

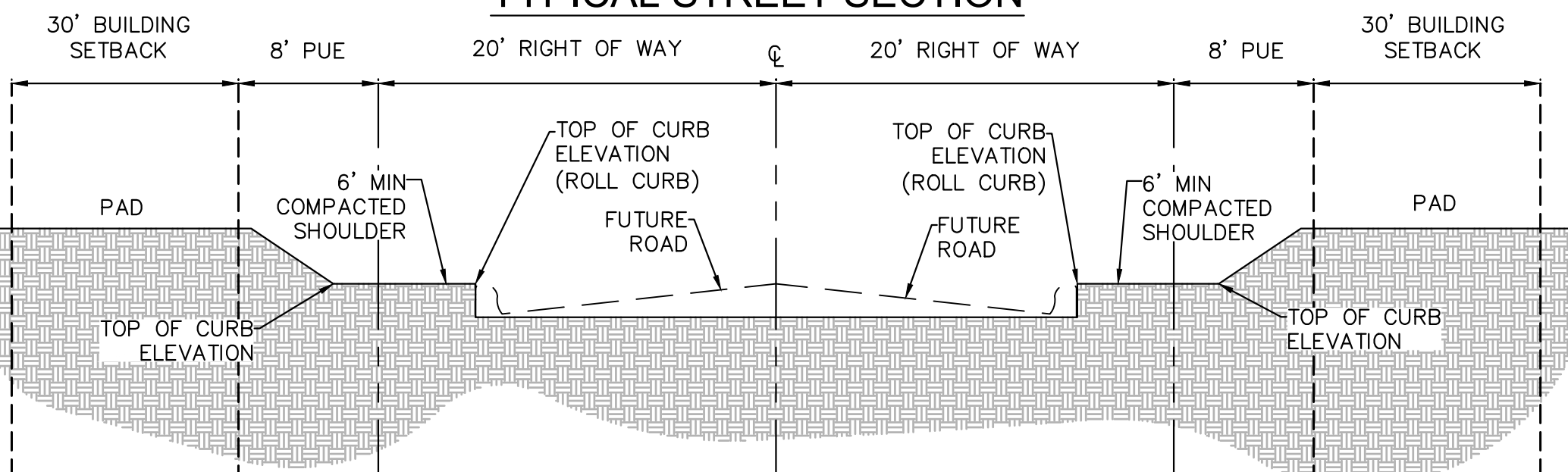
**LEGEND**

	PROPERTY/LOT LINE		PROPOSED SURVEY MONUMENT
	PROPOSED EASEMENT		PROPOSED FIRE HYDRANT
	EXISTING EASEMENT		PUE
	PROPOSED WATER LINE		R/W
	EXISTING WATER LINE		B/C
	PROPOSED STORM DRAIN		TYP.
	PROPOSED SWALE		EVAE
	PROPOSED RIGHT-OF-WAY		AE
	PROPOSED SEWER LINE		DE
	EXISTING SEWER LINE		SE
	PROPOSED CENTERLINE		BSB
	BUILDING SETBACK		CFS
	LIMITS OF DISTURBANCE (CONSTRUCTION ENVELOPE)		80.2 P
	NAOS		FL
	NAOS REVEGETATED LIMITS		EG
	PROPOSED RETAINING WALL		0.95%
	PROPOSED FENCE		10
	PROPOSED CUT-OFF WALL		TCE
	EROSION HAZARD SETBACK		
	100-YEAR INUNDATION LIMITS		
	100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION		
	PROPOSED RETAINING WALL		
	FILL AREA GREATER THAN 8'		UNDISTURBED NAOS
	CUT AREA GREATER THAN 8'		REVEGETATED NAOS
	APPROX. LIMITS OF 100 YEAR INUNDATION OF SIGNIFICANT WASH		NON-NAOS OPEN SPACE
	FIRE TURNING RADIUS		

**LEGAL DESCRIPTION**

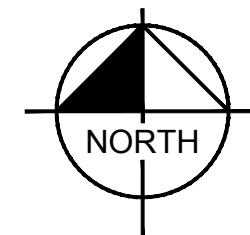
FROM TITLE COMMITMENT: 01964154-003-K59-SA  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:  
**PARCEL NO. 1:**  
 THE WEST HALF OF THE WEST HALF OF PARCEL 9, THE GOLDIE BROWN PINNACLE PEAK RANCH UNIT ONE, A SUBDIVISION RECORDED IN BOOK 191 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT THE NORTH HALF OF THE NORTH HALF THEREOF; AND EXCEPT THE SOUTH HALF OF THE SOUTH HALF THEREOF; AND EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.  
**PARCEL NO. 2:**  
 THE NORTH HALF OF THE SOUTH ONE-THIRD OF THE FOLLOWING DESCRIBED PROPERTY: THE EAST HALF OF THE WEST HALF; AND WEST HALF OF THE WEST HALF OF THE EAST HALF OF PARCEL 9, OF THE GOLDIE BROWN PINNACLE PEAK RANCH UNIT ONE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 191 OF MAPS, PAGE 26; EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.  
**PARCEL NO. 3:**  
 THE NORTH ONE-THIRD OF THE FOLLOWING DESCRIBED PROPERTY: THE EAST HALF OF THE WEST HALF; AND WEST HALF OF THE WEST HALF OF THE EAST HALF OF PARCEL 9, THE GOLDIE BROWN PINNACLE PEAK RANCH UNIT ONE, A SUBDIVISION RECORDED IN BOOK 191 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIALS WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.  
**PARCEL NO. 4:**  
 THE EAST HALF OF THE WEST HALF; AND WEST HALF OF THE WEST HALF OF THE EAST HALF OF PARCEL 9, OF THE GOLDIE BROWN PINNACLE PEAK RANCH UNIT ONE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 191 OF MAPS, PAGE 26; EXCEPT THE SOUTH 1/3; AND EXCEPT THE NORTH 1/3 THEREOF; AND EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.  
**PARCEL NO. 5:**  
 THE NORTH HALF OF THE NORTH HALF OF THE WEST HALF OF THE WEST HALF OF PARCEL 9, THE GOLDIE BROWN PINNACLE PEAK RANCH UNIT ONE, A SUBDIVISION RECORDED IN BOOK 191 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.  
**FROM TITLE COMMITMENT 01964147-003-K59-SA**  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:  
 LOTS 1, 2 AND 3, POPO AND KANGA LAND DIVISION, ACCORDING TO THE PLAT RECORDED IN BOOK 900 OF MAPS, PAGE 43, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

