroppings. The layout of roads and home sites has carefully been organized to limit impact to these significant bolder conditions.

Policy- EP 1.4 “Preserve local plants, wildlife, and natural resources to maintain the biodiversity and long-term sustainability of the area’s ecology.”

Response: The proposed development has proposed a significant amount of protected open space that will ensure the preservation of local plants, wildlife and natural resources.

Goal EP 4: “Expand the circular economy by maximizing resource recovery, reuse & recycling, and promoting use for recycled, recyclable and renewable materials.

Response: As part of the construction process, the Owner/ Developer will maximize opportunities for resource recovery, reuse and recycling during the construction process. Also, as part of the home design effort, the Owner/ Developer promotes the use of recyclable and renewable materials.

Policy- EP 4.5 “Ensure the recycling and or reuse of building materials to reduce construction waste.

Response: The Owner/ Developer will utilize a recycling and reuse programing during the construction process to minimize waste.

Goal EP 5: “Encourage environmentally sound green building and low-impact site plans that support sustainability.”

Response: As articulated in the project narrative section of this document, the Owner/ Developer has committed to incorporating Green Building oriented practices and Low Impact Development site design and engineering measures.

Policy- EP 5.1 “Protect and enhance the natural desert elements of all development sites.”

Response: The unique planning and design effort for this proposed development affords the opportunity to protect and enhance a significant amount of the desert landscape including several boulder features out on the property.

Policy- EP 5.2 “Increase the use of green infrastructure, including low-impact development (LID) stormwater management techniques, such as curb openings and permeable pavement.”

Response: As articulated in the project narrative section of this document, the Owner/ Developer has committed to incorporating Green Infrastructure and Low Impact Development site design and engineering measures. The Owner/ Developer is eagerly committed to collaborate and engage with ‘ASU Global Institute of Sustainability and Innovation’ to incorporate and implement sustainable methods througout the design, development, construction of the project.

Policy- EP 5.3 “Construct durable and sustainable buildings using green building principles.”

Response: As articulated in the project narrative section of this document, the Owner/ Developer has committed to incorporating Green Building oriented practices. The Owner/ Developer homes are of the highest quality and highly durable and sustainable.

Policy- EP 5.5 “Expand Green Building construction standards to include all new and remodeled residential and commercial buildings.”

Response: As articulated in the project narrative section of this document, the Owner/ Developer has committed to incorporating Green Building oriented practices related to the construction of new homes planned for the property.

Energy Element:

“Scottsdale must provide flexibility and incentives for energy efficiency and renewable energy technologies.”

The proposed project looks to integrate sustainability oriented practices that include building systems, and site components

The project aligns with the following Energy Element Goals and Policies

Goal E3: “Promote building and site designs that maximize energy efficiency.”

Response: The proposed project site plan and accompanying homes to be built will be oriented with a great degree of sensitivity to solar orientation and sun angles/exposure. South and southwest facades will be designed to limit large, exposed windows and will include significant overhangs and shade devices to limit heat gain inside the homes.

Policy- E 3.1 “Encourage the use of natural properties and sustainable building systems.”

Response: The Owner/ Developer’s 50 plus years of experience building luxury homes in the desert has provided them with a tool kit of the best natural materials to use as well as the most sustainable building systems to implement.

Policy- E 3.2 “Encourage the use of drought tolerant landscaping to reduce summer solar heat gain.”

Response: The proposed landscape palette will be all drought tolerant materials and will include a creative mix of groundcovers, shrubs, cacti and trees that compliment that native desert. Proposed plant will help reduce heat island impacts and desert trees will be carefully located to help with shading along the street edge as well as shading on the south and south west sides of new homes.

Policy- E 3.6 “Improve the energy efficiency of the building envelope, heating and cooling systems, lighting and appliances.”

Response: As articulated in the project narrative section of this document, the Owner/ Developer has committed to incorporating Green Building oriented practices, including high quality materials and building systems that will improve the energy efficiency of the building envelope, heating and cooling systems, lighting and appliances.

