

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: May 18, 2023  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

**Key Essentials Hangar / Office Building**  
**41-DR-2022** | Request for approval of the site plan, landscape plan, and building elevations for a new aircraft hangar with associated office space on a +/- 1.08-acre site in the Airpark.

## SUMMARY

### Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

### Key Issues

- None

### Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- No community input received as of the date of this report
- Concurrent application for heliport conditional use (1-UP-2023)

## BACKGROUND

**Location:** 16060 N 82nd St

**Zoning:** Industrial Park (I-1)

### Adjacent Uses

- North: Industrial/Warehouse building, zoned I-1
- South: Hangar, zoned I-1
- East: Industrial/Manufacturing, zoned I-1
- West: Office/Hangar building (with heliport), zoned I-1



### Property Owner

Key Essentails, LLC (Jason Crandall)

### Applicant

John S. Szafran, DPA Architects, Inc.  
(480) 941-4222

### Architect/Designer

DPA Architects, Inc.

## DEVELOPMENT PROPOSAL

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The proposal is for a new hangar with related office space, totaling 13,683 sf of building area, with a maximum proposed height of forty (40) feet. The building features naturally-colored concrete smooth cast-in-place and sand-blasted tilt panels. The west elevation features functional metal bi-fold hangar doors, with matching metal on the façade above the door. The building mass is necessarily large for its functionality, however the design has incorporated a variety of pop-out elements of visual interest, both masonry and glazing, to add some dimension and reduce monotony, best illustrated in the attached perspectives.

Vehicle access will come off of 82<sup>nd</sup> Street, with the drive aisle and parking placed between the building and street. Pedestrian access will connect existing sidewalks to new striped walkways heading into the front entrance. Landscaped open space is featured along the street in addition to landscaping directly abutting the building.

### Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

## STAFF RECOMMENDED ACTION

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Staff recommends that the Development Review Board approve the Key Essentials Hangar / Office Building development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Greater Airpark Character Area and Development Review Board Criteria have been met.

### RESPONSIBLE DEPARTMENTS

**Planning and Development Services**  
Current Planning Services

**Other Responsible Division**  
Other Responsible Department

### STAFF CONTACTS

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Sarah Ferrara  
Aviation Plan and Outreach Coordinator  
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## APPROVED BY

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Casey Steinke, Report Author

5/10/23

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Development Review Board Liaison  
Phone: 480-312-7713    Email: bcarr@scottsdaleaz.gov

5/10/2023

Date

## **ATTACHMENTS**

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1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Site Plan
8. Floor Plan
9. Open Space Plan
10. Landscape Plan
11. Building Elevations (black & white)
12. Building Elevations (color)
13. Perspectives
14. Material Board
15. Exterior Photometrics Plan with Cutsheets
16. Zoning Map
17. Community Involvement



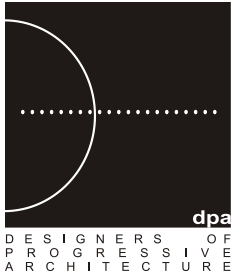
Context Aerial

41-DR-2022



Close-up Aerial

41-DR-2022



## P R O J E C T N A R R A T I V E

### **Key Essentials** – Hangar / Office Building

16060 N 82<sup>nd</sup> Street  
Scottsdale AZ, 85260

02 November 2022

#### Summary:

Key Essentials, LLC. seeks to develop an aircraft hangar with accessory office area on a 1.08 acre parcel of land within the City of Scottsdale Municipal Airport.

The proposed Hangar / Office Building of 16060 N 82<sup>nd</sup> Street will house a CJ4 aircraft as well as provide a home base for the staff of Key Essentials, LLC. The site will include new parking, landscape, and retention areas.

Architecturally, the exterior of the structure will be of Tilt and Cast-In-Place Concrete construction with reveal lines and exposed steel members spanning the interior to support the roof. The one (1) story interior office construction will be of typical metal stud framing. The Hangar will have a 29' clear opening Schweiss Bi-fold door that opens to the Staging Area and Airport Taxiway. Steel plate shadow box window systems on the exterior walls and interior glass will provide ample natural lighting to the interior of both occupancies as well as provide a modern look on the exterior of the building.

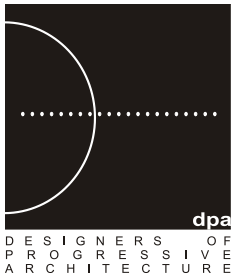
- **Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan**

The Key Essentials Hangar / Office Building is consistent with the values and goals of the City Guidelines through its scale-appropriate response to zoning, location, and character of the area. It addresses both the greater scale of adjacent properties as well as the physical scale of human perception. It has a strong interaction with the context, providing visual connection along the public face of the building. The project is deliberately oriented in a manner which mirrors the public/ private conditions of the projects directly adjacent to it. It responds to the Sonoran Desert through its natural material palette, gentle massing, and overall orientation which highlights key moments in the building. The project promotes pedestrian circulation and bicycle approach with a natural, direct connection to the building entry in which the approach logically and comfortably moves through the site and along the building.

- **Explain how the proposed development has been designed so that it promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood.**

The Key Essentials Hangar / Office Building has been designed with careful consideration of the surrounding context. The project is composed of two building heights and minimal material palette which generates a specific identity while also referencing the surrounding developments. The project's overall mass complements the scale and function of each space while allowing for

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additive exterior elements that generate a visual aesthetic and hierarchy. Large windows begin to lighten the overall massing of the building, ultimately minimizing the sensation generated by such dense materials and promoting an open feel throughout the Airpark. The topography of the site is nearly flat. Changes in slope are made strategically to address issues of drainage and access while also amplifying the diversity of landscaping and open space.

- **Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking area, loading and service areas.**

Vehicular ingress and egress will be improved through the placement of a new driveway curb. The parking lot is well lit and easily visible and accessible to the public, with a secure wall and gate separating the parking from the taxiway. The building canopy locations and material choices tie the site and the building together.

- **Describe how the architectural characteristics of the proposed development relate to character elements and design features of the structures that are within the surrounding context.**

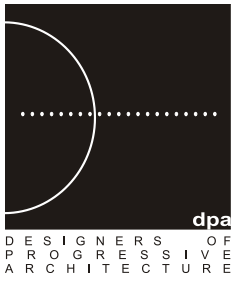
The architectural characteristics of the proposed development relate to the massing of projects surrounding it. The scale is appropriate for the area and for the intended use. The design features are clean and simple, taking precedent from other projects around the site. [The variation in door and window locations, with the help of reveals and texture within the concrete, prevent unwanted monotony along the façade. To break up any repetition, two \(2\) forms of shadowbox windows are being utilized as well as canopies over the main and secondary means of access.](#) The use of concrete is a natural choice that is consistent with the aesthetic of other projects within the Scottsdale Municipal Airport. The building maintains two (2) consistent heights and is faced with shadowbox windows to enhance visual depth. As an office, it appropriately controls light into and through the building to enhance the user experience inside.

- **Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.**

All mechanical equipment serving the building will be located on the roof, fully screened on all sides by the concrete tilt panel parapet.

- **Describe how the proposed development has been designed so that it recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles.**

The project reinforces the Sensitive Design Principles. The combination of metal canopies, concrete, and large windows simultaneously encourage the building to remain open to the site, while providing a functional and appropriate office experience which incorporates indirect task



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lighting. The landscaped open space surrounds key moments in the building, connecting the building to the rest of the neighborhood.

## **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
  - *The applicant states The Key Essentials Hangar / Office Building is consistent with the values and goals of the City Guidelines through its scale-appropriate response to zoning, location, and character of the area. It addresses both the greater scale of adjacent properties as well as the physical scale of human perception. It has a strong interaction with the context, providing visual connection along the public face of the building. The project is deliberately oriented in a manner which mirrors the public/ private conditions of the projects directly adjacent to it. It responds to the Sonoran Desert through its natural material palette, gentle massing, and overall orientation which highlights key moments in the building. The project promotes pedestrian circulation and bicycle approach with a natural, direct connection to the building entry in which the approach logically and comfortably moves through the site and along the building.*
  - *Staff finds that the General Plan Land Use Element designates the property as Employment, Regional Use, which emphasizes a range of employment uses from light manufacturing to light industrial and office uses. The Greater Airpark Character Area is a main regional employment and business core. The Airpark is also a growth area, defined by the General Plan as locations most appropriate for development focus, and will best accommodate future growth, new development, revitalization, and redevelopment. Staff finds the proposed building and site design to be in conformance with the applicable development standards of the Zoning Ordinance, the General Plan, and the City's Commercial Design Guidelines.*
2. The architectural character, landscaping and site design of the proposed development shall:
  - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
  - b. Avoid excessive variety and monotonous repetition;
  - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
  - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
  - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
  - *The applicant states The Key Essentials Hangar / Office Building has been designed with careful consideration of the surrounding context. The project is composed of two building heights and minimal material palette which generates a specific identity while also referencing the surrounding developments. The project's overall mass complements the scale and function of each space while allowing for additive exterior elements that generate a visual aesthetic and hierarchy. Large windows begin to lighten the overall massing of the building, ultimately minimizing the sensation generated by such dense materials and promoting an open feel throughout the Airpark. The topography of the site is nearly flat. Changes in slope*

*are made strategically to address issues of drainage and access while also amplifying the diversity of landscaping and open space.*

*The architectural characteristics of the proposed development relate to the massing of projects surrounding it. The scale is appropriate for the area and for the intended use. The design features are clean and simple, taking precedent from other projects around the site. The variation in door and window locations, with the help of reveals and texture within the concrete, prevent unwanted monotony along the façade. To break up any repetition, two (2) forms of shadowbox windows are being utilized as well as canopies over the main and secondary means of access. The use of concrete is a natural choice that is consistent with the aesthetic of other projects within the Scottsdale Municipal Airport. The building maintains two (2) consistent heights and is faced with shadowbox windows to enhance visual depth. As an office, it appropriately controls light into and through the building to enhance the user experience inside.*

- *Staff finds the proposed development promotes a suitable relationship to existing structures in the surrounding area in terms of design and massing. While the primary focus of the building is functional design, the elevations reflect conscious effort to add visual appeal. While primarily using materials common for hangars (concrete panels and metal doors), the style adds a variety of popouts and windows to minimize the monotonous repetition and “boxy” form often seen with hangars. The site is not located within the ESL Overlay District nor the Historic Preservation Overlay District.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
    - *The applicant states vehicular ingress and egress will be improved through the placement of a new driveway curb. The parking lot is well lit and easily visible and accessible to the public, with a secure wall and gate separating the parking from the taxiway. The building canopy locations and material choices tie the site and the building together.*
    - *Staff finds the ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways have been designed to promote safety and convenience. The project meets all requirements for fire and emergency access both from 82<sup>nd</sup> Street and the private taxiway.*
  4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
    - *The applicant states all mechanical equipment serving the building will be located on the roof, fully screened on all sides by the concrete tilt panel parapet.*
    - *Staff finds the proposed building design accounts for adequate rooftop screening via parapets.*
  5. Within the Downtown Area, building and site design shall:
    - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
    - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
    - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

- d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
  - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
    - *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
- a. Accessibility to the public;
  - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
  - c. Location near the primary pedestrian or vehicular entrance of a development;
  - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
  - e. Location in conformance to standards for public safety.
    - *This criterion is not applicable.*

## **DEVELOPMENT INFORMATION**

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### **Zoning History**

The site was annexed into the City in 1978 under Ordinance No. 1150 with R1-35, Single-family Residential, zoning. Later in 1982, the site and surrounding area was rezoned to I-1, Industrial Park, to allow for light manufacturing, aeronautical, light industrial, office, and supportive uses to sustain and enhance major employment opportunities.

### **Community Involvement**

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding this application.

### **Context**

The subject site is generally located southeast of the North Greenway Hayden Loop and East Frank Lloyd Wright Boulevard intersection and is within the Scottsdale Airpark area. The site has frontage off North 82<sup>nd</sup> Street, south of East Paradise Lane. A Development Review Board (DRB) case for an airplane hangar/office complex was approved in 2001 (61-DR-2001), however it was never constructed, and has expired. Consequently, the subject parcel has been vacant since annexation.

### **Project Data**

- Existing Use: Vacant parcel
- Proposed Use: Hangar and office building
- Parcel Size: 51,827 square feet / 1.19 acre (gross)  
47,041 square feet / 1.08 acre (net)
- Total Building Area: 13,683 square feet
- Floor Area Ratio Allowed: 0.8
- Floor Area Ratio Provided: 0.29
- Building Height Allowed: 52 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 40 feet (inclusive of rooftop appurtenances)
- Parking Required: 10 spaces
- Parking Provided: 10 spaces
- Open Space Required: 4,327 square feet
- Open Space Provided: 6,832 square feet

**Stipulations for the  
Development Review Board Application:  
Key Essentials Hangar / Office Building  
Case Number: 41-DR-2022**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by DPA Architects, with a city staff date of 3/23/23.
  - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by DPA Architects, with a city staff date of 3/23/23.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Collaborative Design Studio, with a city staff date of 3/23/23.
  - d. The case drainage report submitted by JM Engineering and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
  - e. The water and sewer basis of design report submitted by JMC Engineering and accepted as noted, to be addressed within construction plans by owner, by the Water Resources Department.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning cases for the subject site were: 77-ZN-1982, 67-ZN-1982.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing.

With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**SITE DESIGN:**

**DRB Stipulations**

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the staff approved case site plan and City of Scottsdale Supplements to MAG Standard Details, detail 2146-1.

**EXTRIOR LIGHTING:**

**DRB Stipulations**

6. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
7. Incorporate the following parking lot and site lighting into the project's design:
  - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
  - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
  - e. The total lumen per luminaire shall not exceed 24,000 lumens.

**AIRPORT:**

**DRB Stipulations**

8. With the construction document submittal, the property owner shall submit an FAA FORM 7460-1 to the FAA for any proposed structures, appurtenances and/or individual construction cranes that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed on the FAA form 7460-1 submittal. The property owner shall provide Aviation staff a copy of the FAA determination letter prior to building permit issuance.
9. With The following can be provided with final plan submittal:
  - a. All exterior lights must be illuminated downward
  - b. Submit disclosure notice for inclusion in file and/or prospective tenants/owners
  - c. Grant city avigation easement and provide to Planning for recording
  - d. Height Analysis Section 5-354 – complete a height analysis through the FAA and provide FAA response prior to final plan submittal

**STREET INFRASTRUCTURE:**

**Ordinance**

- C. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- D. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct all improvements called for and demonstrated within most recent case submitted plans.

**WATER AND WASTEWATER:**

**Ordinance**

- E. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

**DRB Stipulations**

- 10. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Department requirements.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

- 11. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.

**EASEMENTS DEDICATIONS:**

**DRB Stipulations**

- 12. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
  - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) crosses on to the property.
  - b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot.
  - c. A minimum twenty (20) foot wide Water + Sewer Facilities Easement to contain public water and sewer infrastructure located outside public right-of-way.

**ADDITIONAL ITEMS:**

**DRB Stipulations**

- 13. A "Pre-Emergency Planning" (P.E.P.) will be required when permit is issued. The file will need to be DWG, DXF or DGN file format only, to be secured in the valleys "911" system.

