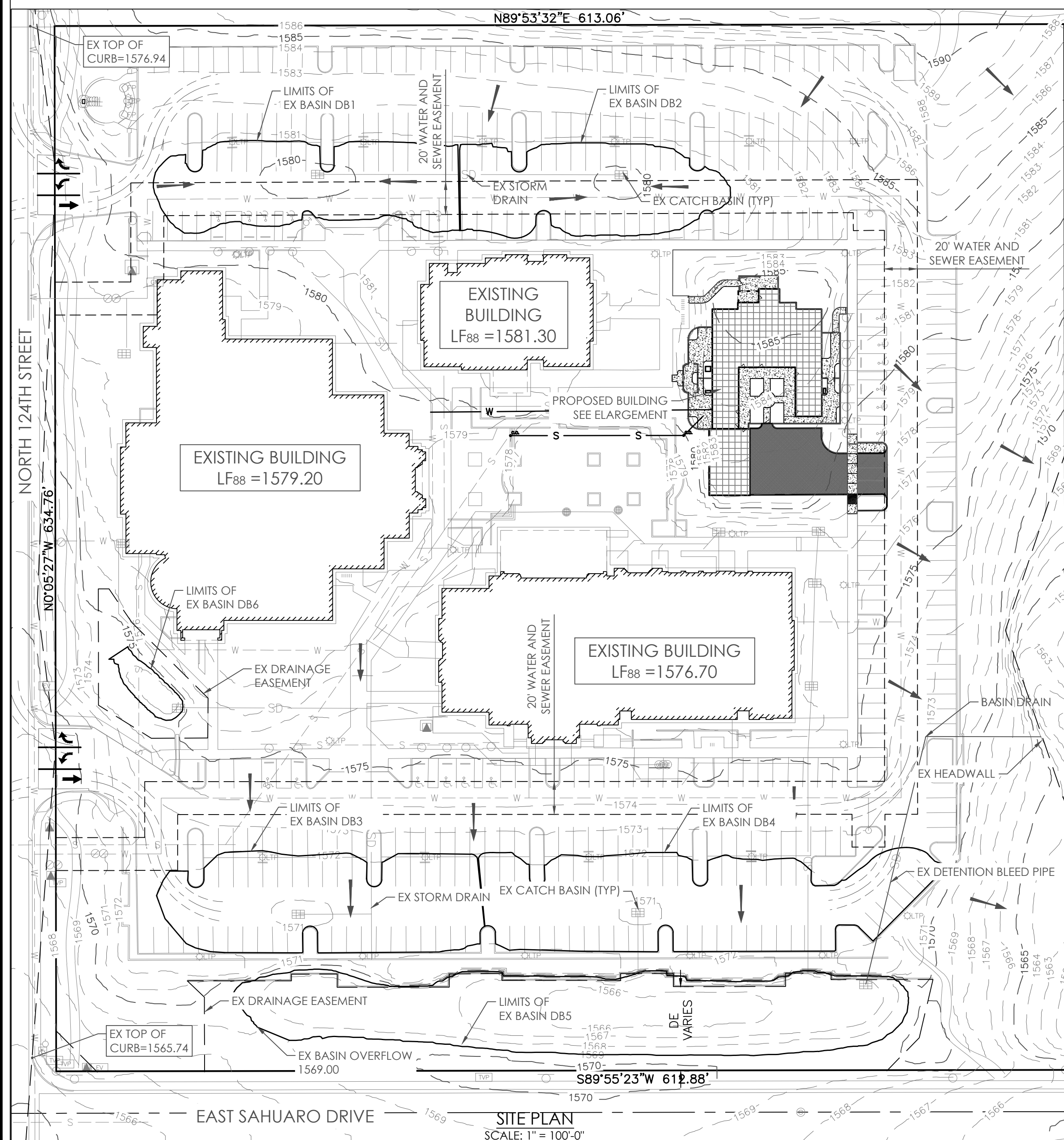


1. ALL GRADES SHOWN HEREON ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN.
2. ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO FINISH SURFACE UNLESS OTHERWISE INDICATED.
3. EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER.
4. ROOF DRAINAGE IS ASSUMED TO DAYLIGHT AT FINISHED GRADE AND SURFACE DRAIN AS NECESSARY.
5. NO IMPERVIOUS UNDER-TREATMENT ALLOWED IN BOTTOM OF RETENTION BASINS WHEN SURFACE PERCOLATION IS UTILIZED FOR DISSIPATION, PENDING GEOTECHNICAL TESTING.
6. NO UNDERGROUND RETENTION PROVIDED.

