

ALTA / NSPS LAND TITLE SURVEY
HEGEL PROPERTY

A PORTION OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 4
EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

NOTES

THIS SURVEY IS BASED ON COMMITMENT FOR TITLE INSURANCE ISSUED BY CLEAR TITLE AGENCY OF ARIZONA AS ISSUING AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY NO. 70220265-SD DATED MARCH 20, 2022 AT 8:00 A.M.

THE SURVEYOR'S SCOPE-OF-SERVICES IS LIMITED TO PROVIDING SERVICES IN A MANNER CONSISTENT WITH THE DEGREE OF CARE AND SKILL ORDINARILY EXERCISED BY MEMBERS OF THE LAND SURVEY PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS. SCHEDULE "B" ITEM DOCUMENTS MAY CONTAIN ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY IN A MANNER THE SURVEYOR IS NOT QUALIFIED TO INTERPRET AND/OR ARE NOT WITHIN THE SURVEYOR'S SCOPE-OF-SERVICES. IT IS RECOMMENDED THAT INTERESTED AND AFFECTED PARTIES OBTAIN LEGAL COUNSEL FOR ADDITIONAL INTERPRETATION OF ALL SCHEDULE "B" DOCUMENTS REFERENCED IN THE TITLE REPORT.

THE SURVEYOR HAS RELIED SOLELY ON INFORMATION SUPPLIED TO THE SURVEYOR FROM EITHER THE CLIENT OR THE TITLE COMPANY AND HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR ADDITIONAL EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER MATTERS THAT MAY AFFECT THE SUBJECT PROPERTY.

THIS SURVEY WAS COMPLETED USING GLOBAL POSITIONING SYSTEM (GPS) EQUIPMENT. THE MONUMENTS LOCATED ARE WITHIN THE POSITIONAL TOLERANCES RECOMMENDED AND SHOWN IN SECTION 3E OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS EFFECTIVE FEBRUARY 23, 2021.

THE SITE HAS PHYSICAL ACCESS TO AN ABUTTING STREET, HIGHWAY, OR OTHER PUBLIC OR PRIVATE WAY (82ND STREET AND DIXILETA DRIVE) AS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY FIELDWORK.

PURSUANT TO TABLE "A" ITEM 15, THIS SURVEY INCLUDES FOLLOWING METHOD TO LOCATE CERTAIN PHYSICAL FEATURES NOT RELATED TO THE BOUNDARY: RECTIFIED ORTHOPHOTOGRAPHY AND PHOTOGRAMMETRIC MAPPING, THIS DATA WAS PROVIDED TO SURVEYOR FROM AEROTECH MAPPING, INC., ON AUGUST 20, 2021, ACCURACIES OF 0.33'± CAN BE EXPECTED AS IT RELATES TO THE TOPOGRAPHICAL INFORMATION GENERATED FROM THE DIGITAL TERRAIN MODEL (DTM) INFORMATION AND ACCURACIES OF 0.22'± CAN BE EXPECTED AS IT RELATES TO THE DTM INFORMATION ITSELF.

PURSUANT TO TABLE "A" ITEM 16, THE SURVEYOR DID NOT OBSERVE RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK

PURSUANT TO TABLE "A" ITEM 17, THE SURVEYOR HAS NOT BEEN INFORMED OF ANY CHANGES IN THE PROPOSED RIGHTS OF WAY. ADDITIONALLY, ANY CHANGES IN RIGHTS OF WAY, WHICH HAVE ALREADY OCCURRED, SHOULD BE VERIFIED BY ADDITIONAL TITLE SEARCH. THE SURVEYOR HAS NOT OBSERVED ANY RECENT STREET OR SIDEWALK CONSTRUCTION IN THE PROCESS OF CONDUCTING THE FIELDWORK.