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**KEYNOTES**

- 30 NEW TILT CONCRETE PANEL, TYP.
- 31 NEW CAST-IN-PLACE CONCRETE, TYP.
- 33 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS.
- 35 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS.
- 36 EXISTING SIDEWALK TO REMAIN.
- 37 PARKING STRIPING, TYP.
- 38 VAN ACCESSIBLE PARKING STALL.
- 39 ACCESSIBLE PARKING AISLE.
- 40 ACCESSIBLE CURB RAMP.
- 41 ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.
- 42 CONCRETE PAVING AT TRASH ENCLOSURE - SEE CIVIL DRAWINGS.
- 43 CONCRETE PAVING - SEE CIVIL DRAWINGS.
- 44 CONCRETE CURB AND GUTTER - SEE CIVIL DRAWINGS.
- 45 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
- 46 ELECTRICAL TRANSFORMER - SEE ELECTRICAL DRAWINGS.
- 48 CESSNA CITATION - C-4 AIRCRAFT.
- 58 CUSTOM BIKE RACK - CLEARANCES PER C.O.S. STD. DETAIL 2285.
- 60 NEW 8x8x16 CONCRETE MASONRY WALL, BLOCK FINISH PER PLAN AND ELEVATIONS - SEE STRUCTURAL DRAWINGS - SEE DETAIL 3/AS101.
- 61 25' x 25' TRAFFIC SAFETY TRIANGLE PER C.O.S. STANDARDS.
- 63 NEW TELESCOPIC SLIDING GATE.
- 66 LINE OF CANOPY ABOVE.
- 68 NEW 8x8x16 CONCRETE MASONRY SCREEN WALL, BLOCK FINISH PER PLAN AND ELEVATIONS - SEE STRUCTURAL DRAWINGS - SEE DETAIL 6/AS101.
- 71 NEW 20,000 GAL UNDERGROUND JET-A TANK - SEE FUEL STORAGE DRAWINGS.
- 72 MD500 AIRCRAFT.
- 73 HELIPORT LANDING AREA.

**GENERAL NOTES**

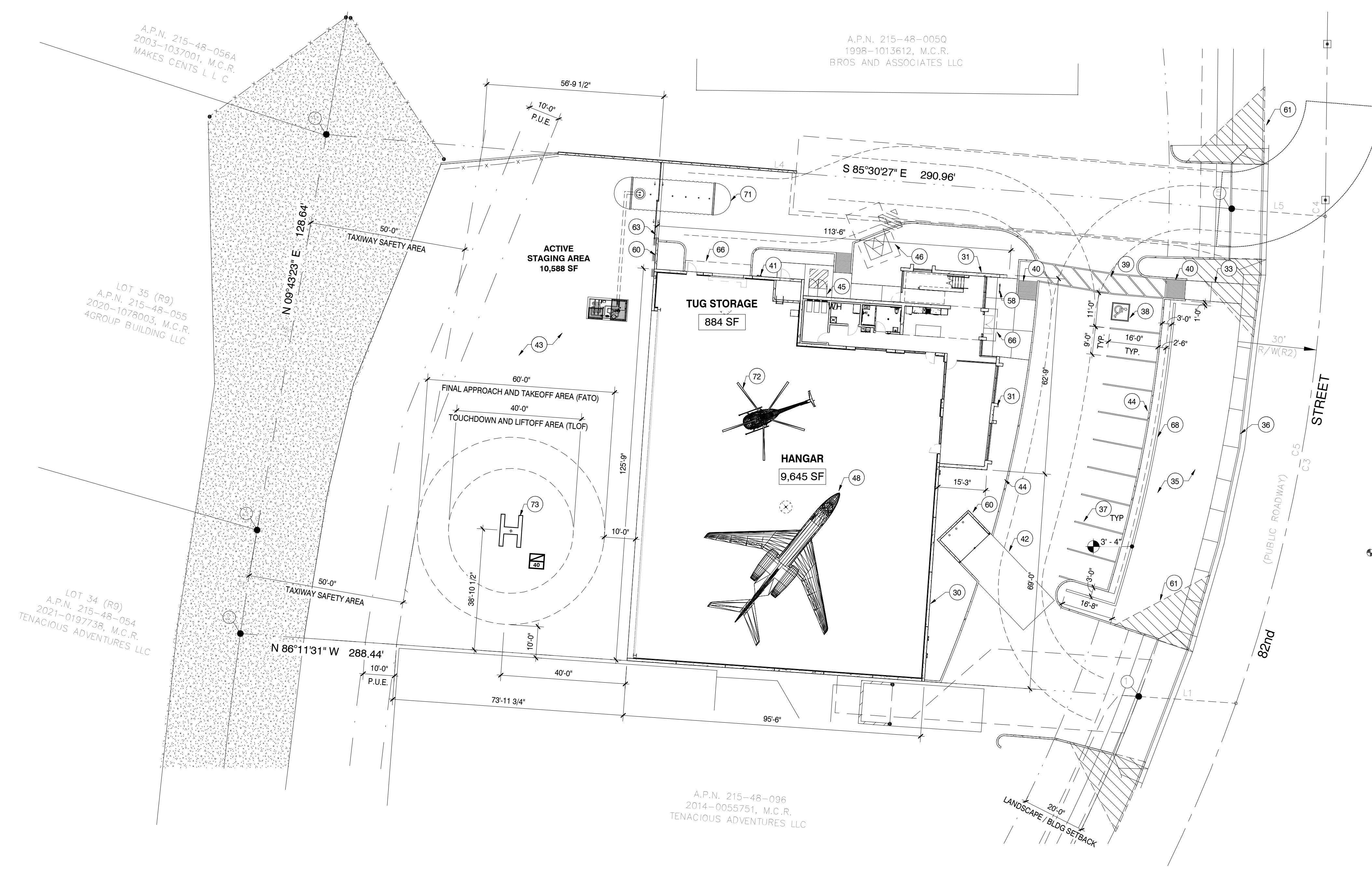
- A. SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT. ANY SIGNAGE SHOWN IS FOR REFERENCE AND ENGINEERING COORDINATION ONLY.
- B. JOINTS OF EXTERIOR RATED WALLS WITHIN 30' OF PROPERTY LINE TO BE SEALED PER UL-WW-D-0055 - SEE SHEETS G004 & G006 FOR ADDITIONAL INFORMATION.

**CONTACT INFORMATION**

<b>BUILDING OWNERSHIP:</b>	KEY ESSENTIALS, LLC 1594 REGATTA DRIVE FERNANDINA BEACH, FLORIDA 32034 T: 404.558.8349 JASON CRANDALL JASONCRANDALL96@GMAIL.COM	<b>MECHANICAL / PLUMBING ENGINEER:</b>	GBM ENGINEERING 15416 E PICKETT COURT GILBERT, ARIZONA 85298 T: 480.225.0544 LARS BARKMANN LARS@GBM-ENG.COM
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<b>CONTRACTOR:</b>	-- -- T: -- -- --	<b>CIVIL ENGINEER:</b>	JMC ENGINEERING, PLLC 7315 N 16TH STREET, SUITE 101 PHOENIX, ARIZONA 85020 T: 602.374.4148 JOSEPH M. CIRONE, P.E. JCIRONE@JMC-ENG.COM
<b>STRUCTURAL ENGINEER:</b>	BAKKUM NOELKE CONSULTING STRUCTURAL ENGINEERS, INC. 2525 E. ARIZONA BILTMORE CIRCLE, SUITE D240 PHOENIX, ARIZONA 85018 T: 602.955.9200 FRED NOELKE, S.E. FNOELKE@BAKKUMNOELKE.COM	<b>LANDSCAPE ARCHITECT:</b>	COLLABORATIVE V DESIGN STUDIO, INC. 7116 E 1ST AVE, SUITE 103 SCOTTSDALE, AZ 85251 T: 480.347.0590 PAUL VECCHIA PAULV@COLLABORATIVEV.COM

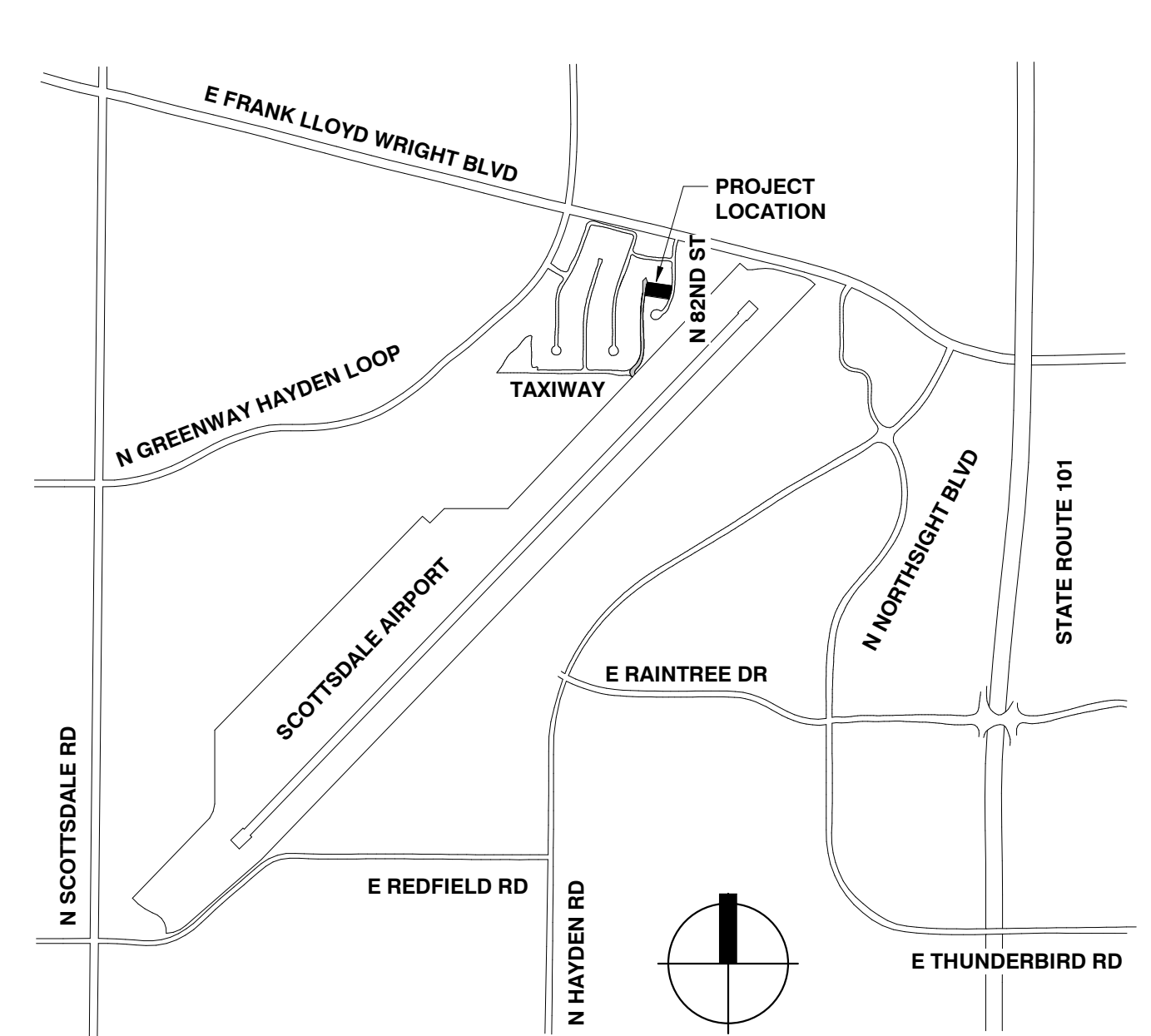
**PROJECT DATA**

<b>PROJECT DESCRIPTION:</b>	A NEW HANGAR / OFFICE BUILDING FOR KEY ESSENTIALS, LLC. THE SPACE WILL INCLUDE A HANGAR DESIGNED TO HOUSE A CESSNA CITATION - C-4 AIRCRAFT AND TUG STORAGE ON THE GROUND LEVEL AS WELL AS OFFICE SPACE ON THE MEZZANINE.
<b>LEGAL DESCRIPTION:</b>	NORTH SCOTTSDALE AIRPARK UNIT 1 MCR 327-12 ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE MARICOPA COUNTY RECORDER.
<b>PROJECT ADDRESS:</b>	16060 NORTH 82ND STREET SCOTTSDALE, ARIZONA 85260
<b>ASSESSORS PARCEL NUMBER:</b>	215-48-005R
<b>ZONING:</b>	I-1 (SCOTTSDALE MUNICIPAL AIRPORT)
<b>BUILDING OCCUPANCY:</b>	B / S-1
<b>TYPE OF CONSTRUCTION:</b>	TYPE II-B, FULLY SPRINKLED - GROUP III FIRE SUPPRESSION
<b>BUILDING STORIES:</b>	HANGAR - 1 STORY OFFICE - 1 STORY
<b>LOT AREA:</b>	GROSS SITE AREA: 51,827 SF NET SITE AREA: 47,041 SF TOTAL SITE ACREAGE: 1.08 ACRES
<b>BUILDING AREA:</b>	FIRST FLOOR: 12,255 SF (FIRST FLOOR GROSS AREA) MEZZANINE: 1,428 SF (MEZZANINE GROSS FLOOR AREA) TOTAL: 13,683 SF (COMBINED GROSS FLOOR AREA)
<b>FLOOR AREA RATIO:</b>	ALLOWED: 0.8 PROPOSED: TOTAL BUILDING SF / NET LOT AREA = ? 13,683 SF / 47,175 SF = 0.29 (<0.8 = OK)
<b>PARKING ANALYSIS:</b>	OFFICE: HANGAR / SUPPORT AREA: (9' - 0" WIDE) TOTAL REQUIRED: 10 SPACES TOTAL PROVIDED: 10 SPACES  ACCESSIBLE SPACES REQUIRED: 1 VAN INCLUSIVE ACCESSIBLE SPACES PROVIDED: 1 VAN INCLUSIVE  BICYCLE PARKING REQUIRED: 2 BICYCLE PARKING PROVIDED: 2

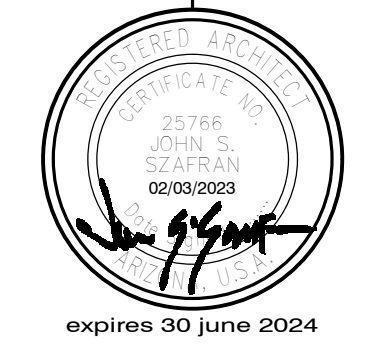


**1 OVERALL SITE PLAN**  
1" = 20'-0"

**VICINITY MAP (NTS)**



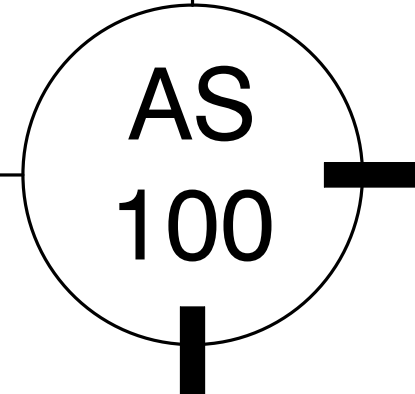
**HANGAR / OFFICE BUILDING**  
KEY ESSENTIALS, LLC  
16060 NORTH 82ND STREET  
SCOTTSDALE, AZ 85260