WEIGHTED RUNOFF COEFFICIENT CALCULATIONS			
DRAINAGE AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA (SF)
HARDSCAPE AREA:	ASHPHALT/CONCRETE	0.95	176,533
LANDSCAPED AREA:	LANDSCAPED	0.40	147,879
	TOTAL	.70	324,412

DETENTION BASIN	VOLUME PROVIDED	DEPTH
DB1	3.308CF	1.0
DB2	2.716CF	1.0
DB3	5.211CF	1.0
DB4	6.025CF	1.0
DB5	38.690CF	3.5
DB6	1.473CF	2.25
ABOVE GROUND SITE TOTAL = 57.423CF		



SCUPPER

STORMWATER FLOWS NORTH TO EXISTING STORMWATER DETENTION BASIN DB 1 & DB 3

1583

1584

1585

FG=1583.63

FG=1583.71

MATCH EX

PROPOSED BUILDING
LF88 = 1584.00

1585

C=1583.82

PROPOSED SITE WALL

PROPOSED GARAGE
LF88 = 1583.50

C=1583.50

PROPOSED SIDEWALK

PROPOSED PAVING

7.5%

PROPOSED SIDEWALK RAMP

PROPOSED CURB

MATCH EX

SW FLUSH WITH PAVEMENT

MATCH EX

EXISTING SITE WALL TO REMAIN

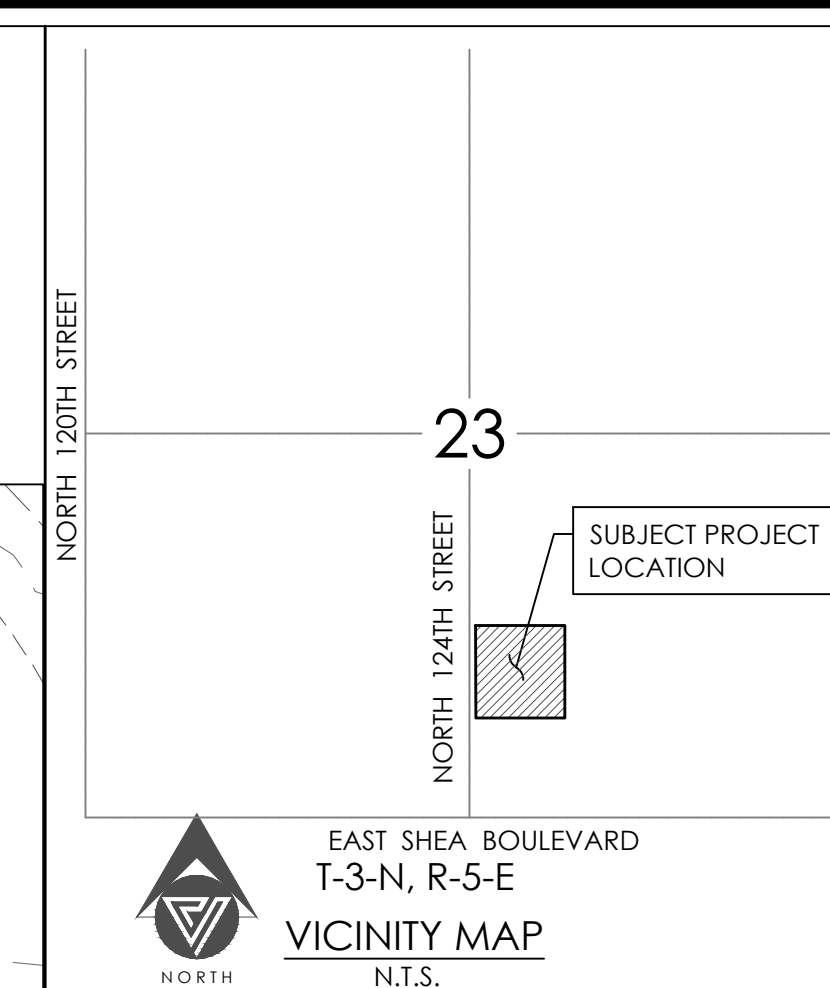
EX CATCH BASIN

EX STORM DRAIN

EX CATCH BASIN

STORMWATER FLOWS SOUTH THROUGH STORM DRAIN PIPE TO EXISTING STORMWATER DETENTION BASIN DB 5

ENLARGED SITE PLAN
SCALE: 1" = 10'-0"