Collaboration and Engagement

Community Involvement Element:

“The community recognizes that encouraging early and ongoing citizen participation is important for successful planning, community-building, and decision making.”

The Applicant is a Scottsdale based family-owned home builder that is celebrating 50 years of business. Community engagement and input has been a core value of the company from day one. Knowing and living within the Sonoran Desert, the Applicant is highly sensitive to the demands of development within the Scottsdale and has always encouraged an interactive planning process.

The project aligns with the following Community Involvement Element Goals and Policies:

Goal CI 1: “Seek early and ongoing community involvement through broad public input in project and policy-making discussions.”

Response: Camelot Homes has built its reputation on community engagement and seeking broad public input associated with its planned developments. To date, this project has included significant community outreach with numerous community members and Scottsdale citizenry. This effort will continue as the project moves through the City processes.

Policy- CI 1.1 “Maximize opportunities for early notification of proposed projects using a variety of methods.”

Response: Camelot Homes has gotten early input from community members to date on the proposed development and the current application and submittal includes refinements based on such input.

Policy- CI 1.2 “Use public involvement plans to identify and engage interested parties, and provide opportunities for information exchange.”

Response: Camelot Homes will continue to coordinate with City staff and community members on opportunities to gather feedback and incorporate refinements where appropriate.

Community Well Being

Housing Element:

“Scottsdale is a community of choices. As such, the community embraces a variety of housing options that blend contextually with our neighborhoods.”

The proposed project provides the opportunity for residents a “choice” to live in a planned community, in a rural setting without having to own a significantly large parcel. This proposed project will “blend contextually” with the surrounding residential development.

The project aligns with the following Housing Element Goals and Policies:

Goal H 1: “Support diverse, safe, resource-efficient, and high-quality housing options.”

Response: The proposed development provides an opportunity for high-quality, high-end housing, on a relatively smaller lot in the area of North Scottsdale. Geared for those who may want a more rural, horse-oriented area, without having to take care of livestock on their property.

Policy- H 1.2 “Promote complementary physical design, building structure, landscaping, and lot layout relationships between existing and new construction”

Response: The proposed development’s layout and design takes great care to blend and complement the existing context of adjacent properties and projects.

Policy- H 1.5 “Encourage a variety of housing densities in context -appropriate locations throughout Scottsdale to accommodate projected population growth.”

Response: The project provides an alternative to large-lot horse properties in this area of North Scottsdale. As noted, some residents want to live in a more rural setting (and maybe the opportunity to ride horses), but not have all the responsibilities associated with a larger horse property.

Policy- H 1.8 “Encourage developments to incorporate the highest cost and quality, effective love of amenities, sustainable design and durability, and architectural quality.

Response: Camelot Homes continues to be one of Scottsdale’s most admired and sought-after luxury home builders, with a particular focus on high-quality, durability, and architectural excellence.

Dynamite Foothills Character Area:

The proposed project is within the Dynamite Foothills Character Area (see EXHIBIT 12 - General Plan 2035 Character Areas).

The Applicant is familiar with the Dynamite Foothills Character Area Plan and has carefully incorporated key goals into the physical planning and design effort for the project including;

- Preserving meaningful open space
- Enhancing neighborhoods
- Supporting economic vitality
- Seeking sustainability
- Valuing Scottsdale's unique lifestyle and character

The unique planning and design for this project embraces the sense of “openness” which is a key component of the Area. As stated, the careful positioning of home sites, the focus on multiple mountain views to enhance indoor/ outdoor living, the protection of open space and the overarching “organic” layout of this neighborhood enclave reinforces this special sense of “openness” for this uniquely envisioned development.

The overall project proposed density of less than 1 du/ac, the 40% open space, the 8.77 acres of undisturbed NAOS and the high degree of sensitivity associated with the topographic land forms all contribute to the careful balance between new development and environmental stewardship.

Part of the design and engineer effort for this unique site planning effort has included the sensitive consideration of grading & drainage and cuts and fills. The following exhibit (see Exhibit 12) highlights the cuts and fills design intent for the property and associated building pads for each home site. This holistic design effort carefully balances native areas with redeveloped areas in order to best “blend” the overall site together.