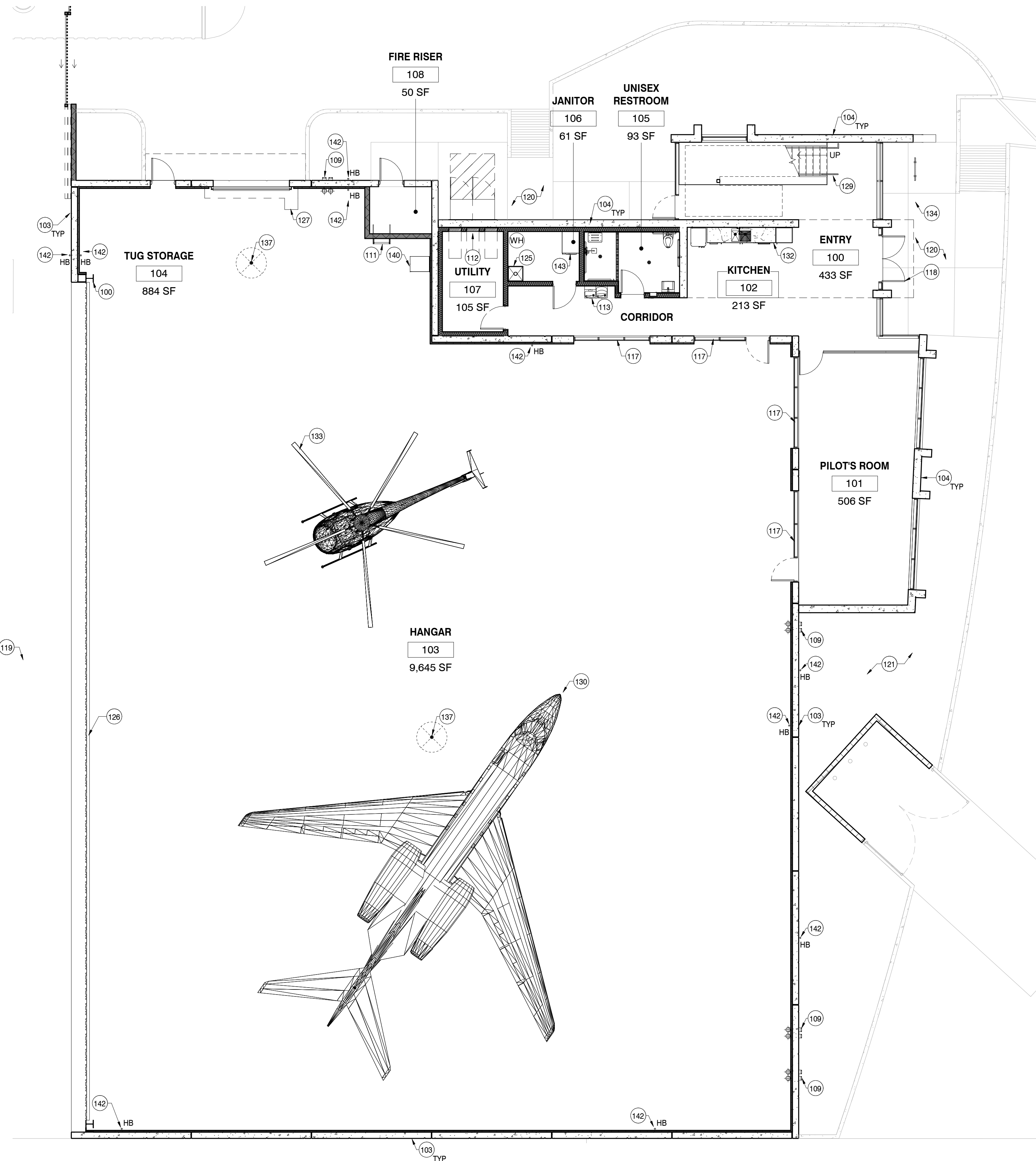
DESIGNERS OF ARCHITECTURE  
3719 N 75th St Suite 105  
Scottsdale, Arizona 85251  
Telephone 480 941 4222  
www.dpaarchitects.com

REVISION SCHEDULE		
#	DESCRIPTION	DATE

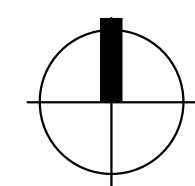
drawn by: jw  
project no.: 22036  
date: 02/03/2023



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**1 COMPOSITE GROUND FLOOR PLAN**  
1/8" = 1'-0"



- KEYNOTES**
- 100 STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS.
  - 103 NEW TILT CONCRETE WALL PANEL, TYP.
  - 104 NEW CAST-IN-PLACE CONCRETE, TYP.
  - 109 ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.
  - 111 ROOF ACCESS LADDER.
  - 112 ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS.
  - 113 ACCESSIBLE DRINKING FOUNTAIN - SEE PLUMBING DRAWINGS.
  - 117 NEW ALUMINUM STOREFRONT ASSEMBLY - SEE WINDOW SCHEDULE.
  - 118 NEW ALUMINUM ENTRY DOOR - SEE DOOR SCHEDULE.
  - 119 ADJACENT GRADE - SEE CIVIL AND LANDSCAPE DRAWINGS.
  - 120 EXTERIOR HARDSCAPE - SEE CIVIL AND LANDSCAPE DRAWINGS.
  - 121 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS.
  - 125 MOP SINK - SEE PLUMBING DRAWINGS.
  - 126 HIGHER POWER HYDRAULIC HANGAR DOOR - SEE DOOR SCHEDULE.
  - 127 ROLL-UP DOOR - SEE DOOR SCHEDULE.
  - 129 NEW STAIRCASE - SEE STRUCTURAL DRAWINGS.
  - 130 CESSNA CITATION - C44 AIRCRAFT.
  - 132 NEW MILLWORK AND SINK - SEE PLUMBING DRAWINGS.
  - 133 MD500 AIRCRAFT.
  - 134 CUSTOM BIKE RACK - CLEARANCES PER C.O.S. STD. DETAIL 2285.
  - 137 NEW FLOOR DRAIN - SEE PLUMBING DRAWINGS. PROVIDE DEPRESSION AROUND DRAIN THAT SLOPES 1/8" PER 1'-0" TO DRAIN.
  - 140 DRY TYPE TRANSFORMER - SEE ELECTRICAL DRAWINGS.
  - 142 HOSE BIB LOCATION - SEE PLUMBING DRAWINGS.
  - 143 STACKED WASHER / DRYER - COORDINATE WITH PLUMBING AND ELECTRICAL.

**HANGAR / OFFICE BUILDING**  
KEY ESSENTIALS, LLC  
16060 NORTH 82ND STREET  
SCOTTSDALE, AZ 85260

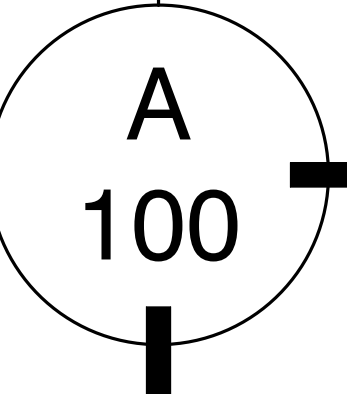


DESIGNERS OF  
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Scottsdale, Arizona 85251  
telephone 480 941 4222  
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**REVISION SCHEDULE**

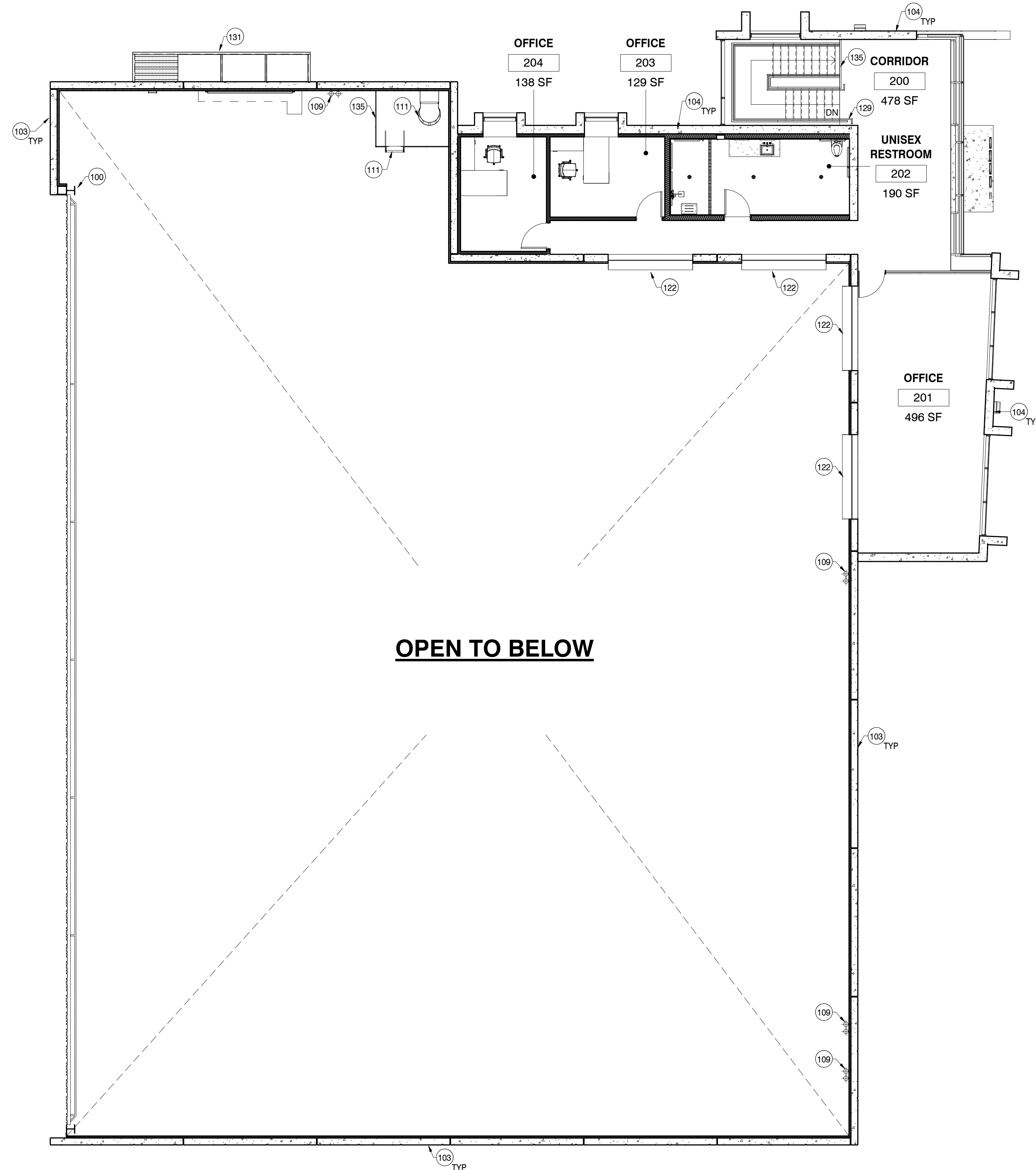
#	DESCRIPTION	DATE

drawn by: jw  
project no.: 22036  
date: 02/03/2023



COMPOSITE PLAN - GROUND FLOOR

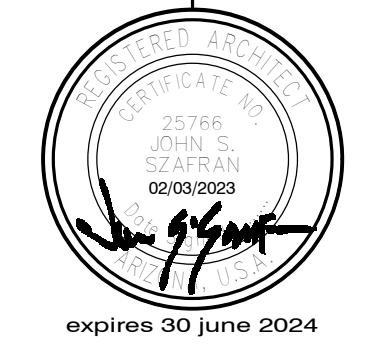
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**1 COMPOSITE MEZZANINE FLOOR PLAN**  
1/8" = 1'-0"

KEYNOTES	
100	STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS.
103	NEW TILT CONCRETE WALL PANEL, TYP.
104	NEW CAST-IN-PLACE CONCRETE, TYP.
109	ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.
111	ROOF ACCESS LADDER.
122	SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
129	NEW STAIRCASE - SEE STRUCTURAL DRAWINGS.
131	METAL CANOPY - SEE STRUCTURAL DRAWINGS.
135	NEW SAFETY RAILING.

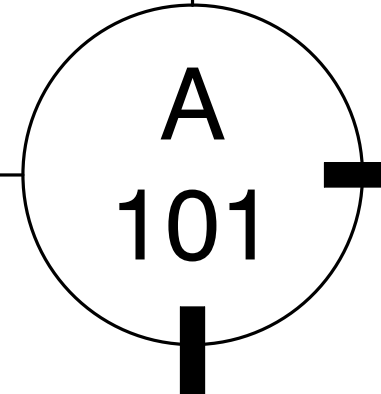
**HANGAR / OFFICE BUILDING**  
KEY ESSENTIALS, LLC  
16060 NORTH 82ND STREET  
SCOTTSDALE, AZ 85260



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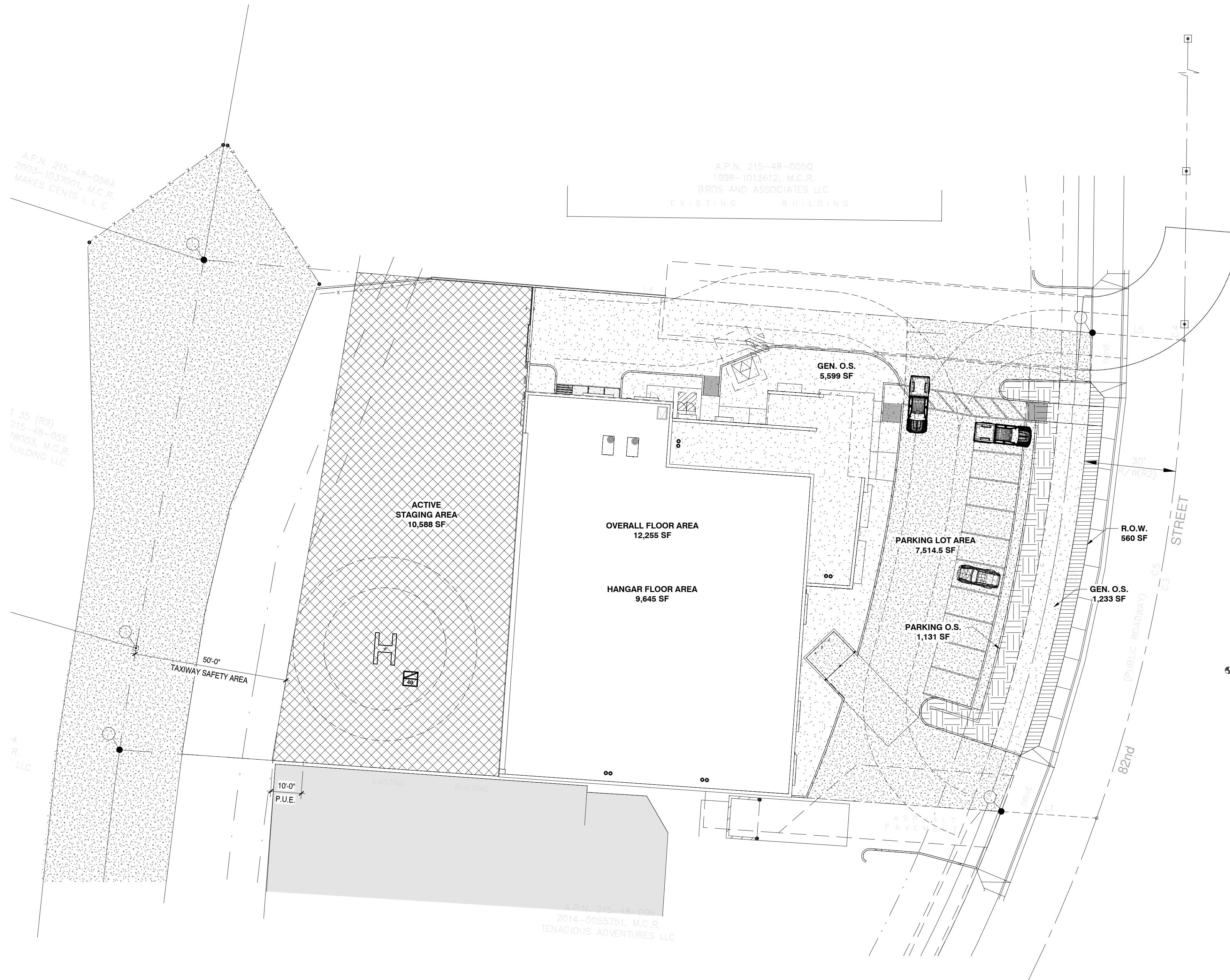
REVISION SCHEDULE		
#	DESCRIPTION	DATE

drawn by: jw  
project no.: 22036  
date: 02/03/2023

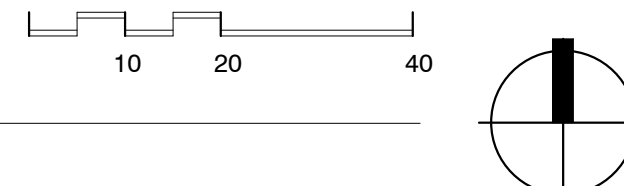


COMPOSITE PLAN - MEZZANINE




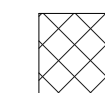
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**1 OPEN SPACE WORKSHEET PLAN**  
1" = 20'-0"



