

EMPIRE GROUP

The Osborn



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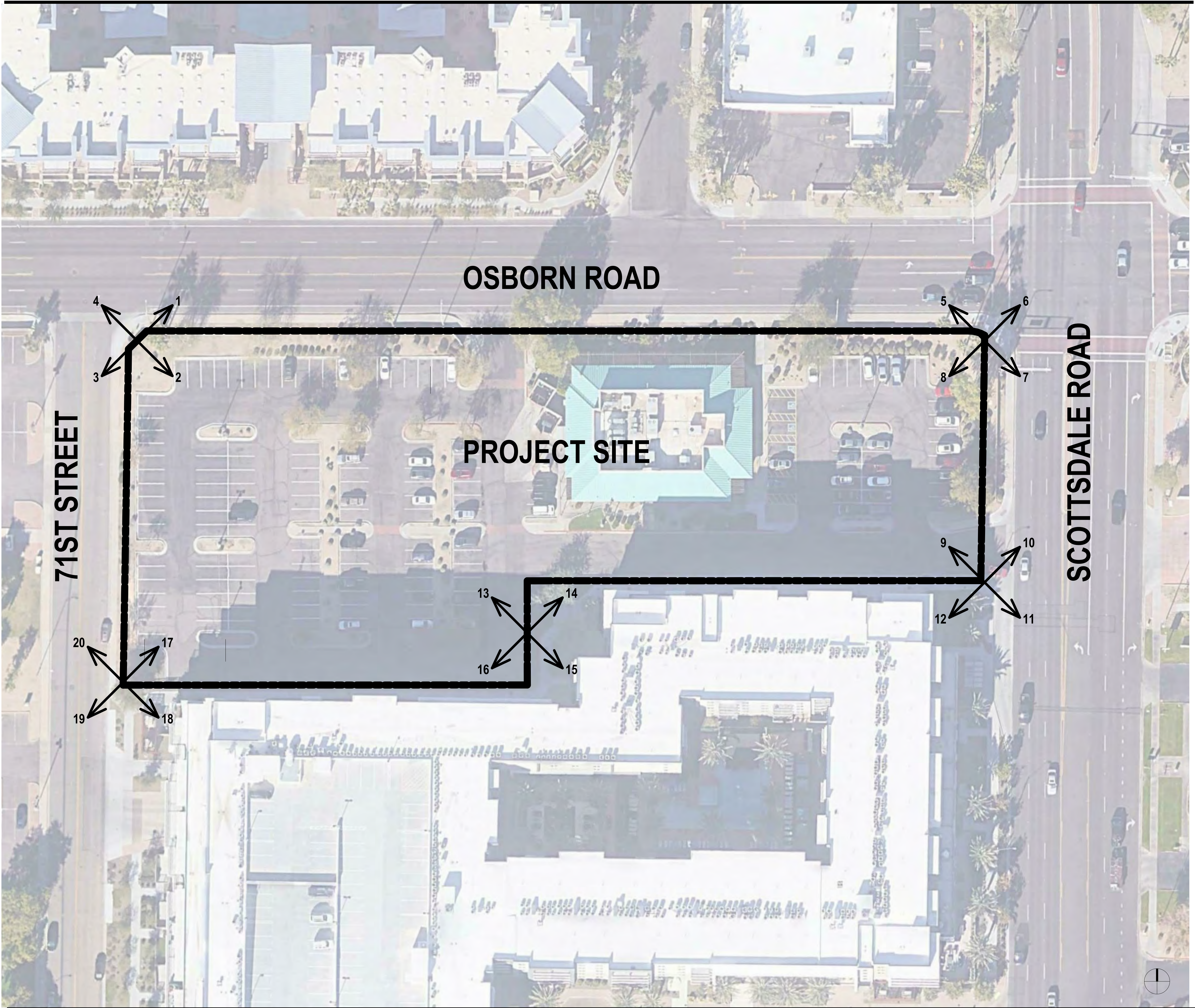
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1 SITE PLAN - EXISTING CONDITIONS
SCALE: 1" = 30'-0"

SHEET NOTES

GENERAL NOTES

KEY PLAN

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△	Date	Description
	11/19/2021	Site Plan Submittal
	02/23/2022	Site Plan Re-submittal

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

The Osborn

Project Number

57.8211.000

Description

PHOTOS OF EXISTING CONDITIONS

Scale

1" = 30'-0"

17.0

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VIEW 1 From East Osborn Rd. Looking NE



VIEW 2 From East Osborn Rd. Looking SE



VIEW 3 From East Osborn Rd. Looking SW



VIEW 4 From East Osborn Rd. Looking NW



VIEW 5 From Intersection of E. Osborn Rd. and N. Scottsdale Rd. Looking NW



VIEW 6 From Intersection of E. Osborn Rd. and N. Scottsdale Rd. Looking NE



VIEW 7 From Intersection of E. Osborn Rd. and N. Scottsdale Rd. Looking SE



VIEW 8 From Intersection of E. Osborn Rd. and N. Scottsdale Rd. Looking SW



VIEW 9 From N. Scottsdale Rd. Looking NW



VIEW 10 From N. Scottsdale Rd. Looking NE



VIEW 11 From N. Scottsdale Rd. Looking SE



VIEW 12 From N. Scottsdale Rd. Looking SW

SHEET NOTES

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Description	PHOTOS OF EXISTING CONDITIONS

Scale

17.1

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KEY PLAN



VIEW 13 Along Turn at South Property Line Looking NW



VIEW 14 Along Turn at South Property Line Looking NE



VIEW 15 Along Turn at South Property Line Looking SE



VIEW 16 Along Turn at South Property Line Looking SW



VIEW 17 From N. 71st St. Looking NE



VIEW 18 From N. 71st St. Looking SE



VIEW 19 From N. 71st St. Looking SW



VIEW 20 From N. 71st St. Looking NW

SHEET NOTES

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PHOTOS OF EXISTING CONDITIONS

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KEY PLAN

17.2

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1 CONTEXT PLAN

SCALE: 1" = 80'-0"

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COS STAMP

Project Name

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Description

CONTEXT PLAN

Scale

1" = 80'-0"

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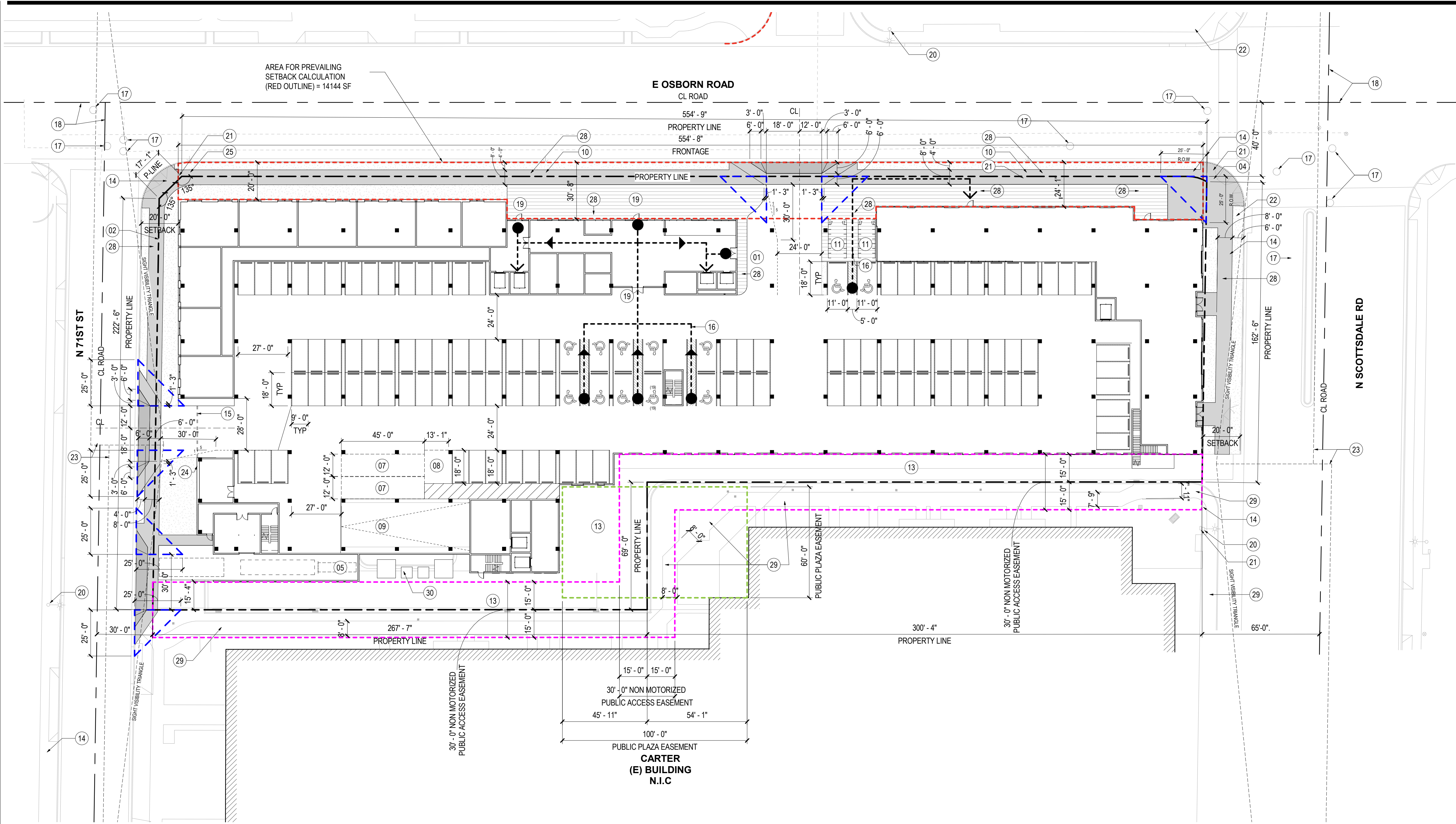
Gensler + SYDNOR

EMPIRE GROUP | SCOTTSDALE AND OSBORN

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CASE PRE-APP NUMBER - 914-PA-2021
EXHIBIT 4

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1 SITE PLAN - LEVEL 01

SCALE: 1" = 30'-0"

ZONING

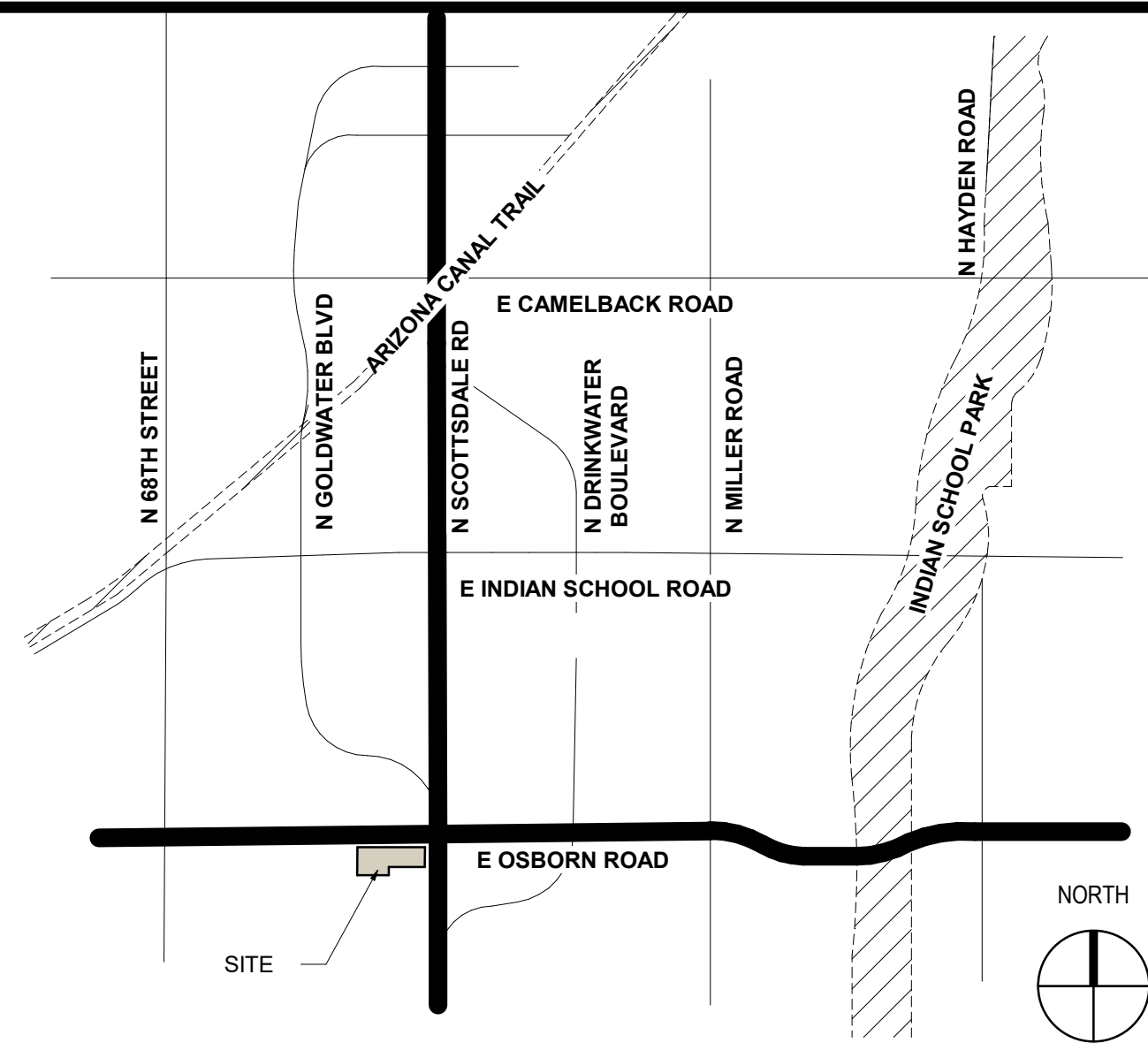
ASSESSOR'S PARCEL NO. -	130-16-114
PARCEL ZONING:	D/DMU - TYPE 2 PBD DO
DEVELOPMENT	TYPE 2
PROPOSED BUILDING HEIGHT	74'
BASE BUILDING HEIGHT	66'
GROSS LOT AREA	3.59 +/- GROSS ACRES
NET LOT AREA	2.58 +/- NET ACRES
SETBACKS	SCOTTSDALE ROAD 20'-0" REQUIRED AND PROVIDED 71ST STREET 20' REQUIRED AND PROVIDED OSBORN ROAD PREVAILING SETBACK CALCULATION: PER DEVELOPMENT STANDARDS, IN A TYPE 2 AREA, FACADE GREATER THAN 200' SHOULD BE LOCATED SUCH THAT THE PREVAILING SETBACK IS BETWEEN 25' - 35'. AREA BETWEEN BACK OF CURB AND BUILDING FACADE = 14144 SF FRONTAGE = 554'-8" PREVAILING SETBACK = AREA/LENGTH = 13886/553.9 = 25.5, WHICH MEETS REQUIREMENTS.
STEPBACKS	PER THE ZONING ORDINANCE NO AMENDMENTS
GFAR MAXIMUM	1.4 OR 539,700 SF
GROSS FLOOR AREA	270,105 SF