**TYPICAL STREET SECTION**

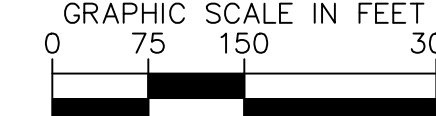


**PRELIMINARY PLAT FOR SHADOW RIDGE NORTH**

A PORTION OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



**PROJECT MAP**



Required NAOS					
Zone	Range	S.F.	Acres	% Required NAOS	Required NAOS Area
1	0%-2%	171,610	3.94	25%	0.98 ac
2	2%-5%	29,842	0.69	25%	0.17 ac
3	5%-10%	275,422	6.32	35%	2.21 ac
4	10%-15%	458,743	10.53	45%	4.74 ac
6	15%-25%	315,367	7.24	45%	3.26 ac
7	25%-100%	30,746	0.71	45%	0.32 ac
			29.42		11.68 ac
Required NAOS					11.68 ac
Required Undisturbed NAOS					8.18 ac
Maximum Revegetated NAOS					3.51 ac

Undisturbed NAOS Area	8.77 ac
Revegetated NAOS	3.06 ac
<b>Total NAOS</b>	<b>11.83 ac</b>

**TRACT AREA TABLE**

TRACT	AREA (SF)	AREA (AC)	DESCRIPTION OF TRACT	MAINTENANCE RESPONSIBILITY
TRACT A	109,768	2.52	EMERGENCY & SERVICE ACCESS EASEMENT, WATER & SEWER FACILITIES EASEMENT, PUBLIC UTILITIES EASEMENT	HOA
TRACT B	65,927	1.51	OPEN SPACE, NAOS	HOA
TRACT C	35,054	0.8	OPEN SPACE, NAOS	HOA
TRACT D	8,682	0.2	OPEN SPACE, NAOS	HOA
TRACT E	6,531	0.15	OPEN SPACE, NAOS	HOA
TRACT F	28,313	0.65	OPEN SPACE, NAOS	HOA
TRACT G	6,946	0.16	OPEN SPACE, NAOS	HOA
TRACT H	8,890	0.2	OPEN SPACE, NAOS	HOA
TRACT I	47,354	1.09	OPEN SPACE, NAOS	HOA
TRACT J	18,952	0.44	OPEN SPACE, NAOS	HOA
TRACT K	87,475	2.01	OPEN SPACE, NAOS, RETENTION	HOA
TRACT L	4,302	0.1	OPEN SPACE, NAOS	HOA
TRACT M	29,431	0.67	OPEN SPACE, NAOS, RETENTION	HOA

**ENGINEER**

KIMLEY-HORN & ASSOCIATES  
 7740 N. 16TH STREET, SUITE 300  
 PHOENIX, ARIZONA 85020  
 PHONE: (602) 906-1101  
 CONTACT: MEGAN LE, P.E.

**UTILITIES**

WATER	CITY OF SCOTTSDALE
SEWER	CITY OF SCOTTSDALE
ELECTRIC	ARIZONA PUBLIC SERVICE CO
TELEPHONE	LUMEN
CABLE T.V.	COX COMMUNICATIONS
GAS	SOUTHWEST GAS

**SURVEYOR**

SURVEY INNOVATION GROUP, LLC  
 22425 N. 16TH STREET, SUITE 1  
 PHOENIX, AZ 85024  
 PHONE: (480) 922-0780  
 CONTACT: ERIC SOSTROM

**LANDSCAPE ARCHITECT**

SWABACK PARTNERS, PLLC  
 7550 E. McDONALD DRIVE  
 SCOTTSDALE, ARIZONA 85250  
 PHONE: (480) 367-2100  
 CONTACT: JEFF TIZAK

**OWNER/DEVELOPER**

CAMELOT HOMES, INC.  
 6607 N. SCOTTSDALE RD  
 SUITE H-100  
 SCOTTSDALE, ARIZONA 85250  
 PHONE: (480) 367-4314  
 CONTACT: RYAN BENSOTER

**BASIS OF BEARING**

PER SURVEY INNOVATION GROUP, INC THE BASIS OF BEARINGS IS:  
 THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**BENCHMARK**

PER SURVEY INNOVATION GROUP, INC THE BENCHMARK IS:  
 FOUND 3" CITY OF SCOTTSDALE ALUMINUM CAP IN HANDHOLE AT THE INTERSECTION OF N 128TH STREET AND E PINNACLE PEAK.

ELEVATION = 2789.765

**NAOS DEDICATION**

A MAJORITY OF THE AREAS OUTSIDE OF BUILDING ENVELOPES WILL BE DEDICATED ON THE FINAL PLAT AS NATURAL AREA OPEN SPACE (NAOS) / DRAINAGE EASEMENTS, AND NON DEVELOPMENT EASEMENTS.

REQUIRED NAOS: 11.68± AC.  
 PROPOSED NAOS: 11.70± AC.

PER LOT NAOS PROVIDED ON FINAL PLAT AND FINAL NAOS EXHIBIT, PER LOT NAOS FOR REFERENCE ONLY. NAOS REQUIRED IS FOR WHOLE PROJECT NOT PER LOT BASIS.