OWNER
ST BERNARD OF CLAIRVAUX
ROMAN CATHOLIC PARISH
400 E MONROE ST
PHOENIX, ARIZONA 85004
CONTACT: MIKE HUESMAN

ARCHITECT
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VESPRO
8502 E. VIA DE VENTURA, SUITE 101
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PH: (480) 393-3640
CONTACT: PETER VESECKY, PE

ZONING
R1-43 ELS

ASSESSOR'S PARCEL NUMBER
217-29-865

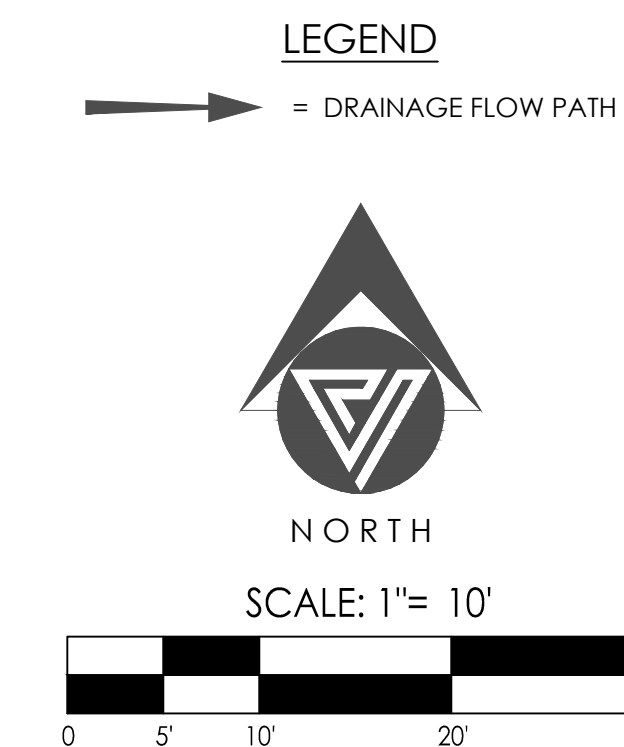
AREA
SUBJECT PARCEL CONTAINS 389,420 SQUARE FEET
OR 8.944 ACRES MORE OR LESS.

LEGAL DESCRIPTION
LOT 1, MINOR SUBDIVISION PLAT, SAINT BERNARD OF CLAIRVAUX,
ROMAN CATHOLIC PARISH, ACCORDING TO THE PLAT OF
RECORD IN THE OFFICE OF THE COUNTY RECORDER OF
MARICOPA COUNTY, ARIZONA, BOOK 1066 OF MAPS, PAGE 11.