PURSUANT TO TABLE "A" ITEM 20, THE CLIENT AND THE SURVEYOR HAVE NEGOTIATED TO ADDITIONALLY PLOT THE UNDERGROUND UTILITY LINES ACCORDING TO MAPS OR PLANS ACQUIRED FROM THE OPERATING AGENCIES BY THE SURVEYOR. NO UNDERGROUND EXCAVATION WILL BE DONE.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN SCOTTSDALE, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

LOT 1, OF THAT CERTAIN LAND DIVISION IN THE CITY OF SCOTTSDALE, ARIZONA ENTITLED SEC 82ND STREET AND DIXILETA DRIVE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1024 OF MAPS, PAGE 24 AND AFFIDAVIT OF CORRECTION RECORDED IN RECORDING NO. 2009-0280026, OF OFFICIAL RECORDS;

EXCEPT ALL MINERALS IN SAID LAND AS RESERVED IN THE UNITED STATES PATENT; AND

EXCEPT ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS ACT OF AUGUST 1, 1946 (60 STAT. 755) AS SET FORTH IN THE PATENT TO SAID LAND.

PARCEL NO. 2:

LOT 2, OF THAT CERTAIN LAND DIVISION IN THE CITY OF SCOTTSDALE, ARIZONA ENTITLED SEC 82ND STREET AND DIXILETA DRIVE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1024 OF MAPS, PAGE 24 AND AFFIDAVIT OF CORRECTION RECORDED IN RECORDING NO. 2009-0280026, OF OFFICIAL RECORDS;

EXCEPT ALL MINERALS IN SAID LAND AS RESERVED IN THE UNITED STATES PATENT; AND

EXCEPT ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS ACT OF AUGUST 1, 1946 (60 STAT. 755) AS SET FORTH IN THE PATENT TO SAID LAND.

PARCEL NO. 3:

LOT 3, OF THAT CERTAIN LAND DIVISION IN THE CITY OF SCOTTSDALE, ARIZONA ENTITLED SEC 82ND STREET AND DIXILETA DRIVE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1024 OF MAPS, PAGE 24 AND AFFIDAVIT OF CORRECTION RECORDED IN RECORDING NO. 2009-0280026, OF OFFICIAL RECORDS;

EXCEPT ALL MINERALS IN SAID LAND AS RESERVED IN THE UNITED STATES PATENT; AND

EXCEPT ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS ACT OF AUGUST 1, 1946 (60 STAT. 755) AS SET FORTH IN THE PATENT TO SAID LAND.

APN: 216-70-010, 216-70-012, 216-70-011

SIGNIFICANT OBSERVATION

- A

THERE ARE MULTIPLE DIRT TRAILS/ROADS THAT FALL OVER THE PROPERTY LINE AS SHOWN HEREON.
- B

THERE IS A FENCE ON THE SOUTH SIDE OF THE PROPERTY THAT FALLS OVER THE PROPERTY LINE.

SCHEDULE 'B' ITEMS

1.

ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.
*NOT A SURVEY MATTER
2.

(A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS; (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS.
*NOT A SURVEY MATTER
3.

ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION THEREOF.
*NOT A SURVEY MATTER
4.

EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
*NOT A SURVEY MATTER
5.

DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
*NOT A SURVEY MATTER
6.

(A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF;(C) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B), OR (C) ARE SHOWN BY THE PUBLIC RECORDS.
*NOT A SURVEY MATTER
7.

ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR OR MATERIAL NOT SHOWN BY THE PUBLIC RECORDS.
*NOT A SURVEY MATTER
8.

TAXES FOR THE FULL YEAR OF 2022.
(THE FIRST HALF IS DUE OCTOBER 1, 2022 AND IS DELINQUENT NOVEMBER 1, 2022. THE SECOND HALF IS DUE MARCH 1, 2023 AND IS DELINQUENT MAY 1, 2023.)
*NOT A SURVEY MATTER
9.

THE RIGHT TO ENTER UPON SAID LAND AND PROSPECT FOR AND REMOVE ALL COAL, OIL, GAS, MINERALS OR OTHER SUBSTANCES, AS RESERVED IN THE PATENT TO SAID LAND.
*NOT A SURVEY MATTER
10.

EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED AS BOOK 1024 OF MAPS, PAGE 24 AND AFFIDAVIT OF CORRECTION RECORDED AS 2009-0280026, OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).
*AS SHOWN HEREON
11.

ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE DRAINAGE AND FLOOD CONTROL EASEMENT AND PROVISION FOR MAINTENANCE, RECORDED AUGUST 19, 2009 AS 2009-0771354 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 1)
*AS SHOWN HEREON
12.

ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE NATURAL AREA OPEN SPACE EASEMENT INCLUDING RESTORED DESERT, RECORDED DECEMBER 29, 2009 AS 2009-1186529 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 1)
*AS SHOWN HEREON
13.

ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE DRAINAGE AND FLOOD CONTROL EASEMENT AND PROVISION FOR MAINTENANCE, RECORDED NOVEMBER 09, 2009 AS 2009-1033029 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 2)
*AS SHOWN HEREON
14.

ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE DRAINAGE AND FLOOD CONTROL EASEMENT AND PROVISION FOR MAINTENANCE, RECORDED NOVEMBER 30, 2009 AS 2009-1094496 OF OFFICIAL RECORDS
*AS SHOWN HEREON
15.

ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE NATURAL AREA OPEN SPACE EASEMENT INCLUDING RESTORED DESERT, RECORDED DECEMBER 29, 2009 AS 2009-1186530 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 2)
*AS SHOWN HEREON
16.

ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE DRAINAGE AND FLOOD CONTROL EASEMENT AND PROVISION FOR MAINTENANCE, RECORDED JANUARY 20, 2010 AS 2010-0048850 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 3)
*AS SHOWN HEREON
17.

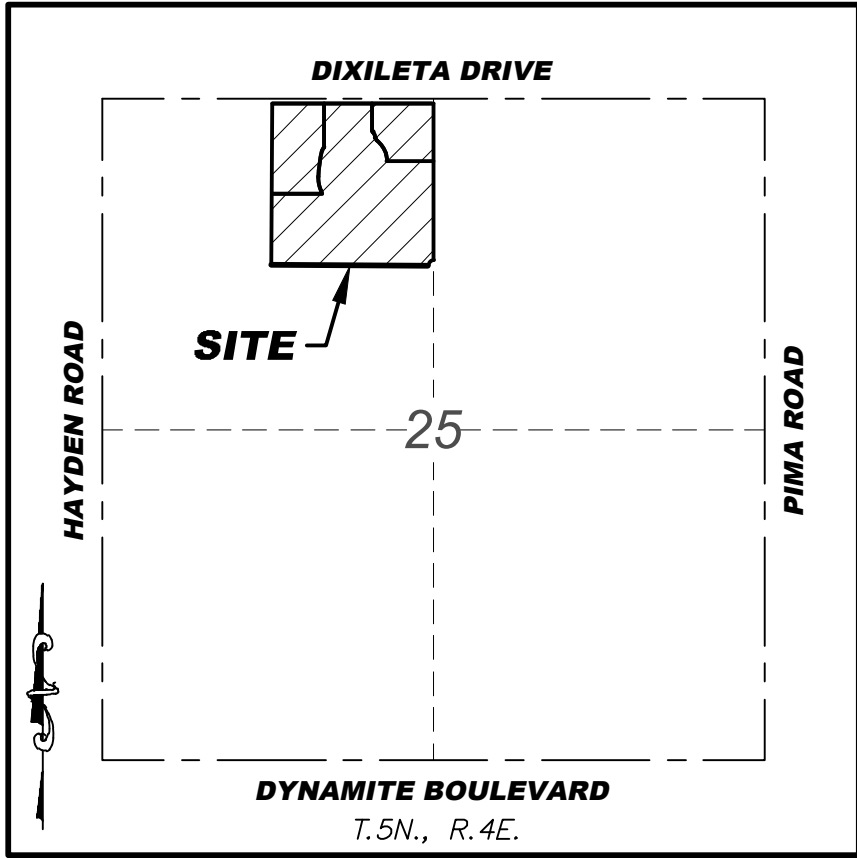
ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE NATURAL AREA OPEN SPACE EASEMENT INCLUDING RESTORED DESERT, RECORDED FEBRUARY 17, 2010 AS 2010-0130281 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 3)
*AS SHOWN HEREON
18.

AN EASEMENT FOR INSTALLATION AND MAINTENANCE OF A NATURAL GAS PIPELINE OR PIPELINES AND INCIDENTAL PURPOSES, RECORDED AS 2011-0205274 OF OFFICIAL RECORDS (AFFECTS PARCEL NO. 1)
*AS SHOWN HEREON
19.

AN EASEMENT FOR ROADWAYS AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 1932, PAGE 511
*AS SHOWN HEREON
20.