PARKING

VEHICULAR PARKING REQUIRED	
ASSISTED LIVING	0.70 PER UNIT
INDEPENDENT LIVING	1.25 PER UNIT
RESTAURANT	
ASSISTED LIVING + MEMORY CARE	(7 X 115 UNITS) = 81 SPACES
INDEPENDENT LIVING	(125 X 132) = 165 SPACES
RESTAURANT	(1 PER 300 FOR 9622 SF OF RESTAURANT) = 33 SPACES
PARKING REQUIRED	= 279 SPACES
PARKING PROVIDED	
LOWER LEVEL 01	222 SPACES
LEVEL 01	116 SPACES
PARKING PROVIDED	338 SPACES
ACCESSIBLE PARKING PROVIDED	
(THESE ARE INCLUDED IN TOTAL COUNT NOTED ABOVE)	13 SPACES
BICYCLE PARKING	
REQUIRED = 1 PER EVERY 10 VEHICULAR PARKING	
PER 338 VEHICULAR PARKING	
REQUIRED = (338 X 2)/10 = 68 REQUIRED	
68 PROVIDED	

PROGRAM

MEMORY CARE	31,710 GSF
	38 UNITS
ASSISTED LIVING	74,620 GSF
	77 UNITS
INDEPENDENT LIVING	126,066 GSF
	132 UNITS
RESTAURANT	9,929 SF
COMMON AREAS	27,780 SF
TOTAL GROSS FLOOR AREA =	270,105 SF



VICINITY MAP

SCALE: 1" = 30'-0"

SHEET NOTES

- 01 RESIDENTIAL DROP-OFF
- 02 PROPERTY LINE
- 03 FIRELANE
- 04 ELECTRICAL EQUIPMENT
- 05 REFUSE COMPACTOR
- 07 45' X 12' LOADING AREA
- 08 13' X 18' LOADING AREA
- 09 RAMP DOWN TO PARKING LEVEL BELOW
- 10 LIGHT FIXTURES ARE TO BE REPLACED WITH THE CURRENT APPLICABLE STANDARD. THESE FIXTURES WILL BE REPLACED AND RELOCATED AS REQUIRED TO ACCOMMODATE THE PROPOSED DEVELOPMENT.
- 11 BICYCLE PARKING
- 13 PASEO
- 14 (E) FIRE HYDRANT
- 15 VEHICULAR ENTRY GATE
- 16 ADA ACCESS ROUTE
- 17 MANHOLE
- 18 STREET CENTER LINE
- 19 MAIN ENTRY
- 20 RECYCLE CONTAINERS
- 21 (E) STREET LIGHT PBOX
- 22 (E) TRAFFIC LIGHT
- 23 SIGHT VISIBILITY TRIANGLE (SVT)
- 24 KNOX AND STROBE ACCESS SYSTEM
- 25 LIGHT FIXTURE CONTAINS CELL TOWER ON THE POLE. FIXTURE TO REMAIN IN PLACE. IF RELOCATION IS NEEDED, OWNER WILL COORDINATE WITH CELL PROVIDER FOR REQUIRED RELOCATION AND ASSOCIATED COSTS.
- 28 NEW SIDEWALK
- 29 EXISTING SIDEWALK TO REMAIN
- 30 UTILITY EQUIPMENT

LEGEND

- PREVAILING SETBACK
- NON MOTORIZED PUBLIC ACCESS EASEMENT
- PUBLIC PLAZA EASEMENT
- 25' ROW / SAFETY TRIANGLE EASEMENTS

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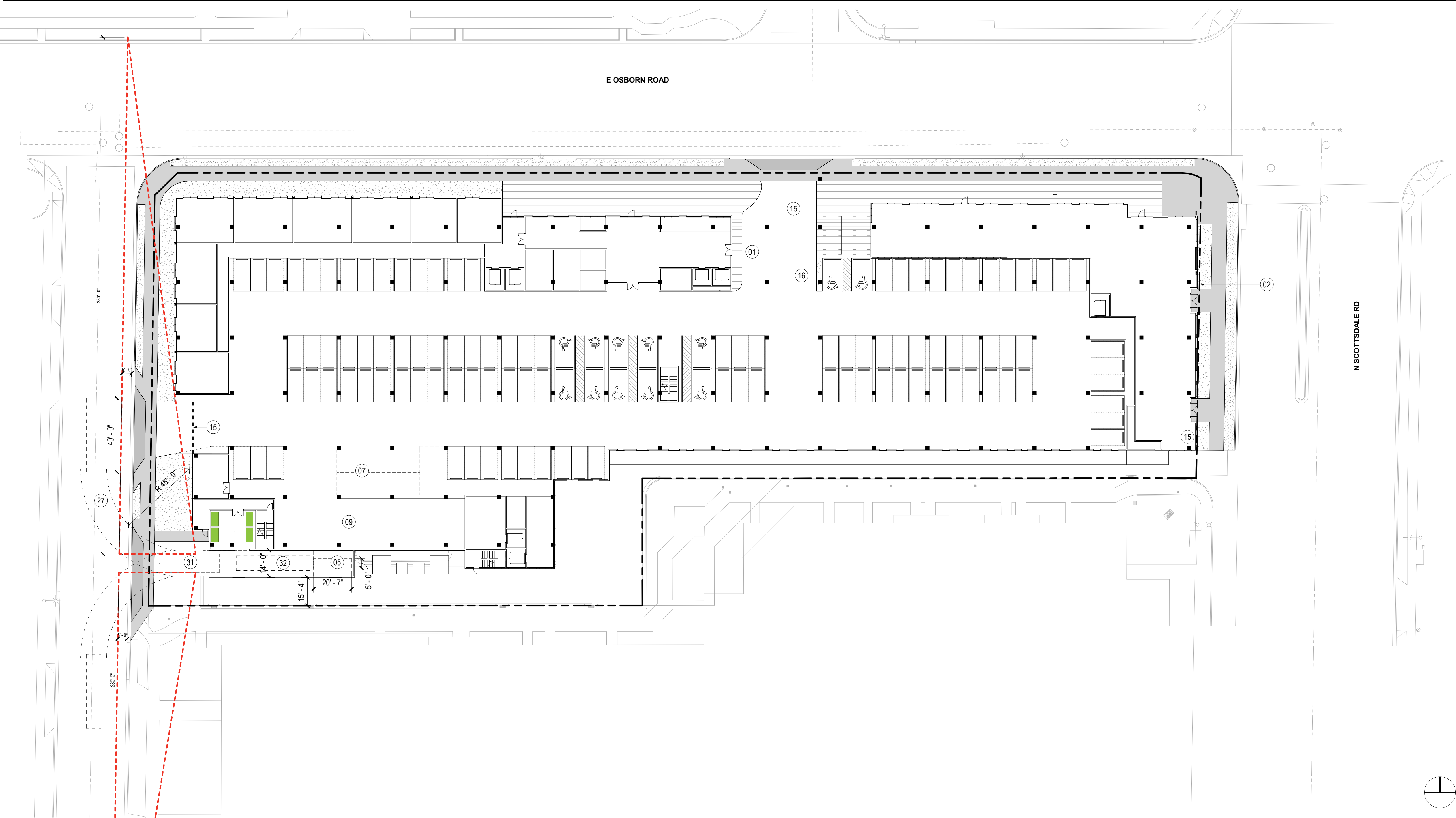
SITE PLAN

Scale

As indicated

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1 SITE PLAN - REFUSE PLAN

SCALE: 1" = 30'-0"

PRIVATE WASTE MANAGEMENT PLAN

- RESTAURANTS AND BARS THAT SERVE FOOD MUST PROVIDE ENCLOSURES WITH GREASE CONTAINMENT AREAS IN ACCORDANCE WITH THE C.O.S. MAG DETAILS AND TABLE 2-1.311.
- A MAXIMUM 100 FEET DISTANCE FOR BUILDING SERVICE EXIT TO REFUSE ENCLOSURE.
- PROVIDE A PATH OF TRAVEL FOR THE REFUSE TRUCK ACCOMMODATES A MINIMUM VEHICLE OF TURNING RADIUS OF 45 FEET, AND VEHICLE LENGTH OF 40 FEET.
- REFUSE ENCLOSURE(S) AND APPROACH PAD TO BE LEVEL, WITH A MAXIMUM OF A TWO PERCENT SLOPE.
- VERTICAL CLEARANCE (FROM PUBLIC STREET): 13.5' (MINIMUM) 14' (RECOMMENDED)
- VERTICAL CLEARANCE (APPROACHING ENCLOSURE) :25'

REFUSE COLLECTION COMPANY: SOLID WASTE MANAGEMENT

TABLE 2-1.311.1. B.		
USE	REQUIRED NUMBER OF REFUSE ENCLOSURES WITHOUT RECYCLING	REQUIRED NUMBER OF REFUSE ENCLOSURES WITH RECYCLING
Non-Residential Development	1 enclosure for each 20,000 square feet of building space or portion thereof per COS Standard Details #2146-1 or 2147-1	2 enclosures for each 30,000 square feet of building space or portion thereof per COS Standard Details #2147-1 or 2147-2
Apartments & Condominiums	1 enclosure for every 20 units or portion thereof per COS Standard Details #2146-1 or 2147-1	2 enclosures for every 30 units or portion thereof per COS Standard Details #2146-1 or 2147-1

TABLE 2-1.311.1. B.		
USE	REQUIRED NUMBER OF REFUSE ENCLOSURES WITHOUT RECYCLING	REQUIRED NUMBER OF REFUSE ENCLOSURES WITH RECYCLING
Restaurants / Bars	1 enclosure with a grease containment Area per COS Standard Details #2146-2 or 2147-2	1 enclosure with a grease containment Area and 1 enclosure without a containment Area per COS Standard Details # 2147-2
Mixed-use Development (Non-Residential with Residential)	1 enclosure for first 10,000 square feet of non-residential building area and the first 10 units or portion thereof per. Where additional non-residential building square footage area and units are provided, 1 enclosure for each additional 20,000 square feet of non-residential floor area, and 1 enclosure additional for each 20 units or portion thereof. Restaurants and Bars that serve food shall provide separate refuse enclosures.	2 enclosures for first 15,000 square feet of non-residential building area and the first 15 units or portion thereof per. Where additional non-residential building square footage area and units are provided, 2 enclosures for each additional 30,000 square feet of non-residential floor area, and 2 enclosures additional for each 30 units or portion thereof. Restaurants and Bars that serve food shall provide separate refuse enclosures.

NON-RESIDENTIAL:

REFUSE CONTAINERS WITHOUT RECYCLING:
1 PER 20,000
FOR 27,780 SF OF NON RESIDENTIAL AREA
REQUIRED CONTAINERS = 27,780 SF / 20,000 SF
= 1.39 CONTAINERS

REFUSE CONTAINERS WITH RECYCLING:
2 PER 30,000
FOR 27,780 SF OF NON RESIDENTIAL AREA
REQUIRED CONTAINERS = (27,780 X 2) /30,000 =
1.85 CONTAINERS

RESTAURANT:

REFUSE CONTAINERS WITHOUT RECYCLING:
1 RESTAURANT/BAR = 1 CONTAINER WITH A GREASE CONTAINMENT AREA

REFUSE CONTAINERS WITH RECYCLING:
1 RESTAURANT/BAR = 2 (1 WITH GREASE CONTAINMENT + 1 WITHOUT GREASE FOR RECYCLE)

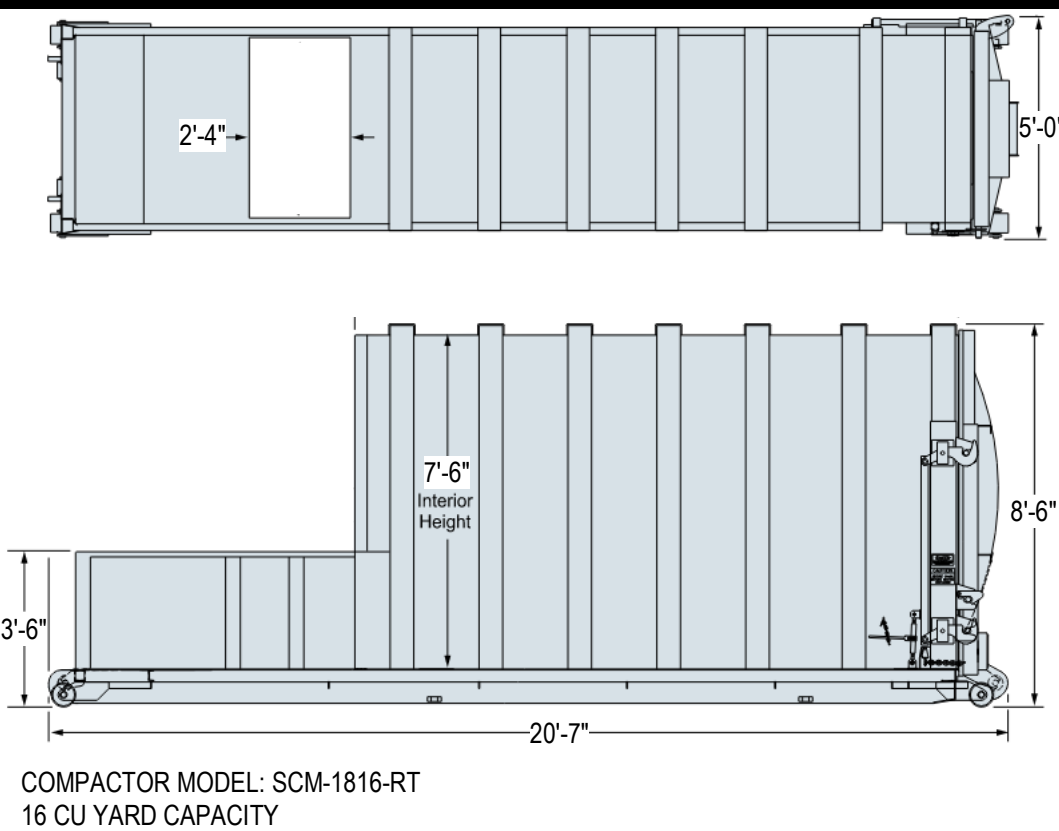
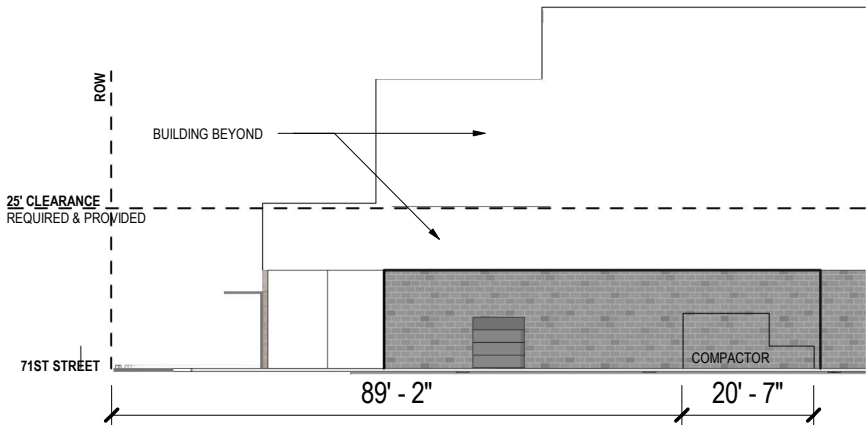
RESIDENTIAL:

REQUIRED CONTAINERS WITHOUT RECYCLING:
1 REQUIRED PER 20 UNITS
FOR 247 UNITS
CONTAINERS REQUIRED = 247 UNITS / 20 = 12.35

REQUIRED CONTAINERS WITH RECYCLING:
2 REQUIRED PER 30 UNITS
FOR 247 UNITS
CONTAINERS REQUIRED = (247 X 2) / 30 = 16.4

USE	REFUSE	RECYCLE
NON RESIDENTIAL	1.39	.46
RESTAURANT	1 (WITH GREASE CONTAINMENT)	1 (WITHOUT GREASE CONTAINMENT)
RESIDENTIAL	12.35	4.05
TOTAL	14.74 (WITH GREASE CONTAINMENT)	5.51
TOTAL REQUIRED AFTER APPLYING COMPACTION RATIO (4:1)	3.68	5.51

TYPICAL CONTAINER = 4 CU YARD OF NON COMPACTED WASTE PER CONTAINER
14.74 CONTAINERS X 4 CU YARDS = 60 CU YARDS OF WASTE NEEDING TO BE ACCOUNTED FOR
WITH A COMPACTION RATIO 4:1, 60 CU YARDS OF WASTE / 4 = 15 CU YARD HORIZONTAL COMPACTOR REQUIRED.. 1 COMPACTOR WITH 16 CU YARD CAPACITY + 4 RECYCLE CONTAINERS ARE PROVIDED.