**OPEN SPACE CALCS**

 <b>GENERAL OPEN SPACE:</b> 6,832 SF	 <b>PARKING LOT AREA:</b> 7,514.5 SF
 <b>PARKING LOT OPEN SPACE:</b> 1,131 SF	 <b>STAGING AREA:</b> 10,588 SF

**OPEN SPACE CALCS**

<b>PROJECT DATA ZONING:</b>	I-1
<b>NET LOT AREA:</b>	47,041 SF
<b>BUILDING HEIGHT:</b>	40' - 0"

<b>REQUIRED OPEN SPACE CALC.</b>	
<b>FIRST 12' - 0" OF HEIGHT:</b>	= (10% x NET LOT AREA) = (10 x 47,041 SF) = 4,704.1 SF
<b>NEXT 28' - 0" OF HEIGHT:</b>	= ((BLDG. HT. - 12' - 0") x .3% x NET LOT AREA) = ((40' - 0" - 12' - 0") x .003 x 47,041 SF) = 3,951.4 SF
<b>STAGING AREA REDUCTION:</b>	= (O.S. REQUIRED x 50%) = (8,655.5 SF x .5) = 4,327.75 SF

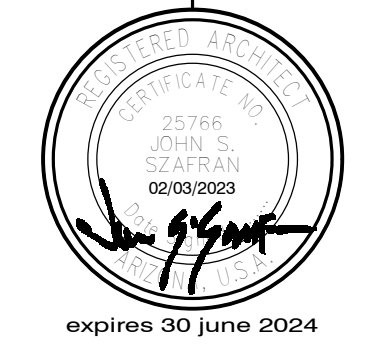
<b>TOTAL REQUIRED (NOT INCLUDING PARKING LOT O.S.):</b>	
<b>O.S. REQUIRED (ADJUSTED FOR STAGING):</b>	= (FIRST + NEXT - REDUCTION) = (4,704.1 SF + 3,951.4 SF - 4,327.75 SF) = 4,327.75 SF
<b>O.S. PROVIDED (NOT INCLUDING PARKING LOT O.S.):</b>	6,832 SF = OK

<b>PARKING OPEN SPACE CALC.</b>	
<b>PARKING LOT OPEN SPACE REQUIRED:</b>	= (PARKING LOT AREA x 15%) = (7,514.5 SF x .15) = 1,127.175 SF
<b>PARKING LOT OPEN SPACE PROVIDED:</b>	1,131 SF = OK

<b>TOTAL OPEN SPACE REQUIRED:</b>	= (PARKING O.S. REQUIRED + O.S. REQUIRED) = (1,127.175 SF + 4,327.75 SF) = 5,454.925 SF
<b>TOTAL OPEN SPACE PROVIDED:</b>	= (PARKING O.S. PROVIDED + O.S. PROVIDED) = (1,131 SF + 6,832 SF) = 7,963 SF = OK

<b>LANDSCAPE AREAS SUMMARY</b>	
<b>LANDSCAPE (GEN. O.S.):</b>	3,351 SF
<b>HARDSCAPE (GEN. O.S.):</b>	3,481 SF
<b>PARKING O.S.:</b>	1,131 SF
<b>R.O.W. LANDSCAPE:</b>	560 SF
<b>FRONTAGE:</b>	3,235 SF

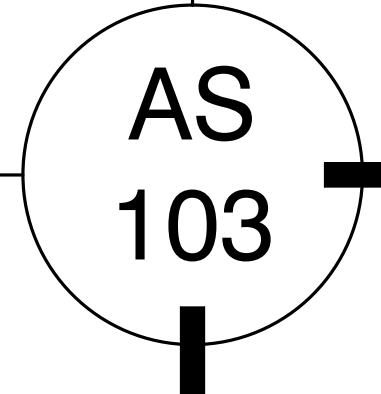
**HANGAR / OFFICE BUILDING**  
KEY ESSENTIALS, LLC  
16060 NORTH 82ND STREET  
SCOTTSDALE, AZ 85260

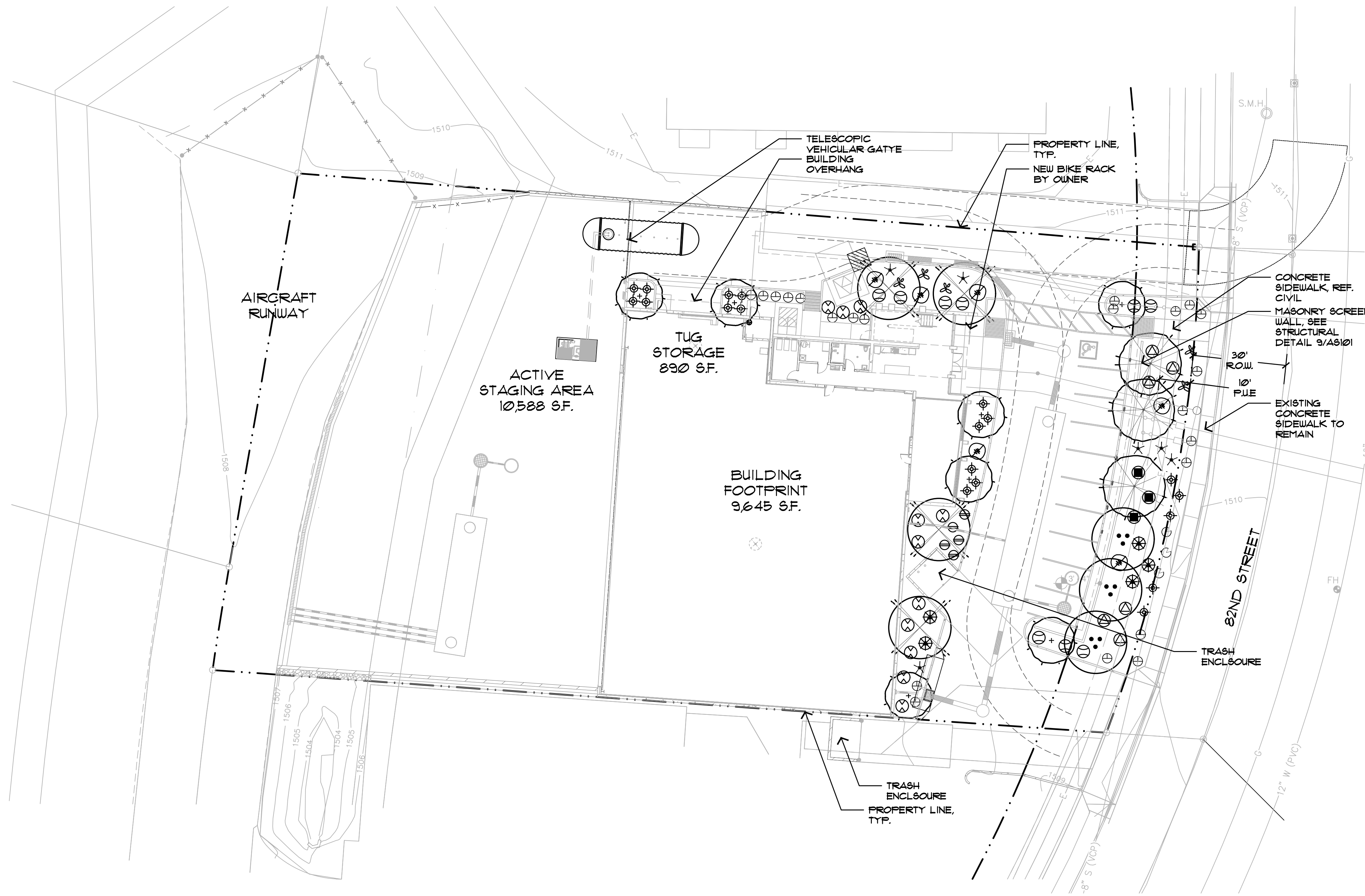


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telephone 480 941 4222  
www.dparchitects.com

REVISION SCHEDULE		
#	DESCRIPTION	DATE

drawn by: jw  
project no.: 22036  
date: 02/03/2023





**CONCEPTUAL LANDSCAPE PLAN**  
 SCALE: 1"=20'-0"  
 0 5 10 20 40  
 NORTH

**PLANT PALETTE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
<b>TREES</b>					
○	Acacia salicina	Willow Acacia	24" Box 15" Caliper	3	Standard Trunk Dense Canopy
○	Cercidium x 'Desert Museum'	Desert Museum	24" Box 15" Caliper	3	Standard Trunk Dense Canopy
○	Prosopis x 'Rio Salado'	Rio Salado Mesquite	24" Box 15" Caliper	4	Standard Trunk Dense Canopy
○	Casalpinia gilliesii	Yellow Bird of Paradise	24" Box 15" Caliper	1	Standard Trunk Dense Canopy
<b>ACCENTS/VINES</b>					
⊖	Aloe vera	Medicinal Aloe	5 Gal.	5	As Per Plan
⊗	Agave desmetiana 'Variegata'	Variegated Smooth Agave	5 Gal.	6	As Per Plan
⊗	Dasyllirion acrotrichum	Green Desert Spoon	5 Gal.	5	As Per Plan
⊗	Hesperaloe parviflora	Red Yucca	5 Gal.	19	As Per Plan
⊗	Opuntia santa-rita	Santa Rita Prickly Pear	5 Gal.	5	As Per Plan
<b>SHRUBS</b>					
⊗	Bougainvillea x hybrid 'Torch Glow'	Torch Glow Bougainvillea	5 Gal.	6	As Per Plan
⊖	Eremophila maculata 'Valentine'	Valentine Emu Bush	5 Gal.	9	As Per Plan
⊖	Leucophyllum frutescens 'Green Cloud'	Green Cloud Ranger	5 Gal.	6	As Per Plan
⊖	Nerium oleander 'Compacta'	Petite Pink Oleander	5 Gal.	11	As Per Plan
⊖	Senna artemisioides	Silver Cassia	5 Gal.	3	As Per Plan
<b>GROUND COVERS</b>					
⊖	Lantana montevidensis	Purple Trailing Lantana	1 Gal.	3	As Per Plan
⊖	Eremophila maculata	Outback Sunrise	1 Gal.	22	As Per Plan
<b>MISCELLANEOUS</b>					
Decomposed Granite - 3/4" Screened (4" minus within wash area), Color: Mahogany - 2" Depth in All Planting Areas (Typ) - <del>5,030 S.F.</del>					

- Notes:**
- Indicates species not on the Arizona Department of Water Resources "Low Water Use Plant List"
  - Fifty percent (50%) of trees shall be mature, as defined in Article III of the Zoning Ordinance. Indicates both the compliant caliper and industry standard box-size for that caliper in the plant palette, based on the provisions within Section 10.501.B of the Zoning Ordinance.

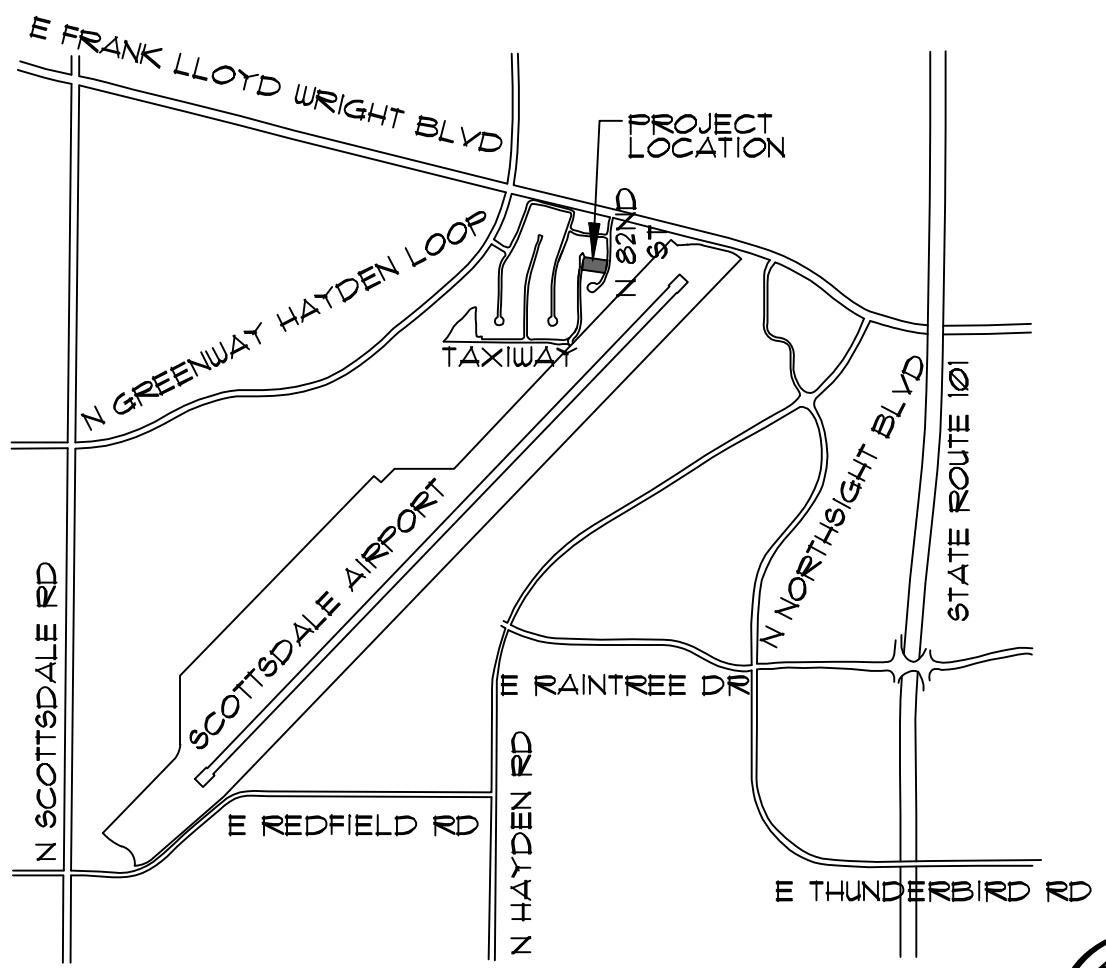
**GENERAL NOTES**

- Conceptual landscape plan is schematic in nature. At the time of landscape construction drawings actual locations, quantities, sizes, and species shall be determined and will be per city codes.
- All trees used within this project shall be nursery grown or salvaged from on site. Exact locations and quantities shall be determined on landscape construction drawings.
- All landscape areas shall receive an automatic irrigation system.
- All plant material shall be installed per city requirements. Plant material installed within sight distance triangles shall be of a species that does not grow to a height of more than 30" and shall be maintained per city requirements.
- All non-turf areas shall receive a 2" depth of decomposed granite.
- The retention shown on the plans is conceptual in nature. Refer to the engineering plans for actual grading and drainage configurations.
- All earthwork will be done to drain away from sidewalks and structures.
- Additional plant material may be introduced as different varieties become available through local nurseries and if they are consistent with the overall theme of this project.
- Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least four feet from any walkways or parking area curbing. Refer to Section 2-1.501.L of the DSFM.

**AREA CALCS**

Right-Of-Way Landscape Area:	525 S.F.
Parking Lot Landscape:	1,192 S.F.
On-Site Landscape Area:	3,381 S.F.