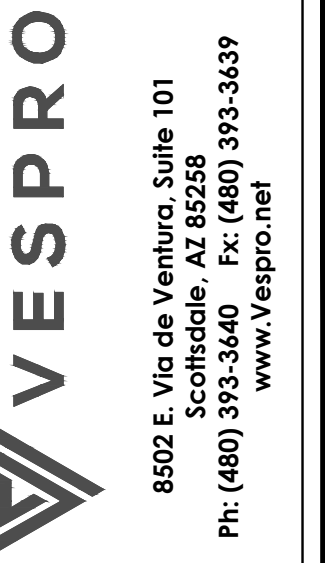
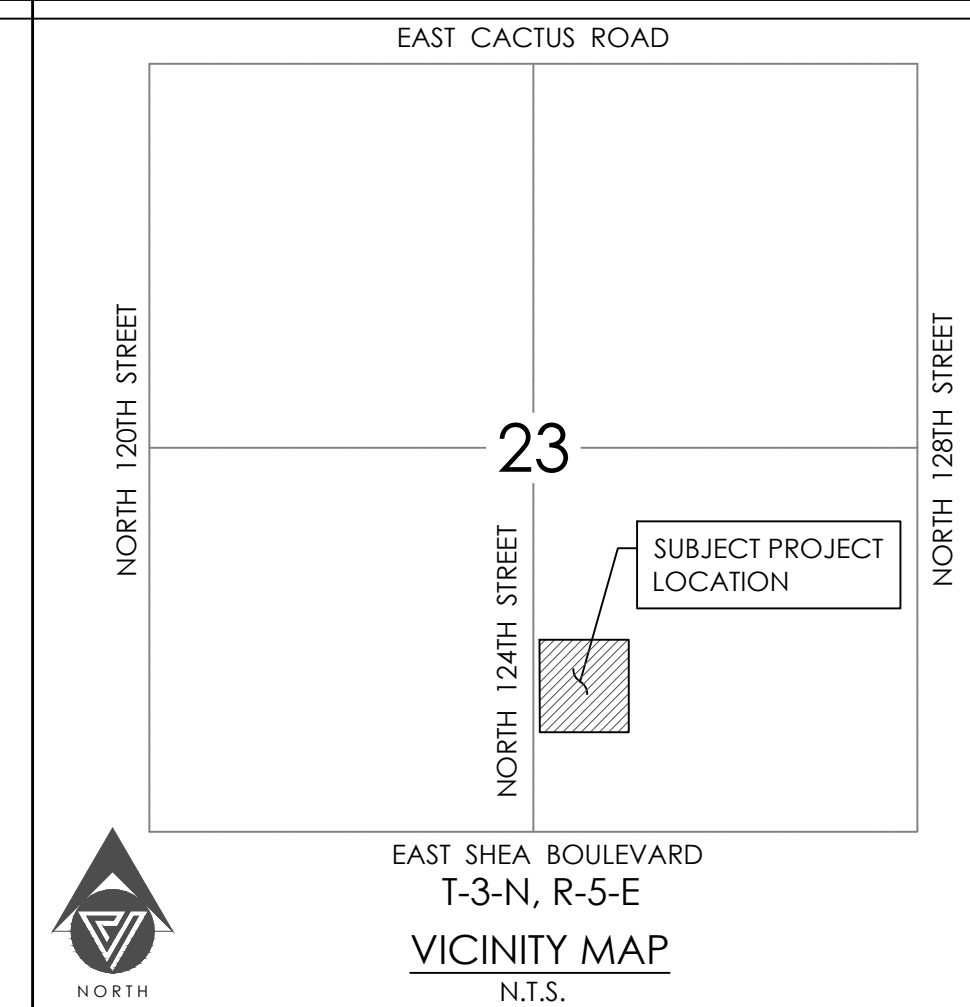
PROJECT DESCRIPTION
THE CONSTRUCTION OF A NEW RECTORY CONSISTING OF
APARTMENTS, A KITCHEN, GREAT ROOM, CHAPEL AND PRIVATE
GARAGE WITH ALL SUPPORTING SERVICES.

BENCHMARK
THE BENCHMARK FOR THIS PROJECT IS NATIONAL GEODETIC
SURVEY POINT HAVING A DESIGNATION OF 1FJ1 AND A PID OF
A13688, LOCATED AS DESCRIBED ON NGS DATASHEET BEING
SOUTHWEST OF THE INTERSECTION OF FRANK LLOYD WRIGHT
BOULEVARD AND SWEETWATER AVENUE IN SCOTTSDALE,
MARICOPA COUNTY, ARIZONA,
ELEVATION = 1504.7' (NAVD88)

FLOOD ZONE
ACCORDING TO FEMA FIRM MAPS #04013C1780L
AND #04013C1785L, DATED OCTOBER 16, 2013, THE PROJECT SITE
IS LOCATED WITHIN A FLOOD ZONE 'X'; AREAS OF 0.2% ANNUAL
CHANCE FLOOD; AREAS LESS THAN 1 FOOT OR WITH DRAINAGE
AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY
JEVEFS FROM 1% ANNUAL CHANCE FLOOD.

[illegible]

RECTORY ADDITION TO
ST. BERNARD OF CLAIRVAUX CATHOLIC CHURCH
10755 N. 124TH ST. - SCOTTSDALE, ARIZONA 85259
PRELIMINARY WATER AND SEWER PLAN



PROJECT CONTACTS

OWNER
ST BERNARD OF CLAIRVAUX
ROMAN CATHOLIC PARISH
400 E MONROE ST
PHOENIX, ARIZONA 85004

ARCHITECT
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SCOTTSDALE, AZ 85258
PH: (480) 393-3640
CONTACT: PETER VESECKY, PE

SITE DATA

ZONING
R1-43 ELS

ASSESSOR'S PARCEL NUMBER
217-29-865

AREA
SUBJECT PARCEL CONTAINS
389,620 SQUARE FEET OR
8.944 ACRES MORE OR LESS.

