

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: February 16, 2023
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

One Scottsdale PU III, Medical Office Building and Residential Health Care Facility 61-DR-2015#5	Request for approval of project plans for a new two-story medical office and residential health care facility with approximately 105,000 square feet of building area on a +/- 6.52-acre site, along with a revision to the previously approved conceptual master site plan of case 61-DR-2015#2 for the larger +/- 21.6-acre site.
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SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Items for Consideration

- Development Review Board Criteria
- Scottsdale Sensitive Design Principles
- One Scottsdale Master Environmental Design Concept Plan (MEDCP)
- Development will be phased
- The future commercial pads and site improvements will return as future DRB applications for review and approval
- Scenic Corridor along N. Scottsdale Road frontage
- No public comment received, as of date of this report

BACKGROUND

Location: 7245 E. Thompson Peak Parkway

Zoning: Planned Regional Center, Planned Community District (PRC P-C)

Adjacent Uses

North: Existing commercial, Discount Tire Corporate Headquarter, zoned Commercial Office, Planned Community District (C-O PCD).

East: Existing multiple-family residential, zoned Planned Regional Center, Planned Community District (PRC PCD).

South: Vacant, undeveloped land within the One Scottsdale Planning Unit II, zone Planned Community District (PCD).

West: Vacant, undeveloped land with the City of Phoenix



Property Owner

RKCCLL Investments, LLC

Applicant

Jaime L. Northam, Ryan Companies
(602) 322-6229

Architect/Designer

Ryan A+E, Inc.

Engineer

Prefling Engineering

DEVELOPMENT PROPOSAL

The applicant is requesting approval of project plans for a new two-story medical office and residential health care facility (RHCF) with approximately 105,000 square feet of building area, along with a revision to the previous approved conceptual master site plan (61-DR-2015#2), which consisted of approximately 360,000 square feet of office, located in three (3) multi-story buildings, 25,800 square feet of retail (61-DR-2015#3) and 3,500 square feet of restaurant located in three (3) buildings, 66,800 square feet of hotel (61-DR-2015#2), along with one (1) multi-story parking structure.

Revisions to the approved master site plan and phasing plan include the removal of one of the two parking structures and a new building layout for the northern office building. With this application, the Development Review Board will be approving a two-story medical office building. Future phases will return to the Development Review Board for review and approval of the site plan, landscape plan and building elevations. For more detailed information, phasing plans are attached to this report.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including the use of overhangs, landscape at pedestrian connections and high-performance glazing that will reduce building energy consumption and promote a sustainable approach to building systems and lifecycle.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the One Scottsdale PU III, Medical Office Building and Residential Health Care Facility, as well as the updated master plan for the development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and the Greater Airpark Character Area and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

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APPROVED BY



Christopher Zimmer, Report Author

2/8/2023

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

2/8/2023

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Previous DRB approved Master Conceptual Site Plan (61-DR-2015#2)
8. Master Conceptual Site Plan
9. Master Phasing Plan
10. Previous DRB approved Master Open Space Plan (61-DR-2015#3)
11. Master Open Space Plan
12. Open Space Plan
13. Master Scenic Corridor Plan
14. Circulation Plan
15. Land Use Budget
16. Landscape Plan
17. Building Elevations
18. Perspectives
19. Materials and Colors Board
20. Electrical Site Plan
21. Exterior Photometrics Plan
22. Exterior Lighting Cutsheets
23. Zoning Map
24. City Notification Map



Q.S.
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Google Earth Pro Imagery

Context Aerial

ATTACHMENT 1

61-DR-2015#5



Close-up Aerial

ATTACHMENT 2

61-DR-2015#5

ONE SCOTTSDALE MEDICAL
ONE SCOTTSDALE - PLANNING UNIT III
DEVELOPMENT REVIEW BOARD
PROJECT NARRATIVE
February 8th, 2023

REQUEST

On behalf of Ryan Companies, Inc. (“Ryan”) and DMB Associates, Inc. (“DMB”), the following is a request for the approval of a multi-tenant medical office building within Planning Unit III, which is south of Thompson Peak Pkwy within One Scottsdale (“Property”). The proposal, approximately 6.52 acres, requests Development Review Board (“DRB”) approval for the building elevations and site plan for the medical office (“Project”). The request will develop the remaining Thompson Peak frontage of Planning Unit III for the One Scottsdale development.

DEVELOPMENT OVERVIEW

One Scottsdale is located at the northeast corner of Scottsdale Road and the Loop 101 freeway. One Scottsdale is planned to be a mixed-use development on the north side of the Loop 101 freeway along Scottsdale Road. At build-out, it is anticipated there will be approximately 2,866,145 million square feet of commercial, office and retail uses, 400 hotel rooms and up to 2,000 residential units, all of which is in conformance with the zoning and other regulating documents approved by the City in 2002 (“2002 Entitlements”) and an update to the rezoning in 2016 (“2016 Entitlements”). One Scottsdale is envisioned as a vibrant destination with active daytime and nighttime uses for its residents and others throughout the area.

Part of the 2002 & 2016 Entitlements are master plans for water, wastewater, drainage, transportation, and environmental design. The Project conforms to these master plans. A Master Environmental Design Concept Plan (“MEDCP”) was approved by the DRB that includes landscape, hardscape, architectural styles, and other design features for One Scottsdale.

One Scottsdale - Planning Unit III

Planning Unit III within One Scottsdale is bounded by Thompson Peak Parkway on the North, Scottsdale Road on the West, Legacy Boulevard on the South, and the Western Boundary of the Grayhawk community on the East. The Land Use Budget (“Budget”) for One Scottsdale allows for a mixture of residential, hotel, and commercial/retail/office uses. The Budget is specific for planning Unit III as to the maximum number of residential units (50 Maximum), residential densities in certain areas, and varying height limitations. The multifamily development to the East (Jefferson at One Scottsdale) has utilized the allowed number of residential dwelling units within planning unit III. The request is located on the Western portion of Planning unit III and includes medical office uses and conforms to the requirements and development standards set forth in the 2002 entitlements.

The Project and Surrounding Improvements

The site is directly west of the Jefferson at One Scottsdale apartment community. Further to the east, is the Cavasson master planned project including the Grayhawk communities. To the north is the Grayhawk multi-tenant office development and Honor Health Scottsdale Thompson Peak Medical Center. To the west across Scottsdale Road is the City of Phoenix which is planned for dense and intense mixture of land uses. To the south is the remainder of One Scottsdale Planning Unit III development including hotel and planned retail/commercial/office uses, not part of this request. The access points to the Property from Scottsdale Road and Thompson Peak Parkway were approved as part of the 2002 entitlements.

REQUEST

Site Plan

The request is to approve building elevations and site plan for a 6.52+/- acre parcel as well as to abandon an existing drainage easement along the east side of the site that is no longer required for proper site drainage. The parcel includes an average eighty (80) foot wide drainage and public non-motorized access easement along the west side of Planning Unit III as well as an average forty (40) foot wide drainage and non-motorized access easement to the North along Thompson Peak Parkway. To the east side of the parcel is the drainage easement of varying widths that was originally dedicated for a parking structure that was previously proposed but is no longer included in the development plan. There will be multiple access points to the project; one into the west side of the site from Scottsdale Rd via access easement as well as shared parking with the remainder of the One Scottsdale Planning Unit III masterplan and one to the East of the site, from 73rd street directly into the property. Vehicles (emergency, solid waste, residents, and visitors alike) will be able to utilize access from the internal aisles of the Southern Planning Unit III properties as well as directly from 73rd street to access the proposed building.

The DRB would be approving one (1) medical office building occupying the corner of North Scottsdale Road and Thompson Peak parkway. The building would consist of two (2) stories and roughly 105,715 Gross square feet of space.

Parking

The project includes 373 surface parking stalls, of which 21 are currently proposed to be ADA.

Architecture

The parcel is located within an area of the One Scottsdale development that allows for buildings up to forty-five (45) feet in height. The proposed building is currently planned to reach forty-two (42) feet in height. Architecturally, the character of the development is Contemporary as defined by the MEDCP. The style fits contextually within the urban direction of the MEDCP and provides a complement to the other approved contemporary designs on Planning Unit III and the surrounding context.

The Contemporary design language is expressed through clean visual lines, simple rectilinear forms, and varying facade rhythm. Long horizontal windows on the southern facade with deep mullion elements and horizontal sunshades functionally shade windows below but also relate to the local architectural

language. Tall vertical fins on the east and west façade provide more shade and both functionally and aesthetically fit the local context. An earth-tone inspired color palette and subtle balance of dark and light elements further tie the visual presence of the project to both its place in Scottsdale and the surrounding buildings.

DEVELOPMENT REVIEW BOARD CRITERIA

The City's zoning ordinance states that the Development Review Board shall be guided by the following criteria when considering an application. They are as follows:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Response: One Scottsdale has an approved zoning case and development agreement which sets forth the zoning entitlements for the Property. Master plan requirements and amended development standards provide for a cohesive yet flexible construct for development on the Property. The Project is within the character approved for One Scottsdale through its approved MEDCP and zoning entitlements.

2. The architectural character, landscaping and master plan design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood.
 - b. Avoid excessive variety and monotonous repetition.
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles.

Response: The design character of the area will be enhanced and strengthened by the new development through the continuation of a distinctive design quality of the surrounding context. The architectural character of the various buildings will be contemporary in nature. The project Master Plan provides an average setback along Scottsdale Road of 100 feet to help the natural flow of existing habitats. The development integrates alternative modes of transportation, including bicycles and a pedestrian network that encourage social contact and interaction within the community. The design of the Master Plan's built environment responds to the desert environment and pedestrian environment using thoughtfully designed vertical and horizontal building sunshades and enhanced landscaping at pedestrian hardscaped connections. The use of high-performance glazing will help to reduce building energy consumption and promote a sustainable approach to building systems and lifecycle.

3. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback, or architectural details, in the Historic Property Overlay District.

Response: The Property is neither in the ESL or the Historic Property Overlay.

4. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: One Scottsdale access points to the surrounding public roadways were pre-determined with the 2002 & 2016 Entitlements. The existing driveways along Scottsdale Road were constructed when the widening of the roadway occurred in the mid-2000's. The site is surrounded by access with Thompson Peak Parkway to the north, Scottsdale Road to the west, 73rd street to the east, and access via connected parking aisles and drive to the south. The design of the site plan will enable full access for vehicles and pedestrians through the property to the connected pedestrian and vehicular ways to the south portions of Planning Unit III as well as connected pedestrian access to cross 73rd street from the property to the neighboring Grayhawk development.

5. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design. Ground mounted mechanical equipment will be screened either through the use of architectural site walls, or if located on the roof thru the use of architectural screening compatible with the architecture of the building.

Response: All mechanical equipment, appurtenances and utilities and their associated screening are integrated into the building design and architecture fully. Ground mounted equipment is concealed by screen walls composed of materials matching/complementing the primary building systems while roof mounted mechanical equipment and other appurtenances are concealed from pedestrian-level view by building integrated screen walls connected to and blending with the overall building architecture.

6. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines.
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level.
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations.
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials, and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

Response: The Property is not within the Downtown Area.

7. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public.
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features.
 - c. Location near the primary pedestrian or vehicular entrance of a development.
 - d. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.

Response: There is no proposed Cultural Improvement Program or Public Art Program.

Additional Project Narrative Development Review Board Criteria

The Development Review Board has specific criteria within the zoning ordinance, which serve as the basis for the review and approval of a DRB application. The following are the listed criteria and responses to each of the listed criteria.

- Describe how the proposed development is consistent with the Character and Design Chapter of the Scottsdale General Plan, the Zoning Ordinance, any pertinent master plan, scenic corridor guideline, or streetscape guideline.

Response: The zoning case was approved in 2002 in conformance with the City's General Plan. The zoning also pre-dates the applicable Greater Airpark Character Area Plan ("GACAP"). The GACAP indicates this area as an Airpark Mixed Use — Residential (AMU-R) land use. With the residential, employment and support commercial uses approved for One Scottsdale, the project implements the desired land uses indicated with the AMU-R goals and policies. The GACAP Conceptual Development Types map designates the Property as a mixture of higher scale (southern portion) and medium scale (norther portion). The proposed building heights and site design are consistent with this designation and the more restrictive height stipulations from the zoning case. The amended development standards are a part of the zoning designation for the Property. The Project complies with and implements the MEDCP character and design. The zoning case stipulated an average 100' wide scenic corridor with a 60' wide minimum. This parcel does not impact the scenic corridor requirements of the 2002 & 2016 Entitlements.

- Explain how the proposed development will contribute to the general health, welfare, safety, and convenience of persons residing or working in the vicinity.

Response: The City's General Plan, GACAP and existing zoning entitlements will allow the Property to develop as a part of a larger mixed-use core. The Project is a component of an overall One Scottsdale master plan that envisions a mixture of uses providing residents, employees, employers, and tourists alike a place to live, work, play and shop. This type of development plan creates a sustainable environment to reduce vehicle trips and creates a mixture of uses in one development creating convenience of persons residing or working in the vicinity. The set of zoning restrictions and master plan requirements for the infrastructure of One Scottsdale ensures the City is allowing a development plan that contributes to the health, safety, and welfare of the community.

- Describe the spatial relationship that will exist between nearby structures and the proposed development, as well as open spaces, and topography, both within the project site and in the surrounding context.

Response: The Project creates a new medical services destination to the evolving mixed-use project. With proposed hotel, commercial and office uses developing within the remainder of One Scottsdale's Planning Unit III, the proposed medical development will increase the mixture of uses while implementing 360 degree architecture to respond to its prominent corner frontage, adjacent residential neighbor, adjacent commercial and hotel neighbors, and the views to the east to the McDowell Mountains. A generous western scenic corridor as well as southern open space, landscape, and pedestrian connections ensure development plans fit into the existing surrounding and developed context of the area.

- Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking areas, loading and service areas.

Response: The site plan is designed with access from West from Scottsdale Road via access easement along the southern adjoining property as well as access from the east and south sides of the parcel via direct connection to 73rd street and multiple parking aisle and drive aisle connections to the adjoining properties respectively. This access points are consistent with the street sections from the 2002 Entitlements. This will initially allow vehicles, bicycles, and pedestrians convenient access to the public streets adjacent to One Scottsdale. The future scenic corridor will provide for a sidewalk and trail. The master pedestrian plan demonstrates the many paths within the site and connections off the Property. The multiple access points from Scottsdale Road, 73rd street, and the southern neighboring Planning Unit III masterplanned properties provide for safe and convenient access plan and fulfills this DRB criterion.

- Describe how the architectural characteristics of the proposed development relate to character elements and design features of the structures that are within the surrounding context.

Response: One Scottsdale has four (4) architectural styles approved as part of the overall MEDCP. They include traditional, urban, contemporary and a mixture of traditional and contemporary or con-trad. The architectural style of the proposed medical project is contemporary. The adjacent Hostel project is also contemporary in design. A Contemporary design language fits contextually with the currently approved architectural character in Planning Unit III.

- Describe how the design features and details of the proposed development have been utilized to screen all mechanical equipment, and utilities.

Response: All mechanical equipment, appurtenances and utilities and their associated screening are integrated into the building design and architecture fully. Ground mounted equipment is concealed by screen walls composed of materials matching/complementing the primary building systems while roof mounted mechanical equipment and other appurtenances are concealed from pedestrian-level view by building integrated screen walls connected to and blending with the overall building architecture.

- Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines, and other design guidelines.

Response: Pedestrian areas and building entrances will be heavily shaded thru the use of landscape features and/or architectural building elements. All sides of the buildings will have consistent architectural detail and character for "four-sided-architecture". Changes in the use or location of exterior building materials, colors, and/or textures occur in a logical and well thought out fashion.

- If the proposed development is located within the environmentally sensitive lands (ESL) district, explain how the proposed development complies with the recommendations and guidelines that are described in the environmentally sensitive lands (ESL) ordinance

Response: The Property is not located within the City's ESL area.

- If the proposed development is located within the HP, historic property district, then describe how the proposed development has utilized any unique or characteristic architectural features throughout the design of the project.

Response: The Property is not located within a historic property designation.

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated urban character and pedestrian orientation throughout the design of the project.

Response: The Property is not located within the downtown district.

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated traditional or southwestern design vernaculars, subdivided the building form into smaller character elements, emphasized fine-grain detailing, and utilized recessed fenestrations.

Response: The Property is not located within the downtown district.

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated the urban design and architectural design guidelines.

Response: The Property is not located within the downtown district.

SCOTTSDALE SENSITIVE DESIGN PRINCIPLES

1. The design character of any area should be enhanced and strengthened by new development.
 - a. Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.
 - b. Building design should be sensitive to the evolving context of an area over time.

Response: Architecturally, the Project will express a carefully considered contemporary design language sympathetic to the new hotel located south of property as well as the other proposed projects through Planning Unit III and its surrounding context. Clean, uninterrupted building lines, simple yet carefully articulated masses, and thoughtful vertical and horizontal shading elements reflect the character development and its neighbors. At its core a tall, glassy volume tucked beneath a deep overhang faces the inner heart of the development and welcomes patients, families, staff and other visitors into the high-quality contemporary environment.

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:
 - a. Scenic views of the Sonoran Desert and mountains
 - b. Archaeological and historical resources.

Response: The Project is envisioned as a single long rectangular-proportioned building oriented longwise in an East-West direction. This siting provides enhanced energy performance, opportunities for more southern and northern natural light, and a lower-height presence that will not disrupt views to the surrounding landscape from the adjacent hotel or living uses.

3. Development should be sensitive to existing topography and landscaping.
 - a. A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.

Response: Prior to the start of the Project, the site had been master planned for drainage and utility infrastructure. As a result, the site does not currently match exact historical grades for the site. However, existing site topography still generally conforms to historical drainage routes and elevations and is in-line with the master planned drainage and utility intent. Where feasible and not encumbered by utilities, fire access, drainage, or adjacent influences the site will attempt to incorporate natural shapes.

4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.

Response: The project site will be blended with the existing native landscape character incorporating complimentary Sonoran Desert plant material. The landscape will be continuous and compatible with other One Scottsdale parcels in planning unit III in this portion of the development and as characterized in the EDMP.

5. The design of the public realm, including streetscapes, parks, plazas, and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations
 - o. Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art, and integrated infrastructure elements.

Response: The streetscape utilizes a combination of colored concrete, decorative paving, seating, low voltage lighting and well-coordinated above and below grade utilities. The alignment and pedestrian connections are linked to the development to the east for continuity of circulation. Interior trees are placed to provide shade and comfort and scale for pedestrians, cars, while also providing architectural scale.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Response: In addition to vehicular traffic, access throughout the site will also be provided for walking and cycling. Bicycle use will be facilitated by providing the staff and visitors with on-site bike storage. Access to a perimeter walking and riding path is provided directly from the site.

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
 - a. Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.

Response: Sun shading and overall Project identity are addressed through the use of contemporary canopy and window shading features located at the main entrance to the building as well as all building entryways. All pedestrian routes on the site will receive tree shade for pedestrian use. Street trees are anticipated as an integral shade element.

8. Buildings should be designed with a logical hierarchy of masses:
 - a. To control the visual impact of a building's height and size
 - b. To highlight important building volumes and features, such as the building entry.

Response: The building incorporates a variety of architectural elements and strategies to minimize the visual impact of its size. The primary mass of the building is two stories, broken down into corner more-horizontally proportioned volume elements that appear to extend beyond and pass behind more vertically proportioned lighter plane elements. At its main vehicular and pedestrian axis/entry point, a taller, glassy volume tucked beneath a deep overhang faces the inner heart of the development and welcomes patients, families, staff and other visitors into the high-quality contemporary environment. The scale is further broken down and articulated by horizontal and vertical shading fins as well as drop-off shading canopies and a logical varying of building materiality.

9. The design of the built environment should respond to the desert environment:
 - a. Interior spaces should be extended into the outdoors both physically and visually when appropriate
 - b. Materials with colors and coarse textures associated with this region should be utilized.
 - c. A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities
 - d. Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.

Response: The primary visitor and patient experience will be centered around a generous, shaded, tall glass lobby space that provides a seamless connection between interior and exterior space. The project incorporates the local desert material palette in a contemporary way taking advantage of natural tones of block, sand-like finishes, local desert earth tone colors, and heavy mass expression balanced with light shading element nuance. Deep overhangs, tall east and west vertical shade structures, shaded pedestrian-centered areas, and delicate southern window horizontal shade elements anchor the project to its context and place in Scottsdale.

10. Developments should strive to incorporate sustainable and healthy building practices and products.
 - a. Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.

Response: The project incorporates a well-proportioned balance of masonry, concrete, metal panel, and cement plaster composite systems along with high-performing glazing and window systems. Thicker mass exterior wall elements of masonry and concrete provide the ideal thermal mass effect for the desert climate and are coupled with exterior insulation cement plaster and metal panel systems to provide the ideal insulation for the climate. Southern horizontal shading features and east/west vertical shading features reduce the sun's impact on openings as well as the overall building shell for further energy use improvement.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.
 - a. The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement
 - b. The landscaping should complement the built environment while relating to the various uses.

Response: The landscape will utilize a variety of tree and shrub sizes including salvaged materials consistent with the C.O.S. guidelines. Plant material will be selected to compliment the urban character of the western edges while blending with the north, south and eastern conditions. Plant material will be arranged to enhance the architecture and pedestrian environments in density variety and location. The landscape design will respond to the architecture and uses including streets, amenities, and walking path environments.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.
 - a. Water, as a landscape element, should be used judiciously
 - b. Water features should be placed in locations with high pedestrian activity.

Response: The landscape will be watered with a drip irrigation system that will be zoned by trees, shrub, and exposures.

13. The extent and quality of lighting should be integrally designed as part of the built environment.
 - a. A balance should occur between the ambient light levels and designated focal lighting needs.
 - b. Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

Response: Tasteful low lighting along the exterior pedestrian paths is used to create a walkable pedestrian experience in the evening. Lighting will have dimmability to be sensitive surrounding neighbors and provide flexibility for time appropriate lighting levels.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location, and illumination.
 - a. Signage should be designed to be complementary to the architecture, landscaping, and design theme for the site, with due consideration for visibility and legibility.