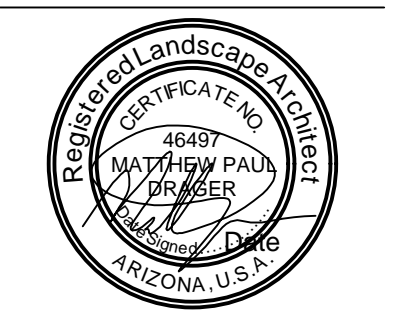
WATER INTENSIVE LANDSCAPE CALCULATIONS	
PERMITTED	PROVIDED
(9,000 S.F. x 0.10) + (3,381 S.F. x 0.05) = 1,069 S.F.	(0 x 3,381) = 0 S.F.



**KEY MAP**  
 N.T.S.  
 NORTH



Collaborative V Design Studio Inc.  
 7116 East 1st Ave., Suite 103  
 Scottsdale, Arizona 85251  
 office: 480-347-0590  
 fax: 480-656-6012



EXPIRES 06/30/2019

**PRELIMINARY NOT FOR CONSTRUCTION**

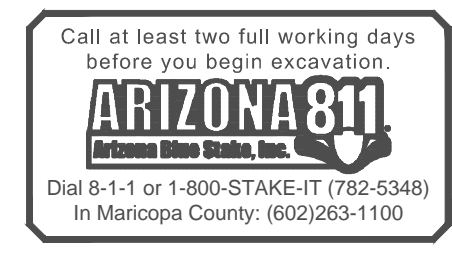
**LANDSCAPE IMPROVEMENTS**  
**Key Essentials - Hanger / Office**  
 16060 North 82nd Street Scottsdale, Arizona

Conceptual Landscape Plan

DESIGNED BY: MD/HR  
 DRAWN BY: HR  
 CHECKED BY: PV  
 DATE: November 16, 2022  
 REVISIONS:

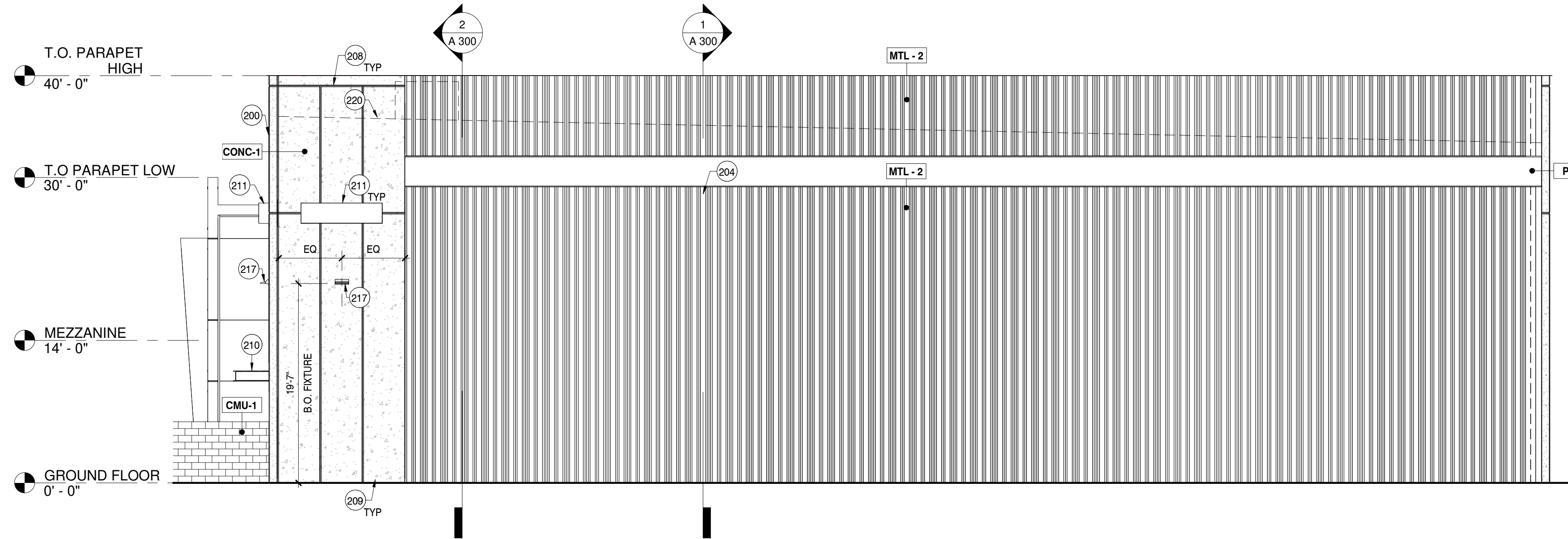
Key Essentials Hanger / Office DRB Submittal

**CLS-1**  
 1 of 1





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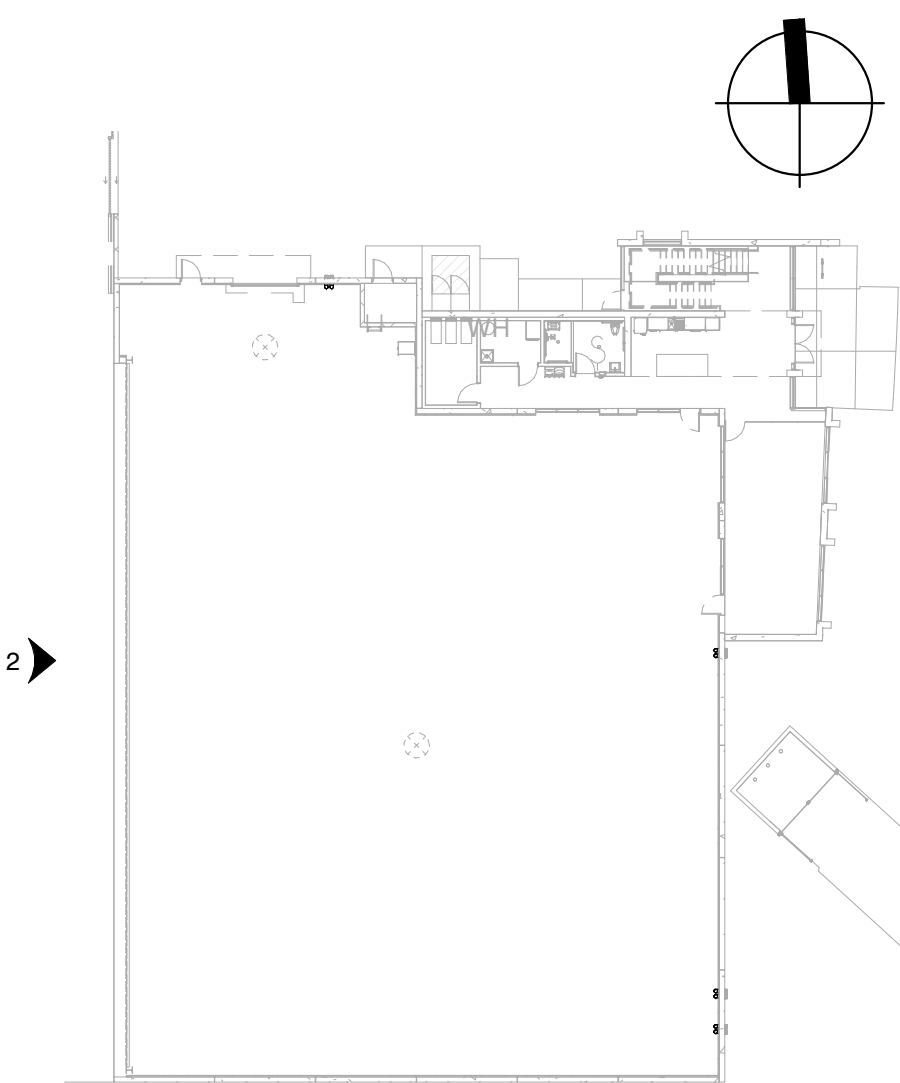
**EXTERIOR FINISHES LEGEND**

- CMU-1** DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY  
LOCATION: EXTERIOR SITE WALLS  
MANUFACTURER: RCP BLOCK  
PRODUCT: PRECISION BLOCK  
COLOR: CHARCOAL GREY
- MTL-1** DESCRIPTION: STEEL PLATES  
LOCATION: WALL CAPS  
MANUFACTURER: PT-1  
COLOR: -  
FINISH: MATTE
- MTL-2** DESCRIPTION: CUSTOM PANEL DECKING  
LOCATION: BI-FOLD DOOR, CANOPY  
MANUFACTURER: PAC-CLAD  
COLOR: BONE WHITE  
FINISH: MATTE FINISH  
LRV: 70
- CONC-1** DESCRIPTION: SEALED CONCRETE  
LOCATION: TILT CONCRETE WALL PANELS  
COLOR: NATURAL GREY  
TEXTURE: SAND BLASTED
- CONC-2** DESCRIPTION: SEALED CONCRETE  
LOCATION: CAST IN PLACE CONCRETE WALLS  
COLOR: NATURAL GREY  
TEXTURE: SMOOTH
- PT-1** DESCRIPTION: EXTERIOR PAINT  
LOCATION: STEEL COLUMNS AND BASE PLATES  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: SW6991 - BLACK MAGIC  
FINISH: MATTE  
LRV: 3
- IG-1** DESCRIPTION: 1" SOLARBAN 90 SOLARGRAY INSULATED GLAZING  
LOCATION: SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES  
MANUFACTURER: VITRO ARCHITECTURAL GLASS

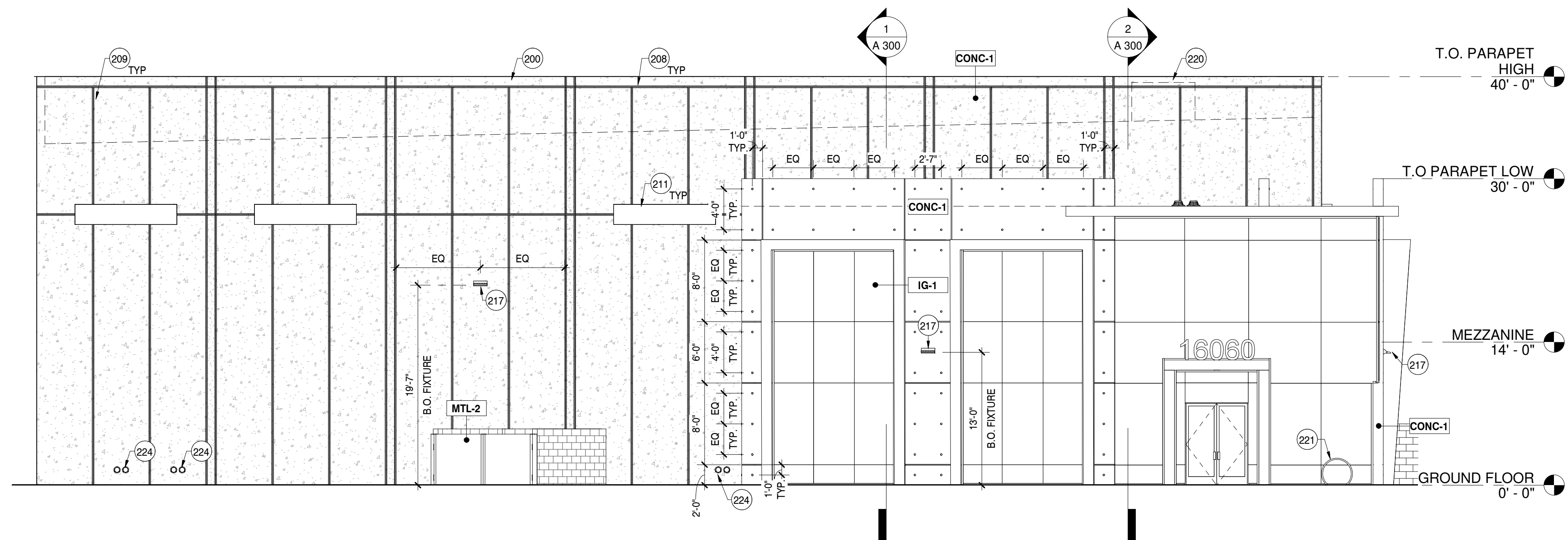
**KEYNOTES**

- 200 NEW TILT CONCRETE WALL PANEL, TYP.
- 204 HIGHER POWER HYDRAULIC HANGAR DOOR - SEE DOOR SCHEDULE.
- 208 HORIZONTAL TILT CONCRETE PANEL REVEAL, TYP.
- 209 VERTICAL TILT CONCRETE PANEL REVEAL, TYP.
- 210 METAL CANOPY - SEE STRUCTURAL DRAWINGS.
- 211 SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
- 217 WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- 220 LINE OF ROOFTOP MECHANICAL UNITS SCREENED BY BUILDING PARAPET.
- 221 CUSTOM BIKE RACK - CLEARANCES PER C.O.S. STD. DETAIL 2285.
- 224 ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.

**KEYPLAN**



**2 WEST ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"

**HANGAR / OFFICE BUILDING**  
KEY ESSENTIALS, LLC  
16060 NORTH 82ND STREET  
SCOTTSDALE, AZ 85260



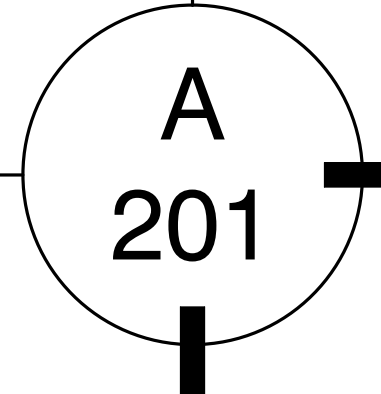
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scottsdale, arizona 85251  
telephone 480 941 4222  
www.dparchitects.com