AN EASEMENT FOR UTILITY AND INCIDENTAL PURPOSES, RECORDED AS 2011-0368252 OF OFFICIAL RECORDS
*AS SHOWN HEREON
21.

WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
*NOT A SURVEY MATTER



VICINITY MAP
N.T.S.

AREA

PARCEL NO. 1 CONTAINS 1,159,972 SQUARE FEET OR 26.629 ACRES, MORE OR LESS.
PARCEL NO. 2 CONTAINS 207,877 SQUARE FEET OR 4.772 ACRES, MORE OR LESS.
PARCEL NO. 3 CONTAINS 282,726 SQUARE FEET OR 6.490 ACRES, MORE OR LESS.

BENCHMARK

FOUND 2.5" GLO BRASS CAP IN HANDHOLE AT THE INTERSECTION OF DIXILETA DRIVE AND 84TH STREET ALIGNMENT.

ELEVATION = 2293.54'

ADDRESS

PARCEL NO. 1:	PARCEL NO. 2:	PARCEL NO. 3:
8291 EAST DIXILETA DRIVE SCOTTSDALE, ARIZONA 85266	8355 EAST DIXILETA DRIVE SCOTTSDALE, ARIZONA 85266	8223 EAST DIXILETA DRIVE SCOTTSDALE, ARIZONA 85266

BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 4 EAST. SAID LINE BEARS 89°52'42"E, A DISTANCE OF 2631.08'.

ZONING

ZONE: R1-190
ZONING INFORMATION OBTAINED FROM MARICOPA COUNTY ASSESSORS WEBSITE.

*PER 2021 ALTA MINIMUM STANDARD DETAIL REQUIREMENTS: CURRENT ZONING CLASSIFICATION, BUILDING SETBACK REQUIREMENTS AND HEIGHT AND FLOOR SPACE AREA RESTRICTIONS ARE TO BE PROVIDED TO THE SURVEYOR BY THE INSURER. THE CLASSIFICATION, REQUIREMENTS AND RESTRICTIONS HAVE NOT BEEN PROVIDED AT THE TIME OF THIS SURVEY. THE ZONING CLASSIFICATIONS SHOWN ARE FOR REFERENCE.

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C0894 M, DATED 7/20/2021, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

CERTIFICATION

TO: DDI ON DIXILETA LLC, A COLORADO LIMITED LIABILITY COMPANY;
FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 13, 15, 16, 17, AND 20(a) OF TABLE A THEREOF.

FIELD WORK WAS COMPLETED JULY, 2021

ERIC SOSTROM
22425 N. 16TH STREET, SUITE 1
PHOENIX, ARIZONA 85024
PHONE: 480-922-0780
ESOSTROM@RICKENGINEERING.COM



ALTA / NSPS LAND TITLE SURVEY

HEGEL PROPERTY

SCOTTSDALE, ARIZONA

SURVEYOR:

SURVEY INNOVATION GROUP, INC.
Land Survey Services
22425 N 16TH STREET SUITE #1
PHOENIX, AZ 85024

CAD FILE: 6053ALTA

DRAWN BY: RMH/TLH

CHECKED BY:

DATE: 4/12/22

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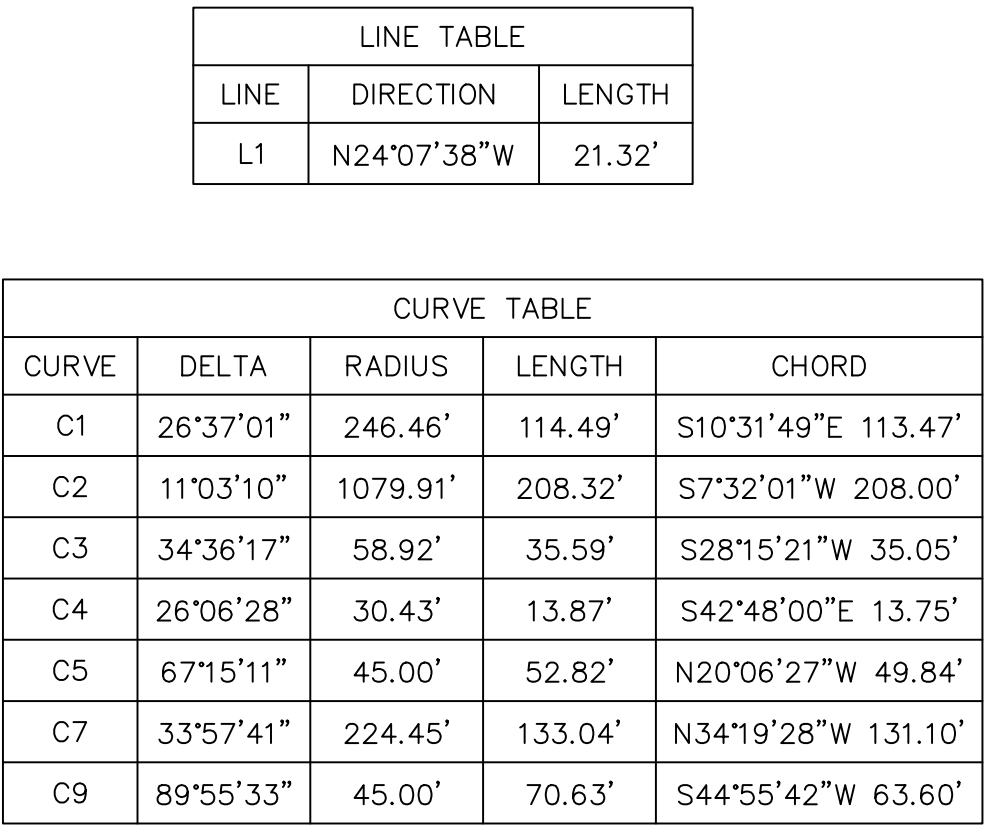
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LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N24°07'38"W	21.32'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	26°37'01"	246.46'	114.49'	S10°31'49"E 113.47'
C2	11°03'10"	1079.91'	208.32'	S7°32'01"W 208.00'
C3	34°36'17"	58.92'	35.59'	S2°15'21"W 35.05'
C4	26°06'28"	30.43'	13.87'	S42°48'00"E 13.75'
C5	67°15'11"	45.00'	52.82'	N20°06'27"W 49.84'
C7	33°57'41"	224.45'	133.04'	N34°19'28"W 131.10'
C9	89°55'33"	45.00'	70.63'	S44°55'42"W 63.60'

●	FOUND 1/2" REBAR
○	SET 1/2" REBAR
●	FOUND BRASS CAP FLUSH
■	FOUND BRASS CAP IN HANDHOLE
ESMT.	EASEMENT
ELEC.	ELECTRICAL
V.N.A.E.	VEHICULAR NON-ACCESS EASEMENT
BK./PG.	BOOK & PAGE
GLO	GENERAL LAND OFFICE
TYP.	TYPICAL
NAOS	NATURAL AREA OPEN SPACE
E.S.V.A.E.	EMERGENCY AND SERVICE-TYPE ACCESS EASEMENT
W.L.E.	WATER LINE EASEMENT
S.L.E.	SEWER LINE EASEMENT
R/W	RIGHT OF WAY
DKT./PG.	DOCKET & PAGE
MCR	MARICOPA COUNTY RECORDS
DOC.	DOCUMENT NUMBER
▶	AIR RELEASE VALVE
⚡	FIRE HYDRANT
⊞	SEWER MANHOLE
✉	WATER METER
⊞	WATER VALVE
⊞	UNKNOWN MANHOLE
☀	STREET LIGHT
⚓	SIGNS
▬	BILLBOARD
⤵	GATE
⦿	POST / BOLLARD
□	METER / UTILITY
▤	CATCH BASIN
☾	CULVERT
☀	LIGHT POLE
▬	BUILDING
▭	SWIMMING POOL
▬	TRAFFIC LANE PAINT
▬	ROAD / PAVEMENT
▬	DIRT ROAD / TRAIL
▬	CURB / GUTTER
▬	CONCRETE
× × × ×	FENCE
⊥ ⊥	RETAINING WALL
▬	BOUNDARY LINE
▬	SECTION LINE
▬	CENTER LINE
▬	EASEMENT LINE
▬	ADJACENT BOUNDARY LINE
▬	WATER LINE
▬	SEWER LINE
▬	GAS LINE