Response: Primary frontage facades and site locations will provide integrated signage and branding opportunities throughout the entire project.

SUMMARY

The request is to approve a two story (2) medical use project within One Scottsdale's Planning Unit III. This proposal will provide for a new convenient community location for medical services and resources within the One Scottsdale development along its Western border. This project will take advantage of the view corridors to the mountains to the east while having minimal visual impact from Scottsdale Road or other nearby public roads. The proposed development conforms to the 2002 & 2016 Entitlements. The proposed +/- 102,000 square feet will assist in meeting one of the stipulations from the 2016 Entitlements regarding percentage amount of office uses. When fully developed, the proposed 6.5-acre site will provide for another type of high quality lifestyle use for One Scottsdale and this area of the City. We respectfully request the DRB's approval of the Request.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Development Review Board Criteria

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant states, the zoning case was approved in 2002 in conformance with the City's General Plan. The zoning also pre-dates the applicable Greater Airpark Character Area Plan (GACAP). The GACAP indicates this area as an Airpark Mixed Use-Residential (AMU-R) land use. With the residential, employment and support commercial uses approved for the One Scottsdale, the project implements the desired land uses indicated with the AMU-R goals and polices. The GACAP Conceptual Development Types map designates the Property as a mixture of higher scale (southern portion) and medium scale (northern portion). The proposed building heights and site design are consistent with the designation and the more restrictive height stipulations from the zoning case. The amended development standards are a part of the zoning designation for the Property. The project complies with and implements the MEDCP character and design. The zoning case stipulated an average 100- wide scenic corridor with a 60' wide minimum. This request is consistent with this scenic corridor requirement and will implement a sidewalk and trail as part of the design.*
 - *Staff finds that the General Plan land use designation for this site is Mixed-Use Neighborhoods. The property is planned to have a mix of office and commercial uses. The site is also located within the Greater Airpark Character Area Plan and is designated as Airpark Mixed Use-Residential (AMU-R). AMU-R allows the greatest variety of land uses within the Greater Airpark, including business, office, employment, retail, and hotel uses. The proposed development conforms to the General Plan and Character Areas Plan for a mixed-use medium to high scale project.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that One Scottsdale has four (4) architectural styles approved as part of the overall MEDCP. They include traditional, urban, contemporary and a mixtures of traditional and contemporary. The architectural style of the proposed*

Medical Office Building is contemporary, as will be the future buildings located in Planning Unit III of One Scottsdale. This contemporary style fits contextually with the currently approved architectural character of Planning Unit II of One Scottsdale. The design character of the area will be enhanced and strengthened by the new development through the continuation of a distinctive design quality of the surrounding context. The architectural character of the various building will be contemporary in nature, in keeping with the currently approved architectural character of Planning Unit III of One Scottsdale. Mechanical equipment and their associated screening shall be integral to the building design.

- *Staff finds that the Scottsdale Sensitive Design Principles encourage design that “responds to the desert environment” using “colors and coarse textures associated with the region” and “a variety of textures and natural materials” that “provide visual interest and richness”. Additional architectural design criteria and guidelines are outlined in case 1-MP-2006 which established a Master Environmental Design Concept Plan (MEDCP) for the entire One Scottsdale project. The MEDCP outlines architectural design concepts, landscape, circulation, drainage, hardscaping, walls, lighting, and signage concepts. The proposed contemporary style of the medical office building is consistent with the contemporary architectural style of the Henkel office building to the south, and the southern portion of the apartment development to the east.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
- *The applicant states, that the site plan is designed with access from the west from Scottsdale Road via access easement along the southern adjoining property as well as access from the east and south sides of the parcel via direct connection to 73rd street and multiple parking aisle and drive aisle connections to the adjoining properties respectively. This access points are consistent with the street sections from the 2002 Entitlements. This will initially allow vehicles, bicycles, and pedestrians convenient access to the public streets adjacent to One Scottsdale. The future scenic corridor will provide for a sidewalk and trail. The master pedestrian plans demonstrates the many paths within the site and connections off the Property. The multiple access points from Scottsdale Road, 73rd street, and southern neighboring Planning Unit III masterplanned properties provide for safe and convenient access plan and fulfills this DRB criterion.*
 - *Staff finds that Planning Unit III within One Scottsdale is bounded by E. Thompson Peak Parkway on the north, N. Scottsdale Road to the west, E. Legacy Boulevard on the south and N. 73rd Street to the east. Access to the site is provided by the existing driveways along N. Scottsdale Road and N. 73rd Street that were established in case 20-ZN-2002. Due to the limitation of a sidewalk within a drainage channel staff recommended a direct sidewalk connection along the southern portion of the northern drive isle along Scottsdale Road to connect with the rest of the pedestrian circulation improvements proposed.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

- *The applicant states that the mechanical equipment is located on the roof of the building and will be fully screened by parapets and the Service Entrance Sections (SES) is located within the building.*
 - *Staff finds that the mechanical equipment is integrated into the building design and rooftop units are fully screened by the parapet walls.*
5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
 6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 7. *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

This site is zoned Planned Community (P-C), with Planned Regional Center (PRC) comparable zoning. This zoning was established with case 20-ZN-2002. The One Scottsdale P-C zoning and land use budget allows a mix of commercial, service, office, hotel, and residential uses.

In 2016, the Development Review Board approved a master site plan, building elevations, landscape plan and phasing plan for a new multi-phase development consisted of approximately 576,000 square feet of office space in four (4) 3-story buildings, along with two (2) multiple level parking structures, and four (4) future commercial building pad sites. Phase one of the previous approved master site plan consisted of one (1) 3-story 154,500-square-foot office building. Site improvements included vehicular access along N. Scottsdale Road and N. 73rd Street, installation of sidewalks along Thompson Peak Parkway, N. Scottsdale Road and N. 73rd Street and landscaping throughout Phase I including street frontages. In 2020, the Development Review Board approved an amendment to the conceptual master site plan and phasing plan to accommodate a new 130 room hotel (Phase I) and a new multi-phased development consisting of 420,000 square feet of office, 38,300 square feet of retail and multiple level parking structures. This request is for Development Review Board approval for Phase III, which is comprised of a new 105,000 square foot medical office building and residential health care facility. For more detailed information, the previous approved master site plan is attached to this report.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

Context

The property is located on the east side of N. Scottsdale Road between E. Thompson Peak Parkway on the north, E. Legacy Boulevard on the south, and N. 73rd Street on the east. Surrounding uses include existing commercial, multi-family residential and vacant land owned by the City of Phoenix.

Project Data

- Existing Use: Vacant, undeveloped land
- Proposed Use: Medical Office Building/RHCF
- Parcel Size: 379,120 square feet / 8.70 acre (gross)
283,890 square feet / 6.52 acre (net)
- Residential Health Care Facility Area: 20,500 square feet
- Medical Office/Rehab Building Area: 84,500 square feet
- Total Building Area: 105,000 square feet
- Building Height Allowed: 45 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 40 feet 2 inches (inclusive of rooftop appurtenances)
- Parking Required MOB: 338 spaces
- Parking Required RHCF: 34 spaces
- Total Parking Provided: 372 spaces
- Open Space Required (All Phases): 141,200 square feet / 3.24 acre
- Open Space Provided (All Phases): 267,160 square feet /6.13 acre

**Stipulations for the
Development Review Board Application:
One Scottsdale PU III, Medical Office Building
Case Number: 61-DR-2015#5**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations prepared by RYAN A+E, INC., with a city staff date of 1/19/2023.
 - b. The location and configuration of all site improvements shall be consistent with the site plan prepared by PREFLING ENGINEERING, with a city staff date of 1/19/2023.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan prepared by LASKIN & ASSOCIATES, INC., with a city staff date of 1/19/2023.
 - d. The case drainage report prepared by PREFLING ENGINEERING and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by PREFLING ENGINEERING and approved as noted on 1/30/2023 in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning is 20-ZN-2002, 20-ZN-2002#3 and 1-MP-2006 (MEDCP).

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

Ordinance

- C. Building height for the property shall conform to the building height as shown on the Allowable Building Height graphic set forth in Schedule E of case 20-ZN-2002.

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plans submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

Ordinance

- D. Pursuant to 20-ZN-2002, with each Development Review Board application, the developer shall include a revised Land Use Budget indicating the total commercial and office gross floor area.
- E. At time of final plans submittal, the applicant shall provide 20% accessible parking for the rehabilitation facility per zoning ordinance section 9.105.B.3.

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse enclosure in accordance with the site plan approved by Solid Waste dated 1/11/2023.
6. At time of final plans the applicant shall provide pavers where pedestrians cross vehicular traffic.
7. Future Pads as shown on the Master Development Site Plan shall return to the Development Review Board for separate review and approval.

OPEN SPACE:

Ordinance

- F. At time of final plans submittal, the property owner shall update the open space plan to remove any parking overhang areas from the provided open space per Zoning Ordinance Sec. 10.501.H2.c.

LANDSCAPE DESIGN:

Ordinance

- G. Pursuant to 20-ZN-2002, the landscape buffer along the south side of Thompson Peak Parkway shall be a minimum of thirty (30) feet, and an average of forty (40) feet, as measured from back of curb.
- H. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to remove any tree.

DRB Stipulations

8. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

9. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).
10. With the final plans submittal, the property owner shall update the landscape plans to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.

EXTRIOR LIGHTING:

Ordinance

- I. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.
- J. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- K. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

11. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
12. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.
13. No fixture shall be mounted higher than twenty (20) feet.

AIRPORT:

DRB Stipulations

14. With the construction document submittal, the property owner shall submit an FAA FORM 7460-1 to the FAA for any proposed structures, appurtenances and/or individual construction cranes that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed on the FAA form 7460-1 submittal. The property owner shall provide Aviation staff a copy of the FAA determination letter prior to building permit issuance.
15. With the construction document submittal, the property owner shall submit an aircraft noise and overflight disclosure notice that is to be provided to occupants, potential homeowners, employees and/or students. The disclosure form shall be in a form acceptable to the Scottsdale Aviation Director, prior to the issuance of any building permit, not including a native plant permit.

STREET INFRASTRUCTURE:

Ordinance

- L. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- M. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements: (ALL IMPROVEMENTS PER SECTION 47-10 (a) and 47-21 (a) and (b)
 - a. THOMPSON PEAK PARKWAY.
 - i. Remove, and replace the sidewalk adjacent to the development project with an eight (8) foot wide sidewalk.
 - ii. Modify the Thompson Peak Parkway median to provide left-turn access into the site per the master site plan.

DRB Stipulations

- 16. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements:
 - a. E. THOMPSON PEAK PARKWAY.
 - i. Modify the Thompson Peak Parkway median to provide left-turn access into the site per the master site plan.
 - ii. Construct a minimum eight (8)-foot wide sidewalk along the Thompson Peak Parkway site frontage per the zoning stipulations. Sidewalk should be separated from back of curb where possible.
 - b. N. 73RD STREET.
 - i. Remove, and replace the sidewalk adjacent to the development project with a five (5)-foot wide sidewalk that is setback from the curb a minimum of four (4) feet.
 - c. N. SCOTTSDALE ROAD.
 - 1. A northern most driveway along Scottsdale Road shall be a right-in/right-out only. Necessary geometric improvements are required in the site plan.
- 17. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
- 18. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherman Williams (SW7055) Enduring Bronze (246-C7).

WATER AND WASTEWATER:

Ordinance

- N. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

19. Prior to the civil construction document submittal, the property owner shall obtain approval of the master water and wastewater reports from to Water Resources Department. The civil construction document submittal shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the owner a site-specific addendum to the master report, subject to review and approval by City staff.
20. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

21. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report sealed on December 20, 2022.
22. The preliminary drainage study is basing offsite flows affecting the development site on a planning level area drainage master study. As part of approved final plans for developments within One Scottsdale’s planning unit 3 containing the development site, detailed final drainage studies were reviewed and approved that modified and clarified the results of the area drainage master study and, provided the basis for off-site flows affecting the site, and provided the overall stormwater management for the planning unit. The final plans and drainage report shall be updated to reflect the results of the previously approved final plans and drainage studies or a detailed hydrologic study evaluating modified offsite flows be provided in support of revised offsite flows affecting the development site.
23. The preliminary grading and drainage plans show fill within the wash and its 100-year floodplain along the northern portion of the proposed building. The final grading and drainage plan shall provide detailed grading for the fill and provide a hydraulic analysis for impacts.
24. The final grading and drainage plan shall be updated to reflect the use of one foot contour interval existing contours instead or two-foot contours as shown on the preliminary grading and drainage plan.
25. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

EASEMENTS DEDICATIONS:

Ordinance

- O. With the submittal of the map of dedication the drainage and facilities easement shall be modified to comply with the submitted plans and drainage report prepared by DMB.

DRB Stipulations

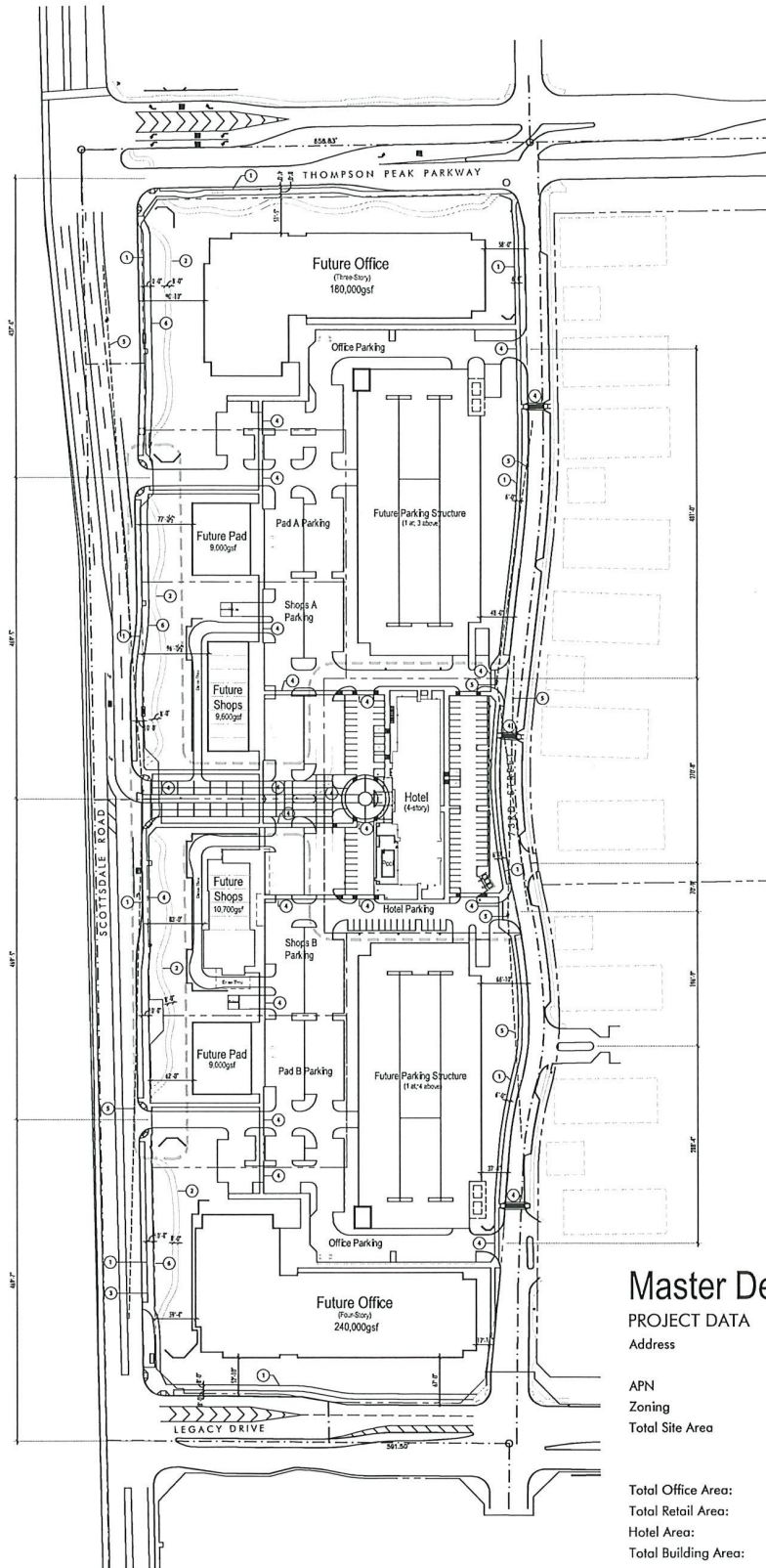
26. Prior to the issuance of any building permit for the development project, the property owner shall release and rededicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.

- b. A Scenic Corridor Easement for a Scenic Corridor setback width along N. Scottsdale Road. The easement shall be a minimum of 60 feet in width and an average of 100 feet in width, measured from back of curb along the roadway. Unless otherwise approved by the Development Review Board, the Scenic Corridor setback shall be left in a natural condition.
- c. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot.
- d. A minimum twenty (20) foot wide Water + Sewer Facilities Easement to contain public water and sewer infrastructure located outside public right-of-way.

ADDITIONAL ITEMS:

DRB Stipulations

- 27. All signage requires separate review and approval.



KEYNOTES

- 1. Concrete Sidewalk, integral color to match San Diego Buff
- 2. 8' Multi-Use Trail
- 3. New bus shelter location and easement to be provided with future phase
- 4. Pedestrian path, change in paving material and color
- 5. Site Visibility Triangle
- 6. 10' detached concrete sidewalk

Master Development Plan

PROJECT DATA

Address 20001 N Scottsdale Road
 Scottsdale, Arizona 85255
 APN 215-05-010
 Zoning PCD
 Total Site Area 21.61 acres net
 27.87 acres gross

Total Office Area: 420,000sf
 Total Retail Area: 38,300sf
 Hotel Area: 66,800sf (130 rooms)
 Total Building Area: 147,100sf

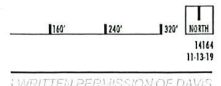
Total Parking Required: 1,716 spaces
 Total Parking Provided: 2,606 spaces (1hr parking reduction)
 Accessible parking Required: 105 spaces (4% of provided parking)
 Accessible Parking Provided: 105 Spaces
 Bicycle Parking Required: 172 spaces (1 / 10 auto spaces)
 Bicycle Parking Provided: 172 spaces

Phase One Boundary: - - - - -



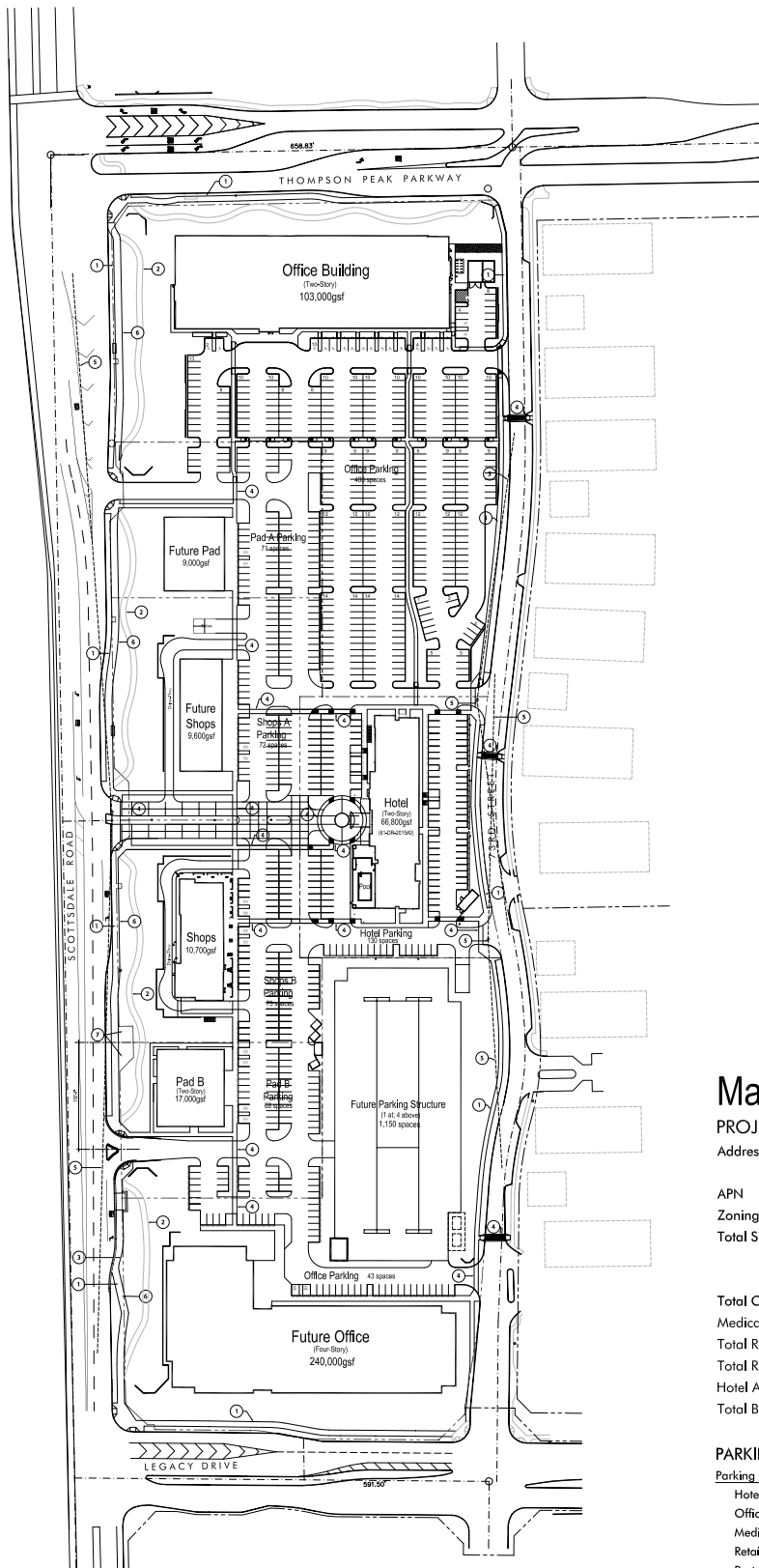
ONE SCOTTSDALE- Scottsdale, Arizona

ATTACHMENT 7



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Master Development Plan

PROJECT DATA

Address 20001 N Scottsdale Road
 Scottsdale, Arizona 85255
 215-05-010
 Zoning PCD
 Total Site Area 21.61 acres net
 27.87 acres gross