COMPACTOR MODEL: SCM-1816-RT
16 CU YARD CAPACITY

REFUSE CALCULATIONS

SCALE: 3" = 1'-0"

SHEET NOTES

- 01 RESIDENTIAL DROP-OFF
- 02 PROPERTY LINE
- 05 REFUSE COMPACTOR
- 07 45' X 12' LOADING AREA
- 09 RAMP DOWN TO PARKING LEVEL BELOW
- 15 VEHICULAR ENTRY GATE
- 16 ADA ACCESS ROUTE
- 27 REFUSE TRUCK PATH
- 31 RECYCLE TRUCK
- 32 ROLL OFF AREA

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REFUSE PLAN

Scale

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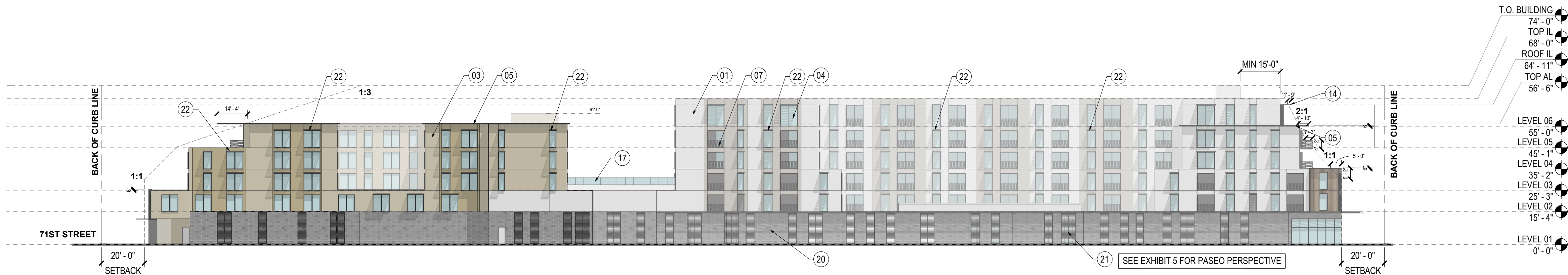
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1 BUILDING ELEVATION - WEST

SCALE: 1" = 30'-0"



2 BUILDING ELEVATION - SOUTH

SCALE: 1" = 30'-0"



3 BUILDING ELEVATION - EAST

SCALE: 1" = 30'-0"



4 BUILDING ELEVATION - NORTH

SCALE: 1" = 30'-0"

SHEET NOTES

- 01 ARCHITECTURAL SYNTHETIC PLASTER A
- 02 ARCHITECTURAL SYNTHETIC PLASTER B
- 03 ARCHITECTURAL SYNTHETIC PLASTER C
- 04 HIGH PERFORMANCE CLEAR GLAZING
- 05 METAL COPING CAP B
- 06 ALUMINUM WINDOW FRAME EXTENSION B
- 07 METAL SCREEN GUARDRAIL A
- 08 ARCHITECTURAL CMU VENEER A
- 09 DRIVE ENTRANCE
- 10 METAL FRAME B
- 12 GATE ENCLOSURE MATCHING ADJACENT WALL COLOR
- 13 METAL CANOPY B
- 14 METAL CANOPY A
- 15 COMPOSITE WALL PANEL A
- 16 COMPOSITE WALL PANEL B
- 17 GLASS GUARDRAIL
- 18 METAL CANOPY A
- 19 BUILDING ENTRANCE
- 20 ARCHITECTURAL CMU B
- 21 METAL SCREEN TO SUPPORT LANDSCAPING
- 22 LOUVERED SHADE CANOPY
- 23 VERTICAL SHADING ELEMENTS AT WINDOWS, TYPICAL

Note: Encroachments are permitted. Refer to ordinance.

LEGEND

- TOP IL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING
- TOP AL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING
- ROOF IL - ROOF LEVEL FOR INDEPENDENT LIVING BUILDING

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BUILDING ELEVATIONS

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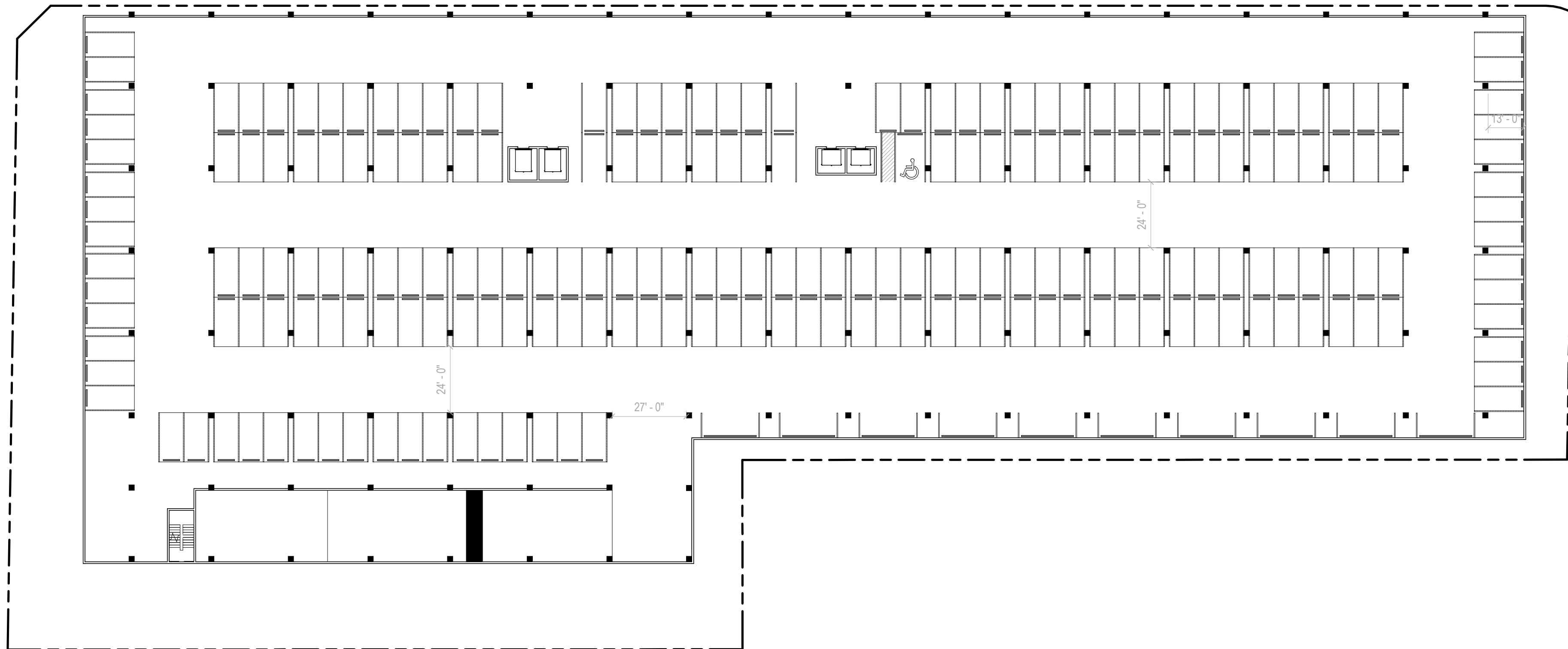
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1

PARKING PLAN - LOWER LEVEL

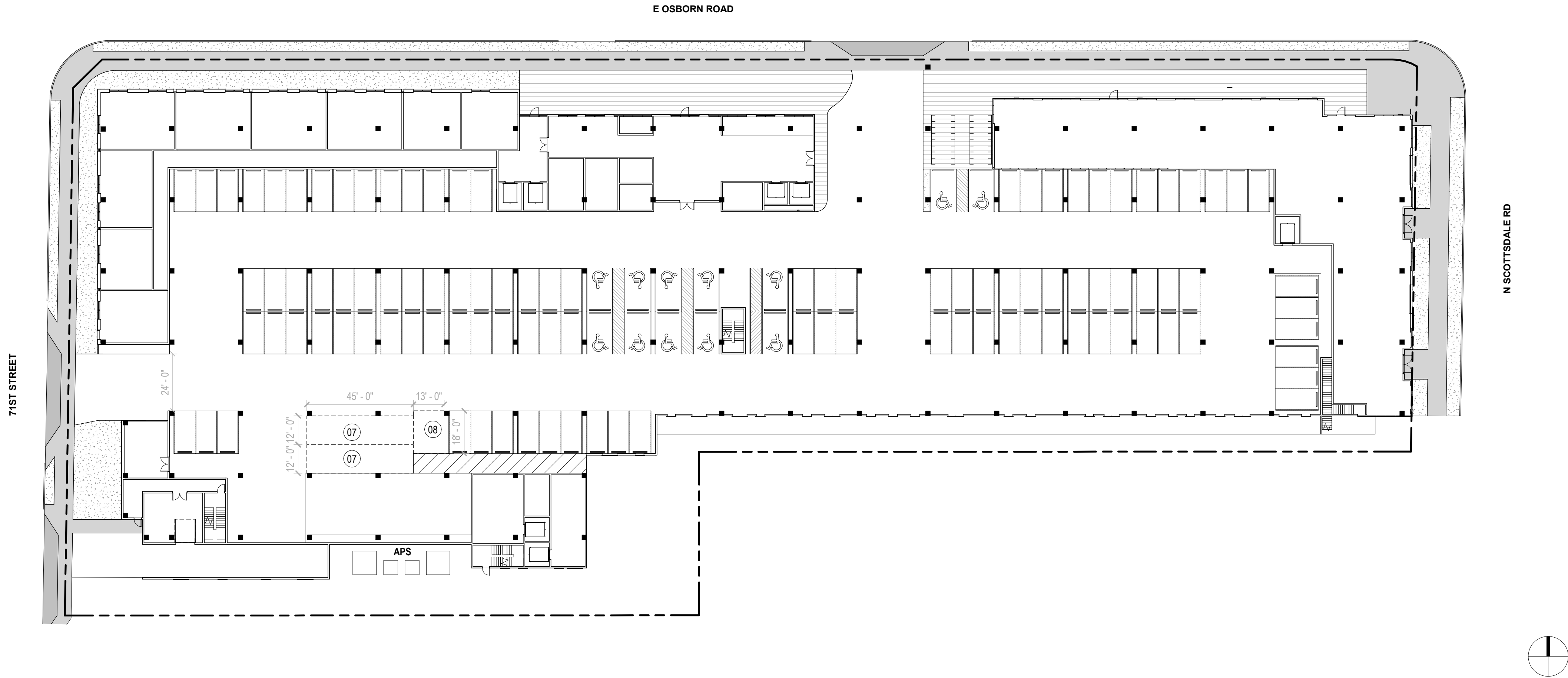
SCALE: 1" = 30'-0"



2

PARKING PLAN - LEVEL 01

SCALE: 1" = 30'-0"



SHEET NOTES

- 07 45' X 12' LOADING AREA
08 13' X 18' LOADING AREA

PARKING REQUIREMENTS

VEHICULAR PARKING REQUIRED

ASSISTED LIVING	0.70 PER UNIT
INDEPENDENT LIVING	1.25 PER UNIT
RESTAURANT	

ASSISTED LIVING + MEMORY CARE (7 X 115 UNITS) = 81 SPACES
INDEPENDENT LIVING (1.25 X 132) = 165 SPACES
RESTAURANT (1 PER 300 FOR 9622 SF OF RESTAURANT) = 33 SPACES

PARKING REQUIRED = 279 SPACES

PARKING PROVIDED

LOWER LEVEL 01	222 SPACES
LEVEL 01	116 SPACES

PARKING PROVIDED = 338 SPACES

ACCESSIBLE PARKING PROVIDED 13 SPACES
(THESE ARE INCLUDED IN TOTAL COUNT NOTED ABOVE)

BICYCLE PARKING
REQUIRED = 1 PER EVERY 10 VEHICULAR PARKING
PER 338 VEHICULAR PARKING
REQUIRED = (338 X 2)/10 = 68 REQUIRED
68 PROVIDED

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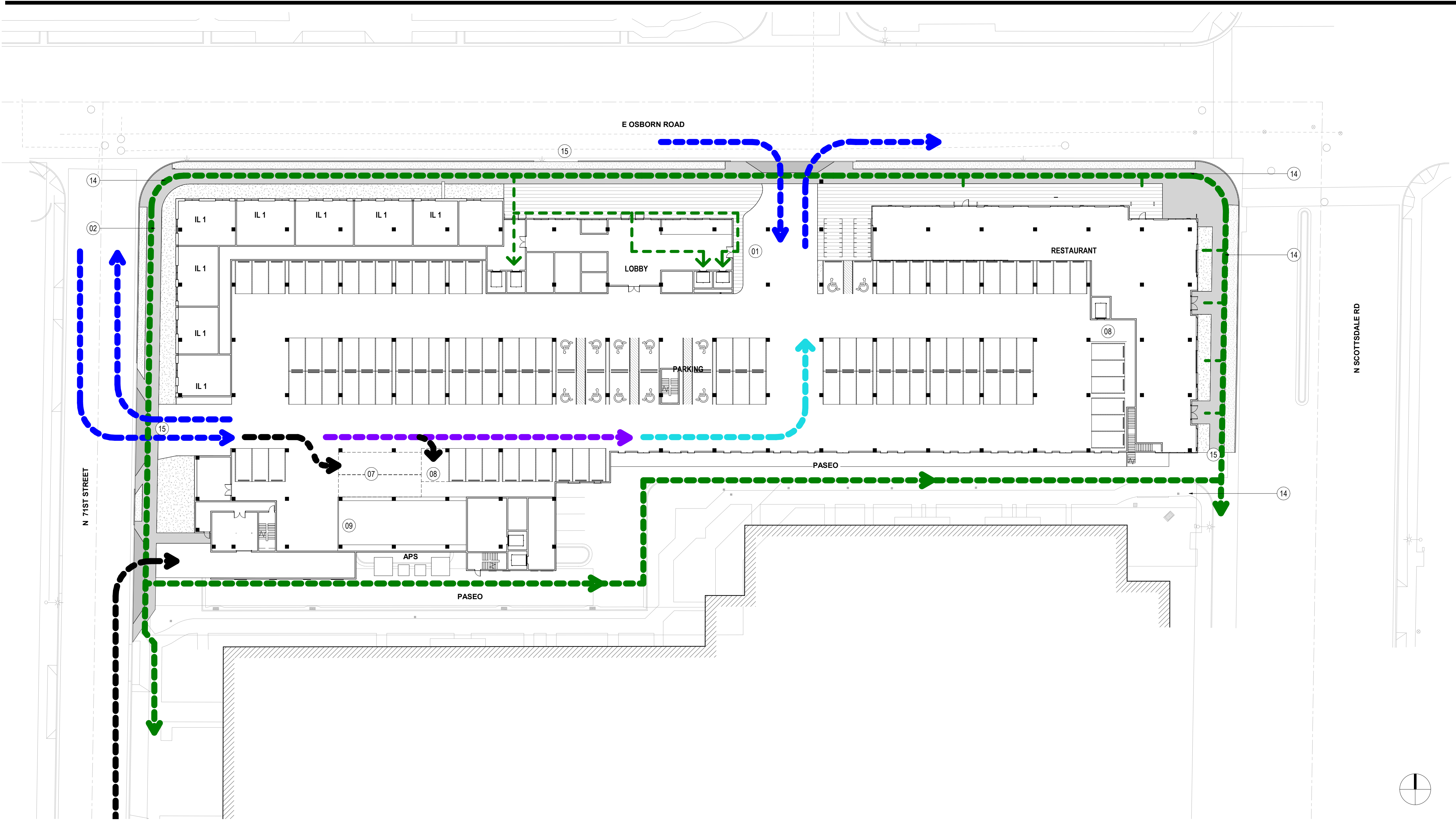
PARKING PLAN