OPEN SPACE
(SEE OPEN SPACE PLAN)
129,353 SF - REQUIRED
163,078 SF - PROVIDED

PROPERTY ADDRESS

10775 N. 124TH ST, SCOTTSDALE

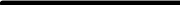
LEGAL DESCRIPTION

LOT 1, MINOR SUBDIVISION PLAT, SAINT BERNARD OF CLAIRVAUX, ROMAN CATHOLIC PARISH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, BOOK 1066 OF MAPS, PAGE 11.

PROJECT DESCRIPTION

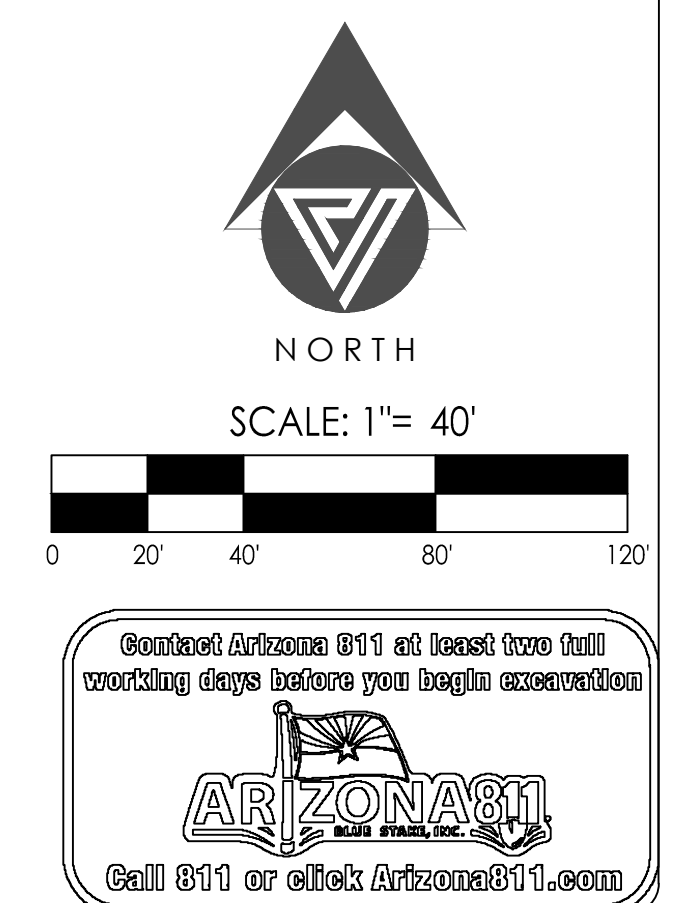
THE CONSTRUCTION OF A NEW RECTORY CONSISTING OF APARTMENTS, A KITCHEN, GREAT ROOM, CHAPEL AND PRIVATE GARAGE WITH ALL SUPPORTING SERVICES.

LEGEND

-  - EXISTING BOUNDARY LINE
 - EXISTING EASEMENT LINE
 - DESIGNATED FIRE LANE
 C.O. - SANITARY SEWER CLEANOUT
 S - SEWER
 W - WATER

GENERAL NOTES

1. EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY
AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER.



RECTORY ADDITION TO ST. BERNARD OF CLAIRVAUX CATHOLIC CHURCH
110755 N. 124TH ST. - SCOTTSDALE, ARIZONA 85259
PRELIMINARY WATER AND SEWER PLAN