**FLOOD INFORMATION**

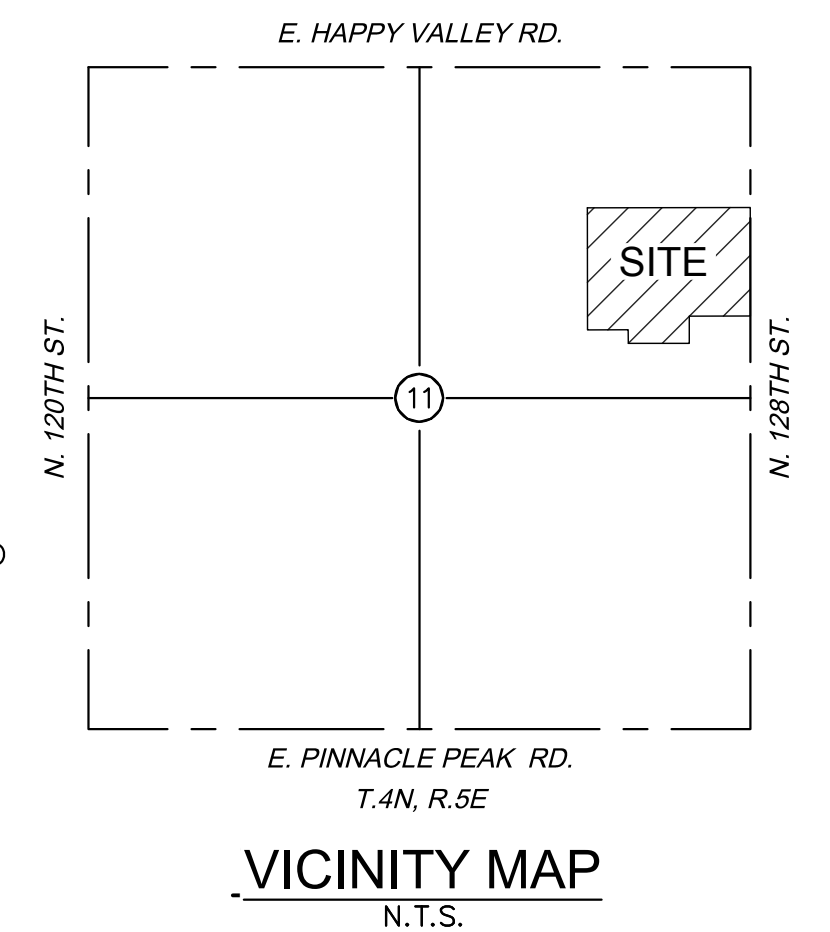
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 04013C1335 M DATED NOVEMBER 4, 2015, THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE D. ZONE D IS DEFINED AS: "AREAS WITH FLOOD RISK DUE TO LEVEE."

**ENGINEERS CERTIFICATION**

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.

**FIRE DEPARTMENT NOTES**

- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED
- MIN. HYDRANT SPACING PER DS&PM 6-1.502.
- THE FIRE LANE SURFACE SHALL BE SUITABLE FOR ALL-WEATHER USE, WITH A MINIMUM LOADING DESIGN OF 83,000 LB. GROSS VEHICLE WEIGHT INCLUDING ANY BRIDGE OR CULVERT.



**VICINITY MAP**

**SHEET INDEX**

Sheet Number	Sheet Title
1	COVER SHEET
2	DIMENSION PLAN
3	NAOS PLAN
4	GRADING AND DRAINAGE PLAN
5	SLOPE ANALYSIS PLAN
6	SETBACK EXHIBIT
7	CROSS SECTIONS
8	CUT AND FILL PLAN

**SITE DATA**

GROSS AREA	29.5 AC±
NET AREA	29.0 AC±
TOTAL NUMBER OF LOTS	19
QS	46-58
TYPICAL LOT SIZE	N/A
MINIMUM LOT AREA	32,256 S.F.
MAXIMUM LOT AREA	121,744 S.F.
DENSITY	OVERALL 0.64 DU/AC
	R1-43 ESL 0.74 DU/AC
	R1-130 ESL 0.31 DU/AC

**ZONING**

EXISTING ZONING: R1-130  
 PROPOSED ZONING:  
 - R1-43 ESL FOR LOTS 1-14 AND 17-19 (22.99 AC)  
 - R1-130 ESL FOR LOTS 15 AND 16 (6.51 AC)

**SETBACK TABLE**

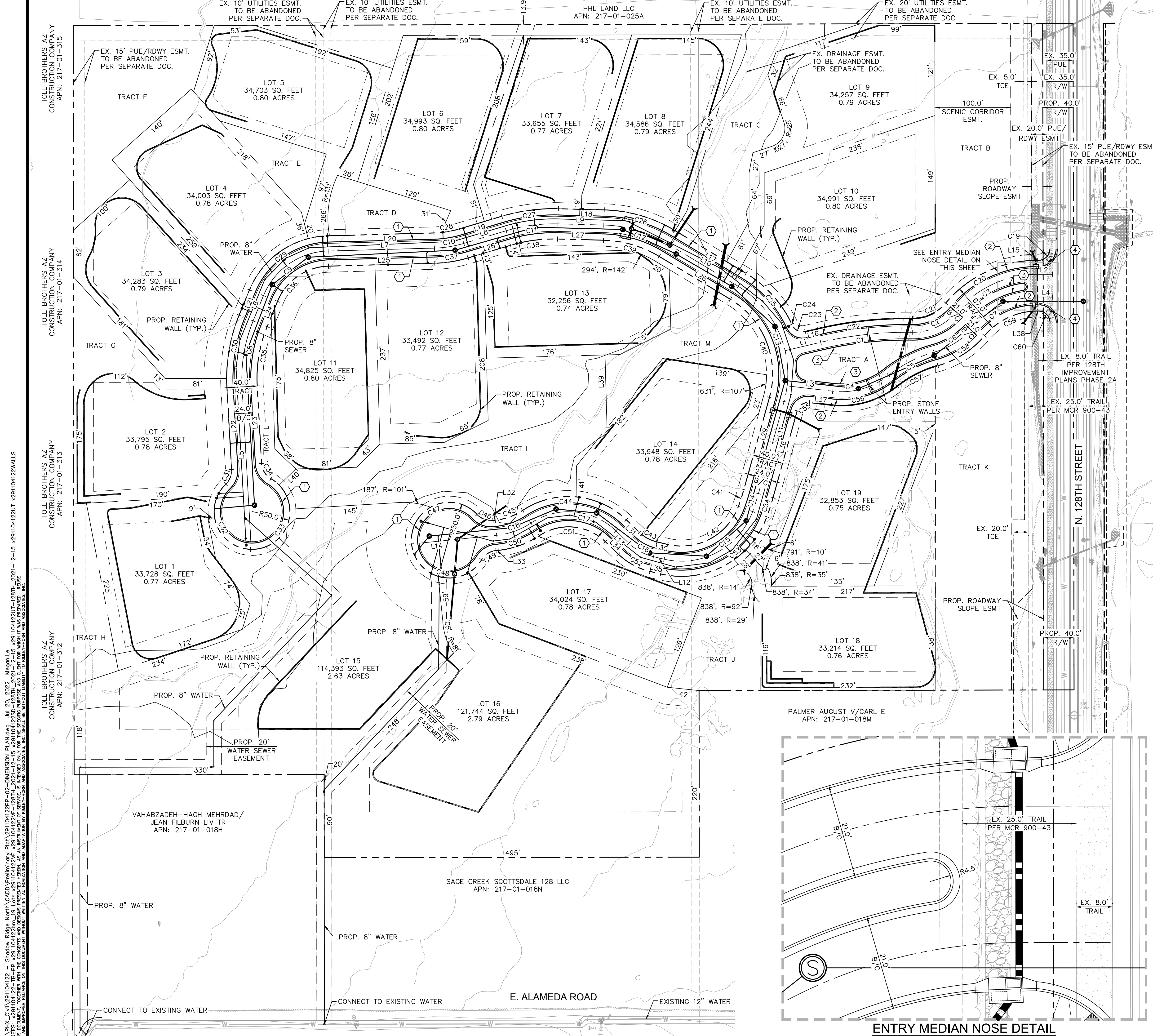
R1-43 ESL	FRONT 30 FT
	REAR 26.25 FT
	SIDE 15 FT
R1-130 ESL	FRONT 60 FT
	REAR 60 FT
	SIDE 22.50 FT