Scale

As indicated

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1 SITE PLAN - CIRCULATION PLAN
SCALE: 1" = 30'-0"

- VEHICULAR CIRCULATION - EMERGENCY
- PEDESTRIAN CIRCULATION
- SERVICE CIRCULATION
- VEHICULAR CIRCULATION - RESIDENT
- VEHICULAR CIRCULATION - RESTAURANT

CIRCULATION LEGEND
SCALE: 1" = 1'-0"

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- 14 (E) FIRE HYDRANT
- 15 VEHICULAR ENTRY GATE

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Description	PEDESTRIAN AND VEHICULAR CIRCULATION PLAN
Scale	As indicated

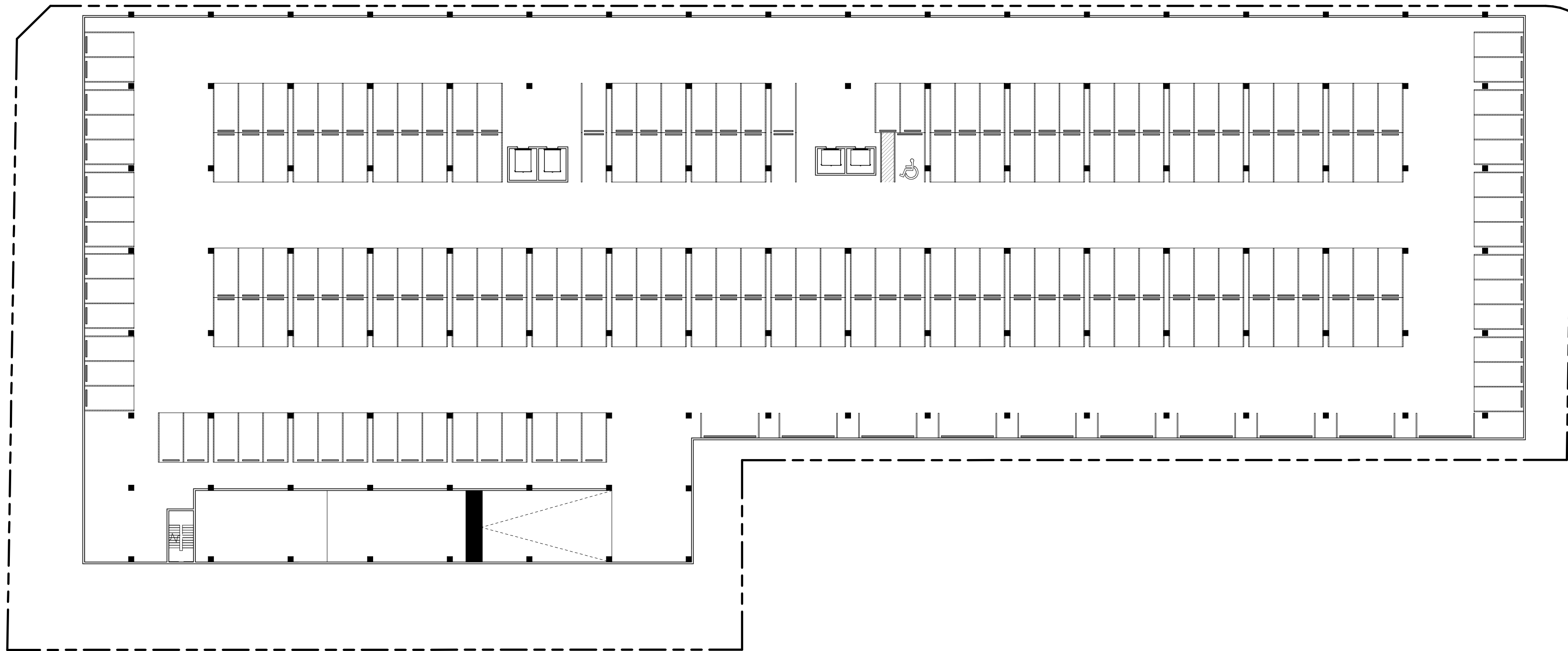
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1

FLOOR PLAN - LOWER LEVEL

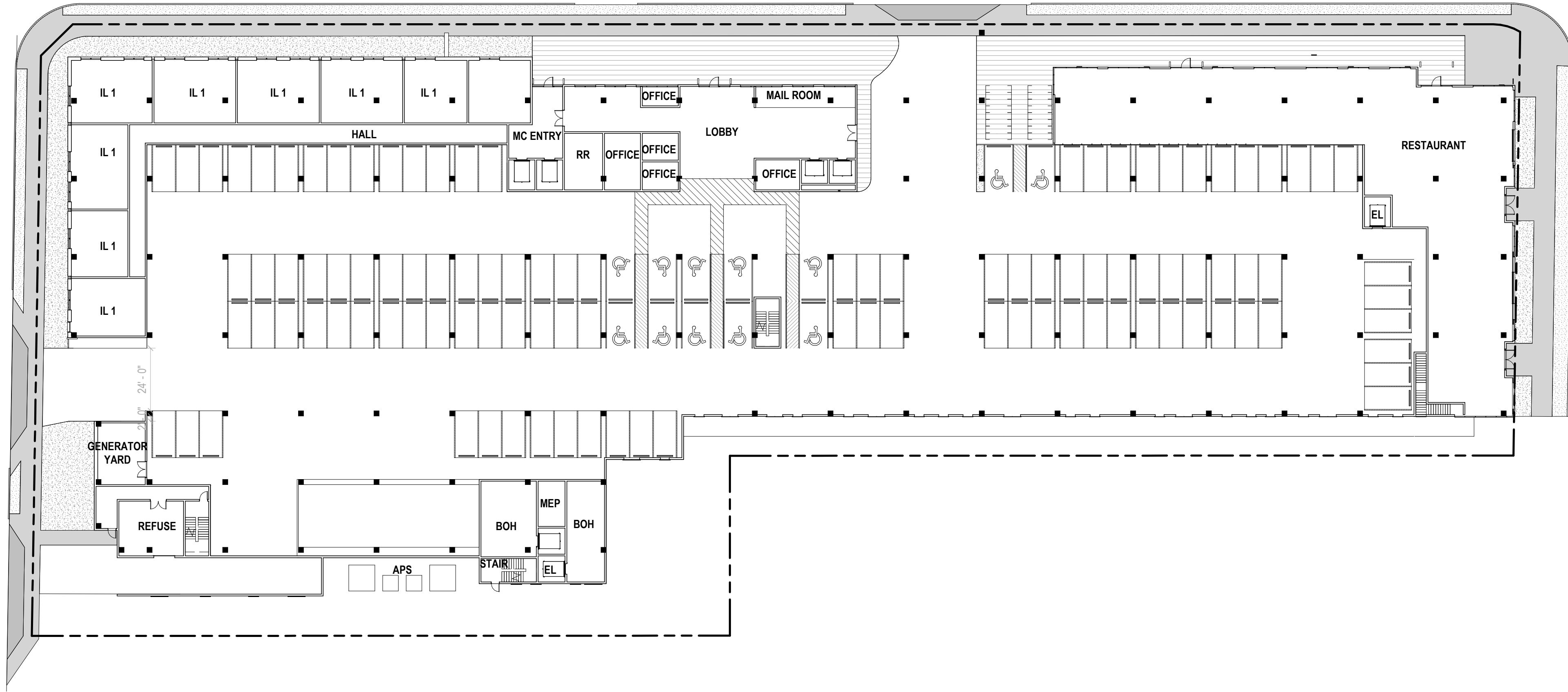
SCALE: 1" = 30'-0"



2

FLOOR PLAN - LEVEL 01

SCALE: 1" = 30'-0"



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11/19/2021	Site Plan Submittal
02/23/2022	Site Plan Re-submittal
05/03/2022	Site Plan Re-submittal

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

The Osborn

Project Number

57.8211.000

Description

FLOOR PLAN - LOWER LEVEL
01-LEVEL 01

Scale

1" = 30'-0"

21.Y_01

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EMPIRE GROUP
6617 N Scottsdale Road, Suite 101
Scottsdale, AZ 85250

CASE PRE-APP NUMBER - 914-PA-2021
EXHIBIT 1



EMPIRE GROUP
6617 N Scottsdale Road, Suite 101
Scottsdale, AZ 85250

CASE PRE-APP NUMBER - 914-PA-2021
EXHIBIT 2



EMPIRE GROUP
6617 N Scottsdale Road, Suite 101
Scottsdale, AZ 85250

CASE PRE-APP NUMBER - 914-PA-2021
EXHIBIT 3

SCOTTSDALE & OSBORN

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COLWELL SHELOR LANDSCAPE ARCHITECTURE
4450 North 12th Street, Suite 104
Phoenix, Arizona 85014
p 602.953.2199

△ Date	Description
11/12/21	Development Application
02/23/22	Development Re-Application
05/03/22	Development Re-Application

KEYNOTES:

EXISTING CONDITIONS:

- 1.1 PROPERTY LINE
- 1.2 EXISTING TREE TO REMAIN PRESERVE & PROTECT
- 1.3 EXISTING SIDEWALK TO REMAIN PRESERVE & PROTECT
- 1.4 EXISTING CURB TO REMAIN
- 1.5 EXISTING LANDSCAPE TO REMAIN
- 1.6 EXISTING BUS STOP TO REMAIN
- 1.7 EXISTING SITE FENCE AND CURB BETWEEN PROPERTIES TO BE DEMOLISHED AND REMOVED TO CREATE COHESIVE PATHWAY.

SITEWORK/UTILITIES:

- 2.1 FIRE HYDRANT w/ MIN. 5'-0" CLR. ALL AROUND
- 2.2 STORMWATER DRAIN BASIN
- 2.3 ELECTRICAL EQUIPMENT YARD
- 2.4 WATER METER
- 2.5 BACKFLOW PREVENTOR

CONCRETE/PAVING/CONSTRUCTION/FINISHES:

- 3.1 8'-0" W. ACID ETCH CONCRETE SIDEWALK
- 3.2 EXPOSED AGGREGATE ENHANCED PAVING
- 3.3 SERVICE ACCESS DRIVEWAY
- 3.4 RESTAURANT PATIO
- 3.5 DIRECTIONAL CROSSWALK RAMPS
- 3.6 ADA TACTILE WARNING STRIP
- 3.7 18" HT. CIP CONCRETE SEATWALL
- 3.8 CIP CONCRETE WATER FEATURE
- 3.9 PASEO COURTYARD
- 3.10 ENHANCED PAVING - VEHICULAR RATED
- 3.11 VEHICULAR ACCESS DRIVE APRON
- 3.12 ENTRY PLAZA
- 3.13 LITHOCRETE ENHANCED PAVING W/ CA RED 1 RECYCLED GLASS PER SEGMENT 2 SCOTTSDALE ROAD DESIGN GUIDELINES

METAL:

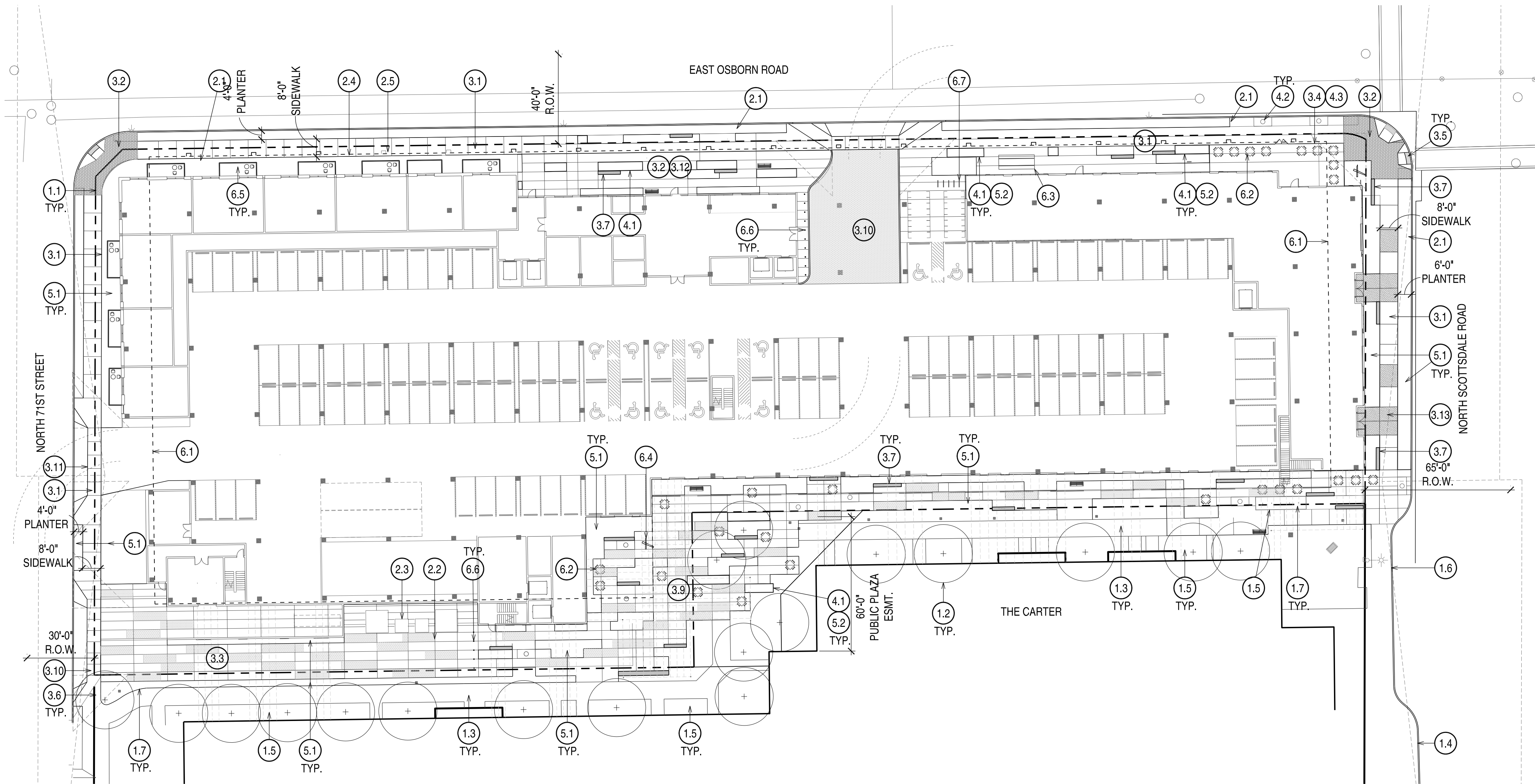
- 4.1 RAISED STEEL PLANTER
- 4.2 4X8 TREE GRATE
- 4.3 RESTAURANT PATIO FENCE & GATE

PLANTING AND LANDSCAPE:

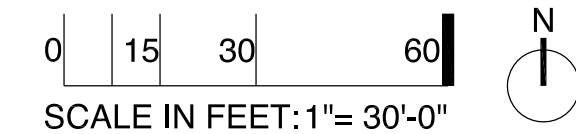
- 5.1 AT-GRADE LANDSCAPE PLANTER
- 5.2 RAISED LANDSCAPE PLANTER

MISCELLANEOUS / SITE FURNISHINGS:

- 6.1 LIMIT OF OVER-STRUCTURE BOUNDARY
- 6.2 MOVABLE TABLE & CHAIRS
- 6.3 COMMUNITY TABLE
- 6.4 ART INSTALLATION
- 6.5 UNIT PATIOS
- 6.6 SAFETY BOLLARD
- 6.7 BIKE RACKS



SCALE: 1" = 30'-0"



HARDSCAPE PLAN 01



Seal / Signature



Project Name

SCOTTSDALE & OSBORN
SENIOR LIVING

Project Number

21031

Description

AS NOTED

Scale

HARDSCAPE
PLAN

L1.00

SCOTTSDALE & OSBORN

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△ Date	Description
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02/23/22	Development Re-Application
05/03/22	Development Re-Application



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NOT FOR
CONSTRUCTION

Project Name
SCOTTSDALE & OSBORN SENIOR LIVING
Project Number
21031
Description

AS NOTED

Scale	LANDSCAPE PLAN
-------	-------------------

L2.00

PLANT LEGEND

SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (H x W x CAL.)
TREES				
+	SALVAGED/EXISTING TREE	--	1	P.I.P.
CS	CAESALPINIA CACALACO 'SMOOTHIE' THORNLESS CASCALOTE	36" BOX	5	8-10'X5-6'X1.5-2"MIN. MULTI-TRUNK
●	PROSOPIS THORNLESS HYBRID 'AZT' 'AZT' THORNLESS HYBRID MESQUITE	48" BOX	3	10-12'X9-11'X2.75-3.5"MIN. MULTI-TRUNK
●	PISTACIA X 'RED PUSH' RED PUSH PISTACHE	48" BOX	10	12-14'X6-8'X3-4"MIN. SINGLE TRUNK
●	QUERCUS VIRGINIANA HERITAGE LIVE OAK	48" BOX	23	13-15'X7-9'X3-4"MIN. SINGLE TRUNK

SHRUBS				
●	HESPERALOE PARVIFLORA SP. 'DESERT FLAMENCO' RED YUCCA	5 GAL	46	CAN FULL
●	HESPERALOE PARVIFLORA SP. 'BRAKE LIGHTS' RED YUCCA	5 GAL	191	CAN FULL
●	RUPELLIA BRITTONIANA PURPLE RUPELLIA	5 GAL	31	CAN FULL
●	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	5 GAL	139	CAN FULL

ACCENT				
●	AGAVE 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	23	CAN FULL
●	ALOE BARBADENSIS YELLOW ALOE VERA	5 GAL	160	CAN FULL
●	ALOE 'BLUE ELF' BLUE ELF ALOE VERA	5 GAL	18	CAN FULL
●	ALOE HERCULES HERCULES ALOE	24" BOX	18	6' HT. MIN.
●	CYCAS REVOLUTA SAGO PALM	15 GAL	11	CAN FULL
●	EUPHORBIA ANTISYPHILITICA CANDELILLA	5 GAL	51	CAN FULL
●	EUPHORBIA INGENS CANDELABRA TREE	15 GAL	3	4' HT. MIN. 3 ARM MIN.
●	LOPHOCEREUS SCHOTTI MONSTROSUS TOTEM POLE CACTUS	--	28	4' HT. MIN. 3 ARM MIN.
●	PEDILANTHUS MICROCARPA SLIPPER PLANT	5 GAL	59	CAN FULL
●	PORTULACARIA AFRA ELEPHANT FOOD	5 GAL	210	CAN FULL
●	SANSEVIERIA CYLINDRICA CYLINDRICAL SNAKE PLANT	5 GAL	58	CAN FULL
●	SANSEVIERIA DWARF DWARF SNAKE PLANT	5 GAL	181	CAN FULL
●	SANSEVIERIA TRIFASCIATA 'MOONSHINE'SILVER SNAKE PLANT	5 GAL	199	CAN FULL
●	SANSEVIERIA TRIFASCIATA 'SUPURBA' SNAKE PLANT	5 GAL	80	CAN FULL
●	SANSEVIERIA TRIFASCIATA VAR. LAURENTII(VARIGATED SNAKE PLANT)	5 GAL	3	CAN FULL
●	YUCCA ROSTRATA BEAKED YUCCA	25 GAL.	5	5' HT. MIN PRUNED TRUNK
●	YUCCA RUPICOLA TWISTED LEAF YUCCA	5 GAL	65	CAN FULL

VINES				
●	FICUS PUMILA CREEPING FIG	5 GAL	8	CAN FULL
●	MASCAGNIA MACROPTERA YELLOW BUTTERFLY VINE	5 GAL	30	CAN FULL
●	PARTHENOCEISSUS 'HACIENDA CREEPER' 'HACIENDA CREEPER' VINE	5 GAL	36	CAN FULL

GROUNDCOVERS				
●	CHLOROPHYTUM COMOSUM SPIDER PLANT	5 GAL	193	CAN FULL
●	SETCRESEA PALLIDA PURPLE HEART	5 GAL	33	CAN FULL
●	WEDELIA TRILOBATA YELLOW DOT	5 GAL	6	CAN FULL

INERT MATERIALS				
■	1/2" MINUS DECOMPOSED GRANITE. COLOR: TBD. TOP DRESSING @ 2" DEPTH. STOCK PILE REMAINING D.G. FOR REUSE.			



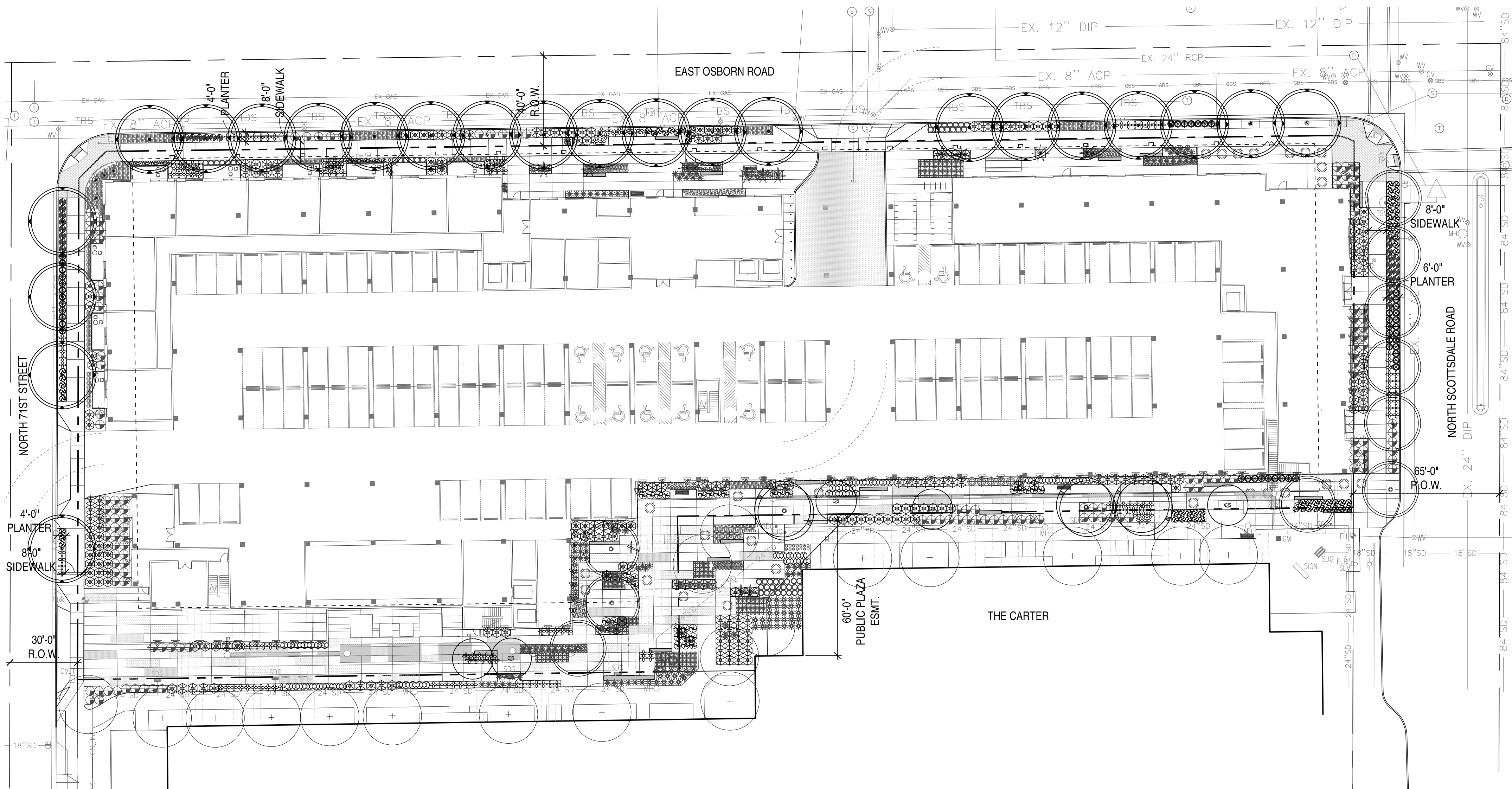
SCALE: 1" = 30'-0"

0 15 30 60

SCALE IN FEET: 1"= 30'-0"

LANDSCAPE PLAN 01

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SCALE: 1" = 30'-0"

0 15 30 60

SCALE IN FEET: 1" = 30'-0"

N

LANDSCAPE PLAN 01

PLAN

PLANT LEGEND

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⊗	CHLOROPHYTUM COMOSUM SPIDER PLANT	5 GAL	193	CAN FULL
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INERT MATERIALS				
□	1/2" MINUS DECOMPOSED GRANITE. COLOR: TBD. TOP DRESSING @ 2" DEPTH. STOCK PILE REMAINING D.G. FOR REUSE.			

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p 602.953.2100

Date	Description
11/12/21	Development Application
02/23/22	Development Re-Application
05/03/22	Development Re-Application



Seal / Signature



Project Name

SCOTTSDALE & OSBORN
SENIOR LIVING

Project Number

21031

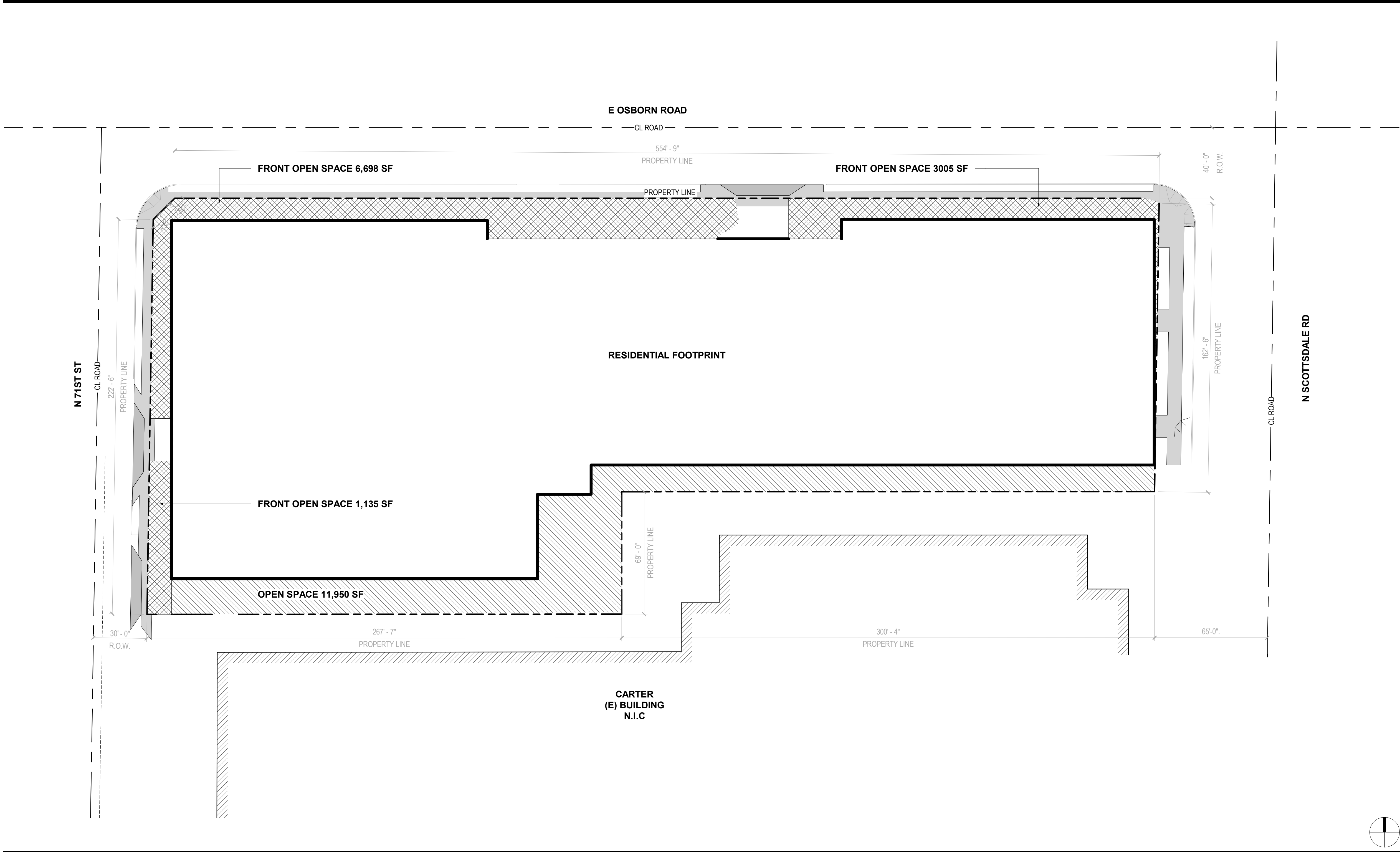
Description

AS NOTED

Scale

LANDSCAPE
PLAN

L2.00



01 SITE PLAN - LEVEL 01 OPENSACE

SCALE: 1" = 30'-0"

OPEN SPACE PROVIDED:

OPEN SPACE PROVIDED = 22,788 SF
*PROPERTIES IN DOWNTOWN SCOTTSDALE DO NOT REQUIRE MINIMUM OPEN SPACE

PARKING LOT LANDSCAPING REQUIRED
PARKING LOT AREA * 15%
0 SF X .15 = 0 SF

*ENCLOSED PARKING GARAGE IS BEING PROVIDED; NO SURFACE PARKING IS PROVIDED ON SITE

SHEET NOTES

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Tel 480.206.4593

△ Date	Description
11/19/2021	Site Plan Submittal
02/23/2022	Site Plan Re-submittal

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Project Name

The Osborn

Project Number

57.8211.000

Description

OPEN SPACE PLAN

Scale

As indicated

21.1

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1

BUILDING SECTION A

SCALE: 1/16" = 1'-0"