**REVISION SCHEDULE**

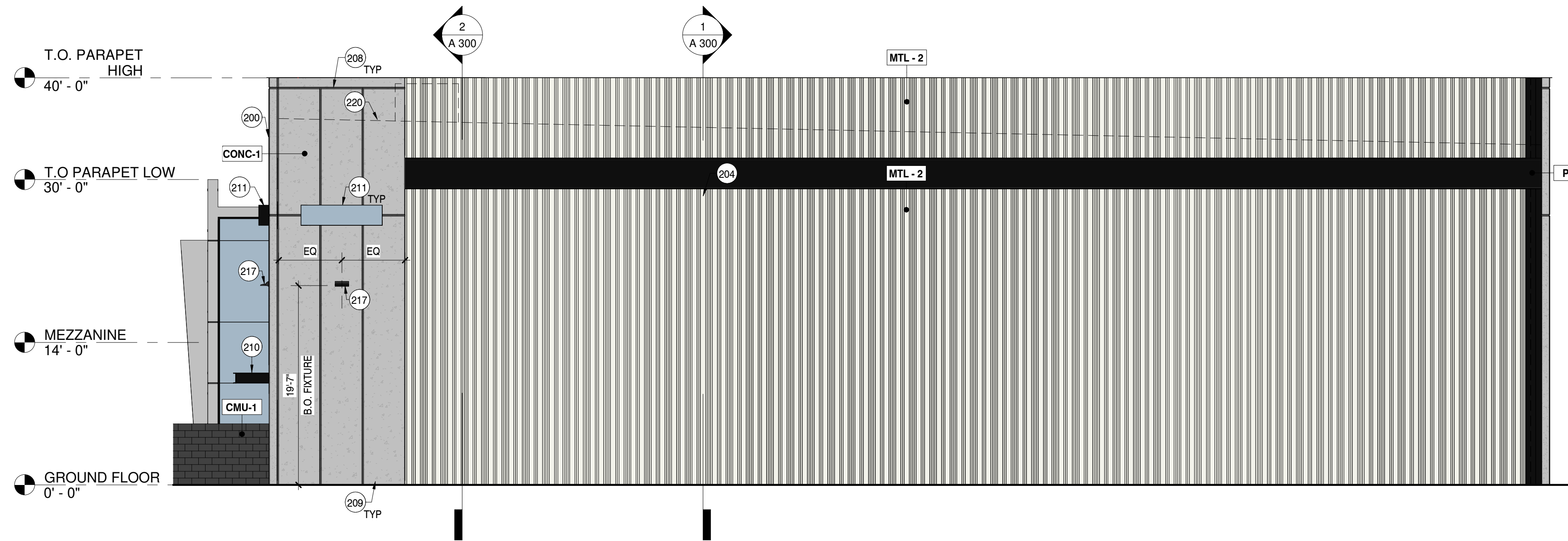
#	DESCRIPTION	DATE

drawn by: jw  
project no.: 22036  
date: 02/03/2023





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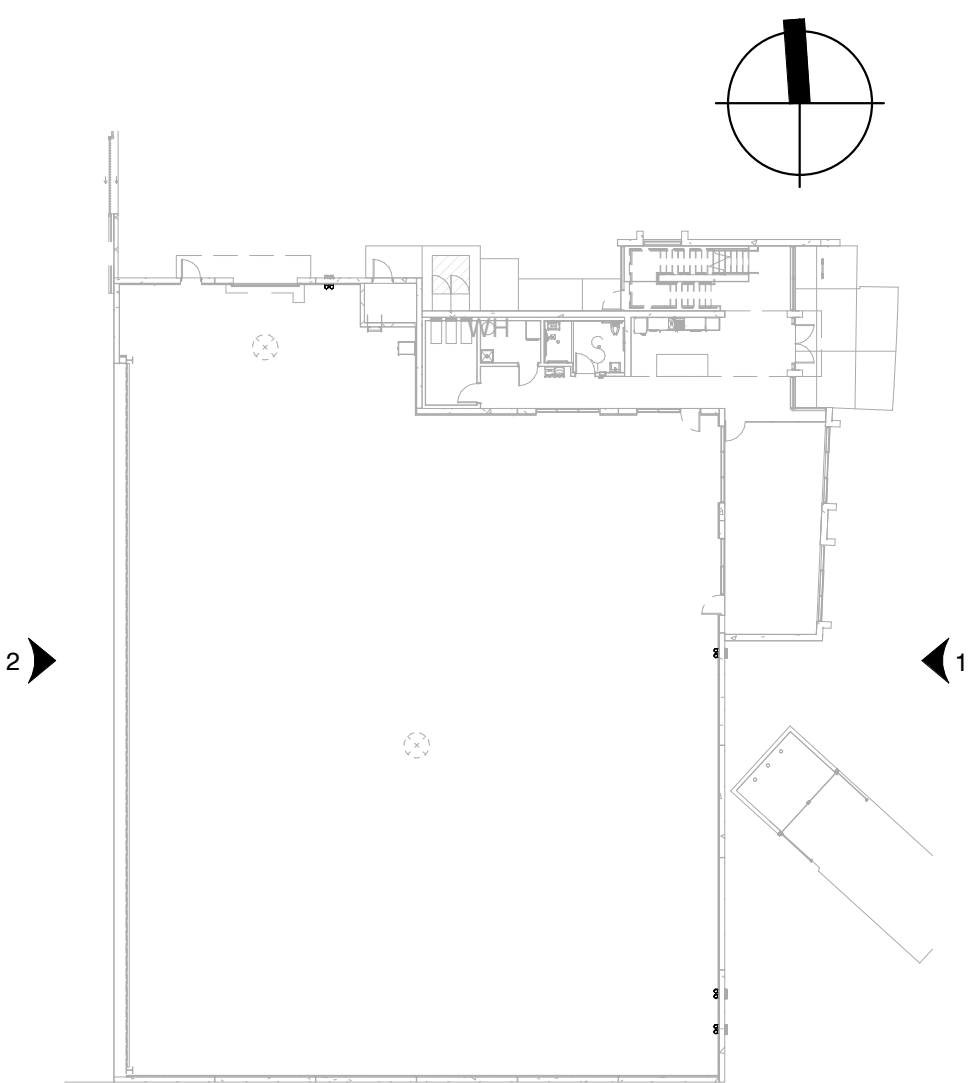
**EXTERIOR FINISHES LEGEND**

<b>CMU-1</b>	DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY LOCATION: EXTERIOR SITE WALLS MANUFACTURER: RCP BLOCK PRODUCT: PRECISION BLOCK COLOR: CHARCOAL GREY
<b>MTL-1</b>	DESCRIPTION: STEEL PLATES LOCATION: WALL CAPS MANUFACTURER: PT-1 COLOR: PT-1 FINISH: MATTE
<b>MTL-2</b>	DESCRIPTION: CUSTOM PANEL DECKING LOCATION: BI-FOLD DOOR, CANOPY MANUFACTURER: PAC-CLAD COLOR: BONE WHITE FINISH: MATTE FINISH LRV: 70
<b>CONC-1</b>	DESCRIPTION: SEALED CONCRETE LOCATION: TILT CONCRETE WALL PANELS COLOR: NATURAL GREY TEXTURE: SAND BLASTED
<b>CONC-2</b>	DESCRIPTION: SEALED CONCRETE LOCATION: CAST IN PLACE CONCRETE WALLS COLOR: NATURAL GREY TEXTURE: SMOOTH
<b>PT-1</b>	DESCRIPTION: EXTERIOR PAINT LOCATION: STEEL COLUMNS AND BASE PLATES MANUFACTURER: SHERWIN WILLIAMS COLOR: SW6991 - BLACK MAGIC FINISH: MATTE LRV: 3
<b>IG-1</b>	DESCRIPTION: 1" SOLARBAN 90 SOLARGRAY INSULATED GLAZING LOCATION: SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES MANUFACTURER: VITRO ARCHITECTURAL GLASS

**KEYNOTES**

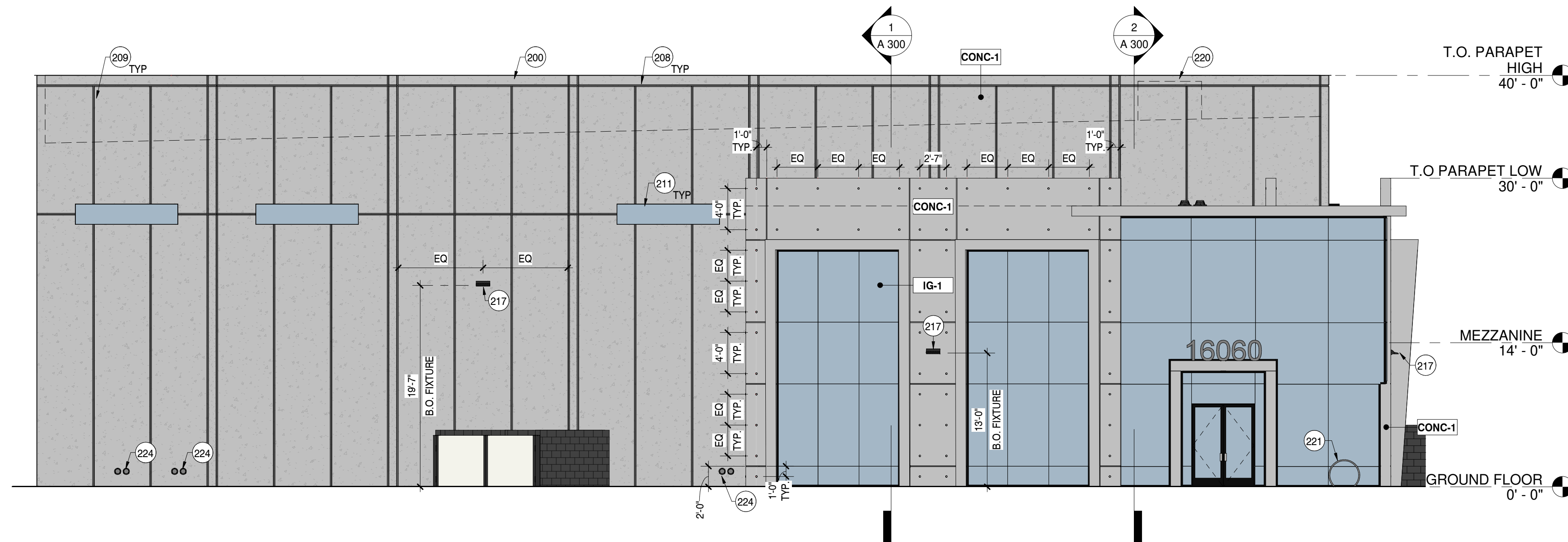
200	NEW TILT CONCRETE WALL PANEL, TYP.
204	HIGHER POWER HYDRAULIC HANGAR DOOR - SEE DOOR SCHEDULE.
208	HORIZONTAL TILT CONCRETE PANEL REVEAL, TYP.
209	VERTICAL TILT CONCRETE PANEL REVEAL, TYP.
210	METAL CANOPY - SEE STRUCTURAL DRAWINGS.
211	SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
217	WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
220	LINE OF ROOFTOP MECHANICAL UNITS SCREENED BY BUILDING PARAPET.
221	CUSTOM BIKE RACK - CLEARANCES PER C.O.S. STD. DETAIL 2285.
224	ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.

**KEYPLAN**



**3 WEST ELEVATION - COLOR**

1/8" = 1'-0"

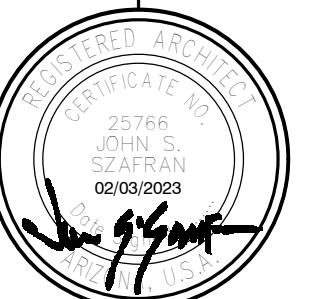


**2 EAST ELEVATION - COLOR**

1/8" = 1'-0"

**HANGAR / OFFICE BUILDING**

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SCOTTSDALE, AZ 85260



expires 30 June 2024

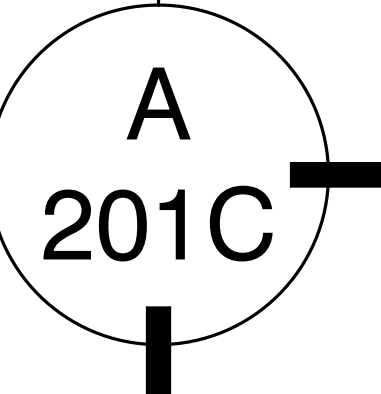
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project no.: 22036  
date: 02/03/2023

**BUILDING ELEVATIONS - COLOR**



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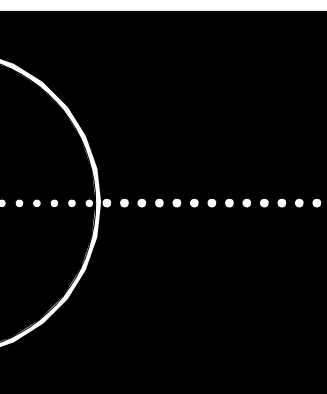


**1** VIEW FROM 82ND STREET  
8" = 1'-0"

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16060 NORTH 82ND STREET  
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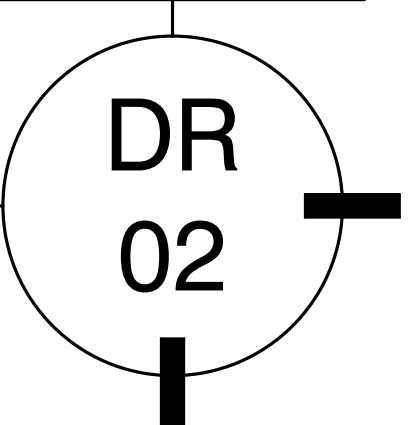


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EXTERIOR PERSPECTIVES

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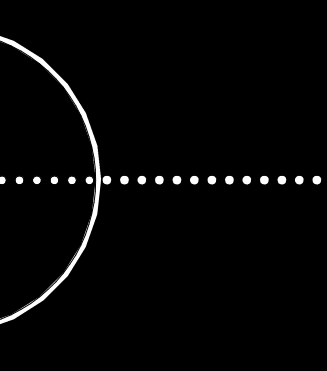
**1 VIEW FROM TAXIWAY**  
8" = 1'-0"

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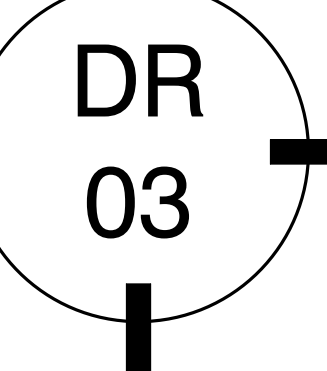


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project no.: 22036  
date: 02/03/2023