Total Office Area: 343,000sf
 Medical Spa Area: 17,000sf
 Total Retail Area: 25,800sf
 Total Restaurant: 3,500sf
 Hotel Area: 66,800sf (130 rooms)
 Total Building Area: 456,100sf

PARKING DATA:

Parking Required:

Hotel: 163 spaces (1.25/room)
 Office: 1,143 spaces (1/300sf)
 Medical Spa: 68 spaces (1/250sf)
 Retail: 104 spaces (1/250sf)
 Restaurant: 30 spaces (1/120sf)
 Patio: 5 spaces (1/350sf)
 Total: 1,513 spaces

Accessible Parking Required: 105 spaces (4% of provided parking)

Accessible Parking Provided: 105 Spaces

Bicycle Parking Required: 175 spaces (1 / 10 auto spaces)

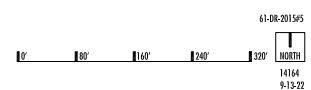
Bicycle Parking Provided: 175 spaces

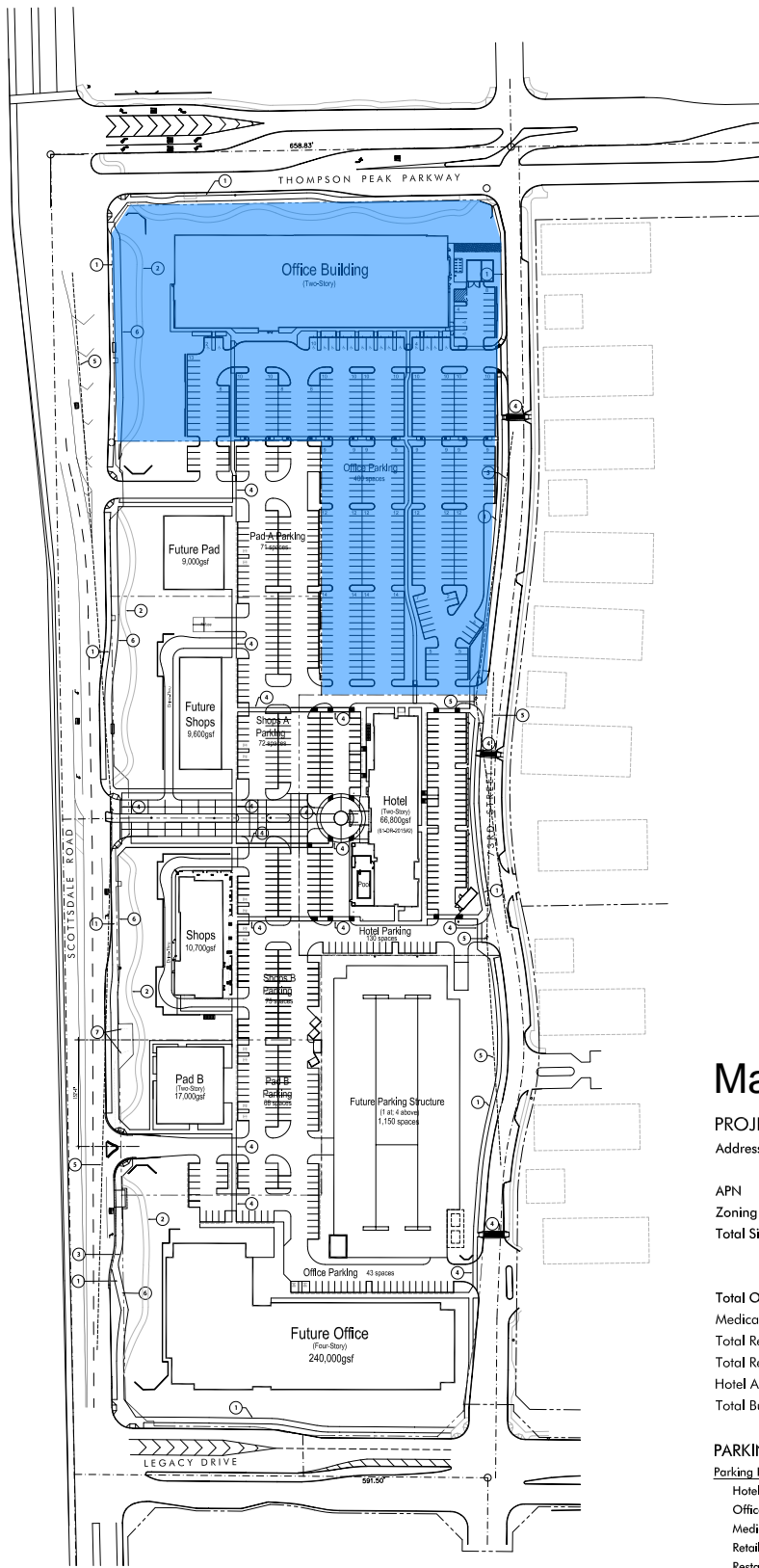
Parking Provided:

Hotel: 130 spaces (thru parking reduction)
 Office: 1,593 spaces
 Retail: 286 spaces
 Total: 2,009 spaces

KEYNOTES

1. Concrete Sidewalk, integral color to match San Diego Buff
2. 8' Multi-Use Trail
3. New bus shelter location and easement to be provided with future phase
4. Pedestrian path, change in paving material and color
5. Site Visibility Triangle
6. 10' Concrete Sidewalk detached 8' from back of curb
7. Existing curb cut and decel lane to be removed and replaced with new curb and gutter.





Master Phasing Plan

PROJECT DATA

Address 20001 N Scottsdale Road
 Scottsdale, Arizona 85255
 215-05-010
 Zoning PCD
 Total Site Area 21.61 acres net
 27.87 acres gross

Total Office Area: 343,000sf
 Medical Spa Area: 17,000sf
 Total Retail Area: 25,800sf
 Total Restaurant: 3,500sf
 Hotel Area: 66,800sf (130 rooms)
 Total Building Area: 456,100sf

PARKING DATA:

Parking Required:

Hotel: 163 spaces (1.25/room)
 Office: 1,143 spaces (1/300sf)
 Medical Spa: 68 spaces (1/250sf)
 Retail: 104 spaces (1/250sf)
 Restaurant: 30 spaces (1/120sf)
 Patio: 5 spaces (1/350sf)
 Total: 1,513 spaces

Accessible Parking Required: 105 spaces (4% of provided parking)

Accessible Parking Provided: 105 Spaces

Bicycle Parking Required: 175 spaces (1 / 10 auto spaces)

Bicycle Parking Provided: 175 spaces

Parking Provided:

Hotel: 130 spaces (thru parking reduction)
 Office: 1,593 spaces
 Retail: 286 spaces
 Total: 2,009 spaces

KEYNOTES

1. Concrete Sidewalk, integral color to match San Diego Buff
2. 8' Multi-Use Trail
3. New bus shelter location and easement to be provided with future phase
4. Pedestrian path, change in paving material and color
5. Site Visibility Triangle
6. 10' Concrete Sidewalk detached 8' from back of curb
7. Existing curb cut and decel lane to be removed and replaced with new curb and gutter.



ONE SCOTTSDALE

ONE SCOTTSDALE- Scot

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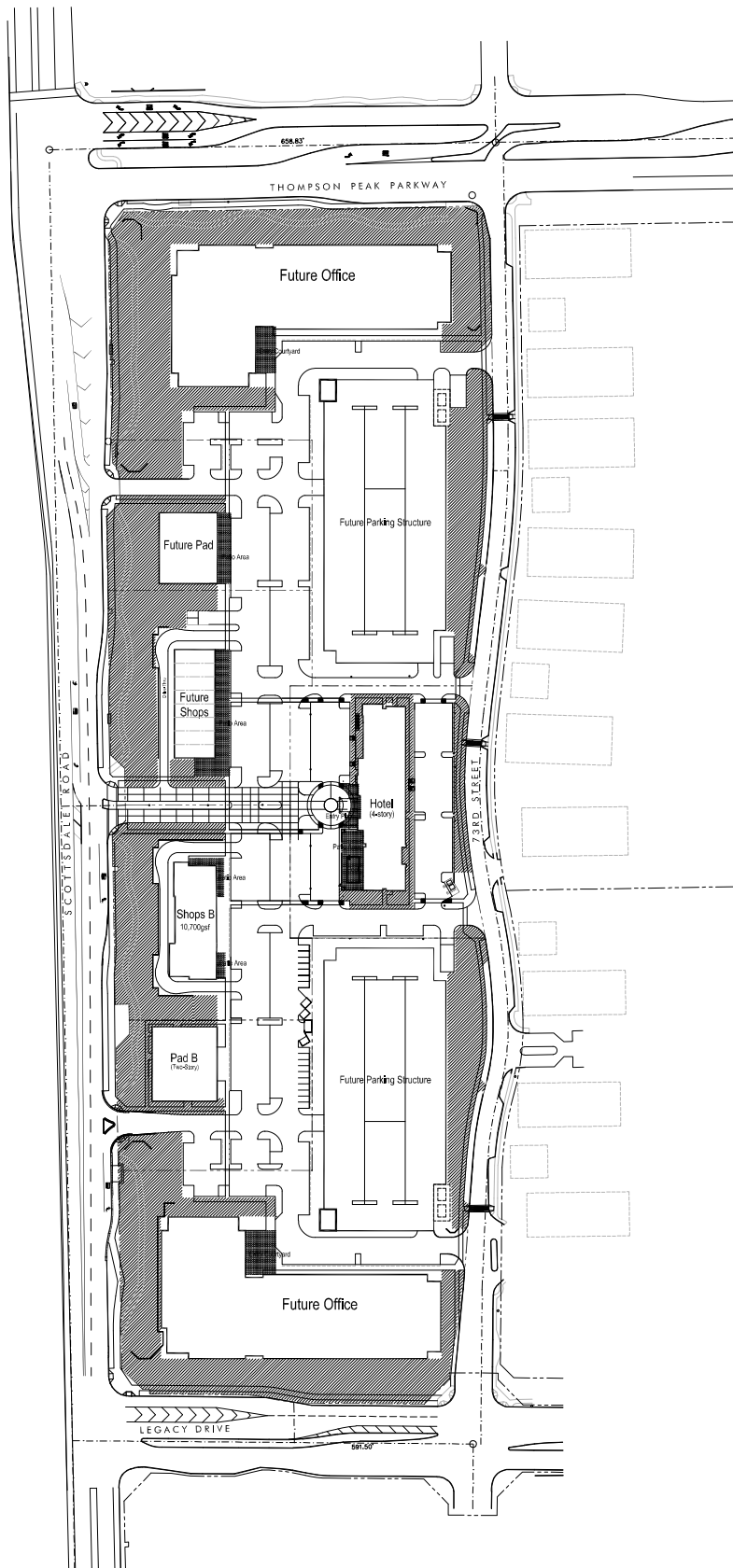
ATTACHMENT 9

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Master Development Worksheet

Total Site Area	21.61 acres net (27.87 acres gross)
Open Space Required:	141,200sf (15% net site)
Open Space Provided:	267,160sf
Courtyard Areas / Plazas:	20,800sf

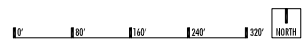


ONE SCOTTSDALE

ONE SCOTTSDALE- Scottsdale, Arizona

ATTACHMENT 10

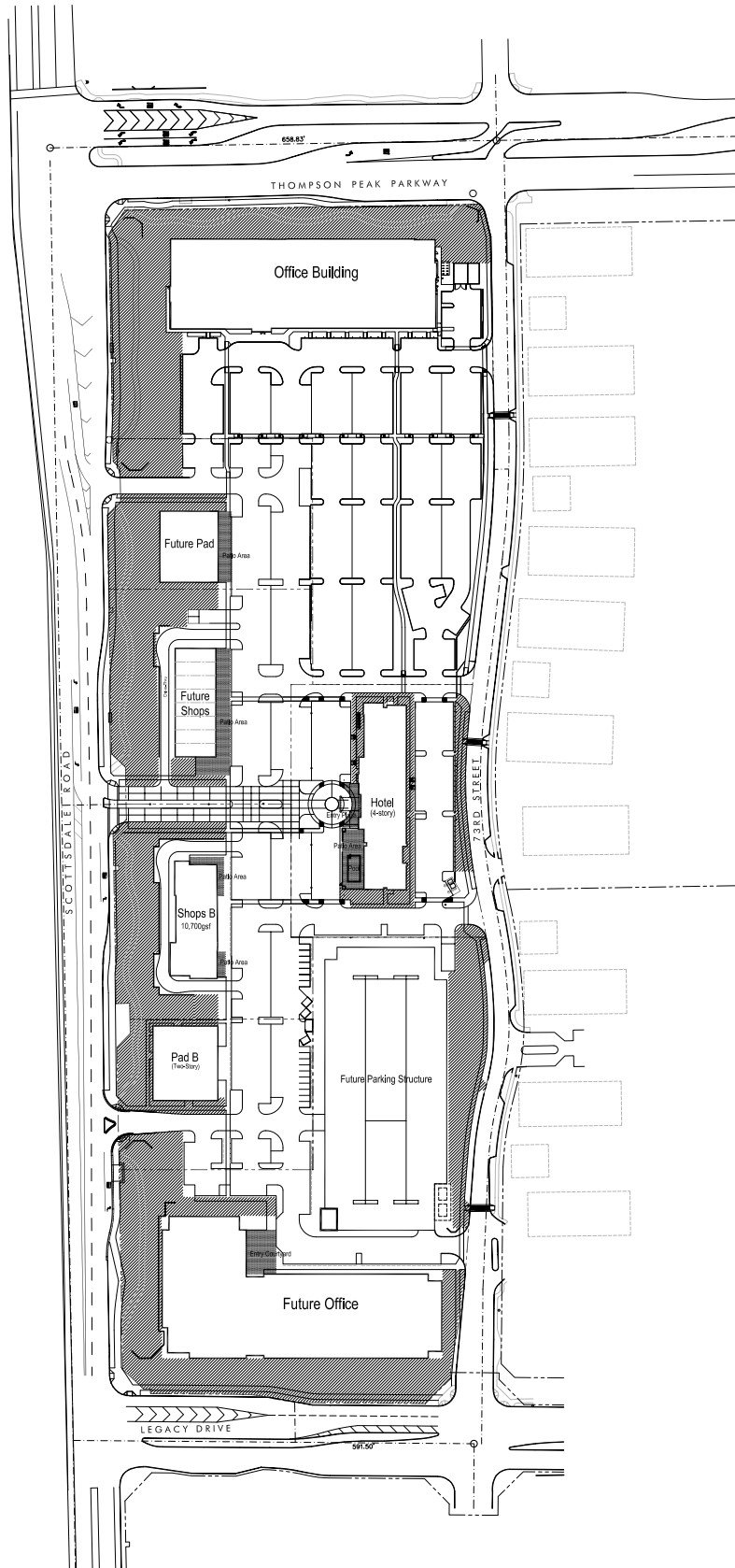
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Master Development Worksheet

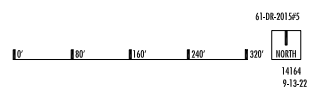
Total Site Area	21.61 acres net (27.87 acres gross)
Open Space Required:	141,200sf (15% net site)
Open Space Provided:	234,400sf
Courtyard Areas / Plazas:	18,770sf



ONE SCOTTSDALE- Scotts

ATTACHMENT 11

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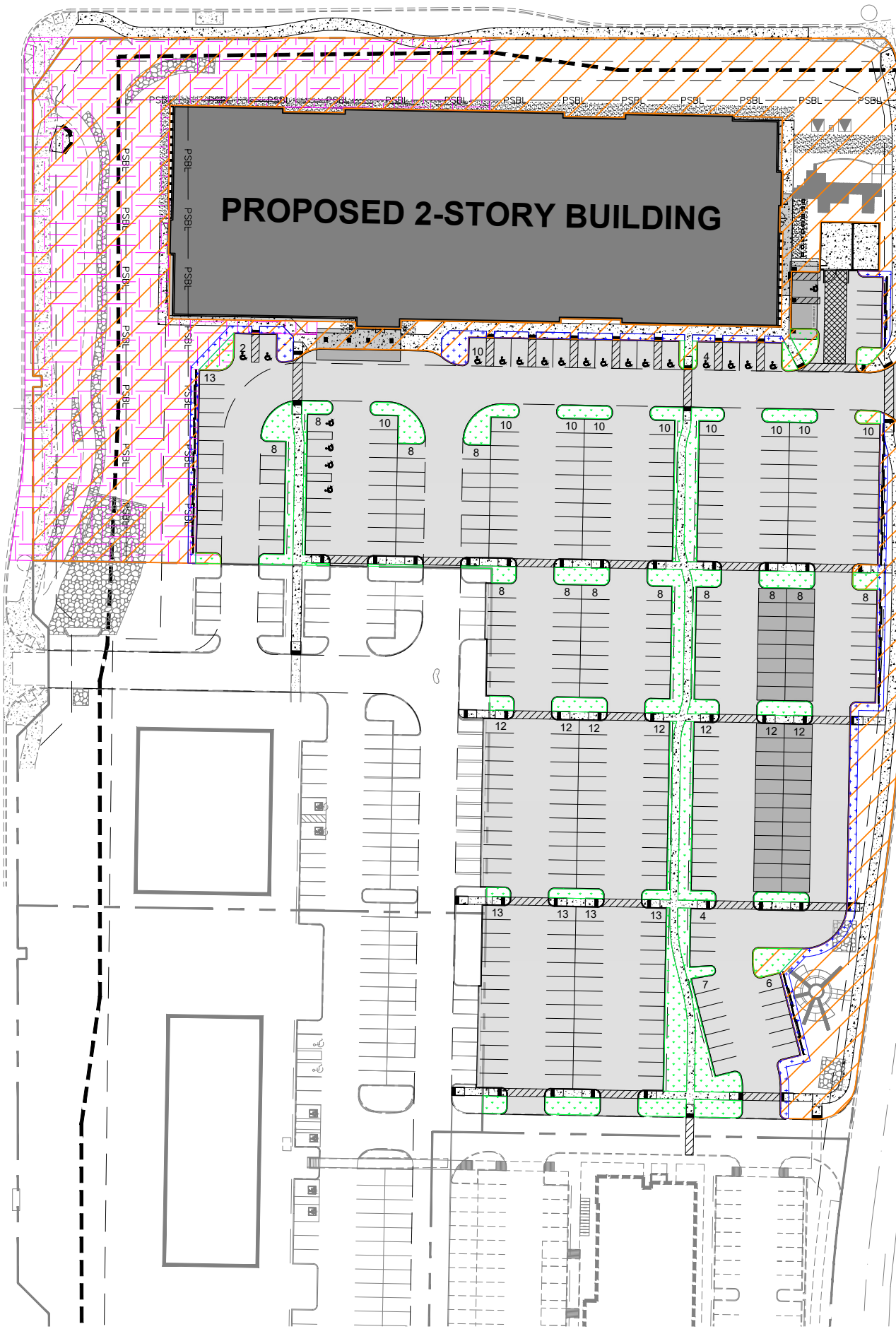
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NORTH SCOTTSDALE ROAD

EAST THOMPSON PEAK PARKWAY

NORTH 73RD STREET



OPEN SPACE LEGEND

GENERAL OPEN SPACE - 29.1%	
PROPOSED SCENIC CORRIDOR - 15.9%	
PERIMETER PARKING LOT LANDSCAPING - 1.7%	
PARKING LOT LANDSCAPE ISLANDS - 5.0%	

OPEN SPACE/LANDSCAPING

SITE SIZE:	±6.52 ACRES
	±283,980 SF
IMPERVIOUS AREA:	±194,783 SF
PERCENTAGE:	±68.6%
OPEN SPACE (LESS LANDSCAPE ISLANDS):	±77,650 SF
PERCENTAGE:	±27.3%
SCENIC CORRIDOR:	
PROPOSED:	±45,044 SF
FRONTAGE:	±338 LF
AVERAGE SETBACK:	133 FT
EXISTING (APPROVED):	±38,420 SF
PARKING LOT:	±124,150 SF
LANDSCAPING REQUIRED (15%):	±18,623 SF
LANDSCAPE ISLANDS REQUIRED (1/3):	±6,208 SF
LANDSCAPING PROVIDED:	±18,966 SF
LANDSCAPE ISLANDS PROVIDED:	±14,101 SF



RYAN A+E, INC.
3900 E. Camelback Road, #100
Phoenix, AZ 85018
602-322-6100 tel

WWW.RYANCOMPANIES.COM

OWNER

Blank box for owner information.

CONSULTANTS

Blank box for consultant information.

Blank box for consultant information.