**NATIVE PLANT NOTE**

ALL PLANTS THAT ARE PROPOSED TO BE INSTALLED IN BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.903 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

K:\VHK\_Civil\291104122 - Shadow Ridge North\CA00\Preliminary Plat\291104122PP-01-CV.dwg Jul 20, 2022 MeganLe  
 XREFS: 291104122 - 1B - PP 291104122.dwg 19 Lots  
 THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN PERMISSION FROM KIMLEY-HORN AND ASSOCIATES, INC.

**Kimley»Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500  
 SCALE (H): N/A  
 SCALE (V): N/A  
 DESIGNED BY: MML  
 DRAWN BY: BAV  
 CHECKED BY: CLB  
 DATE: 01/04/2022  
 SHADOW RIDGE NORTH  
 PRELIMINARY PLAT  
 COVER SHEET  
 SCOTTSDALE, ARIZONA  
 PROJECT NO. 291104122  
 DRAWING NAME  
 1 OF 8



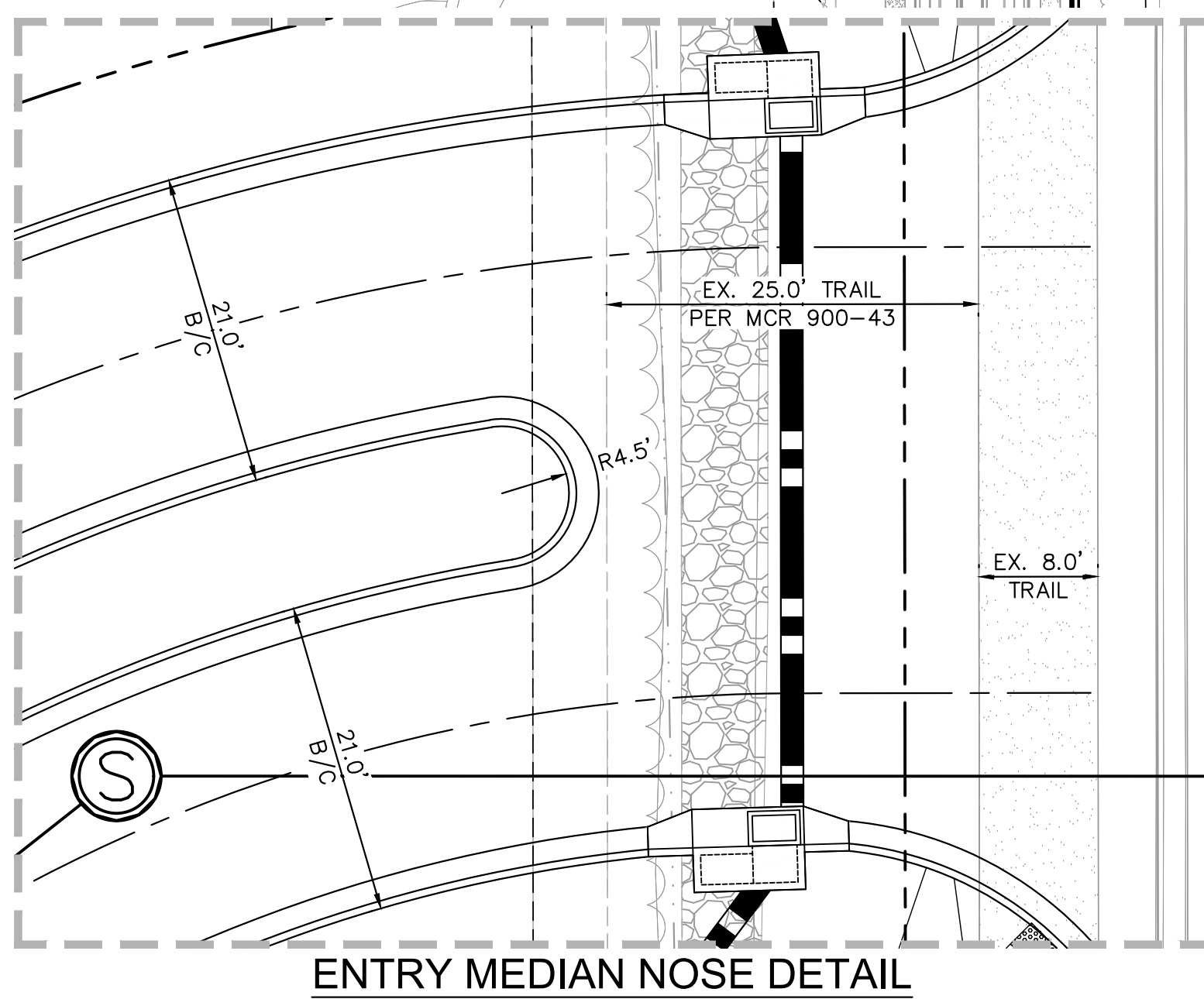
- GRADING CONSTRUCTION NOTES**
- CONSTRUCT ROLL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE C.
  - CONSTRUCT VERTICAL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE A.
  - CONSTRUCT SINGLE CURB PER MAG STD DTL 222, TYPE A.
  - CONSTRUCT DIRECTIONAL SIDEWALK RAMP PER COS STD DTL 2232 TO CONNECT TO EXISTING 8' DG TRAIL.