This thoughtful and creative planning methodology will be reinforced by site engineering and architectural design that celebrates the dynamite Foothills Character Area by incorporating both Low Impact Development (LID) techniques and green building practices. Architecture and site design will focus on “timeless”, desert contextual character rather than current design fads.

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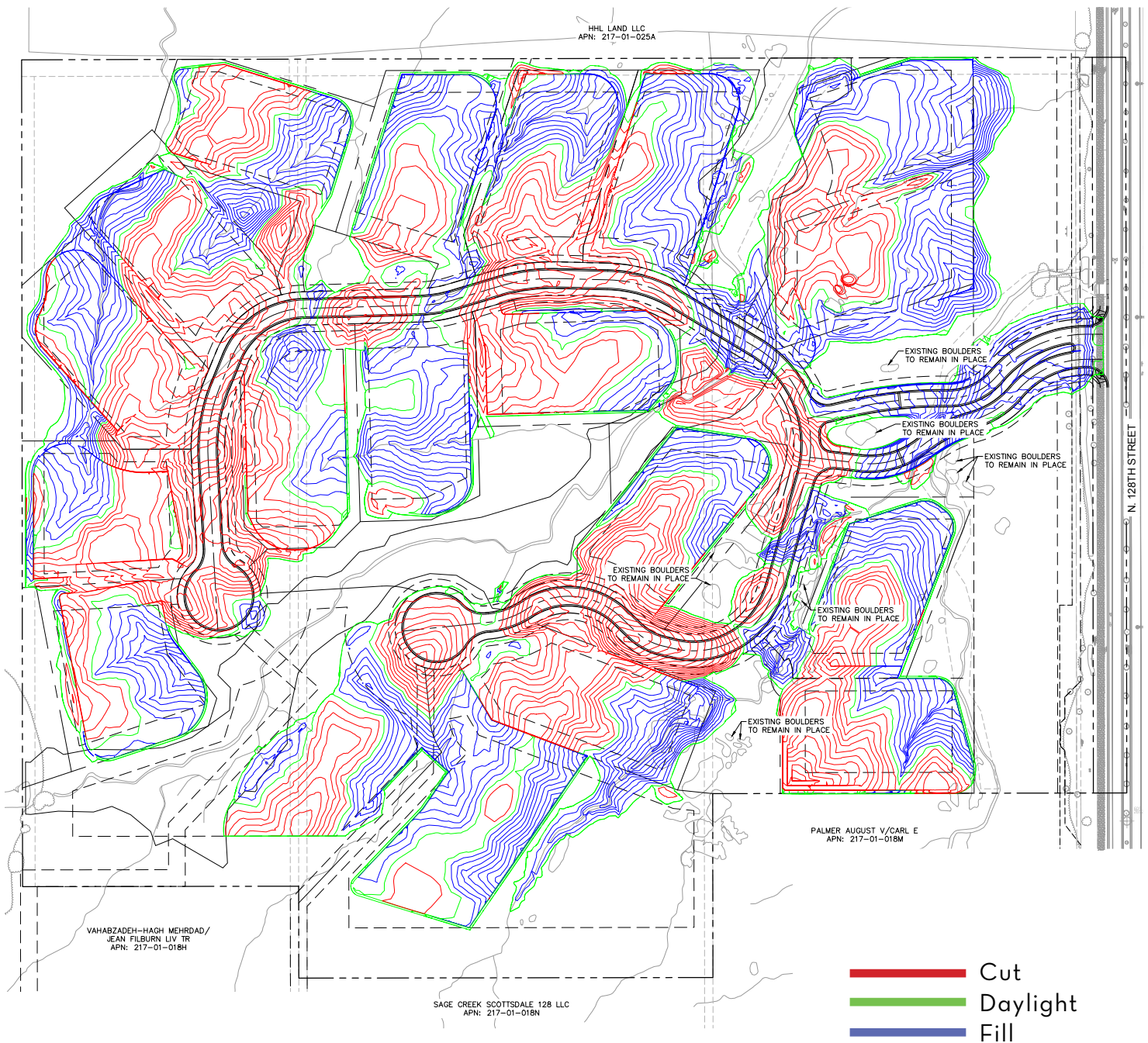