PROJECT INFORMATION

ONE SCOTTSDALE MEDICAL

20159 N Scottsdale Rd
Scottsdale 85255

**PRELIMINARY
NOT FOR
CONSTRUCTION**

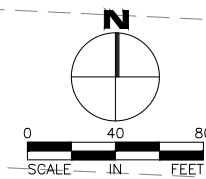
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BJP	BJP
JOB NO.	DATE
701-368	01/18/2023

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
01	07/08/2022	PRE-APPLICATION
02	08/31/2022	DRB SUBMITTAL
03	11/04/2022	DRB RESUBMITTAL
04	01/18/2023	DRB 2ND RESUBMITTAL
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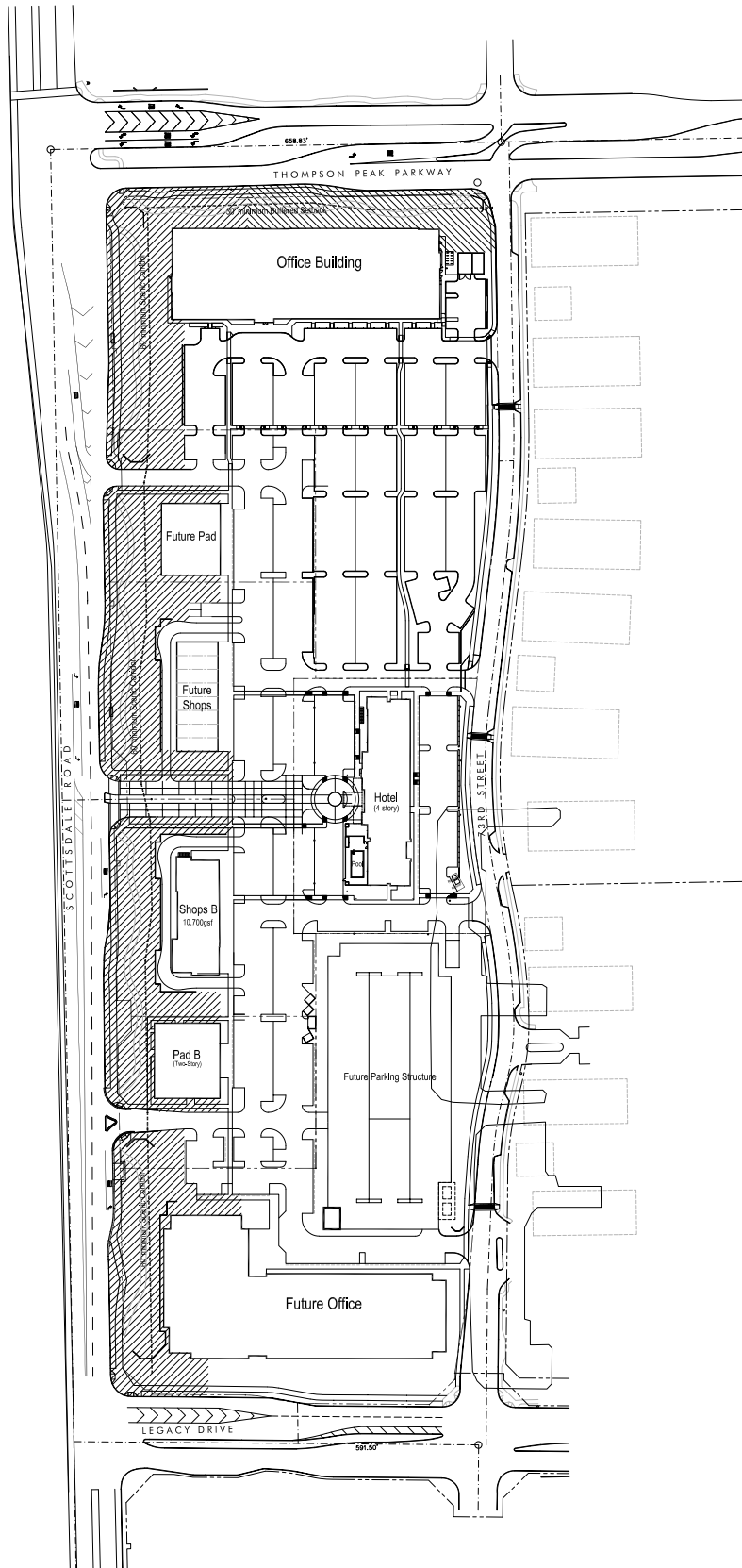
DRB SUBMITTAL

OPEN SPACE
PLAN



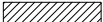
ATTACHMENT 12

A055




Scenic Corridor / Buffered Setback Worksheet

Scottsdale Road Scenic Corridor Required: 176,600sf (1,766' x 100')

Scottsdale Road Scenic Corridor Provided: 180,050sf 

Thompson Peak Buffered Setback Required: 18,400sf (460' x 40')

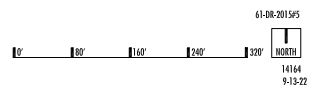
Thompson Peak Buffered Setback Provided: 23,780sf 



ONE SCOTTSDALE- Scotts

Notice of IP Rights: 2019 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE F

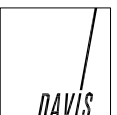
ATTACHMENT 13



61-08-201545

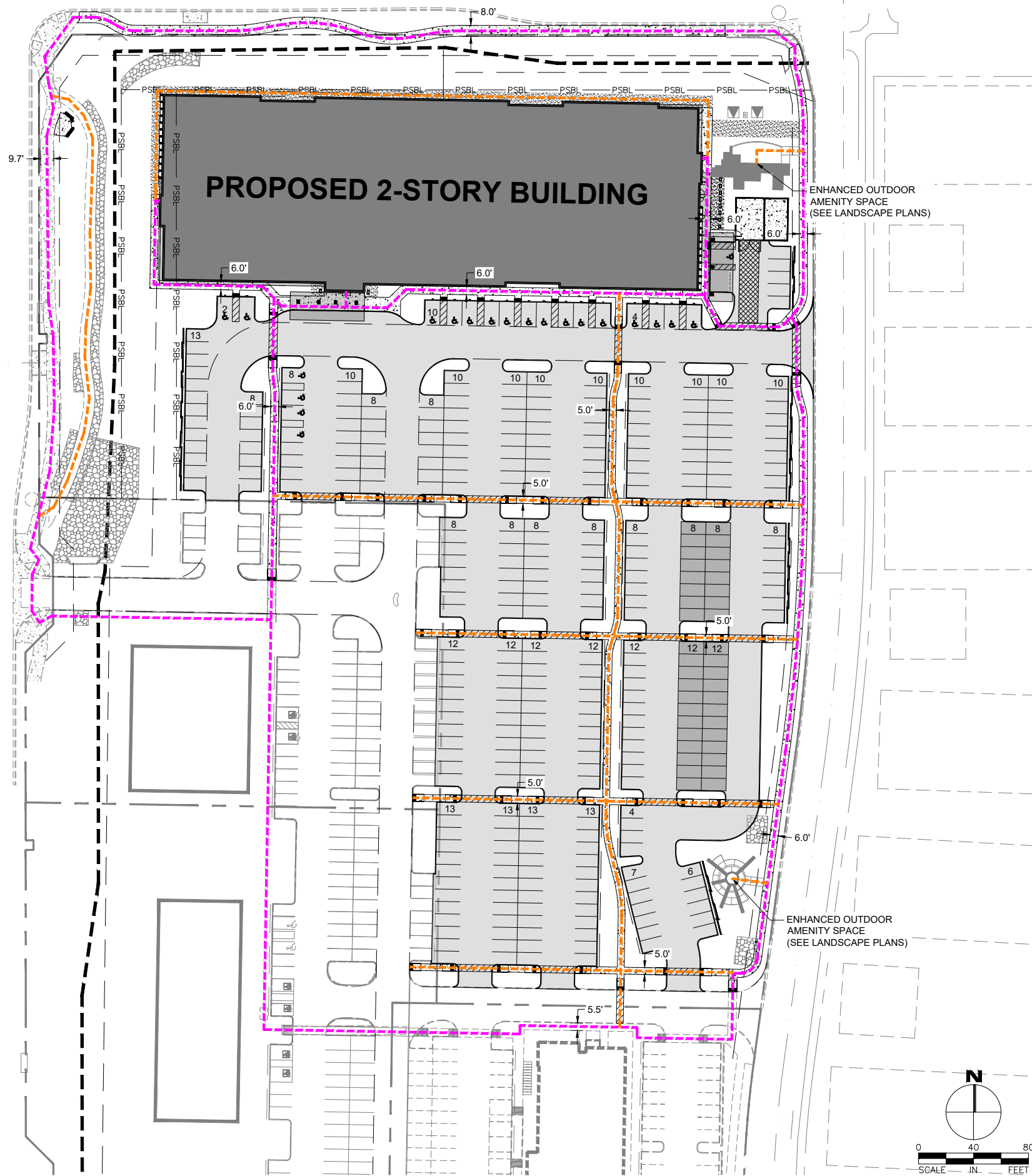


1/11/14
9-13-22



UT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

r:\Projects\701\300\701-368 as pu ll - scottsdale mob101 CIVIL\01 CAD\02 sheet files\701-368 PEDESTRIAN CIRCULATION PLAN.dwg



LEGEND	
PEDESTRIAN	
PRIMARY (ADA)	
SECONDARY	



RYAN A+E, INC.
3900 E. Camelback Road, #100
Phoenix, AZ 85018
602-322-6100 tel

WWW.RYANCOMPANIES.COM

OWNER

CONSULTANTS

PROJECT INFORMATION

ONE SCOTTSDALE MEDICAL

20159 N Scottsdale Rd
Scottsdale 85255

**PRELIMINARY
NOT FOR
CONSTRUCTION**

© 2022 RYAN A+E, INC.

DRAWN BY	CHECKED BY
BJP	BJP
JOB NO.	DATE
701-368	01/18/2023

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
01	07/08/2022	PRE-APPLICATION
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04	01/18/2023	DRB 2ND RESUBMITTAL
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DRB SUBMITTAL

**PEDESTRIAN
CIRCULATION
PLAN**

ATTACHMENT 1 □

A054

Stacked 40s Land Use Budget Tracker

rev. 9-Feb-23

	RESIDENTIAL (DU)			COMMERCIAL/RETAIL/OFFICE (SF)			HOTEL (Rooms)		
	PU-I	PU-II*	PU-III	PU-I	PU-II	PU-III	PU-I	PU-II	PU-III
TOTAL ALLOWED <i>(per Schedule C - Land Use Budget)</i>	NA	2,000		NA	2,866,145		NA	400	

ASSIGNED PARCEL DESCRIPTION	APN	RESIDENTIAL (DU)			COMMERCIAL/RETAIL/OFFICE (SF)			HOTEL (Rooms)		
		PU-I	PU-II	PU-III	PU-I	PU-II	PU-III	PU-I	PU-II	PU-III
Henkel Corporation (9-DR-2007)	215-05-005					475,000				
One North Scottsdale (52-DR-2011)	215-05-008			750						
Avion on Legacy (52-DR-2011 #2)	215-05-009									
Hilton (61-DR-2015 #2)	215-05-010								130	
Shops B (61-DR-2015 #3)	215-05-010						10,700			
Streetlights (30-DR-2021)	215-05-310		314							
Belgravia (30-DR-2021 #2)	215-05-430		112							
Augusta Senior Living (30-DR-2021 #3)	TBD		120							
One Scottsdale Medical (61-DR-2015 #5)	215-05-302						105,000			
TOTAL ASSIGNED BY PU			546	750		475,000	115,700		0	130
TOTAL ASSIGNED BY USE			1,296			590,700			130	

REMAINING TO ASSIGN			704			2,275,445			270	
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* a minimum of 180 du must be "for sale" units

green = for sale units

ATTACHMENT 15

LANDSCAPE LEGEND

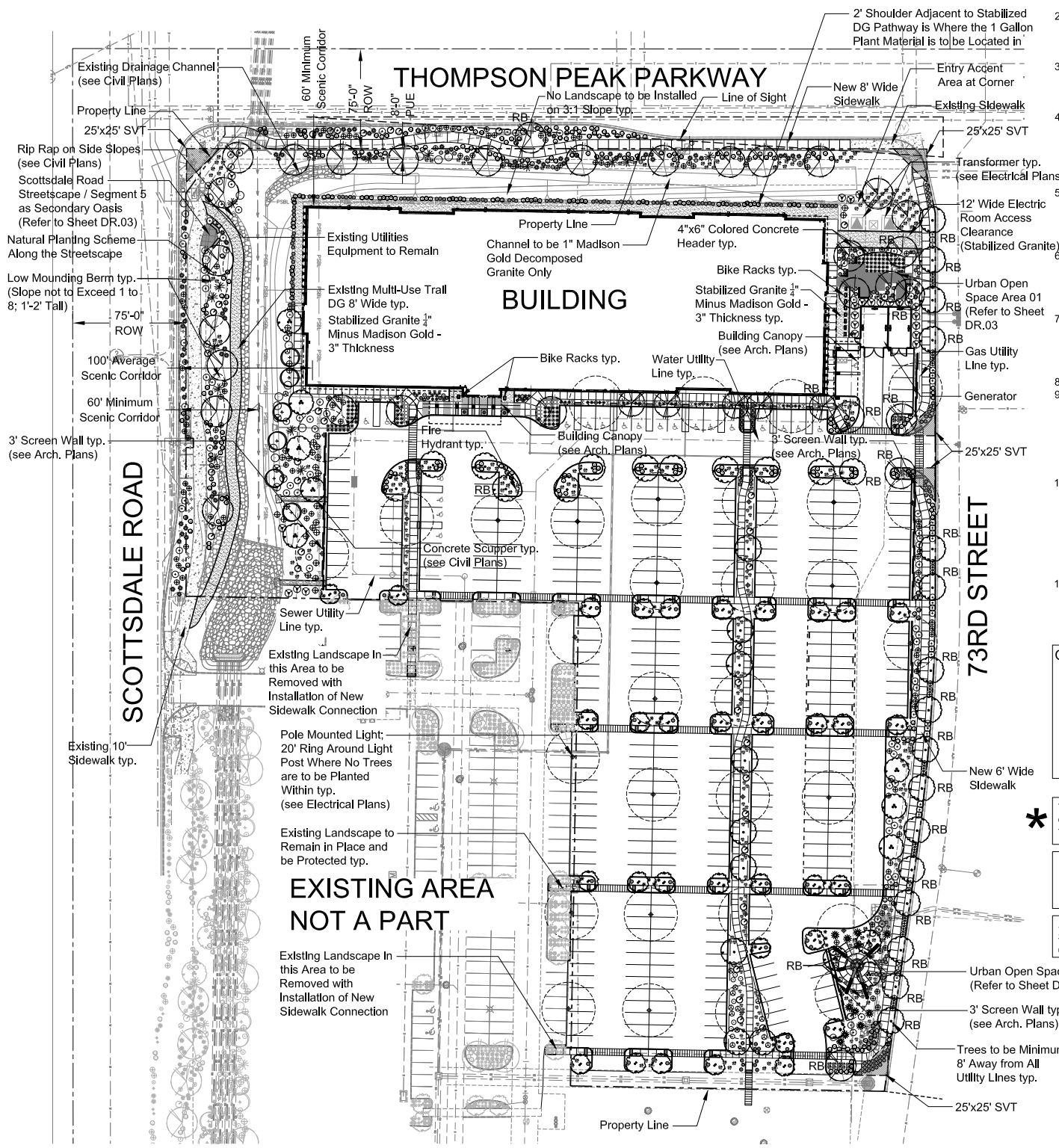
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)
ALL TREE CALIPER REQUIRED AT TIME OF PLANTING

TREES	Size	Qty.
Parkinsonia hybrid Desert Museum - Low Breaking Multi Trunk, Matching	24" Box / 1.5" Cal	37
Salvage Tree from Site Refer to Salvage Tree Tag Number	4" Min. Caliper; Refer to Salvage List for Exact Calipers	31
Chilopsis linearis "Seedless" Seedless Desert Willow	36" Box / 2.0" Cal Multi-Trunk	34
Fouquieria splendens Ocotillo	10 Cane / 8' Tall	14
Carnegie gigantea Saguaro	6' Spear no holes / scars	12
Prosopis alba 'Cooperi' Thornless Cooperi Mesquite	24" Box / 1.25 Cal	11
Caesalpinia mexicana Mexican Bird of Paradise MULTI	24" Box / 1.0" Cal	06
Parkinsonia hybrid Desert Museum Standard	24" Box / 1.5" Cal	05

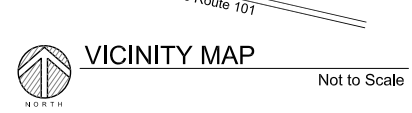
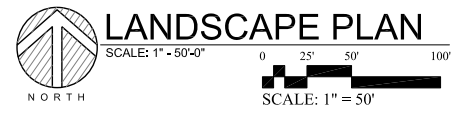
SHRUBS / ACCENTS	Size	Qty.
Larrea tridentata Creosote	5 Gallon	15
Yucca baccata Banana Yucca	5 Gallon	84
Caesalpinia pulcherrima Red Bird of Paradise	5 Gallon	38
Tecoma stans 'Orange Jubilee' Orange Jubilee	5 Gallon	29
Dodonaea viscosa Green Hopseed Bush	5 Gallon	27
Leucophyllum frutescens 'compacta' Compact Texas Sage	5 Gallon	07
Muhlenbergia rigens Deer Grass	5 Gallon	217
Lantana montevidensis "Dallas Red" Dallas Red Lantana	5 Gallon	92
Dasylirion wheeleri Desert Spoon	5 Gallon	197
Calliandra eriophylla Pink Fairy Duster	5 Gallon	20
Lantana montevidensis "New Gold" New Gold Lantana	5 Gallon	51
Calliandra californica Red Baja Fairy Duster	5 Gallon	130
Encelia farinosa Brittle Bush	5 Gallon	121
Hesperaloe parviflora "Yellow" Yellow Yucca	5 Gallon	160
Senna nemophila Desert Cassia	5 Gallon	10
Echinocactus grusonii Golden Barrel	10" Diameter	04

GROUNDCOVERS	Size	Qty.
Eremophila glabra "Mingenew Gold" Outback Sunrise Emu	1 Gallon	196
Dalea frutescens 'Sierra Negra' tm Black Dalea	1 Gallon	350
Decomposed Granite 3/4" Screened Madison Gold - 2" Depth In All Areas Unless Otherwise Noted		
Granite Rip Rap 3"-6" Rockpro Mahogany - 3" Depth and Buried 2"		
Stabilized Decomposed Granite 1/4" Minus Madison Gold - 3" Depth, 95% Compacted, Mix in Stabilizer		
Root Barrier - Place Parallel to Utilities Within 9' of Tree Product Spec: Biobarrier by Typar or Approved Equal		
4"x6" Colored Concrete Header Color: Davis San Diego Buff		

SUBMIT SAMPLES TO LA FOR APPROVAL



NOTE:
Thorny trees, shrubs and cacti shall be planted so that their mature size / canopy will be at least 4 feet away from any walkways or parking area curbing(per DSPM Sec. 2-1.501.L)



SCOTTSDALE CITY NOTES

1. REPLANTING IN AREAS IDENTIFIED FOR REVEGETATION. SUBJECT TO THE REQUIREMENTS OF EACH CASE.
2. ANY ALTERATION OF THE APPROVED CIVIL PLANS (ADDITIONAL FILL, BOULDERS, ETC) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
3. LANDSCAPE SPECIFICATIONS SECTION OF THE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE APPROVAL.
4. A MINIMUM OF 50 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE (ARTICLE X, SECTION 10.301), AS DEFINED IN THE CITY OF SCOTTSDALE ZONING ORDINANCE (ARTICLE III, SECTION 3.100).
5. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL OR LESS THAN 4" SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK, 6" ABOVE THE FINISHED GRADE ADJACENT TO THE TRUNK. TREE CALIPER SIZE FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4" SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12" ABOVE THE FINISHED GRADE ADJACENT TO THE TRUNK.
6. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLIT OR ORIGINATES, OR 6" ABOVE THE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
8. ALL LANDSCAPE AREAS TO RECEIVE IRRIGATION. PRIOR TO ESTABLISHMENT OF WATER SERVICE, NON RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO WATER CONSERVATION OFFICE.
9. AREAS WITHIN SIGHT DISTANCE TRIANGLES ARE TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5'. TREES WITHIN THE SIGHT DISTANCE TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8' IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
11. THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THE MATURE SIZE / CANOPY WILL BE AT LEAST 4 FEET FROM ANY WALKWAYS OR PARKING AREA CURBS.

COUNTY DUST PROOF PERMIT IS REQUIRED.
APPLIED DUST CONTROL PRODUCTS (I.E. DECOMPOSED GRANITE, RIVER ROCK, GROUND COVER, ETC.) ARE TO BE INSTALLED A MINIMUM OF TWO INCHES (2") THICK IN ALL LANDSCAPE AREAS. DECOMPOSED GRANITE SIZE SHOULD BE 3/4" TO 3/8" PER ZONING ORDINANCE SECTION 202 AND CITY OF PHOENIX SUPPLEMENT TO MAG STANDARDS SECTION 430.

TO BE PLANTED A MINIMUM OF FOUR FEET FROM EDGE OF WALKWAYS AND / OR PEDESTRIAN AREAS, MEASURED TO THE EDGE OF MATURE PLANTS

WATER EASEMENT PLANTING NOTE:
WATER LINE EASEMENT NO TREES PLANTED IN EASEMENT.

ALL PLANTS SELECTED ARE PER THE APPROVED CITY OF SCOTTSDALE, ONE SCOTTSDALE, MEDCP DESIGN GUIDELINES (MASTER ENVIRONMENTAL DESIGN CONCEPT PLAN)

GENERAL BUILDING FOUNDATION AND IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

SALVAGE TREE PLANTING
SALVAGE TREE CONTRACTOR / LC IS TO REPLANT ALL SALVAGED MATERIAL. LC TO COORDINATE LOCATIONS PER PLAN AND PROVIDE WATER, REMOVE SPOILS AND PLACE ON IRRIGATION SYSTEM. REQUIRED SALVAGE TREES THAT DIE DURING SALVAGE WILL BE REPLACED WITH LIKE SIZE AND CALIPER BY SALVAGE CONTRACTOR (FOR THE 10% ALLOWED MORTALITY RATE). IF THE MORTALITY RATE IS OVER 10%, THE COST FOR REPLACEMENT OF THE TREES WITH LIKE SIZE AND CALIPER WILL BE COVERED BY RYAN COMPANIES.

SALVAGE TREE NOTES:
LC CONTRACTOR TO PLANT AND PROVIDE WARRANTY FOR THE SALVAGED MATERIAL. ANY MATERIAL THAT DIES AFTER PLANTING WILL BE REPLACED WITH LIKE SIZE AND CALIPER BY LC. SALVAGE TREES WILL BE UNDER NATIVE RESOURCES NURSERY CARE RESPONSIBILITY THEN ONCE ACCEPTED BY THE LC, THE TREES WILL BE UNDER THE LANDSCAPE CONTRACTORS WARRANTY.