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	500.00'	121.86'	13°57'49"	61.23'
C2	75.00'	66.33'	50°40'24"	35.51'
C3	140.00'	121.76'	49°49'58"	65.03'
C4	100.00'	78.62'	45°02'35"	41.47'
C5	170.00'	67.99'	22°54'55"	34.46'
C6	105.00'	63.10'	34°25'58"	32.54'
C7	110.00'	95.67'	49°49'58"	51.10'
C8	199.75'	89.06'	25°32'45"	45.28'
C9	95.00'	109.68'	66°08'52"	61.87'
C10	150.00'	39.41'	15°03'19"	19.82'
C11	220.00'	69.36'	18°03'48"	34.97'
C12	170.00'	87.85'	29°36'36"	44.93'
C13	135.14'	175.69'	74°29'07"	102.74'
C14	309.22'	24.88'	4°36'36"	12.45'
C15	100.00'	145.04'	83°05'58"	88.63'
C16	70.00'	37.43'	30°38'25"	19.18'
C17	90.00'	121.65'	77°26'48"	72.16'
C18	100.00'	48.40'	27°43'50"	24.68'
C19	15.00'	23.56'	90°00'29"	15.00'
C20	158.50'	137.86'	49°49'58"	73.63'
C21	56.50'	49.97'	50°40'24"	26.75'
C22	518.50'	126.37'	13°57'49"	63.50'
C23	15.00'	21.29'	81°18'46"	12.88'
C24	15.00'	0.70'	2°40'05"	0.35'
C25	155.14'	91.67'	33°51'18"	47.22'
C26	190.00'	98.19'	29°36'36"	50.22'
C27	240.00'	75.66'	18°03'48"	38.15'
C28	130.00'	34.16'	15°03'19"	17.18'
C29	115.00'	132.77'	66°08'52"	74.89'
C30	219.76'	97.98'	25°32'45"	49.82'
C31	25.00'	21.58'	49°27'21"	11.51'
C32	50.00'	117.00'	134°04'21"	118.00'
C33	50.00'	132.66'	152°01'07"	200.68'
C34	25.00'	24.71'	56°38'07"	13.47'
C35	179.74'	80.14'	25°32'45"	40.75'
C36	75.00'	86.59'	66°08'52"	48.84'
C37	170.00'	44.67'	15°03'19"	22.46'
C38	200.00'	63.05'	18°03'48"	31.79'
C39	150.00'	77.52'	29°36'36"	39.65'
C40	115.14'	149.69'	74°29'07"	87.53'
C41	289.22'	23.27'	4°36'36"	11.64'
C42	80.00'	116.03'	83°05'58"	70.90'
C43	50.00'	26.74'	30°38'25"	13.70'
C44	110.00'	148.69'	77°26'48"	88.20'
C45	80.00'	38.72'	27°43'50"	19.75'
C46	25.00'	23.18'	53°07'48"	12.50'
C47	50.00'	124.90'	143°07'48"	150.00'
C48	50.00'	124.90'	143°07'48"	150.00'
C49	25.00'	23.18'	53°07'48"	12.50'
C50	120.00'	58.08'	27°43'50"	29.62'
C51	70.00'	94.62'	77°26'48"	56.13'
C52	90.00'	48.13'	30°38'25"	24.66'
C53	120.00'	174.04'	83°05'58"	106.35'
C54	329.22'	26.49'	4°36'36"	13.25'
C55	15.00'	21.23'	81°05'30"	12.83'
C56	118.50'	93.16'	45°02'35"	49.14'
C57	151.50'	60.59'	22°54'55"	30.71'
C58	123.50'	74.22'	34°25'58"	38.27'
C59	91.50'	79.58'	49°49'58"	42.50'
C60	15.00'	23.56'	89°59'31"	15.00'

**LINE TABLE**

LINE	LENGTH	BEARING
L1	48.30	N76°47'20.80"E
L2	20.07	N89°55'14.15"E
L3	60.73	S83°21'35.23"E
L4	20.07	N89°55'14.15"E
L5	204.81	N31°4'54.25"W
L6	36.06	N22°17'51.08"E
L7	140.40	N88°26'43.35"E
L8	58.37	N73°23'24.01"E
L9	60.58	S88°32'47.96"E
L10	109.81	S58°56'12.45"E
L11	126.28	S15°32'54.41"W
L12	14.51	N76°44'31.26"W
L13	23.84	N46°06'06.54"W
L14	103.07	S84°10'56.33"W
L15	1.56	S89°55'14.15"W
L16	16.63	S76°47'20.80"W
L17	109.81	N58°56'12.45"W
L18	60.58	N88°32'47.96"W
L19	58.37	S73°23'24.01"W
L20	140.40	S88°26'43.35"W
L21	36.06	S22°17'51.08"W
L22	107.99	S31°4'54.25"E
L23	102.35	N31°4'54.25"E
L24	36.05	N22°17'51.08"E
L25	140.40	N88°26'43.35"E
L26	58.37	N73°23'24.01"E
L27	60.58	S88°32'47.96"E
L28	109.81	S58°56'12.45"E
L29	126.28	S15°32'54.41"W
L30	14.51	N76°44'31.26"W
L31	23.84	N46°06'06.54"W
L32	3.07	S84°10'56.33"W
L33	3.07	N84°10'56.33"E
L34	23.84	S46°06'06.54"E
L35	14.51	S76°44'31.26"E
L36	119.04	N15°32'54.41"E
L37	28.90	S83°21'35.23"E
L38	1.57	N89°55'14.16"E
L39	96.28	N1°33'16.65"W
L40	30.66	S45°52'37.42"W