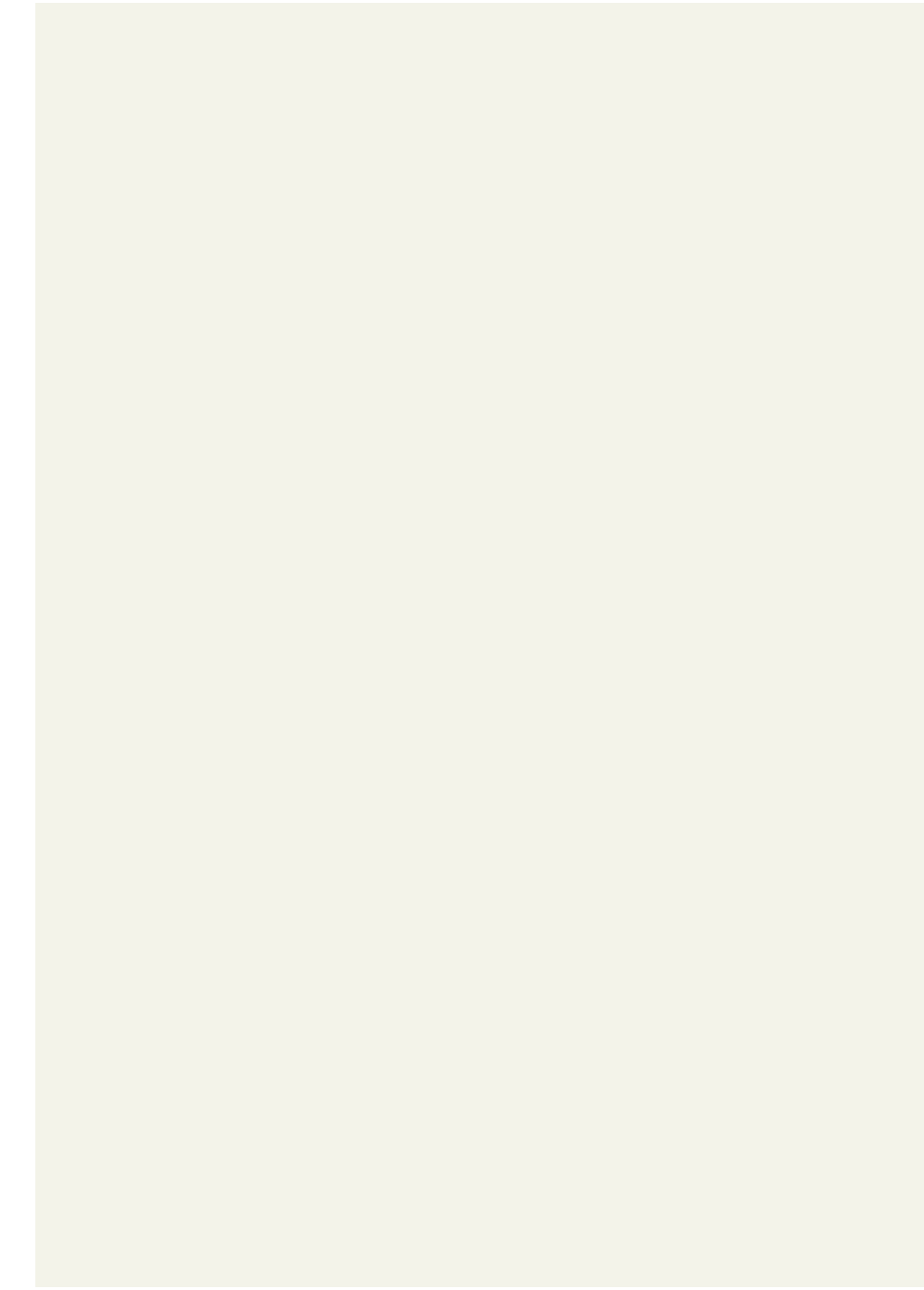


EXTERIOR PERSPECTIVES

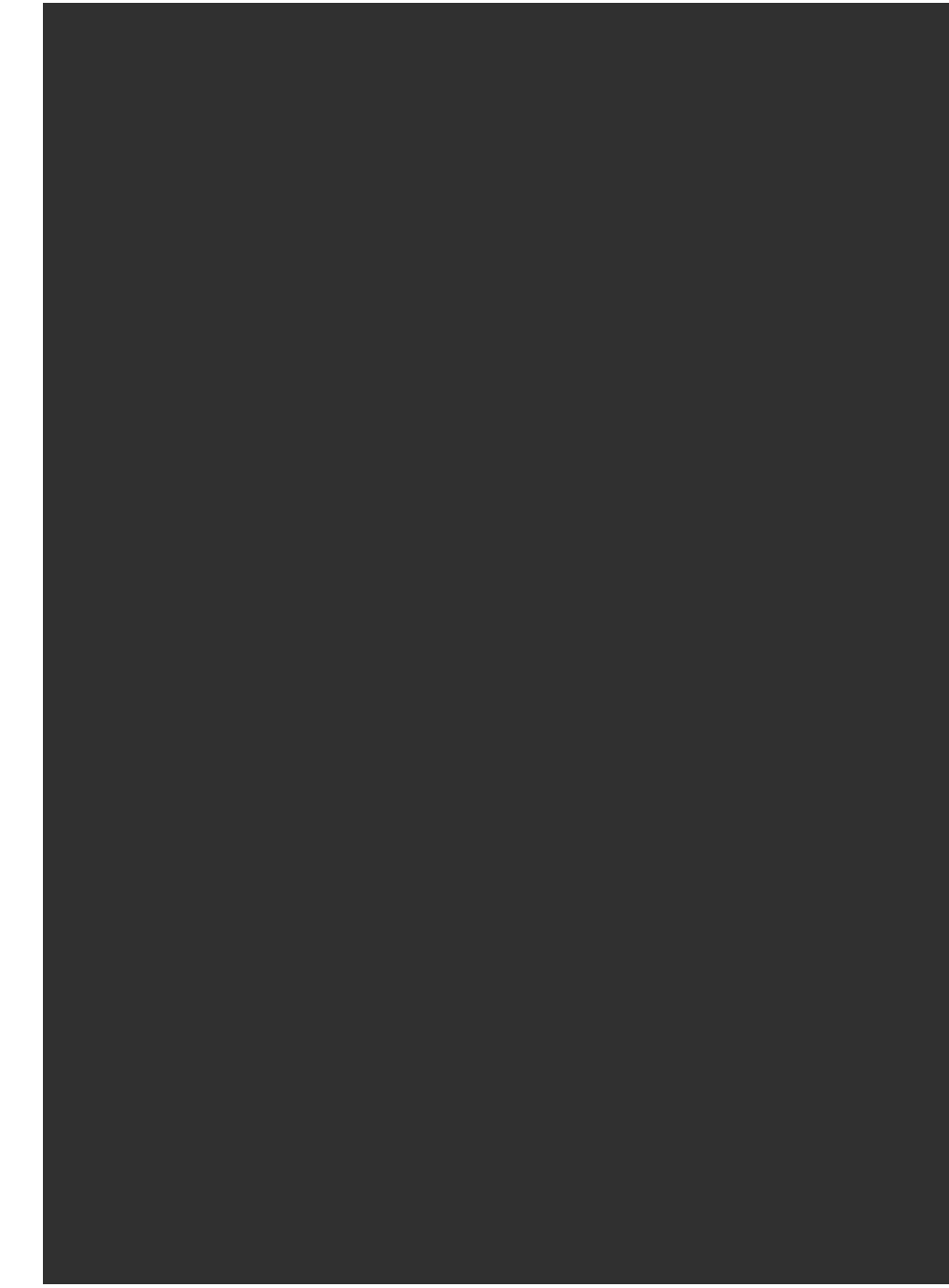
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**CONC-2** DESCRIPTION: CAST-IN-PLACE CONCRETE  
LOCATION: CAST-IN-PLACE CONCRETE WALLS  
COLOR: NATURAL GREY  
TEXTURE: SMOOTH (SNAP-TIE)



**MTL-2** DESCRIPTION: CUSTOM PANEL DECKING  
LOCATION: BI-FOLD DOOR, CANOPY  
MANUFACTURER: PAC-CLAD  
COLOR: BONE WHITE  
FINISH: MATTE FINISH  
LRV: 70



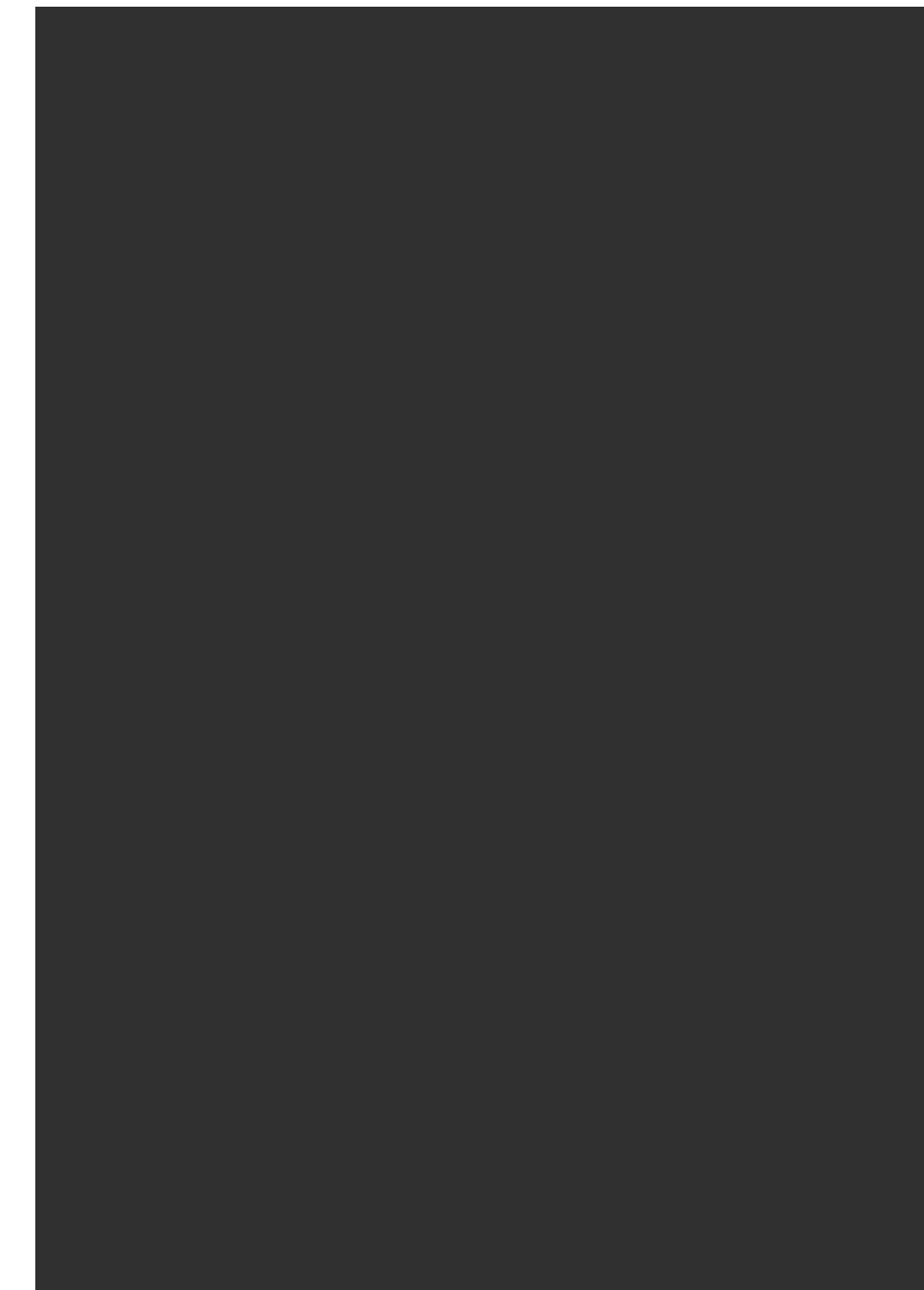
**PT-1** DESCRIPTION: EXTERIOR PAINT  
LOCATION: STEEL COLUMNS AND BASE PLATES  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: SW6991 - BLACK MAGIC  
FINISH: MATTE  
LRV: 3



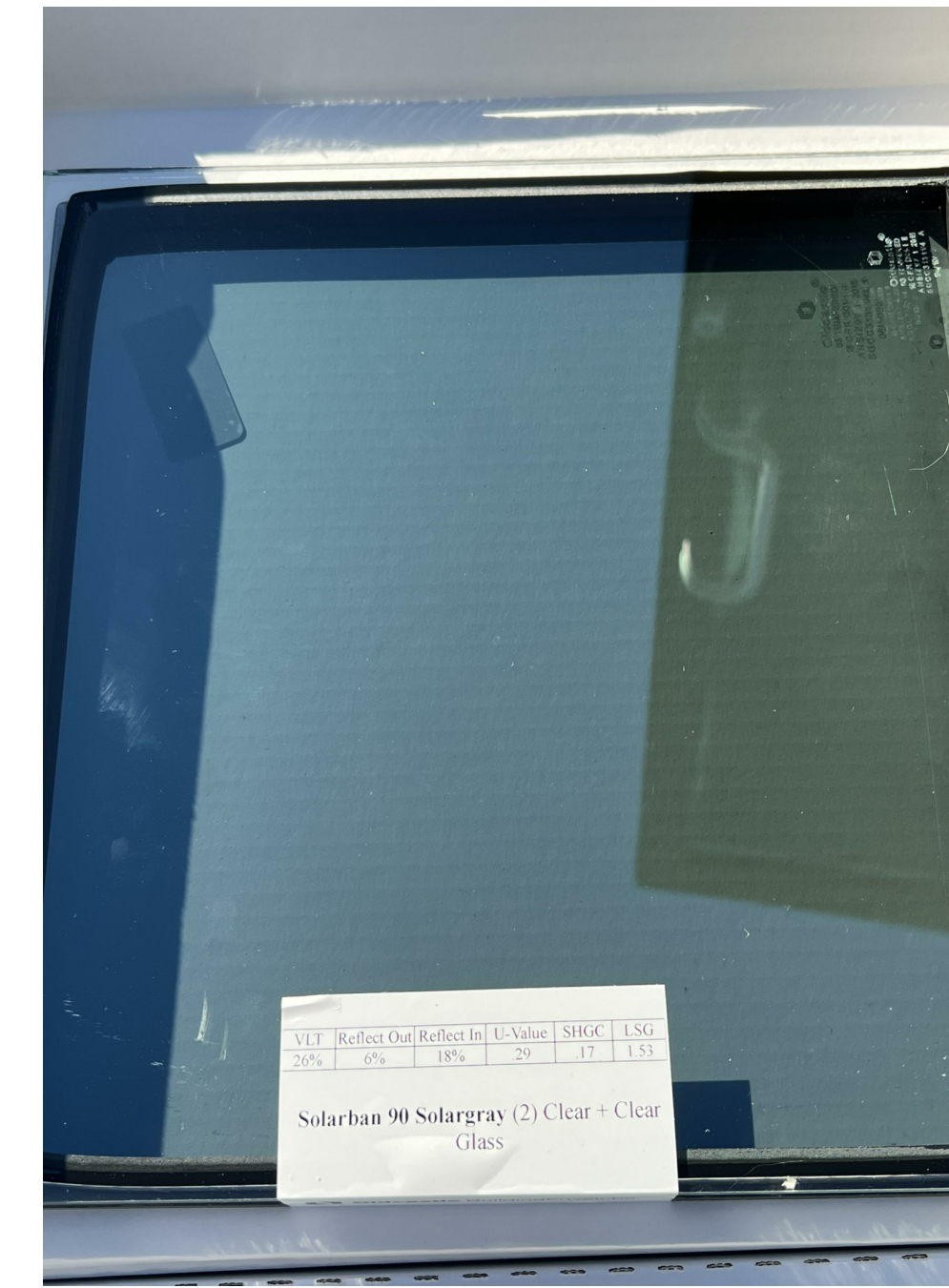
**CMU-1** DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY  
LOCATION: EXTERIOR SITE WALLS  
PRODUCT: RCP BLOCK  
COLOR: PRECISION BLOCK CHARCOAL GREY



**CONC-1** DESCRIPTION: SEALED CONCRETE  
LOCATION: TILT CONCRETE WALL PANELS  
COLOR: NATURAL GREY  
TEXTURE: SAND BLASTED



**MTL-1** DESCRIPTION: STEEL PLATES  
LOCATION: WALL CAPS, SHADOW BOX WINDOW FRAMES  
MANUFACTURER: BERRIDGE  
COLOR: MATTE BLACK  
FINISH: MATTE  
LRV: 3

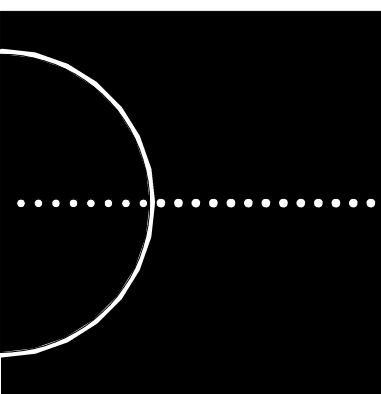


**IG-1** DESCRIPTION: 1" SOLARBAN 80 SOLARGRAY INSULATED GLAZING  
LOCATION: SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES  
MANUFACTURER: VITRO ARCHITECTURAL GLASS

**HANGAR / OFFICE BUILDING**  
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16060 NORTH 82ND STREET  
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expires 30 June 2024