PROJECT TEAM:

DEVELOPER
Ryan Companies
3900 East Camelback Rd, Suite 100
Scottsdale, Arizona 85018
Contact: Gage Calhoun
Email: gage.calhoun@ryancompanies.com
Ph: (602) 385-7176

ARCHITECTS / PLANNERS:
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201 North Franklin St, Suite 3500
Tampa, Florida 33602
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LANDSCAPE ARCHITECT:
Laskin and Associates, Inc
5013 E. Washington St. Ste 110
Phoenix, Arizona 85034
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Ph: (602) 840-7771

CIVIL ENGINEER:
Preffling Engineering
4435 E. Chandler Blvd, Suite 200
Phoenix, AZ 85048
Contact: Mike Preffling
Email: mike@prefflingeng.com
Ph: (480) 625-9795

LANDSCAPE DATA:

Landscape Total Area	79,599 sf
Landscape: R.O.W Area	5,348 sf
Landscape: Parking Area	15,230 sf
Landscape: Open Space	59,021 sf



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
5013 E. Washington St.
Suite 110
Phoenix, Arizona 85034
p (602) 840-7771
www.laskindesign.com

HARDSCAPE KEY NOTE LEGEND

- 1 Integral Colored Concrete - Light Broom Finish /w 3/8" Tooled Joint (Color: Davis San Diego Buff) (Match Existing Development) 4" Thick Slab with 4" Thickness of Compacted ABC
- 2 Integral Colored Concrete at Entry - Medium Acid Finish /w 3/8" Tooled Joint (Color: Davls Taupe) 4" Thick Slab with 4" Thickness of Compacted ABC
- 3 Existing 8' Wide Multi-Use Trail Stabilized Decomposed Granite - 1/4" Minus Madison Gold 3" Minimum Thickness with 95% Compaction
- 4 Concrete Curb (refer to Civil Plans)
- 5 ADA Ramps (refer to Civil Plans)
- 6 Stabilized Decomposed Granite - 1/4" Minus Madison Gold 3" Minimum Thickness with 95% Compaction (Mix in Stabilizer to be Used)
- 7 Masonry Screen Walls (refer to Arch Plans)
- 8 Bollard Lighting (refer to Electrical Plans)
- 9 Bike Racks (Concrete Pad Underneath to Match Color from Sidewalk) (per City of Scottsdale Standard Detail; Detail NO. 2285) (Refer to Arch. Plans for Detail)
- 10 Crosswalks: Integral Colored Concrete - Light Broom Finish /w 3/8" Tooled Joint (Color: Davis San Diego Buff) (Score Joints 18" O.C.) (Refer to Civil Plans for Structural Detailing)
- 11 Raised Seatwall (24" Wide by 18" Tall) 2" Integral Colored Acid Wash Concrete Cap /w DC Ranch Stone Veneer or Approved Equal (Color for Concrete Cap: Davis Cocoa)
- 12 Integral Colored Concrete at Secondary Oasls - Heavy Salt Finish /w 3/8" Saw Cut Joints that are Minimum 1/4th the Depth of the Slab (Color: Davis Flagstone Brown) 4" Thick Slab with 4" Thickness of Compacted ABC
- 13 Integral Colored Concrete at Urban Open Space Node - Medium Acid Wash /w 3/8" Saw Cut Joints that are Minimum 1/4th the Depth of the Slab (Color: Davis Flagstone Brown) 4" Thick Slab with 4" Thickness of Compacted ABC
- 14 Bench with Back and Armrest Product: T.B.D
- 15 4" x 6" Colored Concrete Header Color: Davis San Diego Buff

MOCKUPS OF HARDSCAPE PAVEMENT ARE TO BE PROVIDED PRIOR TO INSTALLATION FOR THE LA TO REVIEW

SIDEWALK HARDSCAPE NOTES

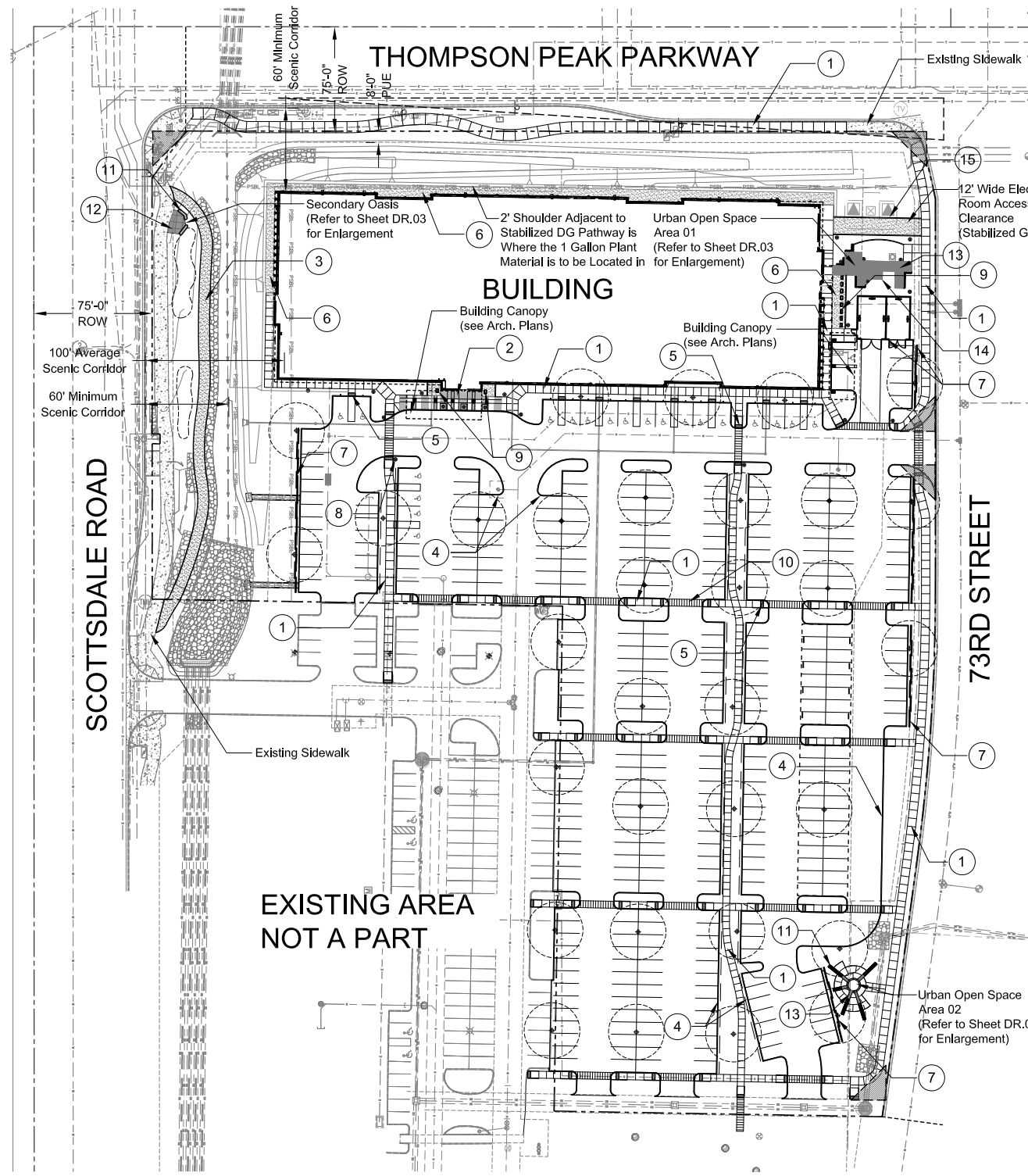
1. ALL WALKS TO BE INTEGRAL COLORED CONCRETE U.O.N 4" THICK - WIDTH PER PLANS WITH SCORE JOINTS AT 5' FOR 5' WALKS WITH EXPANSION JOINTS AT 25'-00" O.C. WITH SCORE JOINTS AT 6' FOR 6' WALKS WITH EXPANSION JOINTS AT 30'-00" O.C. EXCEPT AT HANDICAP LOCATIONS INDICATED ON DRAWINGS
2. REFER TO CIVIL DRAWINGS FOR ALL ADA RAMP, DETECTABLE WARNINGS AND DETAILS.
3. ALL WALKS ARE NOT TO EXCEED 5% SLOPES WITH 2% CROSS-SLOPES CURB RAMPS ARE NOT TO EXCEED 8.33% SLOPE AND 2% CROSS-SLOPE
4. CONTRACTOR TO VERIFY ALL GRADES AND SLOPES PRIOR TO POURING. ANY WALKS THAT DO NOT MEET ADA REQUIREMENTS WILL BE REMOVED AND REPOURED AT THE CONTRACTORS EXPENSE.
5. ALL CURVILINEAR WALKS TO BE SMOOTH, EVEN RADIUS WITHOUT FLAT SPOTS.
6. PROVIDE 1/2" EXPANSION JOINT TO ALL LOCATIONS WHERE THE HARDSCAPE ELEMENT ARE ADJACENT TO BUILDING WALLS.
7. PROVIDE 1/2" CONTINUOUS EXPANSION JOINT BETWEEN ALL DISSIMILAR SLAB CONDITIONS AND ADJACENT TO ALL VERTICAL SURFACES.
8. PROVIDE A THICKENED EDGE TURN DOWN OF 4" AT ALL WALKS ADJACENT TO TURF AREAS.

PRELIMINARY LANDSCAPE PLAN GENERAL NOTES:

1. THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF SCOTTSDALE STANDARDS.
2. ALL TREES WILL BE 24" BOX OR LARGER.
3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.
4. DECOMPOSED GRANITE, 2" MINIMUM THICKNESS, TO BE PLACED IN ALL LANDSCAPE AREAS NOT DESIGNATED FOR RIP-RAP OR LAWN.
5. ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS, STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.
6. STRUCTURES AND LANDSCAPING WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT VISIBILITY LINE WILL NOT EXCEED 24" INCHES.
7. FINAL LANDSCAPE PLANS TO MEET OR EXCEED MINIMUM CITY STANDARDS.

NOTE:

Thorny trees, shrubs and cacti shall be planted so that their mature size / canopy will be at least 4 feet away from any walkways or parking area curbing(per DSPM Sec. 2-1.501.L)



SCOTTSDALE CITY NOTES

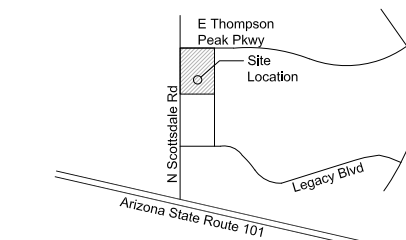
1. REPLANTING IN AREAS IDENTIFIED FOR REVEGETATION, SUBJECT TO THE REQUIREMENTS OF EACH CASE.
2. ANY ALTERATION OF THE APPROVED CIVIL PLANS (ADDITIONAL FILL, BOULDERS, ETC) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
3. LANDSCAPE SPECIFICATIONS SECTION OF THE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE APPROVAL.
4. A MINIMUM OF 50 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE (ARTICLE X, SECTION 10.301), AS DEFINED IN THE CITY OF SCOTTSDALE ZONING ORDINANCE (ARTICLE III, SECTION 3.100).
5. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL OR LESS THAN 4" SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK, 6" ABOVE THE FINISHED GRADE ADJACENT TO THE TRUNK. TREE CALIPER SIZE FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4" SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12" ABOVE THE FINISHED GRADE ADJACENT TO THE TRUNK.
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7. ALL LANDSCAPE AREAS TO RECEIVE IRRIGATION. PRIOR TO ESTABLISHMENT OF WATER SERVICE, NON RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO WATER CONSERVATION OFFICE.
8. AREAS WITHIN SIGHT DISTANCE TRIANGLES ARE TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5'. TREES WITHIN THE SIGHT DISTANCE TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8' IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
9. THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THE MATURE SIZE / CANOPY WILL BE AT LEAST 4 FEET FROM ANY WALKWAYS OR PARKING AREA CURBS.

COUNTY DUST PROOF PERMIT IS REQUIRED. APPLIED DUST CONTROL PRODUCTS (I.E. DECOMPOSED GRANITE, RIVER ROCK, GROUND COVER, ETC.) ARE TO BE INSTALLED A MINIMUM OF TWO INCHES (2") THICK IN ALL LANDSCAPE AREAS. DECOMPOSED GRANITE SIZE SHOULD BE 1/4" TO 3/4" PER ZONING ORDINANCE SECTION 202 AND CITY OF PHOENIX SUPPLEMENT TO MAG STANDARDS SECTION 430.

* TO BE PLANTED A MINIMUM OF FOUR FEET FROM EDGE OF WALKWAYS AND / OR PEDESTRIAN AREAS, MEASURED TO THE EDGE OF MATURE PLANTS

WATER EASEMENT PLANTING NOTE:
WATER LINE EASEMENT NO TREES PLANTED IN EASEMENT.

ALL PLANTS SELECTED ARE PER THE APPROVED CITY OF SCOTTSDALE; ONE SCOTTSDALE; MEDCP DESIGN GUIDELINES (MASTER ENVIRONMENTAL DESIGN CONCEPT PLAN)



VICINITY MAP

Not to Scale

GENERAL BUILDING FOUNDATION AND IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

SALVAGE TREE PLANTING

SALVAGE TREE CONTRACTOR IS TO REPLANT ALL SALVAGED MATERIAL. LC TO COORDINATE LOCATIONS PER PLAN AND PROVIDE WATER, REMOVE SPOILS AND PLACE ON IRRIGATION SYSTEM.

SITE DATA

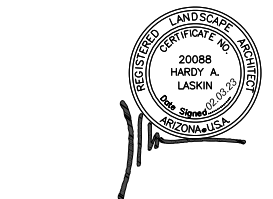
BUILDING	
FOOTPRINT (GROSS):	±51,745 SF
SECOND STORY (GROSS):	±51,968 SF
TOTAL:	±103,713 SF
BUILDING USES:	
1ST FLOOR:	
SPEC	
MOB:	±51,745 SF
2ND FLOOR:	
BUILD TO SUIT	
MOB:	±31,968 SF
RESIDENTIAL	
HEALTH CARE	
FACILITY:	48 BEDS (±20,000 SF)
PARKING	
TOTAL PROVIDED:	373 STALLS
ADA (5.6%):	21 STALLS
TOTAL REQUIRED:	370 STALLS
1ST FLOOR (1/250 SF):	208 STALLS
2ND FLOOR:	162 STALLS
MOB (1/250 SF):	128 STALLS
RHCF (0.7/BED):	34 STALLS
ADA REQUIRED:	21 STALLS
MOB (4%):	14 STALLS
RHCF (20%):	7 STALLS
SITE INFORMATION:	
SIZE	
GROSS:	±8.70 ACRES
NET:	±379,120 SF
	±6.52 ACRES
	±283,980 SF
APN:	215-05-302
ZONING:	PRC PCD
PROPOSED USE:	MOB
LANDSCAPE DATA:	
Landscape Total Area	79,599 sf
Landscape: R.O.W Area	5,348 sf
Landscape: Parking Area	15,230 sf
Landscape: Open Space	59,021 sf



HARDSCAPE PLAN

SCALE: 1" = 50'-0"

SCALE: 1" = 50'



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

5013 E. Washington St.
Suite 110
Phoenix, Arizona 85034
p (602) 840-7771
www.laskindesign.com

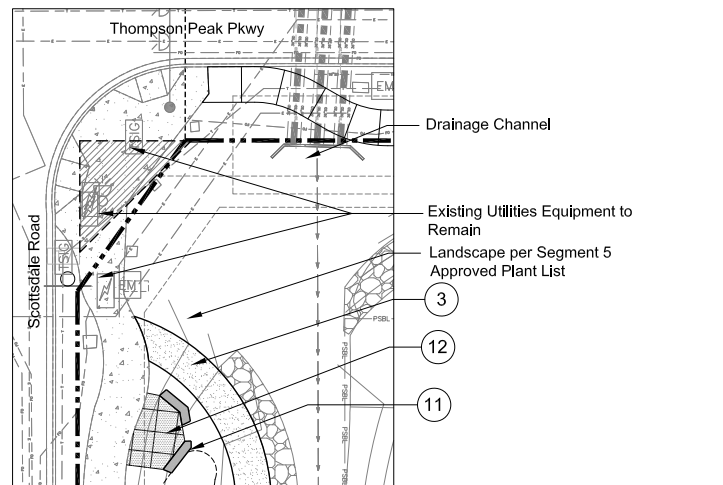
HARDSCAPE KEY NOTE LEGEND

- ① Integral Colored Concrete - Light Broom Finish /w 3/8" Tooled Joint
(Color: Davis San Diego Buff) (Match Existing Development)
4" Thick Slab with 4" Thickness of Compacted ABC
- ② Integral Colored Concrete at Entry - Medium Acid Finish /w 3/8" Tooled Joint
(Color: Davls Taupe)
4" Thick Slab with 4" Thickness of Compacted ABC
- ③ Existing 8' Wide Multi-Use Trail
Stabilized Decomposed Granite - 1/4" Minus Madison Gold
3" Minimum Thickness with 95% Compaction
- ④ Concrete Curb
(refer to Civil Plans)
- ⑤ ADA Ramps
(refer to Civil Plans)
- ⑥ Stabilized Decomposed Granite - 1/4" Minus Madison Gold
3" Minimum Thickness with 95% Compaction (Mix in Stabilizer to be Used)
- ⑦ Masonry Screen Walls
(refer to Arch Plans)
- ⑧ Bollard Lighting
(refer to Electrical Plans)
- ⑨ Bike Racks (Concrete Pad Underneath to Match Color from Sidewalk)
(per City of Scottsdale Standard Detail; Detail NO. 2285)
(Refer to Arch. Plans for Detail)
- ⑩ Crosswalks: Integral Colored Concrete - Light Broom Finish /w 3/8" Tooled Joint
(Color: Davls San Diego Buff) (Score Joints 18" O.C.)
(Refer to Civil Plans for Structural Detailing)
- ⑪ Raised Seatwall (24" Wide by 18" Tall)
2" Integral Colored Acid Wash Concrete Cap /w DC Ranch Stone
Veneer or Approved Equal (Color for Concrete Cap: Davis Cocoa)
- ⑫ Integral Colored Concrete at Secondary Oasls - Heavy Salt Finish
/w 3/8" Saw Cut Joints that are Minimum 1/4th the Depth of the Slab
(Color: Davis Flagstone Brown)
4" Thick Slab with 4" Thickness of Compacted ABC
- ⑬ Integral Colored Concrete at Urban Open Space Node - Medium Acid Wash
/w 3/8" Saw Cut Joints that are Minimum 1/4th the Depth of the Slab
(Color: Davis Flagstone Brown)
4" Thick Slab with 4" Thickness of Compacted ABC
- ⑭ Bench with Back and Armrest
Product: T.B.D
- ⑮ 4" x 6" Colored Concrete Header
Color: Davis San Diego Buff

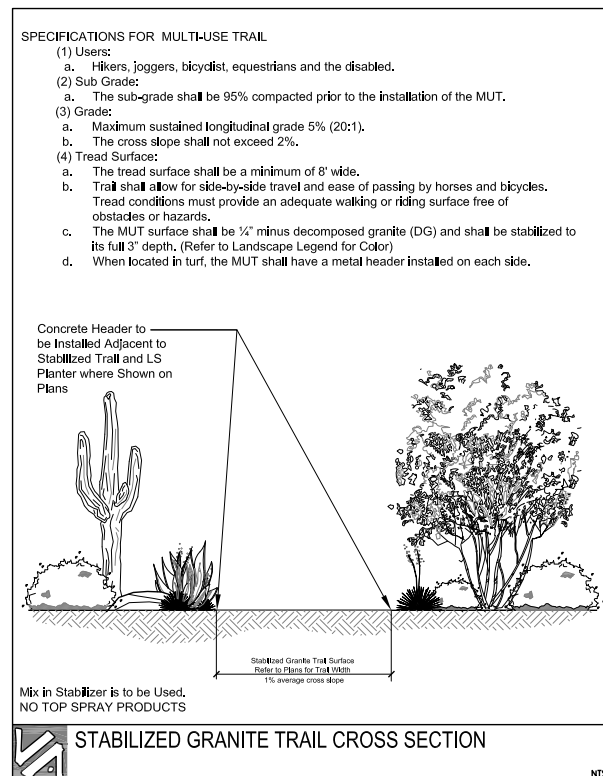
MOCKUPS OF HARDSCAPE PAVEMENT ARE TO BE PROVIDED
PRIOR TO INSTALLATION FOR THE LA TO REVIEW

SIDEWALK HARDSCAPE NOTES

1. ALL WALKS TO BE INTEGRAL COLORED CONCRETE U.O.N 4" THICK - WIDTH PER PLANS WITH SCORE JOINTS AT 5' FOR 5' WALKS WITH EXPANSION JOINTS AT 25'-00" O.C. WITH SCORE JOINTS AT 6' FOR 6' WALKS WITH EXPANSION JOINTS AT 30'-00" O.C. EXCEPT AT HANDICAP LOCATIONS INDICATED ON DRAWINGS
2. REFER TO CIVIL DRAWINGS FOR ALL ADA RAMPs, DETECTABLE WARNINGS AND DETAILS.
3. ALL WALKS ARE NOT TO EXCEED 5% SLOPES WITH 2% CROSS-SLOPES CURB RAMPS ARE NOT TO EXCEED 8.33% SLOPE AND 2% CROSS-SLOPE
4. CONTRACTOR TO VERIFY ALL GRADES AND SLOPES PRIOR TO POURING. ANY WALKS THAT DO NOT MEET ADA REQUIREMENTS WILL BE REMOVED AND REPOURED AT THE CONTRACTORS EXPENSE.
5. ALL CURVILINEAR WALKS TO BE SMOOTH, EVEN RADIUS WITHOUT FLAT SPOTS.
6. PROVIDE 1/2" EXPANSION JOINT TO ALL LOCATIONS WHERE THE HARDSCAPE ELEMENT ARE ADJACENT TO BUILDING WALLS.
7. PROVIDE 1/2" CONTINUOUS EXPANSION JOINT BETWEEN ALL DISSIMILAR SLAB CONDITIONS AND ADJACENT TO ALL VERTICAL SURFACES.
8. PROVIDE A THICKENED EDGE TURN DOWN OF 4" AT ALL WALKS ADJACENT TO TURF AREAS.