**Kimley»Horn**

SHADOW RIDGE NORTH  
PRELIMINARY PLAN  
DIMENSION PLAN  
SCOTTSDALE, ARIZONA

SCALE (H): 1"=60'  
SCALE (V): N/A

DESIGNED BY: MML  
DRAWN BY: BAY  
CHECKED BY: CLB  
DATE: 01/04/2022

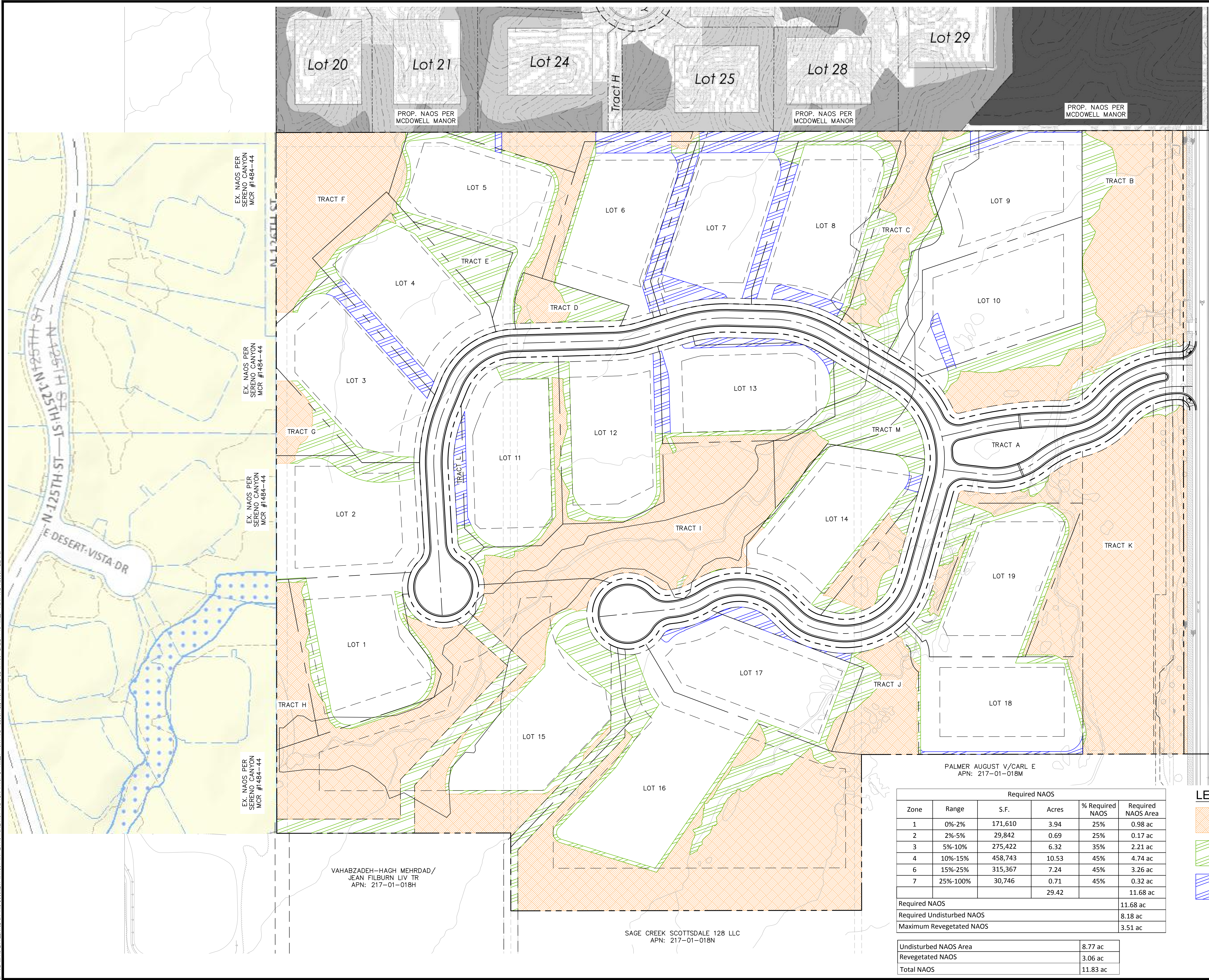
EXPIRES 06/30/2023

PROJECT NO. 291104122  
DRAWING NAME

2 OF 8

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EX. NAOS PER SERENO CANYON MCR #1484-44

PROP. NAOS PER MCDOWELL MANOR

PROP. NAOS PER MCDOWELL MANOR

PROP. NAOS PER MCDOWELL MANOR

VAHABZADEH-HAGH MEHRDAD/  
 JEAN FILBURN LIV TR  
 APN: 217-01-018H



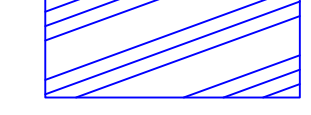
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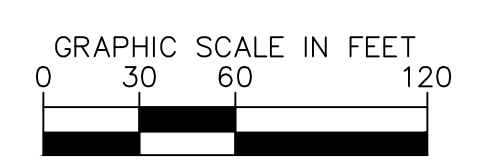
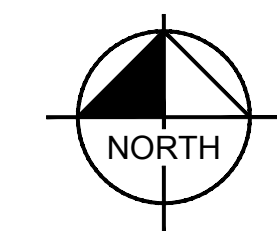
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 APN: 217-01-018M

Required NAOS						
Zone	Range	S.F.	Acres	% Required NAOS	Required NAOS Area	
1	0%-2%	171,610	3.94	25%	0.98 ac	
2	2%-5%	29,842	0.69	25%	0.17 ac	
3	5%-10%	275,422	6.32	35%	2.21 ac	
4	10%-15%	458,743	10.53	45%	4.74 ac	
6	15%-25%	315,367	7.24	45%	3.26 ac	
7	25%-100%	30,746	0.71	45%	0.32 ac	
					29.42	11.68 ac
Required NAOS					11.68 ac	
Required Undisturbed NAOS					8.18 ac	
Maximum Revegetated NAOS					3.51 ac	

Undisturbed NAOS Area	8.77 ac
Revegetated NAOS	3.06 ac
Total NAOS	11.83 ac

**LEGEND**

-  UNDISTURBED NAOS
-  REVEGETATED NAOS
-  NON-NAOS OPEN SPACE



**Kimley»Horn**

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 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500

SCALE (H): 1"=60'  
 SCALE (V): N/A  
 DESIGNED BY: MML  
 DRAWN BY: BAV  
 CHECKED BY: CLB  
 DATE: 01/04/2022

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SHADOW RIDGE NORTH  
**PRELIMINARY PLAT**  
 NAOS PLAN  
 SCOTTSDALE, ARIZONA

REVISION NO. BY DATE APPR.