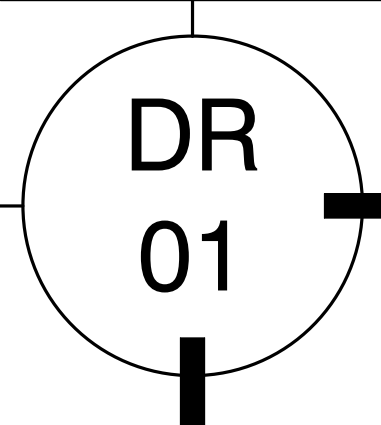


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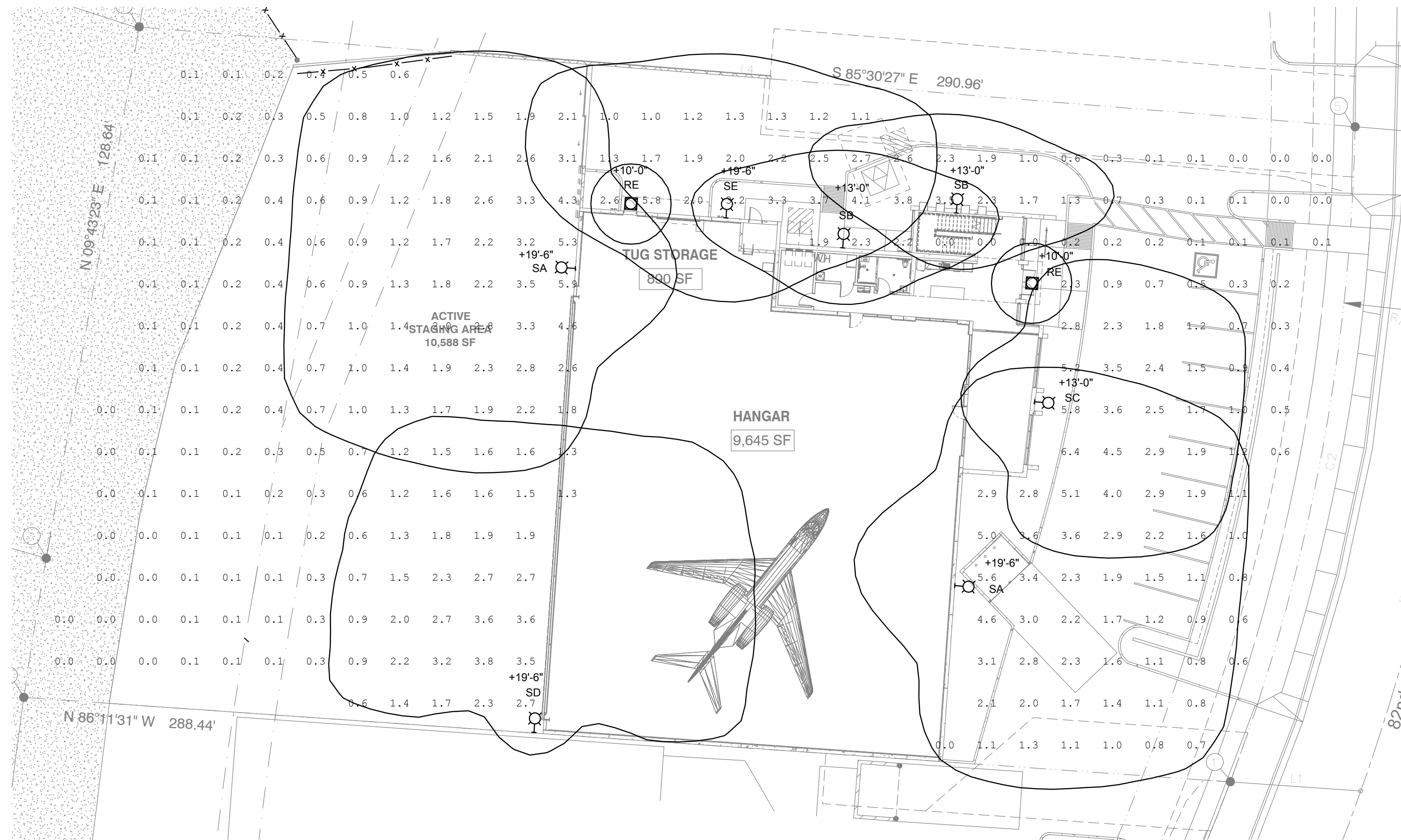
#	DESCRIPTION	DATE

drawn by: jw  
project no.: 22036  
date: 11/18/2022



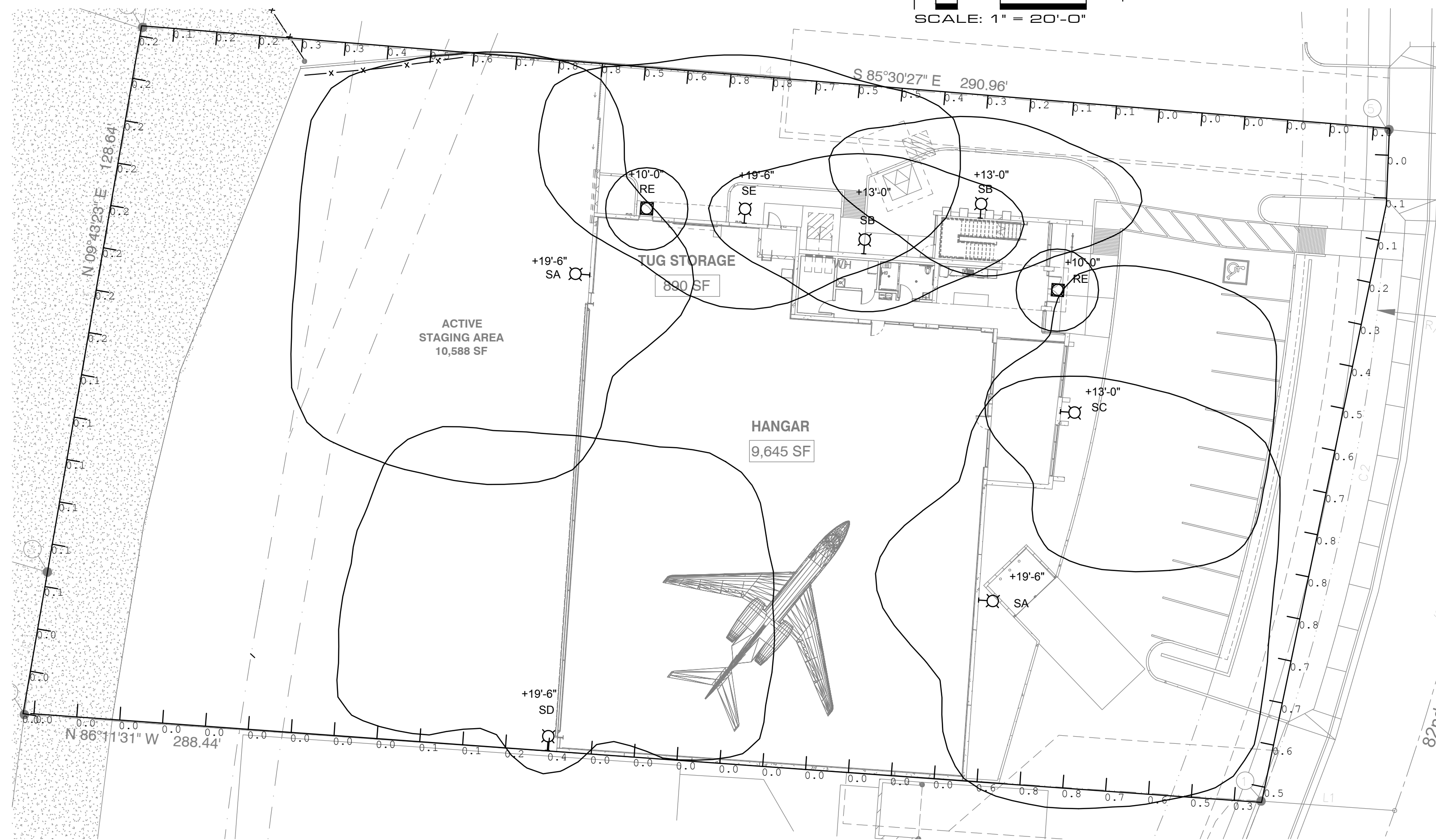
**BUILDING EXTERIOR MATERIAL / COLOR BOARD**

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**SITE LIGHTING PHOTOMETRIC PLAN**

0 10 20 40  
SCALE: 1" = 20'-0"



**PROPERTY LINE PHOTOMETRIC PLAN**

0 10 20 40  
SCALE: 1" = 20'-0"

**GENERAL NOTES**

- A. REFER TO ELECTRICAL LEGEND AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- B. NEW EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF - DOWNLIGHT ONLY.
- C. NEW EXTERIOR LIGHT FIXTURES SHALL BE CONTROLLED BY AN AUTO LIGHTING CONTROL PANEL WHICH SHALL HAVE A PHOTOCELL INPUT TO TURN ON/OFF LIGHT FIXTURES FROM DUSK TO DAWN.

Qty	Label	Manufacturer	Description	MH	LLF	Lumens	Watts	Total Watts	BUG Rating
2	RE	PRESCOLITE	LTR-6RD-H-SL06L-DM1 LTR-6RD-T-SL30K8XWS	10'	1.000	665	7.8	15.6	B1-U0-G0
2	SA	U.S. ARCHITECTURAL LIGHTING	RZR-WM3-PLD-IV-FT-60LED-700mA-NW	19.5'	1.000	14825	130.2	260.4	B2-U0-G3
2	SB	U.S. ARCHITECTURAL LIGHTING	RZR-WM1-PLD-II-20LED-350mA-NW	13'	1.000	2942	21.4	42.8	B1-U0-G1
1	SC	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-PLD-IV-FT-40LED-525mA-NW	13'	1.000	8777	64.7	64.7	B2-U0-G3
1	SD	U.S. ARCHITECTURAL LIGHTING	RZR-WM3-PLD-IV-FT-60LED-875mA-30K-HS	19.5'	1.000	14649	161.9	161.9	B1-U0-G4
1	SE	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-PLD-III-M-40LED-350mA-NW	19.5'	1.000	6728	42.7	42.7	B2-U0-G2

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	1.40	6.4	0.0	N.A.	N.A.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
6' Vertical Property Line	Illuminance	Fc	0.28	0.8	0.0	N.A.	N.A.

TEMPERATURE / COLOR OF ALL LIGHT FIXTURES / LAMPS SHALL BE 3000K

ELEVATION OF FIXTURES IS AS FOLLOWS - TO BOTTOM OF FIXTURE:  
(REFER ALSO TO ARCHITECTURAL ELEVATIONS)

- RE - +10'-0" (OR BOTTOM OF CANOPY)
- SA - +19'-6"
- SB - +13'-0"
- SC - +13'-0"
- SD - +19'-6"
- SE - +19'-6"

**KEY ESSENTIALS HANGAR / OFFICE BUILDING**

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SCOTTSDALE, AZ 85260



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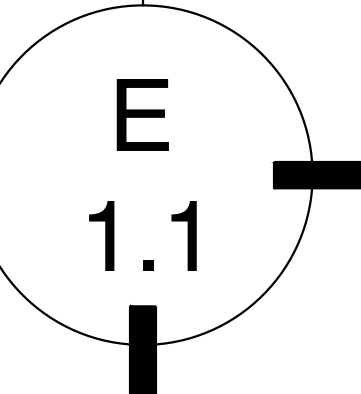
**REVISION SCHEDULE**

#	DESCRIPTION	DATE

drawn by: gds  
project no.: 22036  
date: 10/25/2022

**SITE LIGHTING PHOTOMETRIC PLAN**

**Stringer**  
Engineering, LLC  
ELECTRICAL ENGINEERING & DESIGN  
4532 E. Desert Trumpet  
Phoenix, AZ 85044  
Tel. (480) 390-5127  
gary@stringerengineering.com  
PROJECT# DPA\_22\_12



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### SOLID STATE AREA LIGHTING

## RAZAR WALLMOUNT-LED

### SPECIFICATIONS

**OPTICAL HOUSING**  
Heavy coat low copper aluminum (A356 alloy, <math>\pm 0.2\%</math> copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance is .003") to facilitate thermal transfer of heat to housing and cooling fins. The Optical Housing bolts to the Electrical Housing forming a unified assembly. The minimum wall thickness is .1875".

**ELECTRICAL HOUSING**  
Heavy coat low copper aluminum (A356 alloy, <math>\pm 0.2\%</math> copper) assembly. Minimum wall thickness is .1875". Fixture Mounting Plate affixes to mounting surface over a recessed J-box. Electrical Housing anchors on the top edge of the Mounting Plate and stainless steel recessed socket head screws tighten the Electrical Housing to the Mounting Plate from the bottom.

**PLED OPTICAL MODULES**  
Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED reflector. LED optics completely seal each individual emitter to meet an IP66 rating. The asymmetric distributions have a micro-reflector inside the reflector which re-directs the house side emitter output towards the street side and functions as a house side shielding element. Reflectors are injection molded H12 acrylic. Each LED reflector is sealed to the PCB over an emitter and all reflectors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED reflectors produce Type I, II, and Type IV side/area distributions as well as other specialty asymmetric distributions. Panels are field replaceable and field replaceable in 90° increments.

**LED DRIVER(S)**  
Constant current electronic with a power factor of > .90 and a minimum operating temperature of -40°F (-40°C). Drivers (s) in one UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer of heat away by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between driver and optical array. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (0 - 10V) dimmable driver is standard. Driver has a minimum of 3kV internal surge protection. Luminaires supplied with 30KV surge protector for field accessible installation.

**LED EMITTERS**  
High output LED's are utilized with drive currents ranging from 300mA to 1200mA, 70°C. Minimum LED's are available in Standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

**AMBER LED'S**  
**PCA** (Phosphor Converted Amber) LED's utilize phosphors to create color output similar to LFL lamps and have a slight output in the blue spectral band. **TMA** (True Amber) LED's utilize material that emits light in the amber spectral bandwidth only without the use of phosphors.

**FINISH**  
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSF power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

PROJECT NAME: \_\_\_\_\_  
PROJECT TYPE: \_\_\_\_\_

FIXTURE	A	B	C
RZR-W1	8.25"	12"	4"
RZR-W1	11"	14"	6.5"

**RZR-WM1** PATENT PENDING

FIXTURE	A	B	C
RZR-W2	15"	12"	4"
RZR-W2	18"	14"	6.5"

**RZR-WM2** PATENT PENDING

FIXTURE	A	B	C
RZR-W3	22"	12"	4"
RZR-W3	25"	14"	6.5"

**RZR-WM3** PATENT PENDING

U.S. Architectural Lighting 180 West Broadway, Phoenix, AZ 85001  
www.usarchlighting.com

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## rescolite

### LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

### LITEISTRY

**FEATURES**

- 6" architectural LED downlight delivering 6000 - 9000 lm
- Five beam distributions from 0.3 to 11 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K - 5000K, 80+ and 90+ CRI options
- Available for New Construction (non IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0-10V, DALI, DMX, Lutron Forward Phase, and EcoSystem
- NX Distributed Intelligence™ wired and wireless controls capability available

**CONTROL TECHNOLOGY**

**NX DISTRIBUTED INTELLIGENCE**

**SPECIFICATIONS**

**CONSTRUCTION**

- Standard Non-IC, Chicago Plenum and IC options
- Painted black durable steel platform with pre-installed bar hangers
- Painted junction box with snap-on covers for easy access
- Snap-in connection from driver compartment allows easy installation
- Light Engine connectors use plenum rated (CMP) cable

**OPTICS**

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting light spots or penetration and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flange
- Flush Mount flange option with mud-in fling available
- Large selection of anodized finishes
- Painted cones and flange options available

**ELECTRICAL**

- Chip-on-board LED with 2-500M
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at <math>\geq 50,000</math> hours (M12)
- Universal voltage 120V-277V driver, 347V optional
- UL Class 2, inherent short circuit and overload protection, RoHS compliant
- Flicker free 0-10V dimming with TL or <math>\pm 0.5</math> performance
- DALI, DMX, and Lutron Forward Phase and EcoSystem options
- NX or Lutron Vive control options available
- Integral and remote controller and battery pack options available
- Refer to additional spec sheets for information on SpectraLogic™, Tunable White or Dim-to-Warm or Precolite™, PFC enabled solutions

**CERTIFICATIONS**

- cCSAus certified to UL E599
- For 372L, Marked spacing required 36" fixture center to center, 36" fixture center to building perimeter, 0.5' above fixture
- UL E599, E600, E601, E602, E603, E604, E605, E606, E607, E608, E609, E610, E611, E612, E613, E614, E615, E616, E617, E618, E619, E620, E621, E622, E623, E624, E625, E626, E627, E628, E629, E630, E631, E632, E633, E634, E635, E636, E637, E638, E639, E640, E641, E642, E643, E644, E645, E646, E647, E648, E649, E650, E651, E652, E653, E654, E655, E656, E657, E658, E659, E660, E661, E662, E663, E664, E665, E666, E667, E668, E669, E670, E671, E672, E673, E674, E675, E676, E677, E678, E679, E680, E681, E682, E683, E684, E685, E686, E687, E688, E689, E690, E691, E692, E693, E694, E695, E696, E697, E698, E699, E700, E701, E702, E703, E704, E705, E706, E707, E708, E709, E710, E711, E712, E713, E714, E715, E716, E717, E718, E719, E720, E721, E722, E723, E724, E725, E726, E727, E728, E729, E730, E731, E732, E733, E734, E735, E736, E737, E738, E739, E740, E741, E742, E743, E744, E745, E746, E747, E748, E749, E750, E751, E752, E753, E754, E755, E756, E757, E758, E759, E760, E761, E762, E763, E764, 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