EXHIBIT 12 – PRELIMINARY CUT AND FILL PLAN

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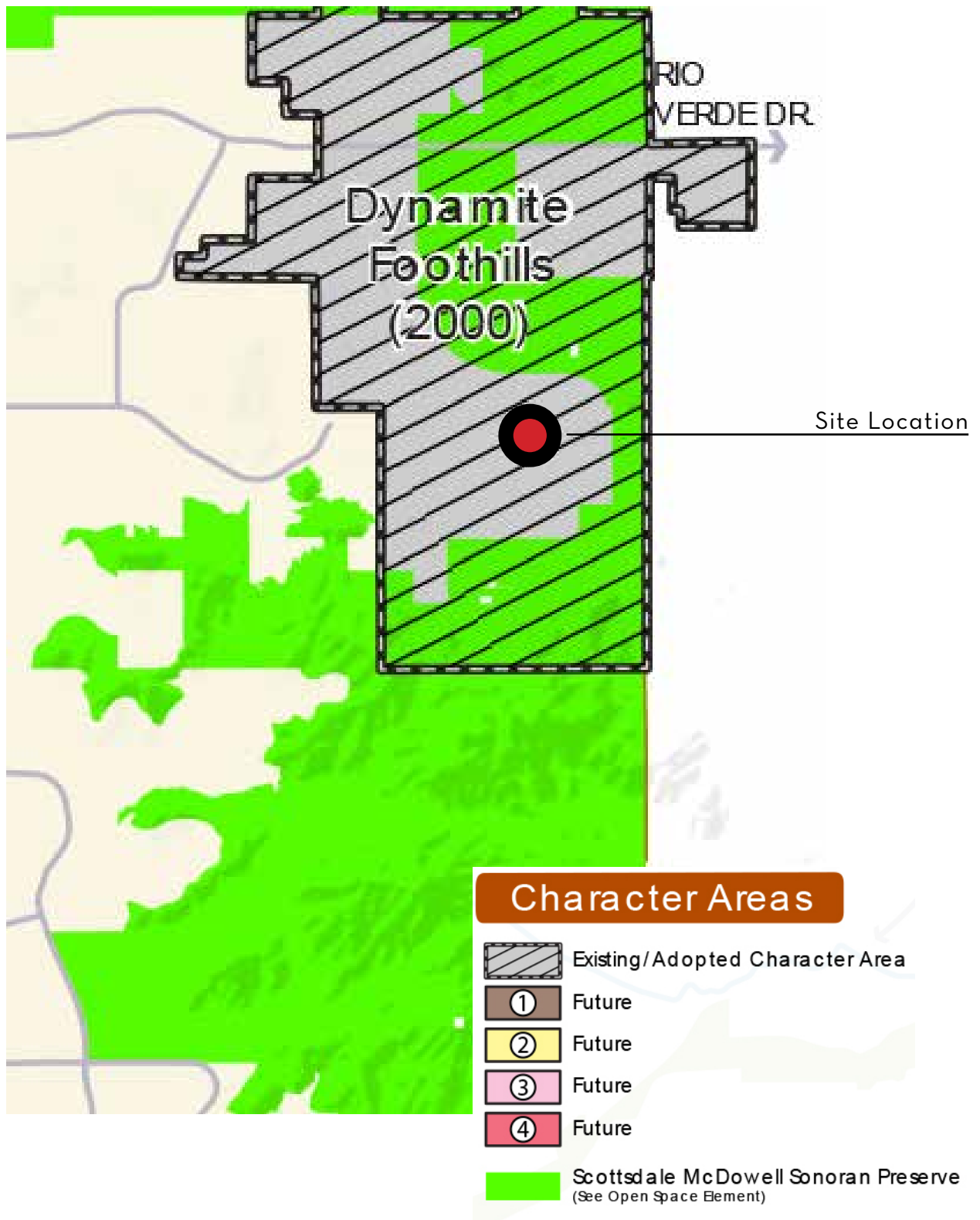


EXHIBIT 13 – General Plan 2035 CHARACTER AREAS

AMENDED DEVELOPMENT STANDARDS

Section 5.100 Single-family Residential (R1-43) and Section 5.020 - Single-family Residential (R1-130) provide a basis for development within the Property.