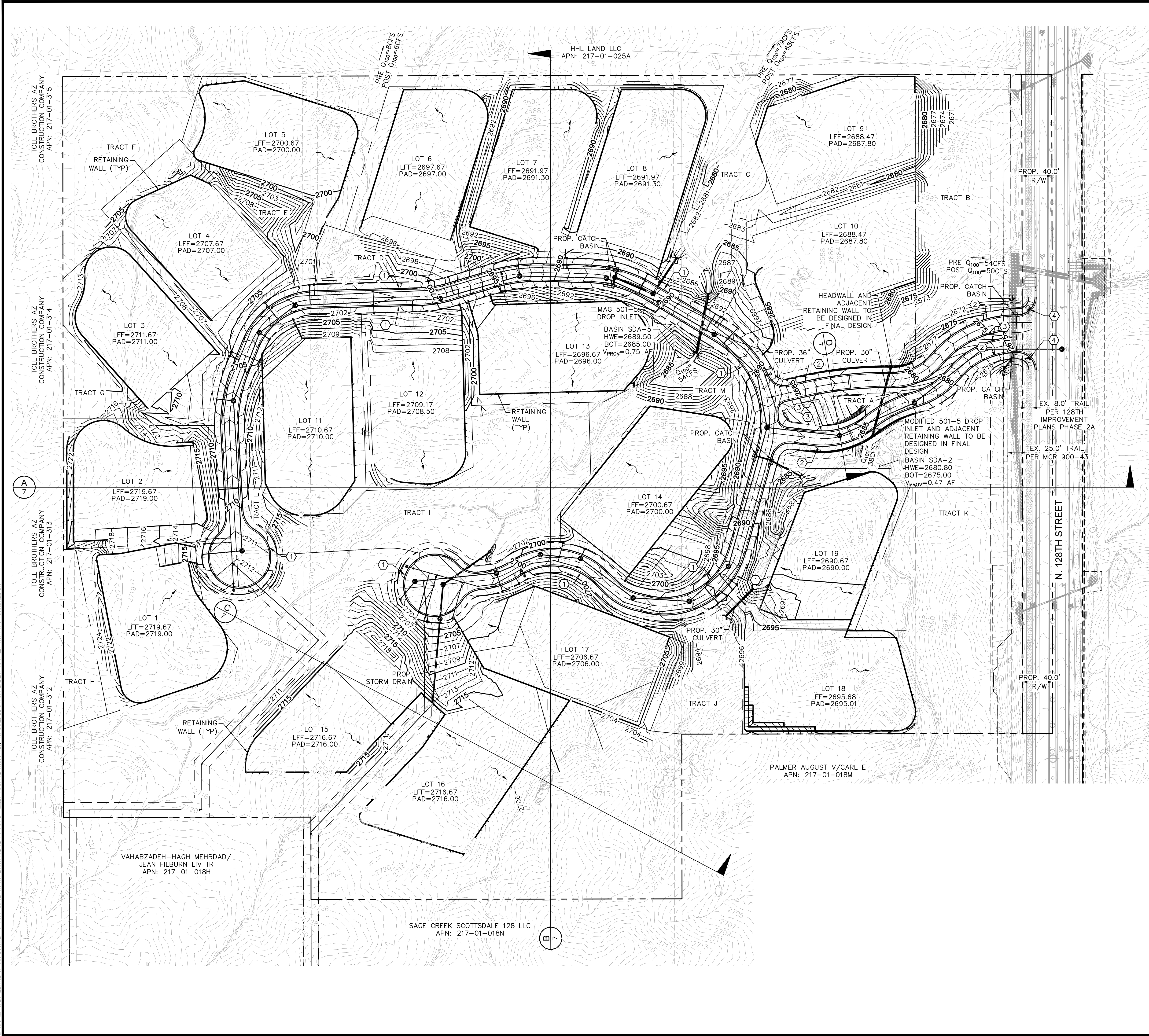
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Professional Engineer  
 CERTIFICATE NO. 71992  
 MEGAN LE  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 ARIZONA, USA

EXPIRES 06/30/2023

PROJECT NO. 291104122  
 DRAWING NAME  
 3 OF 8

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- GRADING CONSTRUCTION NOTES**
- 1 CONSTRUCT ROLL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE C.
  - 2 CONSTRUCT VERTICAL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE A.
  - 3 CONSTRUCT SINGLE CURB PER MAG STD DTL 222, TYPE A.
  - 4 CONSTRUCT DIRECTIONAL SIDEWALK RAMP PER COS STD DTL 2232 TO CONNECT TO EXISTING 8' DG TRAIL.

NO.	REVISION	BY	DATE	APPR.