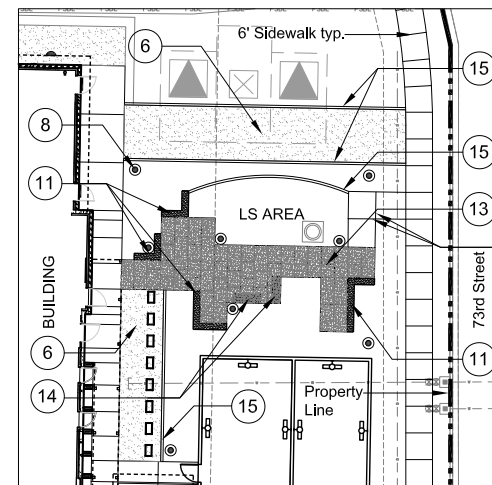


Scottsdale Streetscape Design / Segment 5 / Secondary Oasis
ENLARGEMENT 1" = 20' - 00"

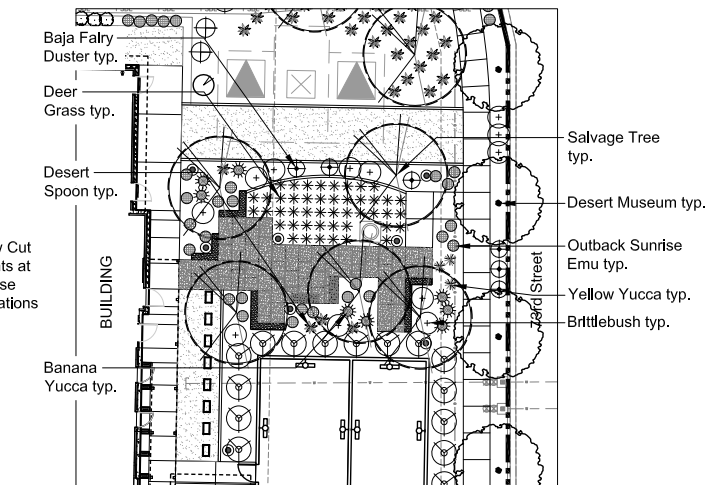


STABILIZED GRANITE TRAIL CROSS SECTION

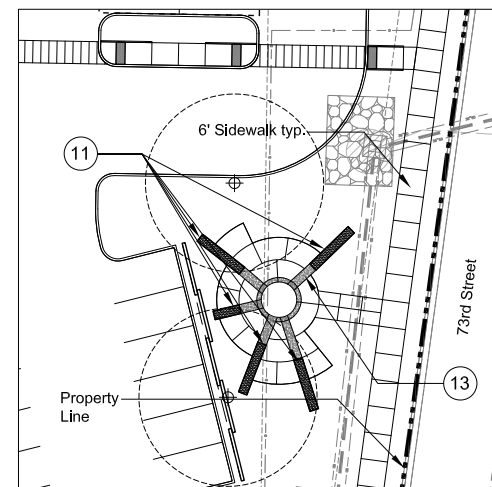
- SPECIFICATIONS FOR MULTI-USE TRAIL**
- (1) Users:
 - a. Hikers, joggers, bicyclist, equestrians and the disabled.
 - (2) Sub Grades:
 - a. The sub-grade shall be 95% compacted prior to the installation of the MUT.
 - (3) Grade:
 - a. Maximum sustained longitudinal grade 5% (20:1).
 - b. The cross slope shall not exceed 2%.
 - (4) Tread Surface:
 - a. The tread surface shall be a minimum of 8' wide.
 - b. Trail shall allow for side-by-side travel and ease of passing by horses and bicycles. Tread conditions must provide an adequate walking or riding surface free of obstacles or hazards.
 - c. The MUT surface shall be 1/2" minus decomposed granite (DG) and shall be stabilized to its full 3" depth. (Refer to Landscape Legend for Color)
 - d. When located in turf, the MUT shall have a metal header installed on each side.



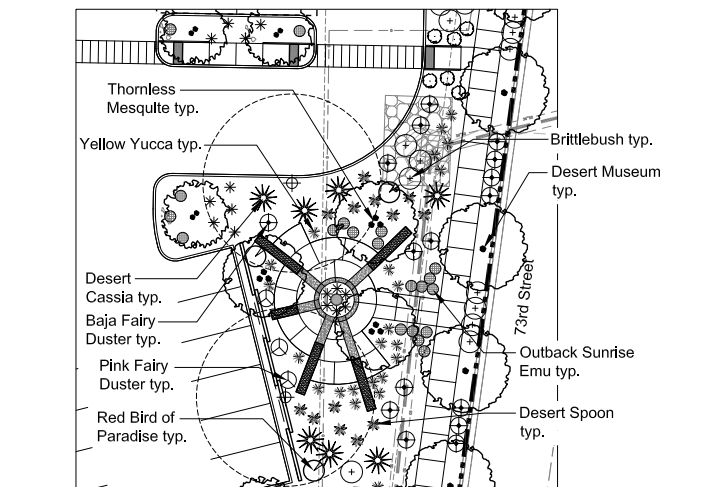
Urban Open Space Area 01
ENLARGEMENT - HARDSCAPE 1" = 20' - 00"



Urban Open Space Area 01
ENLARGEMENT - LANDSCAPE 1" = 20' - 00"



Urban Open Space Area 02
ENLARGEMENT - HARDSCAPE 1" = 20' - 00"

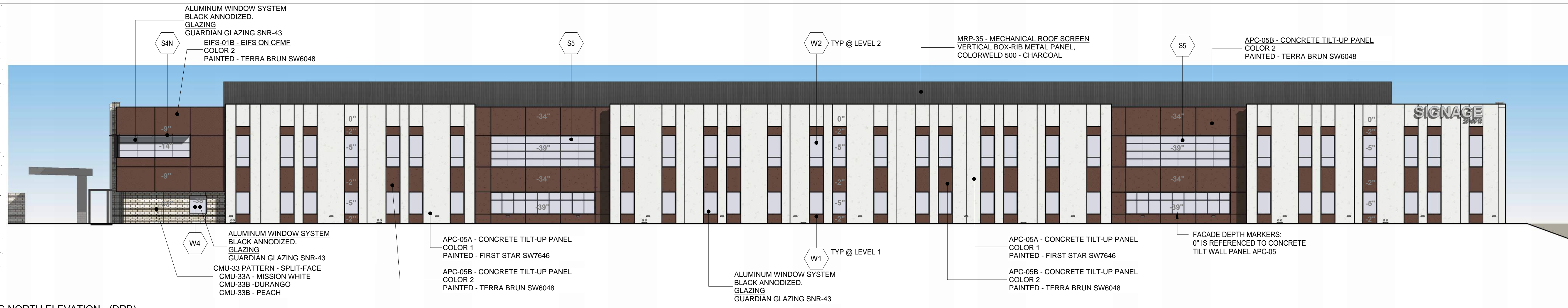


Urban Open Space Area 02
ENLARGEMENT - LANDSCAPE 1" = 20' - 00"

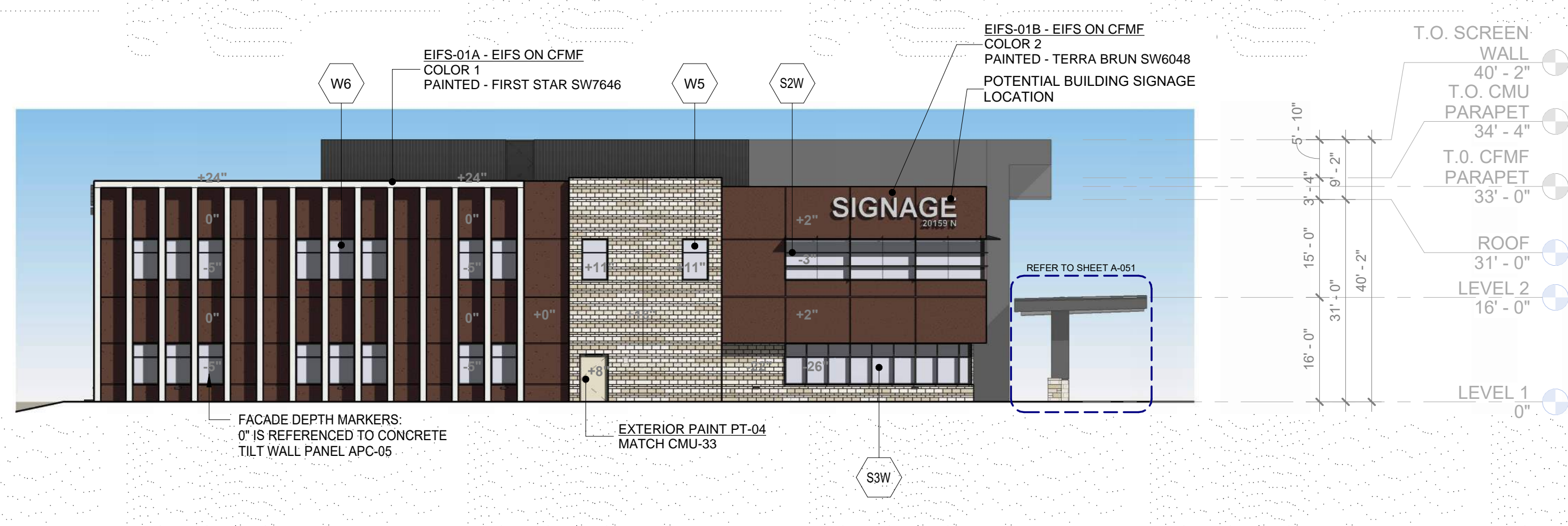


LASKIN & ASSOCIATES, INC.
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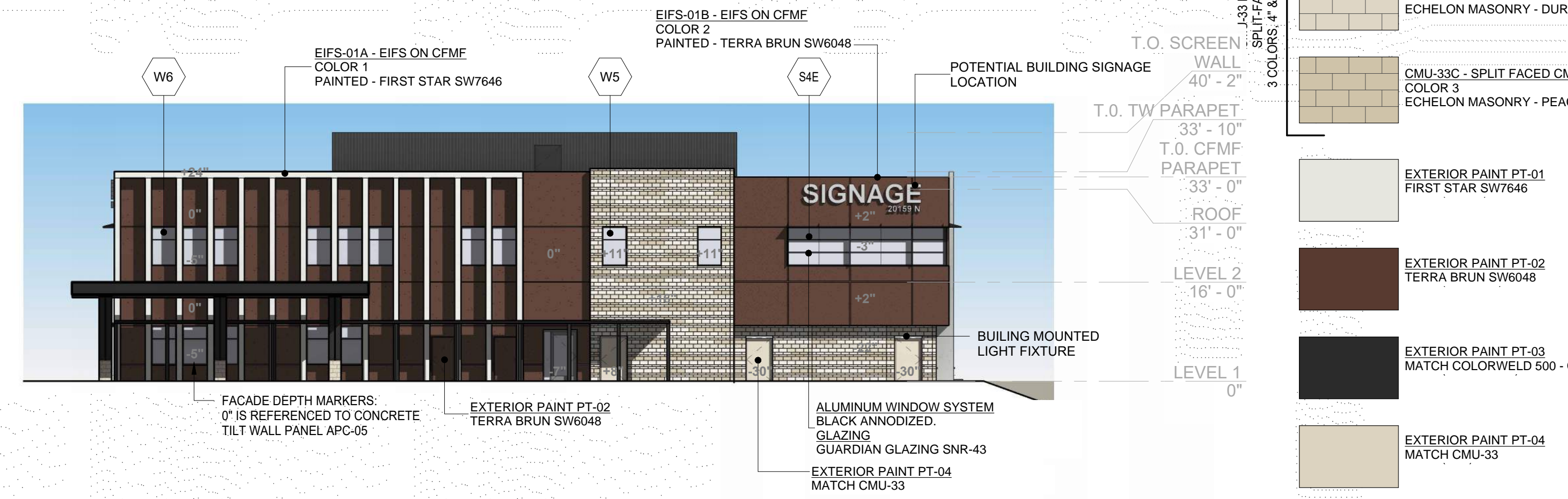
VERIFY SHEET SCALE HERE



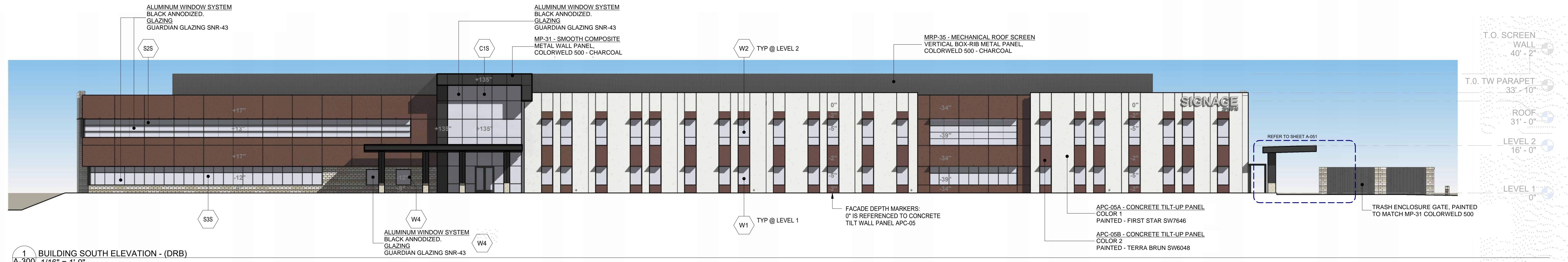
4 BUILDING NORTH ELEVATION - (DRB)
A-300 1/16" = 1'-0"



3 BUILDING WEST ELEVATION - (DRB)
A-300 1/16" = 1'-0"



2 BUILDING EAST ELEVATION - (DRB)
A-300 1/16" = 1'-0"



1 BUILDING SOUTH ELEVATION - (DRB)
A-300 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

	APC-05A - CONCRETE TILT-UP PANEL COLOR 1 PAINTED - FIRST STAR SW7646
	APC-05B - CONCRETE TILT-UP PANEL COLOR 2 PAINTED - TERRA BRUN SW6048
	EIFS-01A - EIFS ON CFMF COLOR 1 PAINTED - FIRST STAR SW7646
	EIFS-01B - EIFS ON CFMF COLOR 2 PAINTED - TERRA BRUN SW6048
	MP-31 - SMOOTH COMPOSITE METAL WALL PANEL, COLORWELD 500 - CHARCOAL
	MRP-35 - MECHANICAL ROOF SCREEN VERTICAL BOX-RIB METAL PANEL, COLORWELD 500 - CHARCOAL
	CMU-33A - SPLIT FACED CMU ECHOLON MASONRY - MISSION WHITE
	CMU-33B - SPLIT FACED CMU ECHOLON MASONRY - DURANGO
	CMU-33C - SPLIT FACED CMU ECHOLON MASONRY - PEACH
	EXTERIOR PAINT PT-01 FIRST STAR SW7646
	EXTERIOR PAINT PT-02 TERRA BRUN SW6048
	EXTERIOR PAINT PT-03 MATCH COLORWELD 500 - CHARCOAL
	EXTERIOR PAINT PT-04 MATCH CMU-33
	ALUMINUM WINDOW SYSTEM BLACK ANNODIZED
	GLAZING GUARDIAN GLAZING SNR-43

CONSULTANTS

Kraemer Consulting Engineers, PLLC
Mechanical & Electrical Engineers

PK ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS

KEY PLAN

A B

KEY PLAN

OWNER

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PROJECT INFORMATION

ONE SCOTTSDALE MEDICAL

20159 N Scottsdale Rd
Scottsdale, AZ 85255

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Arizona

Name _____

REGISTRATION NO. _____ DATE _____

Number _____ Date _____

DRAWN BY

Author

JOB NO.
701-368

CHECKED BY
Checker

DATE
2023.02.07

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DRB Package

08/30/2022

OVERALL EXTERIOR ELEVATIONS

A-300

2/9/2023 5:37:34 PM





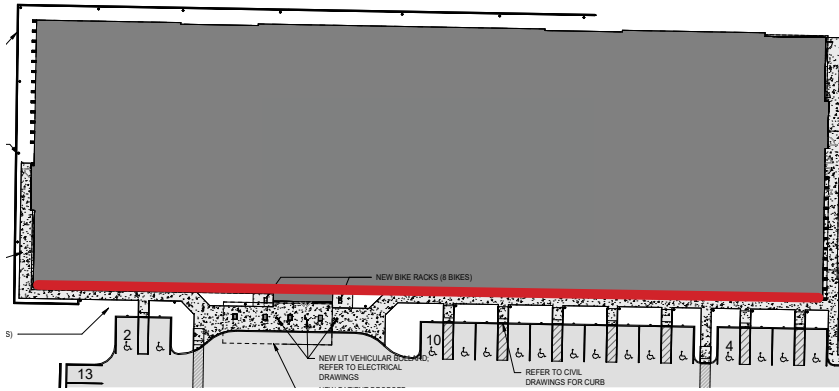
SIGNAGE
20159 N

Emergency
Ambulance

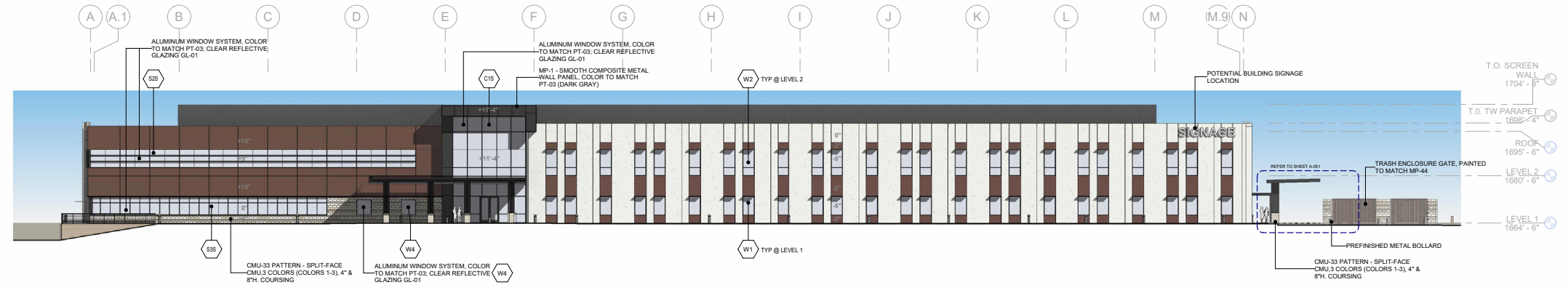


SIGNAGE
20159 N

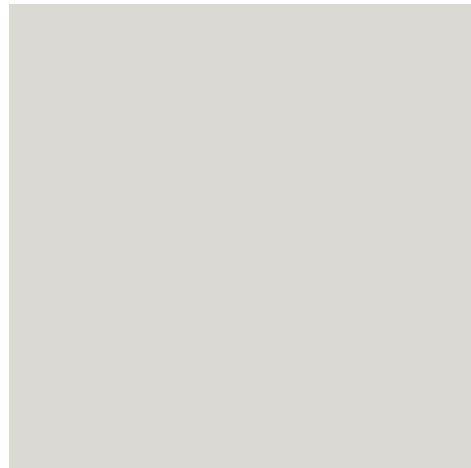
Site Plan



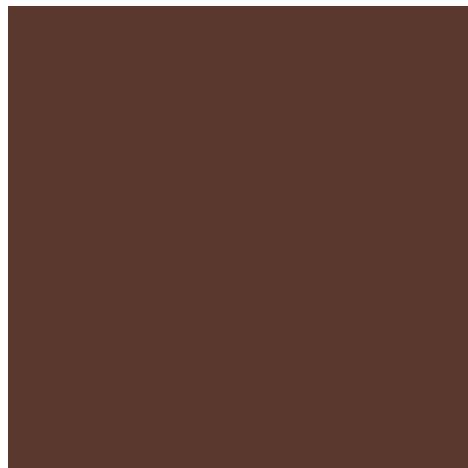
South Elevation



PT01



PT02



PT03



CNPY01



Glazing

Aluminum Mullions



CMU33 - Color 1



CMU33 - Color 2



CMU33 - Color 3



Color and Materials

PT01
MFG: Sherwin-Williams (or similar)
Color: First Star (SW 7646)

PT02
MFG: Sherwin-Williams (or similar)
Color: Terra Brun (SW 6048)

PT03
MFG: Kynar Painted (or similar)
Color: Matte Black Steel

Aluminum Mullions
MFG: Kynar Painted (or similar)
Color: Matte Black Steel

Glazing
Color: Clear
Finish: 1" IGU, Low-E

CMU - Color 1
MFG: Angelus Block
Color: Natural Gray
Finish: Split Face

CMU - Color 2
MFG: Angelus Block
Color: Harvest
Finish: Shotblast

CMU - Color 3
MFG: Angelus Block
Color: Sand
Finish: Split Face

CNPY01
MFG: Knotwood
Color: Maple

CMU33 - Color 1



MFG: Angelus Block
Color: Natural Gray
Finish: Split Face

CMU33 - Color 2



MFG: Angelus Block
Color: Harvest
Finish: Shotblast

CMU33 - Color 3



MFG: Angelus Block
Color: Sand
Finish: Split Face

Aluminum Mullion



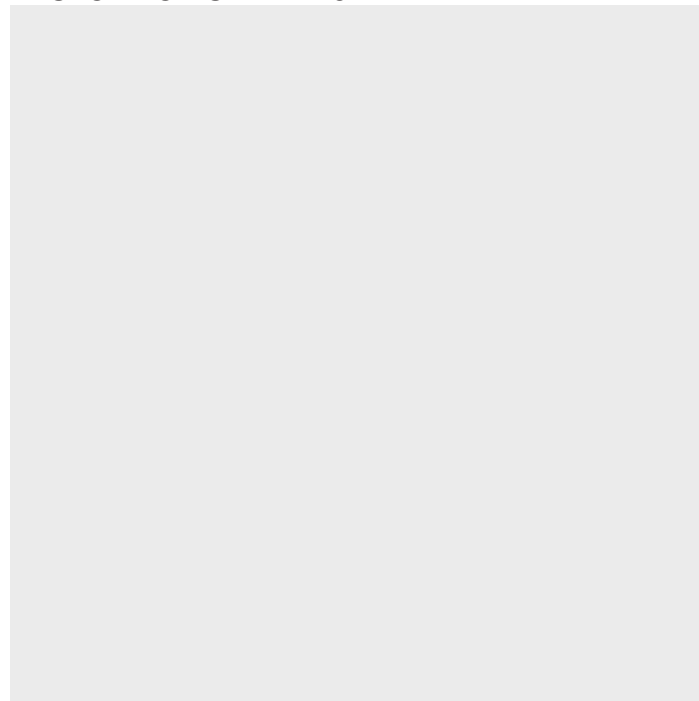
MFG: Kynar Painted
Color: Matte Black
Finish: Matte