2

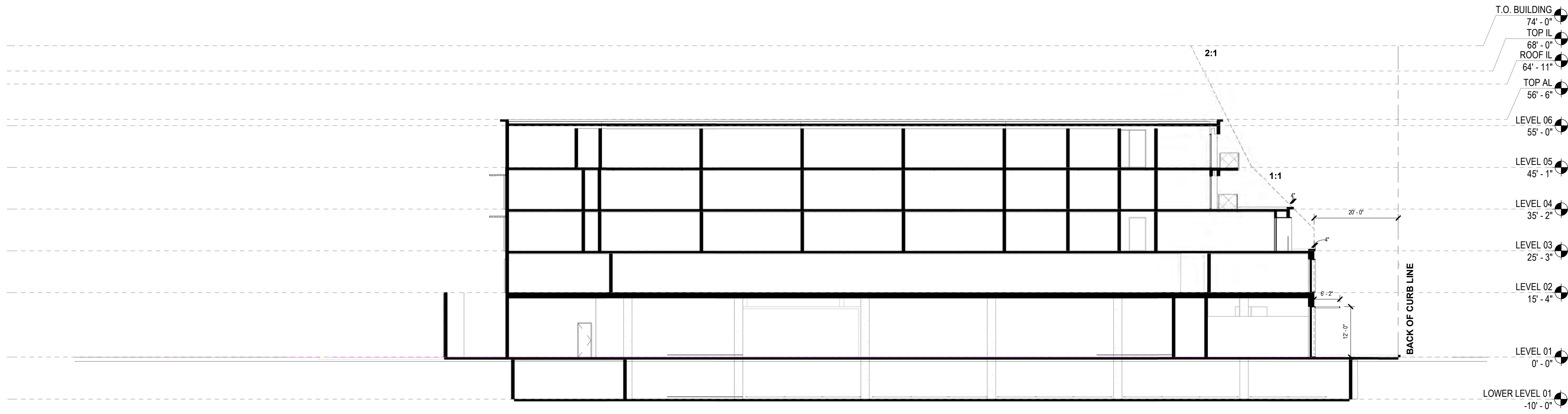
BUILDING SECTION B

SCALE: 1/16" = 1'-0"

3

BUILDING SECTION C

SCALE: 1/16" = 1'-0"



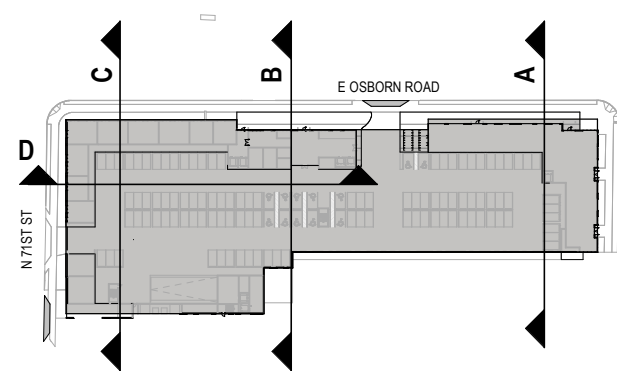
LEGEND

TOP IL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING

TOP AL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING

ROOF IL - ROOF LEVEL FOR INDEPENDENT LIVING BUILDING

SECTION KEY PLAN



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Project Number

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Description

SITE CROSS SECTION

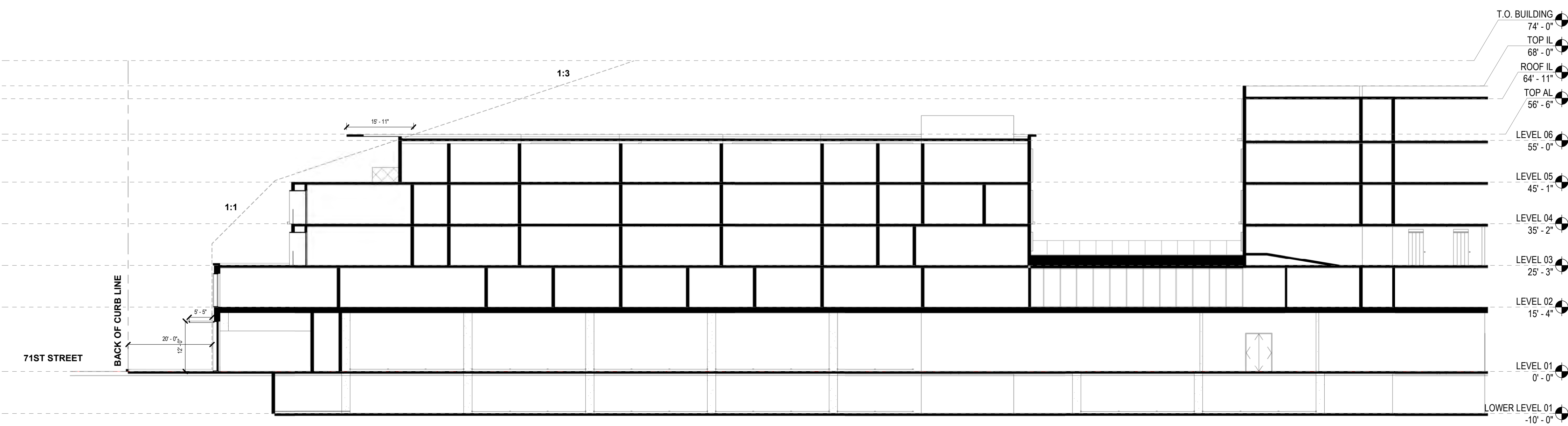
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1 BUILDING SECTION D

SCALE: 1/16" = 1'-0"

LEGEND

TOP IL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING

TOP AL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING

ROOF IL - ROOF LEVEL FOR INDEPENDENT LIVING BUILDING

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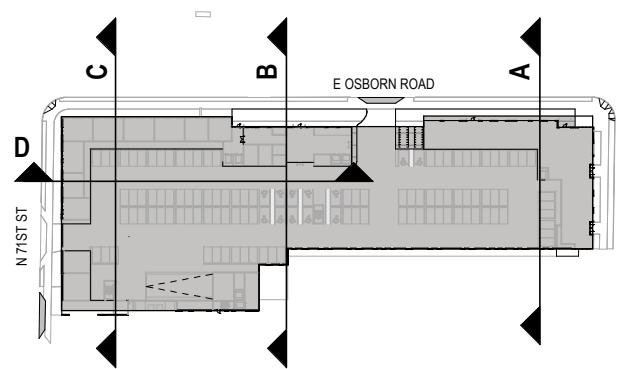
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SECTION KEY PLAN



COS STAMP

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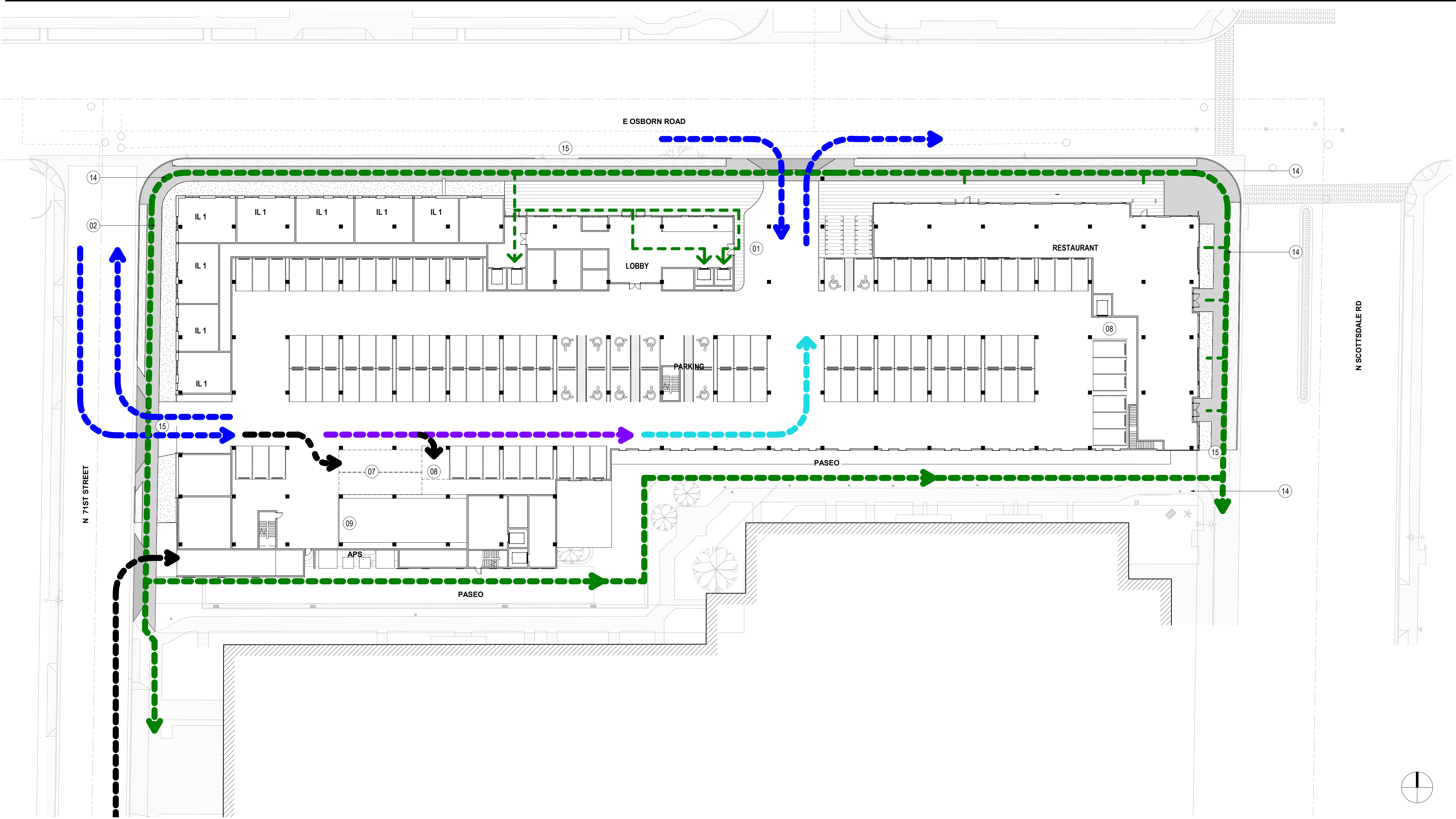
SITE CROSS SECTION

Scale

As indicated

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1 SITE PLAN - CIRCULATION PLAN

SCALE: 1" = 30'-0"

- VEHICULAR CIRCULATION - EMERGENCY
- PEDESTRIAN CIRCULATION
- SERVICE CIRCULATION
- VEHICULAR CIRCULATION - RESIDENT
- VEHICULAR CIRCULATION - RESTAURANT

CIRCULATION LEGEND

SCALE: 1" = 1'-0"

SHEET NOTES

- 01 RESIDENTIAL DROP-OFF
- 02 PROPERTY LINE
- 07 45' X 12' LOADING AREA
- 08 13' X 18' LOADING AREA
- 09 RAMP DOWN TO PARKING LEVEL BELOW
- 14 (E) FIRE HYDRANT
- 15 VEHICULAR ENTRY

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Project Name

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Description

PEDESTRIAN AND VEHICULAR
CIRCULATION PLAN

Scale

As indicated

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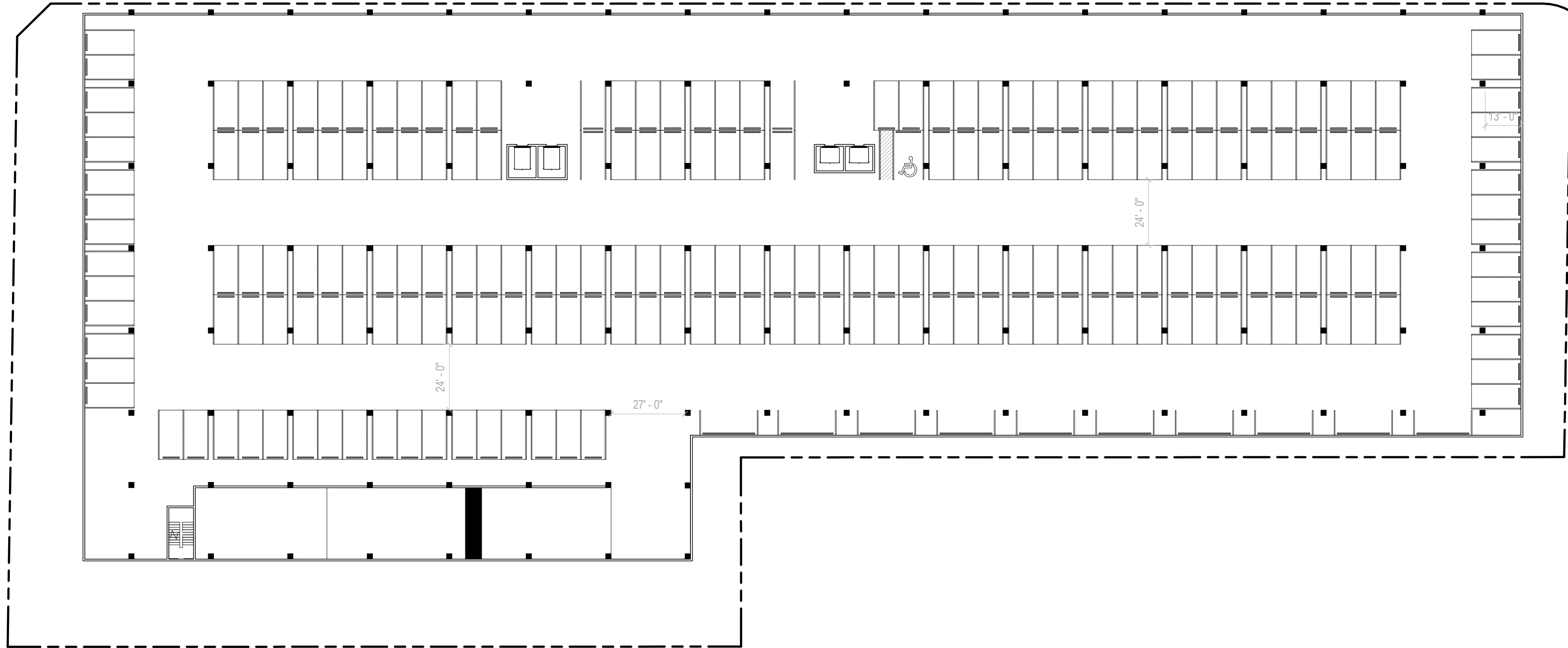
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1

PARKING PLAN - LOWER LEVEL

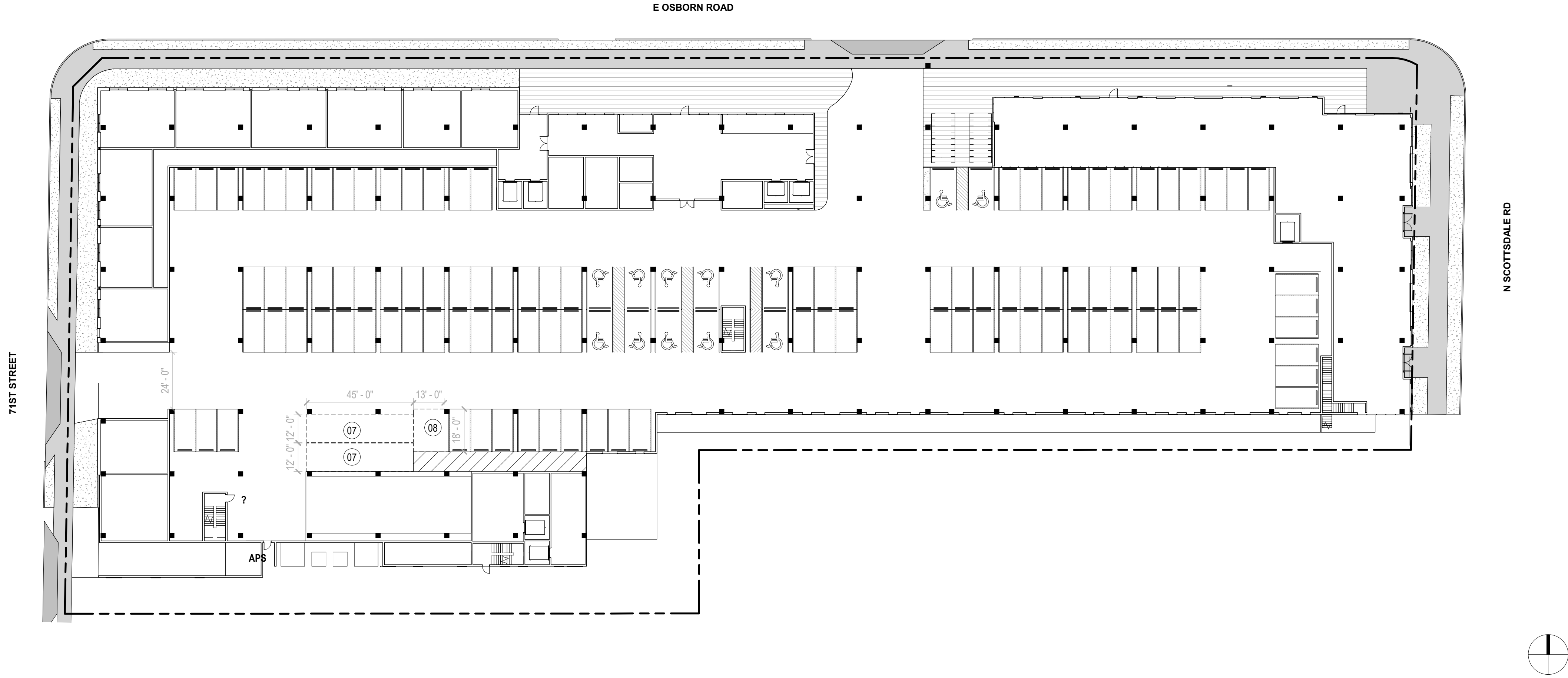
SCALE: 1"= 30'-0"