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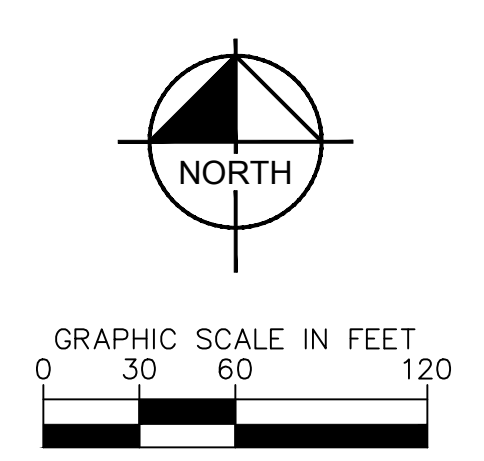
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 SCALE (V): N/A  
 DESIGNED BY: MML  
 DRAWN BY: BAV  
 CHECKED BY: CLB  
 DATE: 01/04/2022

SHADOW RIDGE NORTH  
 PRELIMINARY PLAT  
 GRADING AND DRAINAGE PLAN  
 SCOTTSDALE, ARIZONA



PROJECT NO.  
291104122

DRAWING NAME



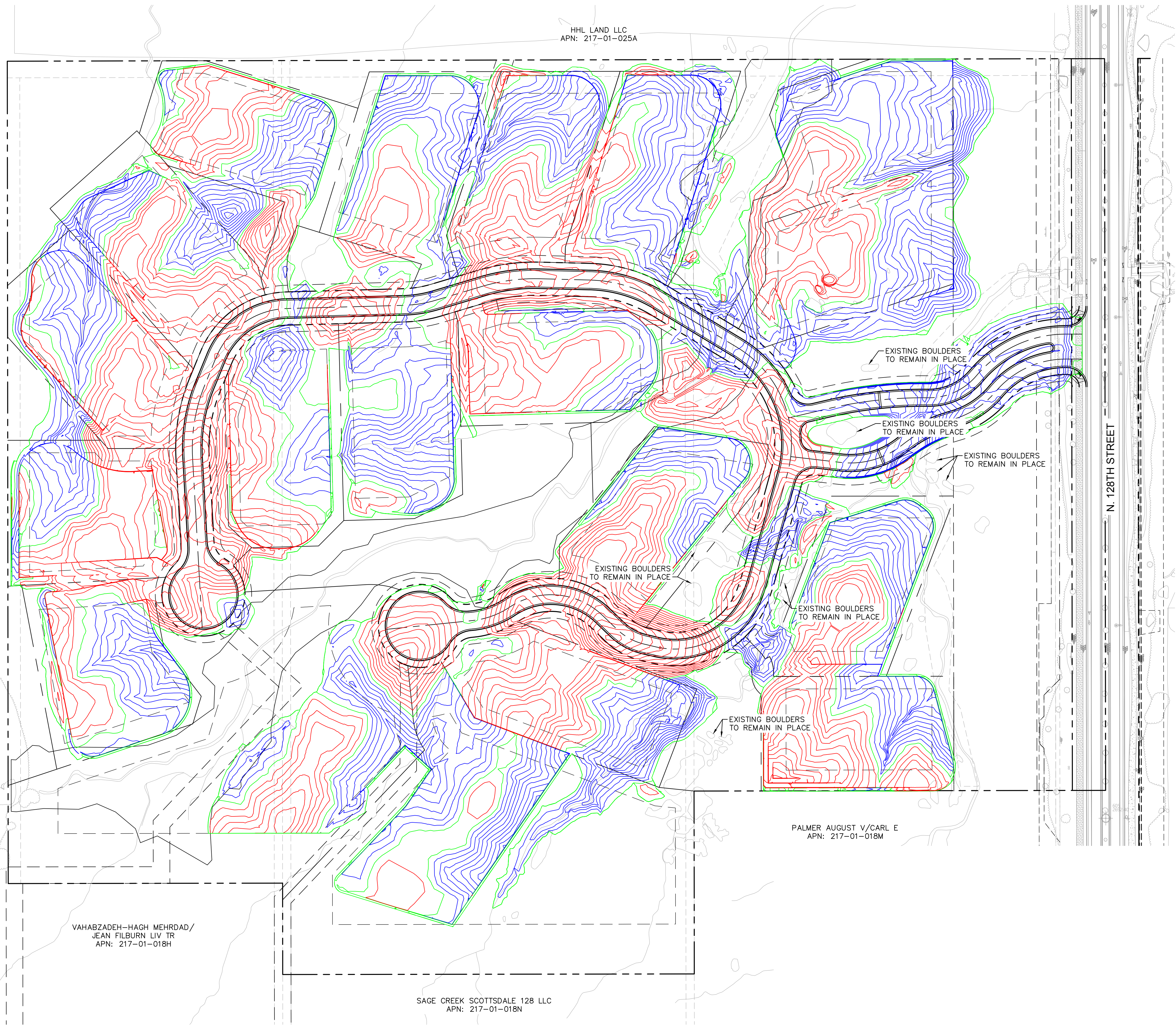




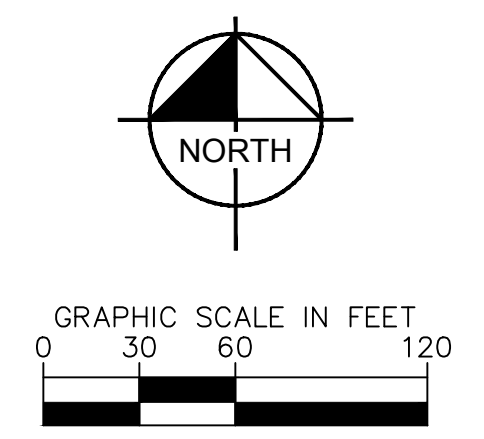


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TOLL BROTHERS AZ CONSTRUCTION COMPANY APN: 217-01-315  
 TOLL BROTHERS AZ CONSTRUCTION COMPANY APN: 217-01-314  
 TOLL BROTHERS AZ CONSTRUCTION COMPANY APN: 217-01-313  
 TOLL BROTHERS AZ CONSTRUCTION COMPANY APN: 217-01-312



— CUT  
 — DAYLIGHT  
 — FILL



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SHADOW RIDGE NORTH PRELIMINARY PLAN CUT AND FILL PLAN SCOTTSDALE, ARIZONA		SCALE (H): 1"=60' SCALE (V): N/A DESIGNED BY: MML DRAWN BY: BAV CHECKED BY: CLB DATE: 01/04/2022		PROJECT NO. 291104122		
PROFESSIONAL ENGINEER CERTIFICATE NO. 71992 MEGAN LE KIMLEY-HORN AND ASSOCIATES, INC. ARIZONA, USA EXPIRES 06/30/2023		DRAWING NAME		8 OF 8		