Metal Panel - MP01



MFG: Kynar Painted
Color: Matte Black Steel (or similar)
Finish: Matte

Metal Panel - MP02



MFG: Kynar Painted
Color: Bone White (or similar)
Finish:

Metal Panel - MP03

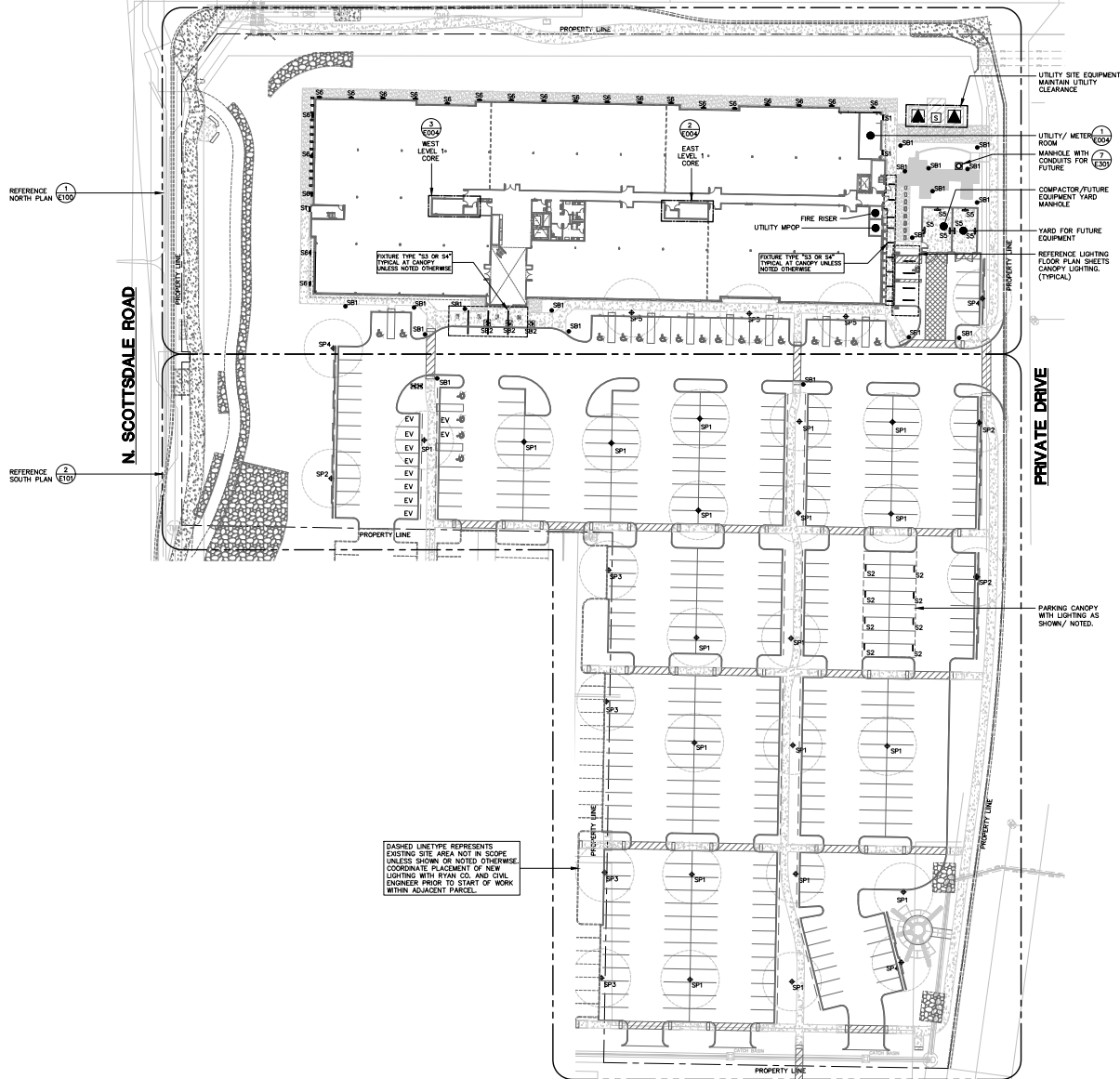


MFG: Knotwood
Color: Maple (or equal)
Finish:

Glazing

Color: Clear
Finish: 1" IGU, Low-E

E. THOMPSON PEAK PKWY



REFERENCE NORTH PLAN 100

REFERENCE SOUTH PLAN 100

DASHED LINETYPE REPRESENTS EXISTING SITE AREA NOT IN SCOPE UNLESS SHOWN OR NOTED OTHERWISE. COORDINATE PLACEMENT OF NEW LIGHTING WITH RYAN CO. AND CIVIL ENGINEER PRIOR TO START OF WORK WITHIN ADJACENT PARCEL.

SCOPE OF WORK

CURRENT SUBMITTAL
THIS PHASE / SCOPE OF CONSTRUCTION IS LIMITED TO THE DEVELOPMENT OF A TWO STORY CORE / SHELL MEDICAL OFFICE BUILDING AND THE SCOPE WITHIN THE LIMITS OF CONSTRUCTION LEVEL 2 OF THE STRUCTURE WILL REMAIN GREY SHELL FOR FUTURE TENANT IMPROVEMENTS.

THIS SCOPE OF WORK INCLUDES FURNISHING ALL MATERIALS, LABOR AND EQUIPMENT AS REQUIRED TO FACILITATE THE CONSTRUCTION OF THE NEW OFFICE STRUCTURE DOCUMENTED IN THESE DRAWINGS AND BRIEFLY OUTLINED BELOW:

- PROVIDE TWO (2) SERVICE ENTRANCES, EQUIPMENT TO BE SET IN PLACE AND CONNECTED COMPLETE.
- FURNISHING, INSTALLATION AND CONNECTION OF DEVICES WITH BRANCH CIRCUIT CONNECTIONS TO BUILDING DISTRIBUTION EQUIPMENT / PANELBOARDS.
- FURNISHING, INSTALLATION AND CONNECTION OF LIGHTING FIXTURES AND CONTROLS WITH BRANCH CIRCUIT CONNECTIONS TO BUILDING DISTRIBUTION EQUIPMENT / PANELBOARDS.
- FURNISH, INSTALL AND CONNECT COMPLETE N.E.C. 700 EMERGENCY LIGHTING PROVIDED VIA BATTERY INVERTER AND OR UNIT EQUIPMENT AS SHOWN / NOTED.
- ELECTRICAL CONNECTION OF CORE HVAC / PLUMBING EQUIPMENT WITH BRANCH CIRCUIT CONNECTIONS TO BUILDING DISTRIBUTION EQUIPMENT / PANELBOARDS.
- CONNECTION OF ELEVATOR EQUIPMENT WITH BRANCH CIRCUIT CONNECTIONS TO BUILDING DISTRIBUTION EQUIPMENT/PANELBOARDS.
- PROVIDE ROOF AND THROUGH ROOF INFRASTRUCTURE TO ACCOMMODATE FUTURE INSTALLATION OF PROVIDED ROOF MECHANICAL SYSTEMS.
NOTE: INTERIOR UNITS, UNLESS SPECIFICALLY SHOWN OR NOTED, ARE NOT PART OF THIS PROJECT SCOPE OF WORK.
- FURNISH, INSTALL AND CONNECT COMPLETE FIRE ALARM SYSTEM WITHIN THE BUILDING. SYSTEM FINAL DESIGN IS A DEFERRED SUBMITTAL, COORDINATE WITH THE PROJECT ARCHITECT FOR ADDITIONAL INFORMATION.
- PROVIDE RACEWAYS, ENCLOSURES, AND SPACE TO ACCOMMODATE FUTURE INSTALLATION OF EV CHARGING STATIONS AND THEIR ASSOCIATED EQUIPMENT.

NOTES TO SCOPE:
1. SCOPE OUTLINE IS INTENDED ONLY AS AN OVERVIEW OF ALL SCOPE ITEMS RELATED TO THIS PROJECT. ELECTRICAL CONTRACTOR SHALL COORDINATE AND INCLUDE ALL SCOPE ITEMS AS SHOWN IN THESE DOCUMENTS AND PROJECT TENANT CONSULTANT DRAWINGS TO INCLUDE BUT NOT LIMITED TO COMMUNICATIONS, ALSO VOID AND SECURITY. ELECTRICAL CONTRACTOR SHALL ALSO INCLUDE ALL LABOR AND MATERIALS AS REQUIRED FOR AFTER HOURS WORK EFFORTS WHEN REQUIRED. COORDINATE ALL WORK EFFORTS WITH RYAN CO. NO ADDITIONAL COMPENSATION SHALL BE AWARDED DUE TO THE LACK OF COORDINATION.

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND BEING FAMILIAR WITH AND ADHERING TO ALL RELEVANT CITY OF SCOTTSDALE ORDINANCES, ORDINANCES AND SPECIFIC REQUIREMENTS THAT MAY IMPACT THIS CONSTRUCTION EFFORT. COORDINATE ALL REQUIREMENTS WITH THE GENERAL CONTRACTOR.
- THIS WORK EFFORT SHALL ADDITIONALLY INCLUDE ALL NECESSARY LABOR TO INVESTIGATE AND COORDINATE ALL UTILITY SITE CONDITIONS AS REQUIRED TO SUPPORT THE NEW BUILDING INFRASTRUCTURE.
- UPON FIELD INVESTIGATION OF THE PROJECT SITE THE CONTRACTOR SHALL DOCUMENT ANY UNFORESEEN CONDITIONS WHICH MAY EFFECT THE SCOPE OF THIS PROJECT AND PRESENT TO RYAN COMPANY FOR REVIEW.
- FIRE ALARM LAYOUTS, DIAGRAMS ETC. SHOWN ON THESE DRAWINGS ARE CONCEPTUAL, PROVIDED TO ASSIST THE CONTRACTOR IN THE BIDDING PROCESS. THE ELECTRICAL CONTRACTOR AND THEIR EQUIPMENT VENDOR SHALL PROVIDE A COMPLETE SET OF ENGINEERED PLANS IN CONFORMANCE WITH NFPA 72, ADA STANDARDS AND ALL APPLICABLE LOCAL AND NATIONAL CODES AND STANDARDS. THE PLANS SHALL BEAR THE SEAL AND SIGNATURE OF AN APPROPRIATE ARIZONA REGISTERED ELECTRICAL ENGINEER. THE EQUIPMENT VENDOR SHALL SUBMIT THE PLANS TO THE APPROPRIATE AUTHORITY FOR PURPOSE OF OBTAINING A PERMIT (COORDINATE WITH THE RYAN CO.) THE PLANS ARE ANTICIPATED TO INCLUDE THE FOLLOWING (THE VENDOR SHALL VERIFY REQUIREMENTS WITH THE AHJ):
 - A COMPLETE SET OF FLOOR PLAN DRAWINGS SHOWING QUANTITIES AND LOCATIONS OF ALL FIRE ALARM DEVICES.
 - A COMPLETE RISER DIAGRAM SHOWING ALL DEVICES AND INTERCONNECTIONS, MANUFACTURER CUT SHEETS FOR EACH DEVICE.
 - ZONE LOADS WITH BATTERY CALCULATIONS.

NOTE: THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN THEIR BID ALL NECESSARY DEVICES, COMPONENTS, HARDWARE, LABOR PROGRAMMING, WIRING AND CONNECTIONS NECESSARY FOR A COMPLETE AND OPERATIONAL CODE COMPLIANT FIRE ALARM SYSTEM.

6. SECURITY SYSTEMS ARE NOT PART OF THIS CONSTRUCTION EFFORT, WHERE SHOWN / NOTED INFRASTRUCTURE DESIGNATED IS FOR FUTURE USE ONLY.



RYAN A+E, INC.
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Phoenix, AZ 85018
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602-322-6300 fax

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Phoenix, AZ 85018
602-322-6100 fax
602-322-6300 fax

CONSULTANTS

Kraemer Consulting Engineers, P.L.L.C.
Mechanical & Electrical Engineers

PK ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS



A B
KEY PLAN

PROJECT INFORMATION

ONE SCOTTSDALE MEDICAL

20159 N. Scottsdale Rd.
Scottsdale, AZ 85255

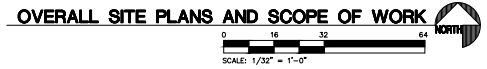
THE ELECTRICAL ENGINEER HAS REVIEWED THESE DRAWINGS AND APPROVES THEM. SHEET NUMBER ONLY. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MEADE ENGINEERING, INC. FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE.



DRAWN BY: DJH
CHECKED BY: JCR
JOB NO.: 22007-01
DATE: 02/03/2023

ISSUE RECORD
ISSUE # | DATE | DESCRIPTION

UTILITY COORDINATOR (REFERENCE ONLY)	
COORDINATOR	ERT UTILITIES SERVICES
CONTACT	RON WILSON
TELE.#	602-224-5085
EMAIL	ronw@usaz.com
UTILITY CO. REPR. (REFERENCE ONLY)	
POWER CO.	APS
CONTACTS	EXPERTISE
TELE.#	602-809-3611
COMMUNICATIONS CO. #1	COUNTRY LINK
CONTACT	EXPERTISE
TELE.#	800-891-4083
COMMUNICATIONS CO. #2	COX
CONTACT	EXPERTISE
TELE.#	800-234-3993

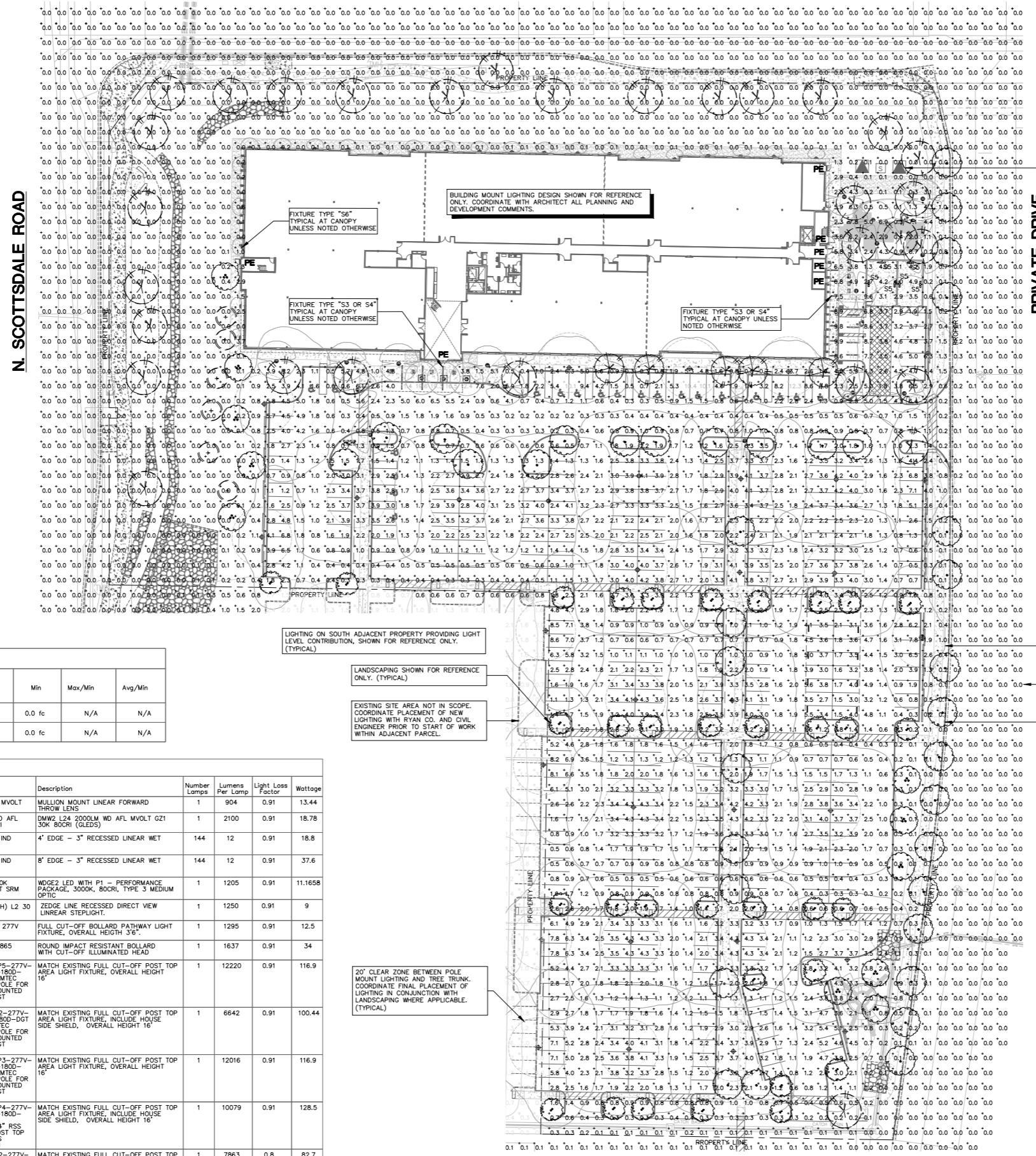


ATTACHMENT 20

MEADE ENGINEERING, INC.
CONSULTING ELECTRICAL ENGINEERS
(602) 961-2500 (PH) (602) 961-2666 (FAX) 602-2207-01 E-MAIL

E002
Plot Date: 2/2/2023

E. THOMPSON PEAK PKWY



APPROXIMATE LOCATION OF NEW PARCEL UTILITY EQUIPMENT TWO (2) TRANSFORMERS ONE (1) SWITCHING CABINET

- NOTES:
- REFER TO ARCHITECTURAL ELEVATIONS FOR AND ADDITIONAL INFORMATION.
 - ALL EXTERIOR LIGHTING WILL BE CONTROLLED VIA BUILDING LIGHTING CONTROL SYSTEM WITH TIME-OF-DAY/ PHOTOCCELL AND OR DIMMING AS NEEDED.
 - REFERENCE LANDSCAPE DRAWINGS ADDITIONAL COORDINATION.
 - (P.E.) = PEDESTRIAN ENTRY/ EXIT POINT FROM STRUCTURE TO INCLUDE MECHANICAL/ OWNERS ROOMS.



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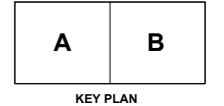
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602-322-6100 tel
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CONSULTANTS
Kraemer Consulting Engineers, PLLC.
Mechanical & Electrical Engineers

PK ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS



KEY PLAN



PROJECT INFORMATION
ONE SCOTTSDALE MEDICAL

20159 N. Scottsdale Rd.
Scottsdale, AZ 85255

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MANUFACTURER SHOP DRAWING FOR REFERENCE ONLY

THE ELECTRICAL ENGINEER HAS REVIEWED THE PHOTOMETRICS INFORMATION PRESENTED ON THIS DOCUMENT AS PROVIDED BY THE EQUIPMENT SUPPLIER AND FOUND THE VALUES REASONABLE, BASED ON THE SPECIFIED PRODUCT LITERATURE AND INFORMATION FURNISHED BY THE FIXTURE MANUFACTURER.