To encourage sensitivity to site conditions and provided flexibility in site planning, including clustering, allows for amended development standards.

The following development standards amend the R1-43 and R1-130 Standards and apply to the Property.

Single-family Residential R1-43

Sec. 5.104. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. *Lot area.*

THIRTY TWO THOUSAND TWO HUNDRED AND FIFTY SIX SQUARE FEET

1. Each lot shall have a minimum lot area of not less than ~~forty three thousand (43,000)~~ 32,256 SQ.FT. square feet.

2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. *Lot dimensions.*

Width. All lots shall have a minimum lot width of one ~~hundred fifty (150) feet.~~

ONE HUNDRED AND TWENTY / 120' FEET

- C. *Density.* There shall be not more than one (1) single-family dwelling unit on any one (1) lot.

- D. *Building height.* No building shall exceed ~~thirty (30) feet in~~ height, except as otherwise provided in article VII.

TWENTY FOUR (24) FEET

E. *Yards.*

1. Front Yard.

THIRTY (30) FEET (TO FACE OF BUILDING AND GARAGE)

- a. There shall be a front yard having a depth of not less than ~~forty (40) feet.~~

- b. Where lots have a double frontage on two (2) streets, the required front yard of forty

THIRTY (30) FEET ~~(40) feet shall be provided on both streets.~~

- c. On a corner lot, the required front yard of ~~forty (40) feet~~ shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~twenty (20) feet~~ on each side of a building.

FIFTEEN (15) FEET

3. Rear Yard. There shall be a rear yard having a depth of not less than thirty-five (35) feet.

4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten (10) feet between an accessory building and the main building.

2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40) feet.~~ THIRTY (30) FEET

- G. *Walls, fences and landscaping.* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and

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hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.

H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

~~I. Corral. Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.~~

(Ord. No. 2509, § 1, 6-1-93; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, §§ 27, 28), 4-3-12)

Single-family Residential R1-130

Sec. 5.024. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-130 District:

- A. *Lot area.* **ONE HUNDRED FOURTEEN THOUSAND THREE HUNDRED-NINETY THREE SQUARE FEET**
1. Each lot shall have a minimum lot area of not less than ~~one hundred thirty thousand~~ **114,393 SQ.FT.** (130,000) square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
- B. *Lot dimensions.*
Width. All lots shall have a minimum width of two hundred (200) feet.
- C. *Density.* There shall be not more than one (1) single-family dwelling unit on any one (1) lot.
- D. *Building height.* No building shall exceed ~~thirty (30) feet in height~~ **TWENTY FOUR (24) FEET**, except as otherwise provided in article VII.
- E. *Yards.*
1. Front Yard.
a. There shall be a front yard having a depth of not less than sixty (60) feet.
b. Where lots have a double frontage on two (2) streets, the required front yard of sixty (60) feet shall be provided on both streets.
c. On a corner lot, the required front yard of sixty (60) feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.
2. Side Yard. There shall be a side yard of not less than ~~thirty (30) feet~~ **TWENTY TWO AND A HALF (22.5) FEET** on each side of a building.
3. Rear Yard. There shall be a rear yard having a depth of not less than sixty (60) feet.
4. Other requirements and exceptions as specified in article VII.
- F. *Distance between buildings.*
1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than sixty (60) feet.
- G. *Walls, fences and landscaping.* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and

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H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

~~I. Corral. Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.~~

(Ord. No. 2470, § 1, 6-16-92; Ord. No. 2509, § 1, 6-1-93; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, §§ 18, 19), 4-3-12)

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