2

PARKING PLAN - LEVEL 01

SCALE: 1"= 30'-0"



SHEET NOTES

- 07 45' X 12' LOADING AREA
- 08 13' X 18' LOADING AREA

PARKING REQUIREMENTS

VEHICULAR PARKING REQUIRED

ASSISTED LIVING	0.70 PER UNIT
INDEPENDENT LIVING	1.25 PER UNIT
RESTAURANT	

ASSISTED LIVING + MEMORY CARE (7 X 115 UNITS) = 81 SPACES
INDEPENDENT LIVING (1.25 X 132) = 165 SPACES
RESTAURANT (1 PER 300 FOR 9622 SF OF RESTAURANT) = 33 SPACES

PARKING REQUIRED = 279 SPACES

PARKING PROVIDED

338 SPACES

LOWER LEVEL 01	222 SPACES
LEVEL 01	116 SPACES

PARKING PROVIDED 338 SPACES

ACCESSIBLE PARKING PROVIDED 13 SPACES
(THESE ARE INCLUDED IN TOTAL COUNT NOTED ABOVE)

BICYCLE PARKING

REQUIRED = 1 PER EVERY 10 VEHICULAR PARKING
PER 338 VEHICULAR PARKING
REQUIRED = (338 X 2)/10 = 68 REQUIRED
68 PROVIDED

COS STAMP

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PARKING PLAN

Scale

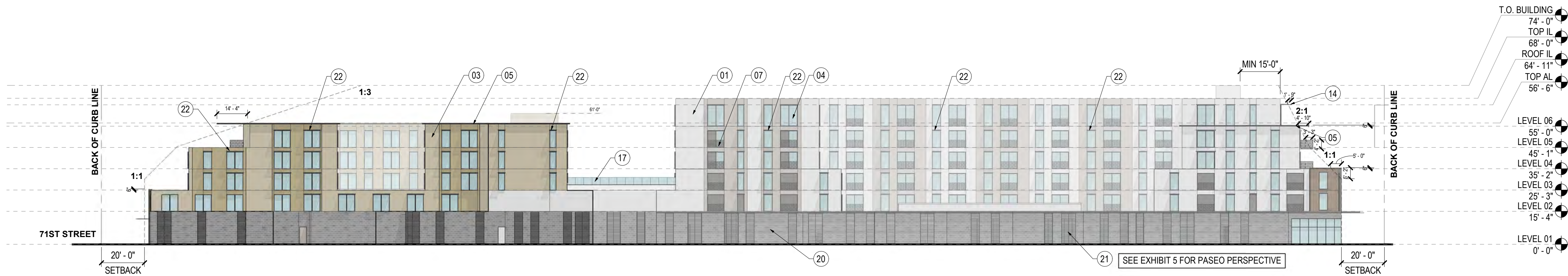
As indicated

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1 BUILDING ELEVATION - WEST
SCALE: 1" = 30'-0"



2 BUILDING ELEVATION - SOUTH
SCALE: 1" = 30'-0"



3 BUILDING ELEVATION - EAST
SCALE: 1" = 30'-0"



4 BUILDING ELEVATION - NORTH
SCALE: 1" = 30'-0"

SHEET NOTES

- 01 ARCHITECTURAL SYNTHETIC PLASTER A
- 02 ARCHITECTURAL SYNTHETIC PLASTER B
- 03 ARCHITECTURAL SYNTHETIC PLASTER C
- 04 HIGH PERFORMANCE CLEAR GLAZING
- 05 METAL COPING CAP B
- 06 ALUMINUM WINDOW FRAME EXTENSION B
- 07 METAL SCREEN GUARDRAIL A
- 08 ARCHITECTURAL CMU VENEER A
- 09 DRIVE ENTRANCE
- 10 METAL FRAME B
- 11 OVERHEAD DOOR MATCHING ADJACENT WALL COLOR
- 12 GATE ENCLOSURE MATCHING ADJACENT WALL COLOR
- 13 METAL CANOPY B
- 14 METAL CANOPY A
- 15 COMPOSITE WALL PANEL A
- 16 COMPOSITE WALL PANEL B
- 17 GLASS GUARDRAIL
- 18 METAL CANOPY A
- 19 BUILDING ENTRANCE
- 20 ARCHITECTURAL CMU B
- 21 METAL SCREEN TO SUPPORT LANDSCAPE
- 22 LOUVERED SHADE CANOPY

Note: Encroachments are permitted. Refer to ordinance.

LEGEND

- TOP IL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING
- TOP AL - TOP OF PARAPET FOR INDEPENDENT LIVING BUILDING
- ROOF IL - ROOF LEVEL FOR INDEPENDENT LIVING BUILDING

EMPIRE GROUP

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SYDNOR

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United States

Tel 480.206.4593

Date	Description
11/19/2021	Site Plan Submittal
02/23/2022	Site Plan Re-submittal

Seal / Signature

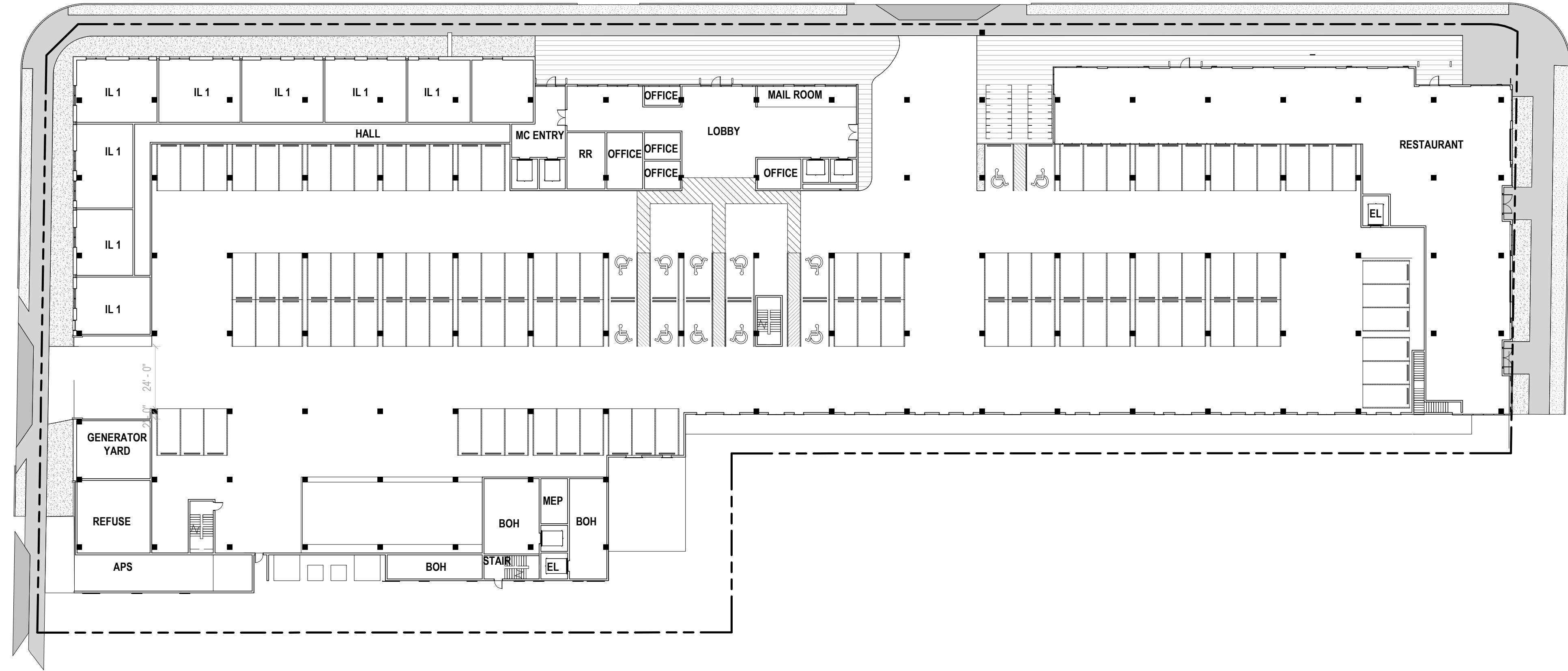
NOT FOR
CONSTRUCTION

COS STAMP

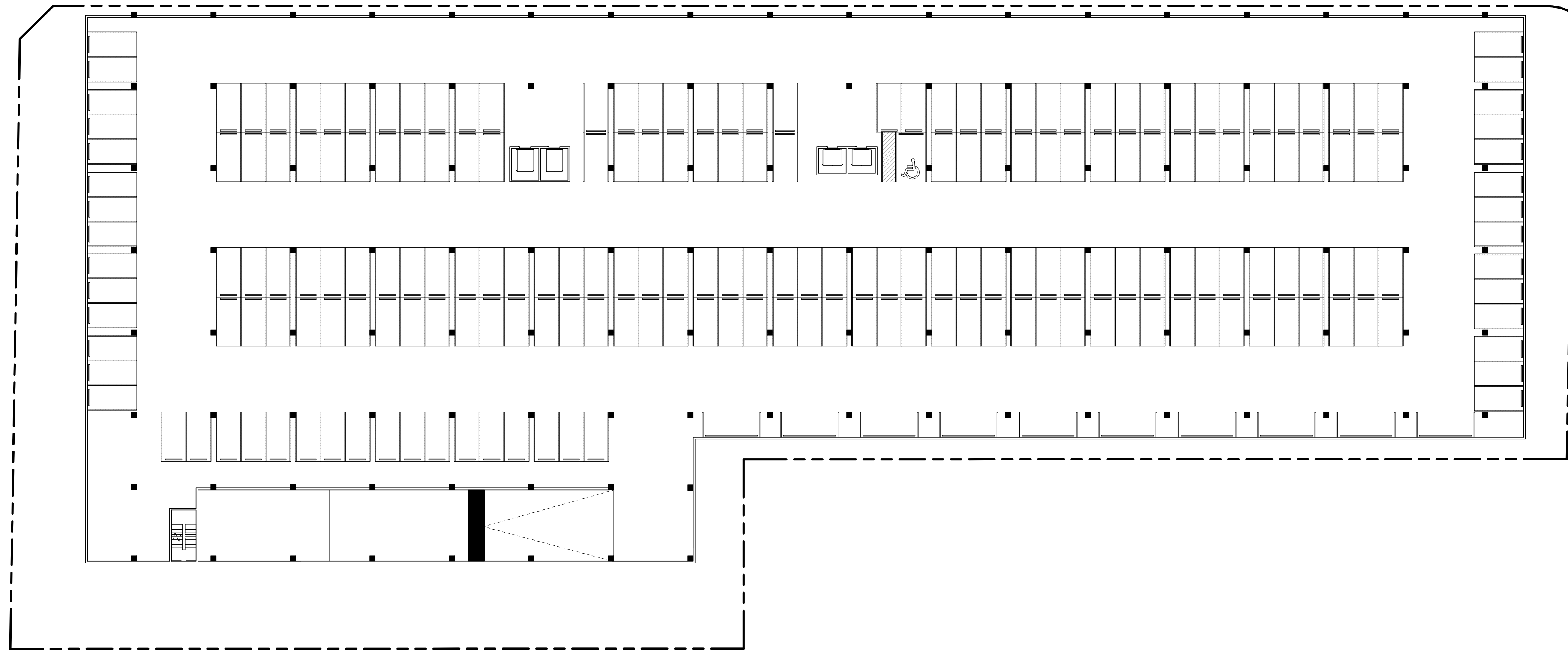
Project Name	The Osborn
Project Number	57.8211.000
Description	BUILDING ELEVATIONS
Scale	1" = 30'-0"

21.V

2/23/2022 9:20:31 PM BIM 360://057 8211.000 - Scottsdale - Osborn/57 8211.000_Architecture_R20.rvt



2 FLOOR PLAN - LEVEL 01
SCALE: 1" = 30'-0"



1 FLOOR PLAN - LOWER LEVEL
SCALE: 1" = 30'-0"

SHEET NOTES

GENERAL NOTES

KEY PLAN

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Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

The Osborn

Project Number

57.8211.000

Description

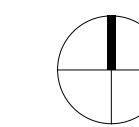
FLOOR PLAN - LOWER LEVEL
01-LEVEL 01

Scale

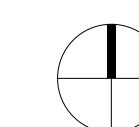
1" = 30'-0"

21.Y_01

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1 FLOOR PLAN - LEVEL 02
SCALE: 1" = 30'-0"



GENERAL NOTES

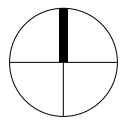
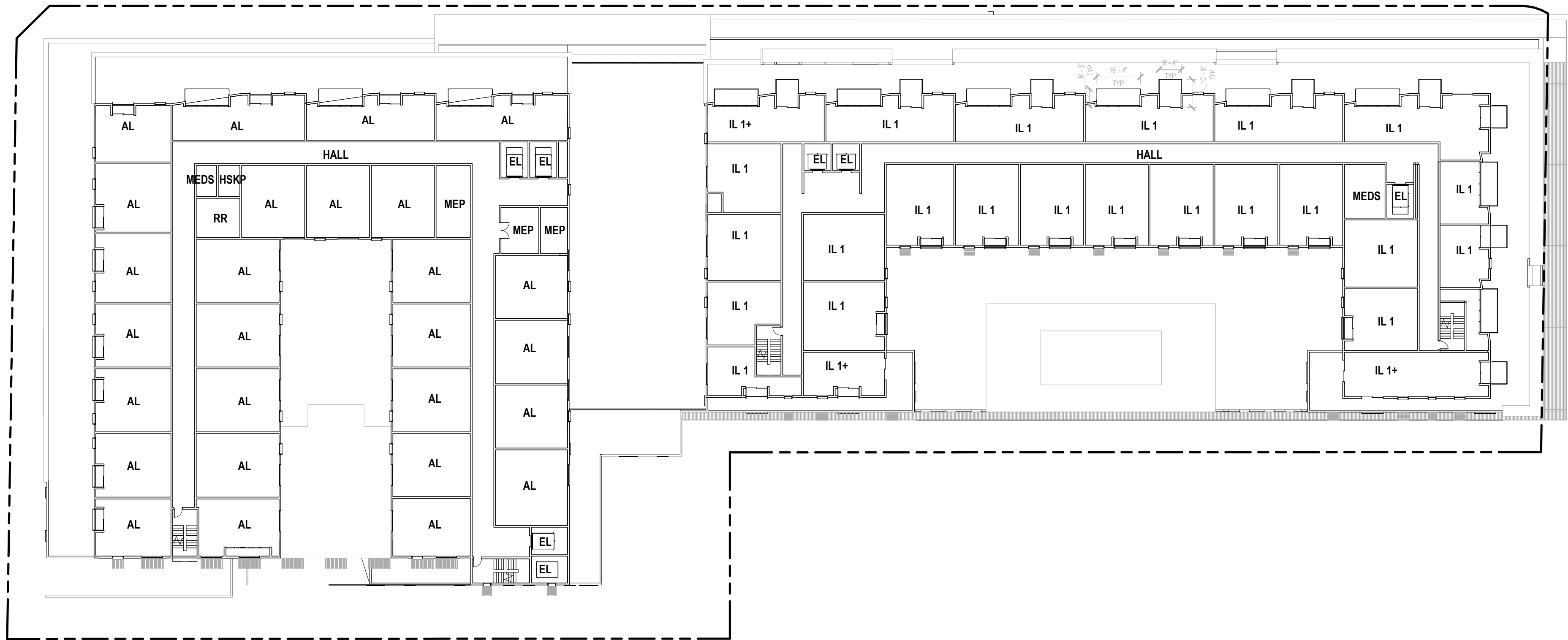
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1