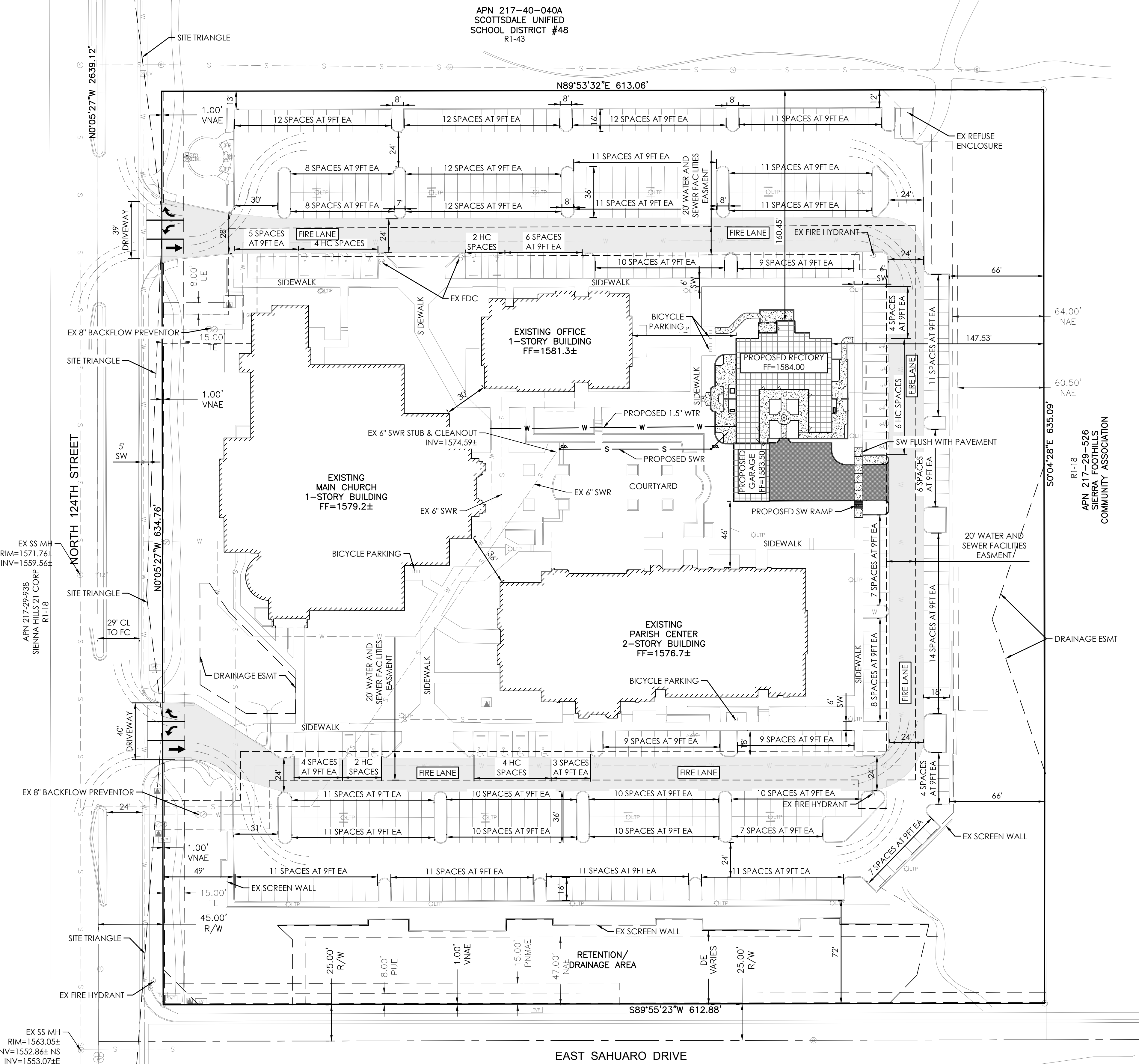


DRAWING DATE:	11/4/21
DRAWN BY:	MEC
CHECKED BY:	PV
DRAWING SCALE:	AS SHOWN
DRAWING FILE:	20004-C-WS.DWG

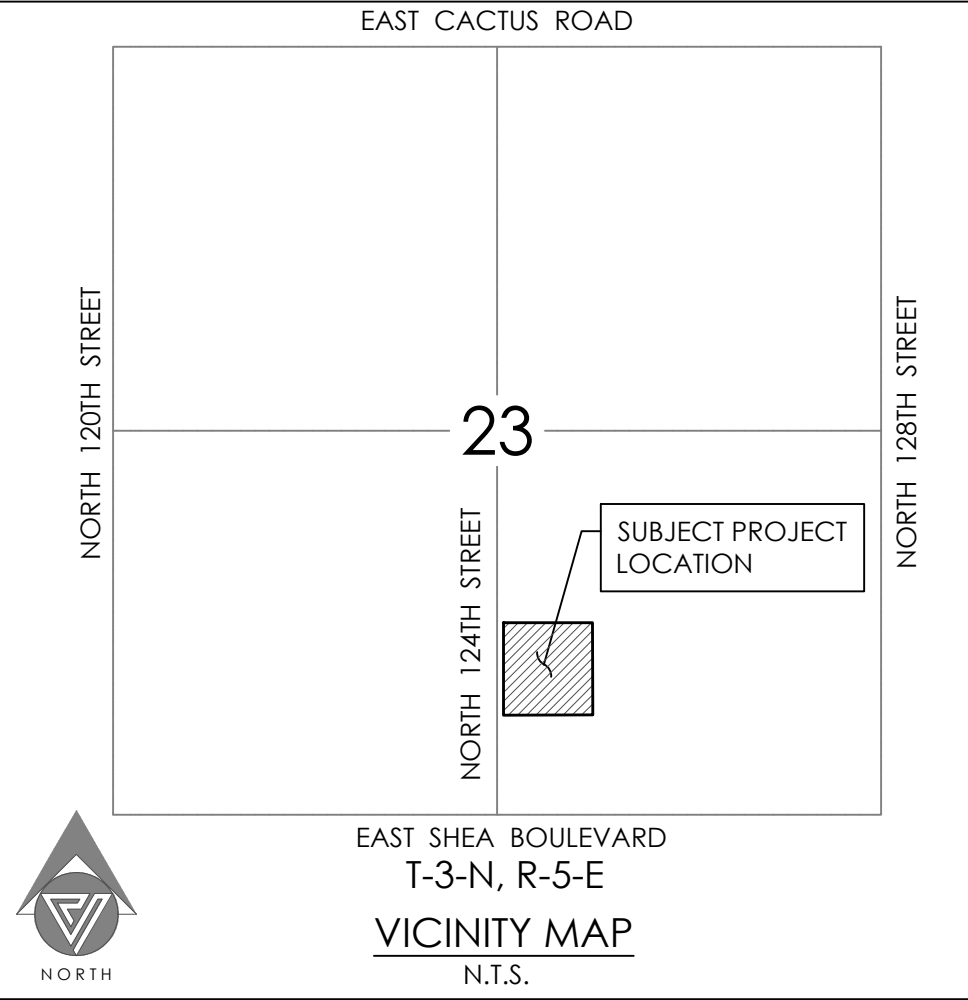
PRELIMINARY
WATER & SEWER
WS01
1 of 1
PLAN

C.O.S. PROJECT NO. 866-PA-2020 - KEY CODE 9T728 - NEW PHASE TO 38-DR-2010

RECTORY ADDITION TO
ST. BERNARD OF CLAIRVAUX CATHOLIC CHURCH
10755 N. 124TH ST. - SCOTTSDALE, ARIZONA 85259
SITE PLAN



- LEGEND
- EXISTING BOUNDARY LINE
 - EXISTING EASEMENT LINE
 - PROPOSED CONCRETE / WALKS
 - PROPOSED BUILDING AREA
 - PROPOSED PAVING
 - DESIGNATED FIRE LANE



PROJECT CONTACTS

OWNER
ST BERNARD OF CLAIRVAUX
ROMAN CATHOLIC PARISH
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PHOENIX, ARIZONA 85004
CONTACT: MIKE HUESMAN

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SITE DATA

ZONING
R1-43 ELS

ASSESSOR'S PARCEL NUMBER
217-29-865

AREA
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(SEE OPEN SPACE PLAN)
129,353 SF - REQUIRED
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LOT 1, MINOR SUBDIVISION PLAT, SAINT BERNARD OF CLAIRVAUX, ROMAN CATHOLIC PARISH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, BOOK 1066 OF MAPS, PAGE 11.

PROJECT DESCRIPTION
THE CONSTRUCTION OF A NEW RECTORY CONSISTING OF APARTMENTS, A KITCHEN, GREAT ROOM, CHAPEL AND PRIVATE GARAGE WITH ALL SUPPORTING SERVICES.