DRAWN BY: JCR
CHECKED BY: JCR
JOB NO.: 22007-01
DATE: 02-03-2022

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

DRB PACKAGE
02/03/2022

MANUFACTURER SHOP DRAWING - SITE PHOTOMETRIC CALCULATION

E100
Plot Date: 2/3/2023

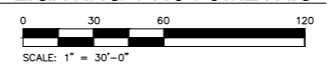
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXISTING	X	1.0 fc	8.4 fc	0.0 fc	N/A	N/A
OVERALL SITE	+	0.9 fc	19.6 fc	0.0 fc	N/A	N/A

Schedule							
Label	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
S1	VISA LIGHTING	OW2480 L30K(L) MVOLT FT (FINISH)	MULLION MOUNT LINEAR FORWARD THROW LENS	1	904	0.91	13.44
S2	LITHONIA	DMW2 2000LM WD AFL MVOLT 30K 80CRI	DMW2 2000LM WD AFL MVOLT G21 30K 80CRI (GLEDS)	1	2100	0.91	18.78
S3	PINNACLE ARCHITECTURAL LIGHTING	EV3 WET 830 4' IND FL(F) U FSD 1 0 (FINISH)	4' EDGE - 3" RECESSED LINEAR WET	144	12	0.91	18.8
S4	PINNACLE ARCHITECTURAL LIGHTING	EV3 WET 830 8' IND FL(F) U FSD 1 0 (FINISH)	8' EDGE - 3" RECESSED LINEAR WET	144	12	0.91	37.6
S5	Lithonia Lighting	WDGE2 LED P1 30K 80CRI 13M MVOLT SRM (FINISH)	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 3 MEDIUM OPTIC	1	1205	0.91	11,165.8
S6	TARGETTI	ZEL 41 FW (FINISH) L2 30 1E3447	ZEDGE LINE RECESSED DIRECT VIEW LINEAR STEPLIGHT.	1	1250	0.91	9
S81	LUMINIS	MA30-L1W12-R5 277V (FINISH) K3	FULL CUT-OFF BOLLARD PATHWAY LIGHT FIXTURE, OVERALL HEIGHT 36"	1	1295	0.91	12.5
S82	BEGA	84 623 with 99 865	ROUND IMPACT REILLUMINATED BOLLARD WITH CUT-OFF ILLUMINATED HEAD	1	1637	0.91	34
SP1	LUMINIS	MA20 L1L120 TYP5-277V-SP-S30-K30E-180D-DGT FINISH + CEMTEC 11.5" X 4" RSS POLE FOR (1) POST TOP MOUNTED LUMINIS MA20 DGT FINISH	MATCH EXISTING FULL CUT-OFF POST TOP AREA LIGHT FIXTURE, OVERALL HEIGHT 16"	1	12220	0.91	116.9
SP2	LUMINIS	MA20 L1L80 TYP2-277V-SP-S30-K30E-180D-DGT FINISH HS+ CEMTEC 11.5" X 4" RSS POLE FOR (1) POST TOP MOUNTED LUMINIS MA20 DGT FINISH	MATCH EXISTING FULL CUT-OFF POST TOP AREA LIGHT FIXTURE, INCLUDE HOUSE SIDE SHIELD, OVERALL HEIGHT 16"	1	6642	0.91	100.44
SP3	LUMINIS	MA20 L1L120 TYP3-277V-SP-S30-K30E-180D-DGT FINISH + CEMTEC 11.5" X 4" RSS POLE FOR (1) POST TOP MOUNTED LUMINIS MA20 DGT FINISH	MATCH EXISTING FULL CUT-OFF POST TOP AREA LIGHT FIXTURE, OVERALL HEIGHT 16"	1	12016	0.91	116.9
SP4	LUMINIS	MA20 L1L120 TYP4-277V-SP-S30-K30E-180D-DGT FINISH HS+ CEMTEC 11.5" X 4" RSS POLE FOR (1) POST TOP MOUNTED LUMINIS MA20 DGT FINISH	MATCH EXISTING FULL CUT-OFF POST TOP AREA LIGHT FIXTURE, INCLUDE HOUSE SIDE SHIELD, OVERALL HEIGHT 16"	1	10079	0.91	128.5
SP5	LUMINIS	MA20 L1L80 TYP2-277V-SP-S30-K30E-180D-DGT FINISH HS+ CEMTEC 11.5" X 4" RSS POLE FOR (1) POST TOP MOUNTED LUMINIS MA20 DGT FINISH	MATCH EXISTING FULL CUT-OFF POST TOP AREA LIGHT FIXTURE, OVERALL HEIGHT 12"	1	7863	0.8	82.7
X1	ESTIMATE FOR EXISTING FIXTURE CONTRIBUTION	MA20-L1L120-TYP5	EXISTING SINGLE HEAD FULL CUT-OFF POST TOP AREA LIGHT / 16" OVERALL HEIGHT	1	12220	0.91	116.9
X2	ESTIMATE FOR EXISTING FIXTURE CONTRIBUTION	MA20-L1L120-TYP5	EXISTING TWIN HEAD FULL CUT-OFF POST TOP AREA LIGHT / 16" OVERALL HEIGHT	1	12220	0.91	233.8

FIXTURES NOTE IN SCOPE DOCUMENTED TO ASSIST WITH ADJACENT PARKING LIGHT OVERFLOW.

MANUFACTURER SHOP DRAWINGS - BUILDING SITE GENERAL LIGHTING PHOTOMETRIC

ATTACHMENT 21



MEADE ENGINEERING, INC.
CONSULTING ELECTRICAL ENGINEERS
(623) 581-2323 / (907) 336-5783/MLC.BWG

FIXTURE TYPES SB2

BEGA LED system bollard - luminaire head with shielded light - 360°

Enclosure: Housing constructed of die-cast aluminum. Die-castings are marine grade, copper free to 0.2% copper content A360.0 aluminum alloy. Glass optical media white. Fully gasketed for weather tight operation using molded silicone gasket.

Installation: BEGA LED system bollards are designed for easy attachment to system bollard tubes using an interlocking stainless steel mechanism and stainless steel set screw threaded into stainless steel insert. An accompanying bollard tube must be selected for proper installation, see below chart for compatible tube options.

Electrical: 29.4W LED luminaire, 34 total system watts, -30°C start temperature. Integral 0-10V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature to 3000K with a 90 CRI. Available in 4000K (8-80 CRI), add suffix K4 to order.

Note: LEDs supplied with luminaires. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BK), White (MT), Bronze (BZ), Silver (SL). To search, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA: Certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65.

Type: BEGA Product: Project: Voltage: Color: MST - Bronze Options: Modified:



Bollard heads - shielded - 360°

Lamp	A	B
99 865 29.4W LED	10 1/2"	7 1/2"

Bollard tubes for luminaire heights 19 1/2" - 22 1/2"

Model	A	B	Arch. ut.
99 819	10 1/2"	14 1/2"	79 819

Bollard tubes for luminaire heights 27 1/2" - 42 1/2"

Model	A	B	Arch. ut.
99 824	10 1/2"	19 1/2"	79 824
99 827	10 1/2"	34 1/2"	79 827
99 829	10 1/2"	34 1/2"	79 829
99 836	10 1/2"	34 1/2"	79 836
84 823	10 1/2"	34 1/2"	79 823
99 810	10 1/2"	34 1/2"	79 810

Integrated components

Model	A	B	Arch. ut.
99 824	10 1/2"	19 1/2"	79 824
99 827	10 1/2"	34 1/2"	79 827
99 829	10 1/2"	34 1/2"	79 829
99 836	10 1/2"	34 1/2"	79 836
84 823	10 1/2"	34 1/2"	79 823
99 810	10 1/2"	34 1/2"	79 810

BEGA 1000 BEGA Way, Carpinteria, CA 90013 (805) 684-5533 FAX (805) 986-9474 www.bega-us.com
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FIXTURE TYPES SB1

LUMINAIRE SELECTION

MODEL	LED LIGHT SELECTION (4000K/90CRI)	DELIVERED LUMENS	INPUT WATTS	VOLTAGE	FINISH
Type II	MA30-LW12-R2	1281	13	120V	White Snow white
	MA30-LW18-R2	1793	19	120V	Black jet black
	MA30-LW48-R2	3036	34	Optional	White Snow white
Type IV	MA30-LW12-R4	1281	13	Optional	Black jet black
	MA30-LW18-R4	1825	19	Optional	Black jet black
	MA30-LW48-R4	4566	48	Optional	Black jet black
Type V	MA30-LW12-R5	1295	13	Optional	Black jet black
	MA30-LW18-R5	1842	19	Optional	Black jet black
	MA30-LW48-R5	4554	50	Optional	Black jet black

AMBER LED LIGHT SELECTION - TURTLE FRIENDLY

TYPE	MODEL	DELIVERED LUMENS	INPUT WATTS
Type II	MA30-LW12QA-R2	280	11
Type IV	MA30-LW12QA-R4	282	11
Type V	MA30-LW12QA-R5	269	11

NOTES: Above voltage values are based on 277V, tested at 270°C/77°F ambient temperature. Voltages may vary by approximately +/- 1% for other voltages, or due to changes in ambient temperature. Lumen output will remain constant.

OPTIONAL COLORS*

- WHI Snow white
- BLK jet black
- TRM Titanium
- GRY Gun metal
- CHM Champagne
- STL Steel Gray
- ENG English Cream

OPTIONAL COLORS

- CS Custom color
- RAL RAL color

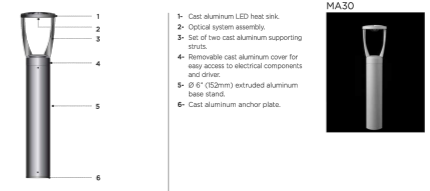
FINISH BY ARCHITECT

MA30 SERIES MAYA

LUMINIS | Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
250 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

LUMINIS

TYPE	QUANTITY	PROJECT
CATALOG NUMBER	MODEL	LED LIGHT SELECTION
	VOLTAGE	FINISH
	OPTION	OPTION
	OPTION	OPTION



MATERIALS
Housing is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%.
COB LED is assembled on a thick pad housing chamber designed with a heat sink pattern to optimize heat dissipation and luminaire efficacy. The power supply is enclosed in an isolated chamber allowing a quick access for electrical maintenance without disturbing the optical light chamber.
COB LED is removable and replaceable for ease of maintenance or lighting upgrades.

ELECTRICAL
POWER SUPPLY: Standard driver is 0-10V dimming-ready (dims to 10%) with 100-277 multi-volt compatibility (50-60Hz), operating temperature range of -30°C/-20°F to +50°C/+120°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery.

LED/Optics
Type II, IV or V light distribution via high performance optical lenses. Standard 4000K/90CRI, Optional 2700K, 3000K and 3500K.
Optional true amber LED for turtle sensitive areas. Wavelengths: 589nm to 593nm.

LIFE
60,000hrs (L₈₀) based on LM-80 report for lumen maintenance.

FINISH
Five-stage preparation process includes preheating of cast aluminum parts for an extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

MOUNTING
Mounts with a set of three 1/2" x 1/8" x 1/8" galvanized anchor bolts.

NOTES:
1. If no voltage is specified, luminaires are factory pre-wired by default for 120V. For other voltages, please specify with catalog number, or consult factory.
2. Fuse and photocell options are normally installed with poles when specified with Luminis luminaires. (Except for other types of mounting).
3. GFI and COF options are installed if above grade unless otherwise specified. COF cover protrudes by 3/32" (2.0mm).
4. BLC not available on Type V. BLC can be installed in the field on existing fixtures.
5. Flush wood finish does not apply to fixture head.

MA30 SERIES MAYA Bollard

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250 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

FIXTURE TYPES SP1 / SP2 / SP3/ SP4 / SP5

LUMINAIRE SELECTION

MODEL	LED LIGHT SELECTION (4000K/90CRI)	DELIVERED LUMENS	INPUT WATTS	VOLTAGE	FINISH
Type II	LL40-TYP2	2022	36	120V	White Snow white
	LL80-TYP2	7352	80	120V	Black jet black
	LL120-TYP2	16446	118	Optional	White Snow white
Type III	LL40-TYP3	4007	36	Optional	Black jet black
	LL80-TYP3	7709	80	Optional	Black jet black
	LL120-TYP3	12221	118	Optional	Black jet black
Type IV	LL40-TYP4	3943	36	Optional	Black jet black
	LL80-TYP4	7586	80	Optional	Black jet black
	LL120-TYP4	12003	118	Optional	Black jet black
Type V	LL40-TYP5	4071	36	Optional	Black jet black
	LL80-TYP5	7832	80	Optional	Black jet black
	LL120-TYP5	12411	118	Optional	Black jet black

AMBER LED SELECTION - TURTLE FRIENDLY

TYPE	SUFFIX	DELIVERED LUMENS	INPUT WATTS
Type II	LL40-TYP2	1894	47
Type III	LL40-TYP3	2091	47
Type IV	LL40-TYP4	2057	47
Type V	LL40-TYP5	2125	47

DS OPTION*
Dual switching Amber/1000K/70CRI. Applicable with Amber LED selection.

SUFFIX	DELIVERED LUMENS	INPUT WATTS
DS1,LS0	6200/1062	83
DS1,LS0	8220/1062	109

NOTES: Above voltage values are based on 120V, tested at 27°C/77°F ambient temperature. Voltages may vary by approximately +/- 1% for other voltages, or due to changes in ambient temperature. Lumen output will remain constant.

OPTIONAL COLORS*

- WHI Snow white
- BLK jet black
- TRM Titanium
- GRY Gun metal
- CHM Champagne
- STL Steel Gray
- ENG English Cream

OPTIONAL COLORS

- CS Custom color
- RAL RAL color

FINISH BY ARCHITECT

MA20 SERIES MAYA - LED

LUMINIS | Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
250 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

LUMINIS

TYPE	QUANTITY	PROJECT
CATALOG NUMBER	MODEL	LED LIGHT SELECTION
	VOLTAGE	FINISH
	OPTION	OPTION
	OPTION	OPTION



MATERIALS
Housing is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%.
The MA20 features a high efficiency LED light engine, mounted on a thick base integral to the housing shell, designed with a heat sink pattern to optimize heat dissipation and luminaire efficacy. The power supply is enclosed in a thermally isolated chamber allowing a quick access for electrical maintenance without disturbing the optical light chamber, and providing long lifetime.

ELECTRICAL
POWER SUPPLY: Standard driver is 0-10V dimming-ready (dims to 10%) with 100-277 multi-volt compatibility (50-60Hz), operating temperature range of -30°C/-20°F to +50°C/+120°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery. Optional 347580V available on selected models.

LED/Optics
Type II, III, IV or V light distribution via high performance optical lenses. Offered in 2700K, 3000K, 3500K, 4000K. See the CCT options for details.
Optional true amber LED for turtle sensitive areas. Wavelengths: 589nm to 593nm.

LIFE
60,000hrs (L₈₀) based on LM-80 report for lumen maintenance.

FINISH
Five-stage preparation process includes preheating of cast aluminum parts for an extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

NOTES:
1. If no voltage is specified, luminaires are factory pre-wired by default for 120V. For other voltages, please specify with catalog number, or consult factory.
2. Fuse and photocell options are normally installed with poles when specified with Luminis luminaires. (Except for other types of mounting).
3. HS not available on Type V. HS can be installed in the field on existing fixtures.
4. Motion sensor option is not compatible with photocell option.
5. For 1/8" wall thickness. For other wall thickness contact factory.
6. Not compatible with S30 option.
7. DS option not available with options HS, PH, PHSC, PH1, S47V, TN3 and PR8.
8. Not compatible with HS, PH, PHSC, PH2, Wall mounts, Double fixture mounts, TN3, PR8.
9. Compatible with Amber LED.
10. Only available with MA20x (S30) poles.
11. White sensor available upon request.

MA20 SERIES MAYA Post Top

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MA20 SERIES MAYA - LED

OPTION

ELECTRICAL

- FS Fuse*
- HS Motion Sensor*. Color will be selected by default to best match fixture color.
- PH Photocell*
- PHSC NEMA C38.41 7-PIN receptacle & shoring cap. Please consult factory to ensure electrical compliance.
- PH7 NEMA C38.41 7-PIN receptacle & photocell sensor.
- SP 10KV Surge Protector

CONTROL

- ALternate CCT % LED (LFC: Lumen conversion factor). (Apply multiplier to listed values for lumens output reference).
- K27E 2700K / 70CRI (LFC: 0.91)
- K35E 3500K / 70CRI (LFC: 0.94)
- K40E 4000K / 70CRI
- K35 3500K / 80CRI (LFC: 0.8)
- K40 4000K / 80CRI (LFC: 0.83)

ACCESSORIES

- HS Housing side shield* (LFC: 0.8)
- S30 30° Shade
- NLTAR2 HLight AIR Control gen2. Pole mounted black sensor.***

CONTROL

- NLTAR2 HLight AIR Control gen2. Pole mounted black sensor.***

NOTES:
1. If no voltage is specified, luminaires are factory pre-wired by default for 120V. For other voltages, please specify with catalog number, or consult factory.
2. Fuse and photocell options are normally installed with poles when specified with Luminis luminaires. (Except for other types of mounting).
3. HS not available on Type V. HS can be installed in the field on existing fixtures.
4. Motion sensor option is not compatible with photocell option.
5. For 1/8" wall thickness. For other wall thickness contact factory.
6. Not compatible with S30 option.
7. DS option not available with options HS, PH, PHSC, PH1, S47V, TN3 and PR8.
8. Not compatible with HS, PH, PHSC, PH2, Wall mounts, Double fixture mounts, TN3, PR8.
9. Compatible with Amber LED.
10. Only available with MA20x (S30) poles.
11. White sensor available upon request.

OPTION DETAILS

PHSC NEMA C38.41 7-PIN receptacle & shoring cap. Please consult factory to ensure electrical compliance.

PH7 NEMA C38.41 7-PIN receptacle & photocell sensor.

HS HS Housing side shield. Field installable. Not available for Type V.

S30 30° Shade

NLTAR2 HLight AIR Control gen2. Pole mounted black sensor.***

LUMINIS

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RYAN

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602-322-6300 fax

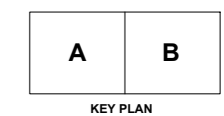
CONSULTANTS

Kraemer Consulting Engineers, P.L.L.C.
Mechanical & Electrical Engineers

RPK ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS



KEY PLAN



PROJECT INFORMATION

ONE SCOTTSDALE MEDICAL
20159 N. Scottsdale Rd.
Scottsdale, AZ 85255

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MANUFACTURER SHOP DRAWING FOR REFERENCE ONLY

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CHECKED BY JCR
JOB NO. 22007-01
DATE 02-03-2022

ISSUE RECORD

ISSUE #	DATE	DESCRIPTION
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DRB PACKAGE

02/03/2022

MANUFACTURER SHOP DRAWING - SITE LIGHTING CUT SHEETS

E102

Plot Date: 2/3/2023

MEADE ENGINEERING HAS REVIEWED THE PHOTOMETRICS INFORMATION PRESENTED ON THIS DOCUMENT AS PROVIDED BY THE EQUIPMENT SUPPLIER REPRESENTATIVE, USING SOFTWARE AND ALGORITHMS DEVELOPED FOR THIS PURPOSE, AND FOUND THE VALUES REASONABLE, BASED ON THE SPECIFIED PRODUCT LITERATURE AND INFORMATION FURNISHED BY THE FIXTURE MANUFACTURER.

PREPARED BY:
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1122 NORTH 7TH STREET
PHOENIX, AZ 85006
PHONE: 602.817.1949
FAX: 602.252.5018
CONTACT: CRAIG MORRIS



Q.S.
40-45

Aerial

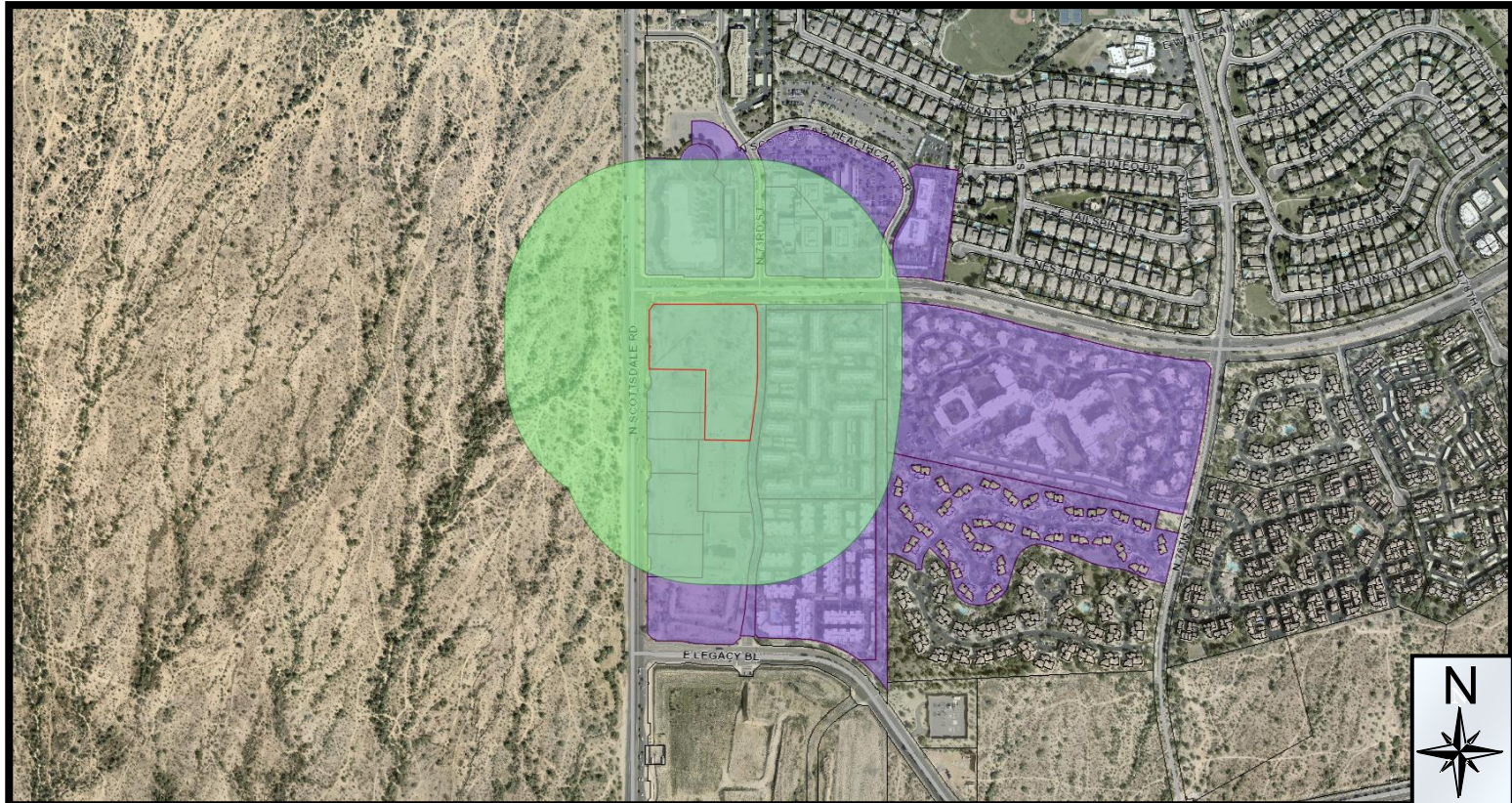
Zoning Aerial

ATTACHMENT 23

61-DR-2015#5

City Notifications – Mailing List Selection Map

One Scottsdale PU III, Medical Office Building



Additional Notifications:

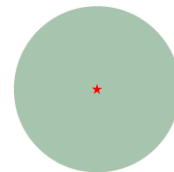
- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels
September 15, 2022

Map Legend:



Site Boundary



Properties within 750-feet

Postcards: 77

61-DR-2015#5