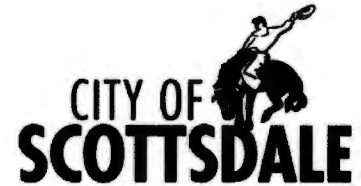


Affidavit of Authorization to Act for Property Owner



1. This affidavit concerns the following parcel of land:

- a. Street Address: 911, 913, 925 N. SCOTTSDALE RD
- b. County Tax Assessor's Parcel Number: 131-41-002F, 131-41-002E, 131-41-001
- c. General Location: SE CORNER OF SCOTTSDALE RD AND E ROOSEVELT ST
- d. Parcel Size: 13,682 SF, 13,681 SF, 13,618 SF
- e. Legal Description: NEW PARADO PARKWAY 10 - SEE ATTACHED LEGAL DESCRIPTION
(If the land is a platted lot, then write the lot number, subdivision name, and the plat's recording number and date. Otherwise, write "see attached legal description" and attach a legal description.)

- 2. I am the owner of the land or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this affidavit on the owner's behalf. If the land has more than one owner, then I am the agent for all of the owners, and the word "owner" in this affidavit refers to all of them.
- 3. I have authority from the owner to act for the owner before the City of Scottsdale with regard to any and all reviews, zoning map amendments, general plan amendments, development variances, abandonments, plats, lot splits, lot ties, use permits, building permits and other land use regulatory or related matters of every description involving the land, or involving adjacent or nearby lands in which the owner has (or may acquire) an interest, and all applications, dedications, payments, assurances, decisions, agreements, legal documents, commitments, waivers and other matters relating to any of them.
- 4. The City of Scottsdale is authorized to rely on my authority as described in this affidavit until three work days after the day the owner delivers to the Director of the Scottsdale Planning & Development Services Department a written statement revoking my authority.
- 5. I will immediately deliver to the Director of the City of Scottsdale Planning & Development Services Department written notice of any change in the ownership of the land or in my authority to act for the owner.
- 6. If more than one person signs this affidavit, each of them, acting alone, shall have the authority described in this affidavit, and each of them warrant to the City of Scottsdale the authority of the others.
- 7. Under penalty of perjury, I warrant and represent to the City of Scottsdale that this affidavit is true and complete. I understand that any error or incomplete information in this affidavit or any applications may invalidate approvals or other actions taken by the City of Scottsdale, may otherwise delay or prevent development of the land, and may expose me and the owner to other liability. I understand that people who have not signed this form may be prohibited from speaking for the owner at public meetings or in other city processes.

Name (printed)

Rich McOFF

Date

1-14, 2021
_____, 20____
_____, 20____
_____, 20____

Signature

[Signature]

Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • www.ScottsdaleAZ.gov

Unofficial Document

Recording Requested by:
Wilenchik & Bartness, P.C.
When recorded mail to:
Wilenchik & Bartness, P.C.
2810 N. 3rd Street
Phoenix, AZ 85004

1 OF 2

SPECIAL WARRANTY DEED

For the consideration of TEN AND NO/100 DOLLARS, and other valuable considerations, I or we,

Canuk, L.L.C., an Arizona limited liability company, the GRANTOR does hereby convey to

NPC Properties III LLC, an Arizona limited liability company, the GRANTEE

the following described property situated in Maricopa County, Arizona:

LOT 313, OF NEW PAPAGO PARKWAY UNIT 10, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 90 OF MAPS, PAGE 41.

Subject To: Existing taxes, assessments, liens, encumbrances, covenants, conditions, restrictions, rights of way and easements of record.

And the GRANTOR binds itself and its successors to warrant the title as against its acts and none other, subject to the matters set forth.

Warranty Deed - continued

DATED: March 3, 2009

Canuk L.L.C., an Arizona limited liability company

Andrew Diamond
By: Andrew Diamond, Member

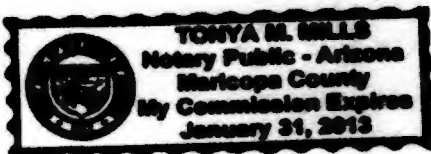
STATE OF Arizona)
)S.S.
County of Maricopa)

On March 3, 2009, before me, the undersigned Notary Public, personally appeared Andrew Diamond, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

My Commission Expires:

Inte
Notary Public



Unofficial Document

MARICOPA COUNTY RECORDER
HELEN PURCELL
2009-0173233 02/27/09 11:05 AM
19 OF 30

When recorded, return to:

Jason M. Silver

Silver Law PLC

4800 N. Scottsdale Road, Sixth Floor

Scottsdale, Arizona 85251

SPECIAL WARRANTY DEED

For the consideration of Twelve Dollars (\$12.00) and other valuable considerations, Craig Diamond, a married man as his sole and separate property ("Grantor"), hereby convey to NPC Properties II LLC ("Grantee"), the following real property situated in Maricopa County, Arizona, together with all rights and privileges appurtenant thereto:

The South 109.45 feet of lot 314, of New Papago Parkway Unit 10, according to the Plat of Record in the Office of the County Recorder of Maricopa County, Arizona, Recorded in Book 90 of Maps, page 41.

SUBJECT to all taxes and other assessments, reservations in patents and all easements, rights-of-way, encumbrances, liens, covenants, conditions, restrictions, obligations and liabilities as may appear of record and all matters which an accurate survey of the property or a physical inspection of the property would disclose.

DATED effective as of the 9th day of February, 2009.


Craig Diamond

February 9, 2009

"Grantor"

STATE OF ARIZONA)

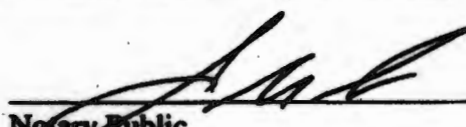
) ss.

County of Maricopa)

The foregoing instrument was acknowledged before me this 9th day of February, 2009, by Craig Diamond.

My Commission Expires:

7/2/09


Notary Public