BUILDING AREAS

EXISTING BUILDINGS

MAIN CHURCH	26,347SF
PARISH OFFICE	6,666SF
PARISH CENTER (1ST FLOOR)	19,011SF
PARISH CENTER (2ND FLOOR)	9,298SF

PROPOSED BUILDINGS

RECTORY	3,648SF
RECTORY GARAGE	1,009SF

TOTAL
GROSS FLOOR AREA (EXISTING + PROPOSED) = 65,979SF

PARKING CALCULATIONS

PARKING REQUIRED
STANDARD (SEE FLOOR PLAN WORKSHEET) = 372
ACCESSIBLE SPACES (390X0.4) = 16
ACCESSIBLE VAN (TABLE 9.4 ZONING) = 2
390 REQUIRED

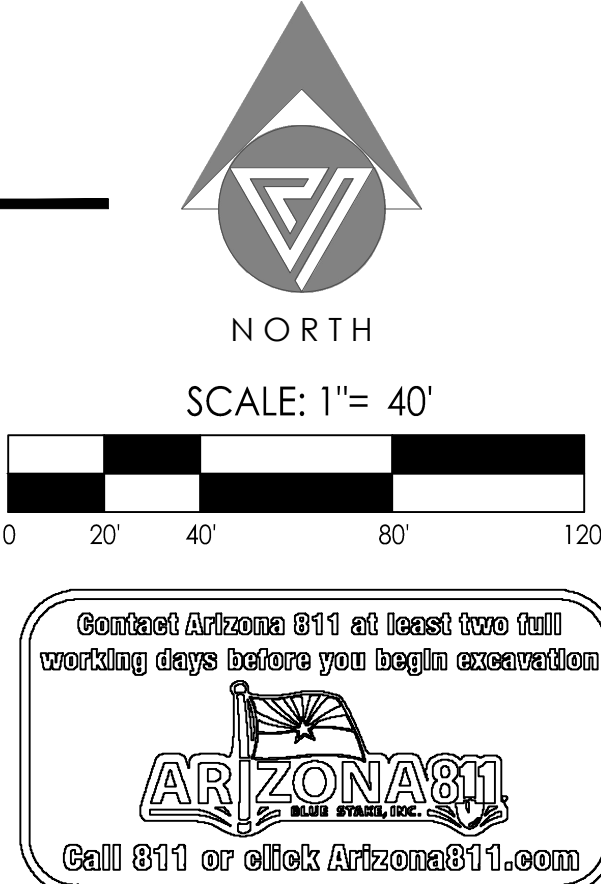
PARKING PROVIDED
370 - STANDARD SPACES
16 - ACCESSIBLE SPACES
2 - ACCESSIBLE VAN SPACE
3 - GARAGE
391 - TOTAL PARKING SPACES

BICYCLE PARKING REQUIRED
390/10 = 39

BICYCLE PARKING PROVIDED
42- EXISTING
0- PROPOSED
42 - TOTAL BICYCLE SPACES

SHEET INDEX

- SP01 - OVERALL SITE PLAN
SP02 - REFUSE PLAN
SP03 - OPEN SPACE PLAN
SP04 - HARDSCAPE PLAN
SP05 - PARKING PLAN
SP06 - PEDESTRIAN AND VEHICULAR CIRCULATION PLAN
FPW1 - FLOOR PLAN WORKSHEET
A-1 - ENLARGED ARCHITECTURAL SITE PLAN
A-2 - NORTH AND EAST SIDE ELEVATIONS
A-3 - SOUTH AND WEST SIDE ELEVATIONS
A-4 - FLOOR PLAN
A-5 - DIMENSIONED FLOOR PLAN
L-U - LUMENS PLAN
NPI-1.1 - NATIVE PLANT INVENTORY/SALVAGE PLAN
L-1.1 - CONCEPTUAL PLANTING PLAN
WS01 - PRELIMINARY WATER AND SEWER PLAN
PGD1 - PRELIMINARY GRADING AND DRAINAGE PLAN



VESPRO
8502 E. Via de Ventura, Suite 101
Scottsdale, AZ 85258
PH: (480) 393-3640 Ex: (480) 393-3439
www.Vespro.net

RECTORY ADDITION TO ST. BERNARD OF CLAIRVAUX CATHOLIC CHURCH
10755 N. 124TH ST. - SCOTTSDALE, ARIZONA 85259
SITE PLAN



PROJECT NO: 20004
DRAWING DATE: 11/4/21
DRAWN BY: MEC
CHECKED BY: PV
DRAWING SCALE: AS SHOWN
DRAWING FILE: 20004-CSP-LDWG

SITE PLAN
SP01
1 of 1

C.O.S. PROJECT NO. 866-PA-2020 - KEY CODE 91728 - NEW PHASE TO 38-DR-2010