FLOOR PLAN - LEVEL 04

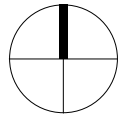
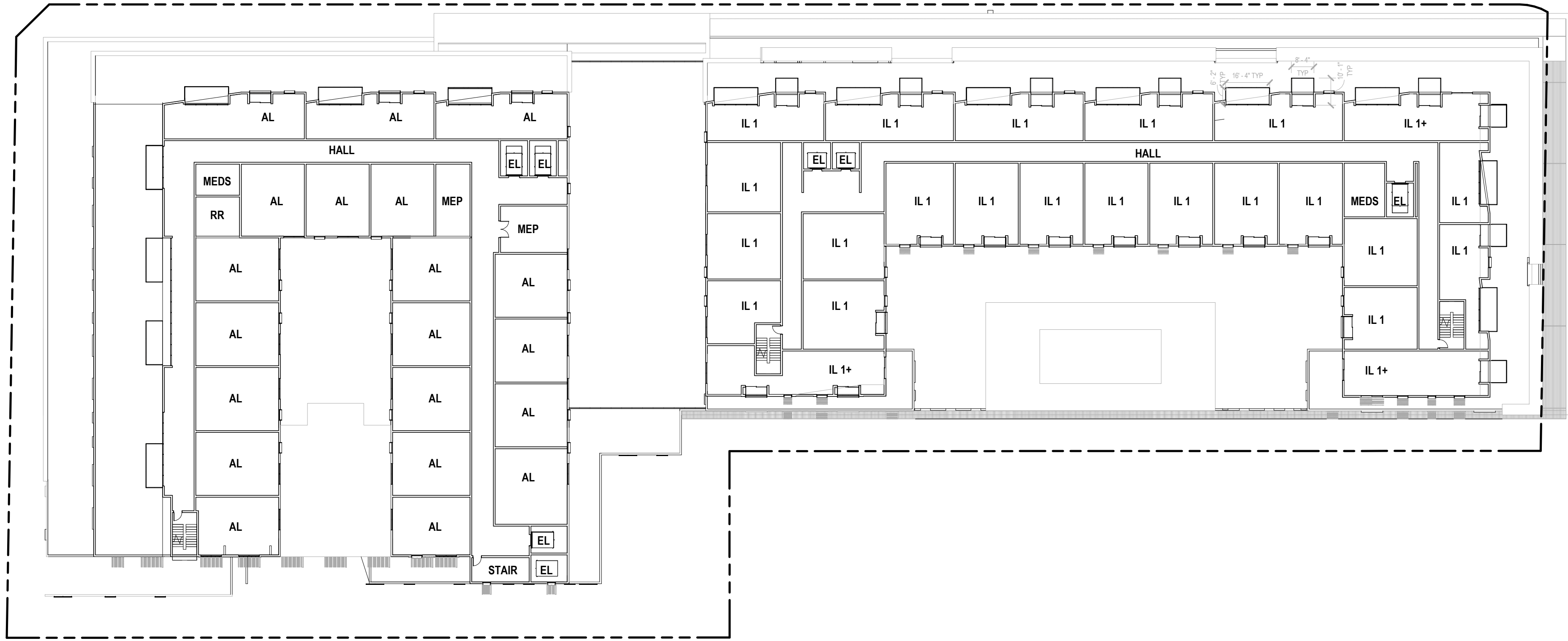
SCALE: 1" = 30'-0"



2

FLOOR PLAN - LEVEL 05

SCALE: 1" = 30'-0"



SHEET NOTES

GENERAL NOTES

KEY PLAN

EMPIRE GROUP
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	02/23/2022	Site Plan Re-submittal

Seal / Signature

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CONSTRUCTION**

Project Name
The Osborn

Project Number
57.8211.000

Description
FLOOR PLAN - LEVEL 04-LEVEL 05

Scale
1" = 30'-0"

21.Y_03

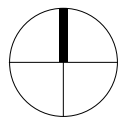
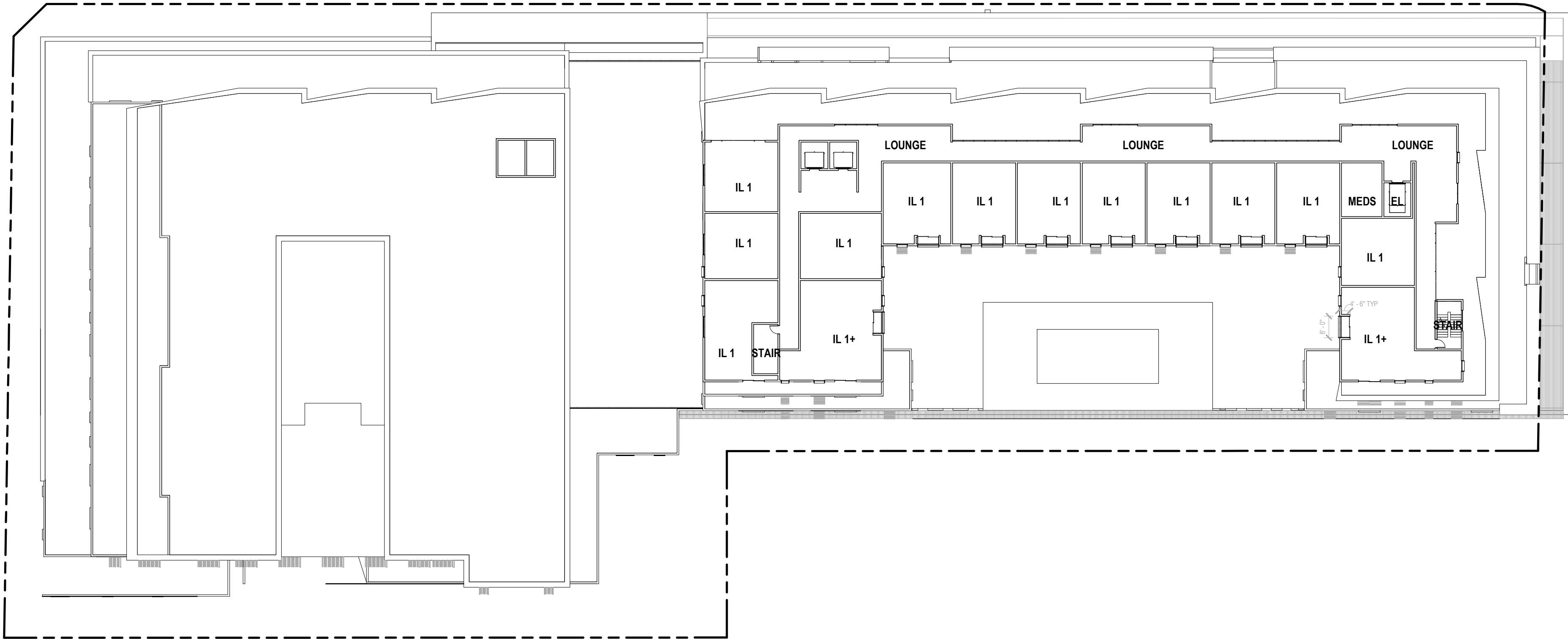
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1

FLOOR PLAN - LEVEL 6

SCALE: 1" = 30'-0"



SHEET NOTES

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Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

The Osborn

Project Number

57.8211.000

Description

FLOOR PLAN - LEVEL 06

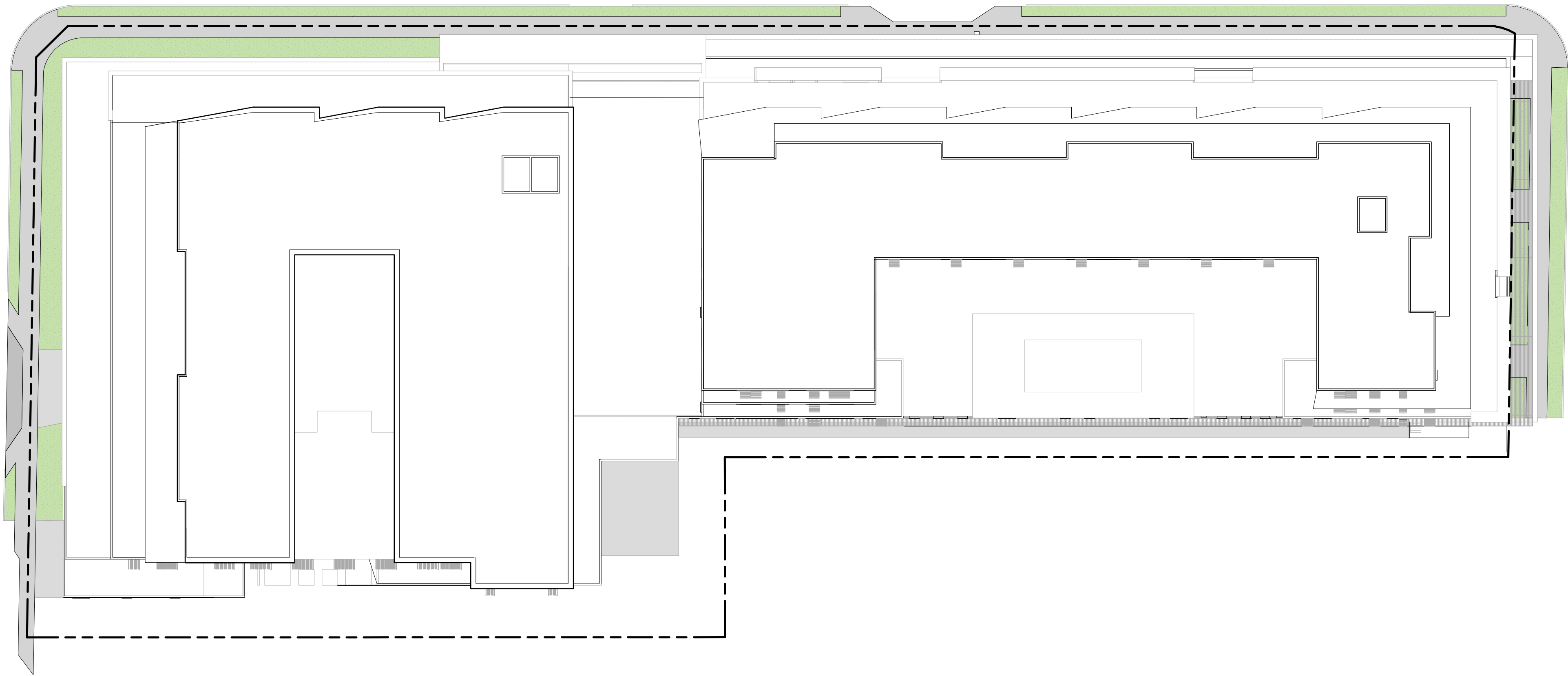
Scale

1" = 30'-0"

21.Y_04

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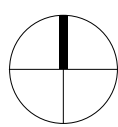


1 ROOF PLAN

SCALE: 1" = 30'-0"

ROOF AREA:

I.L. UPPER ROOF AREA = 16,662 SF
A.L. UPPER ROOF AREA= 20,478 SF



SHEET NOTES

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Seal / Signature

NOT FOR CONSTRUCTION

Project Name

The Osborn

Project Number

57.8211.000

Description

FLOOR PLAN - ROOF

Scale

As indicated

21.AA

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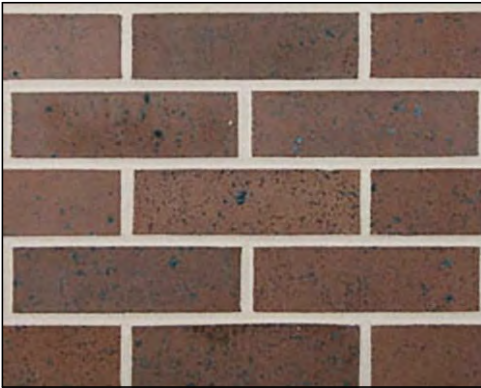
COS STAMP



MATERIAL BOARD



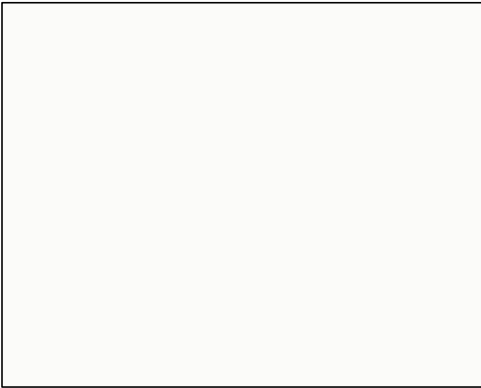
COMPOSITE WALL PANEL A
INTEGRALLY COLORED



CMU A - 8 X 4 X 16
INTEGRALLY COLORED



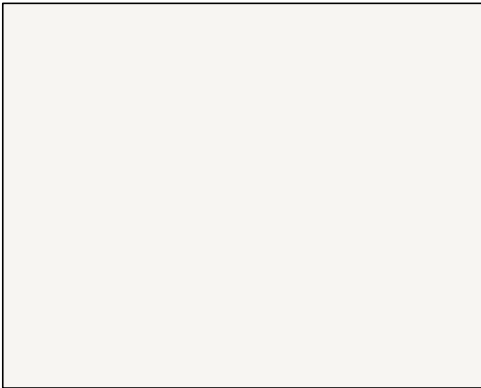
CMU B - 8 X 8 X 16
INTEGRALLY COLORED



CANOPY A
COATED WARM WHITE



METAL A
COATED DK WARM GRAY



ARCHITECTURAL
SYNTHETIC PLASTER A
COATED LT WARM NEUTRAL



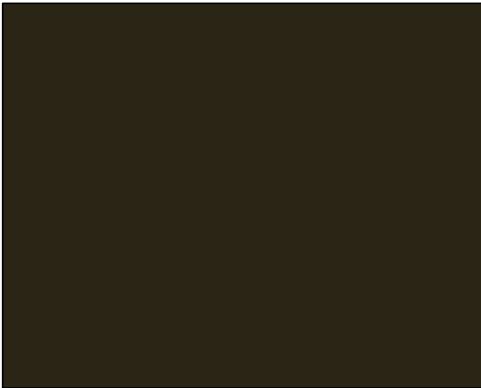
ARCHITECTURAL
SYNTHETIC PLASTER B
COATED WARM NEUTRAL



ARCHITECTURAL
SYNTHETIC PLASTER C
COATED MD WARM NEUTRAL



COMPOSITE WALL PANEL B
INTEGRALLY COLORED



METAL B
COATED DK BRONZE



METAL GUARDRAIL A
COATED WARM GRAY



VEGETATIVE SCREEN WALL