

Development Review (Minor) Staff Approval

122-SA-2023

Cardone Ventures
Promenade Exterior Doors

APPLICATION INFORMATION

LOCATION:	16435 N Scottsdale Rd Ste 195	APPLICANT:	Layna Justice
PARCEL:	215-45-017	COMPANY:	Layna Justice
Q.S.:	36-45	ADDRESS:	1200 N. 52nd St. Phoenix, AZ 85008
ZONING:	PRC	PHONE:	(480) 290-3471

Request: Request for approval to add new exterior doors to an existing office space for a new conference room located at the south tower wing of the Promenade with Planned Regional Center (PRC) zoning.

STIPULATIONS

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by LGE Design Group, with a city staff date of 6/23/2023.
2. The location and configuration of all proposed improvements shall be consistent with the floor plan submitted by LGE Design Group, with a city staff date of 6/23/2023.
3. Windows shall be recessed a minimum of fifty (50) percent of the wall thickness, including glass curtain walls/windows within any tower/clerestory elements.
4. Exterior doors shall be recessed a minimum of thirty (30) percent of the wall thickness.
5. Sounds resulting from indoor conference activity shall be contained within the building.
6. All building openings such as doors, windows and movable wall panels shall be closed to prevent indoor sounds from being heard outdoors, except as permitted under a Conditional Use Permit.
7. Noise generated as "live entertainment" shall conform to the City's Conditional Use Permit approval process and Noise Ordinance requirements.

CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit a copy of this approval letter to the One Stop Shop using the e-Services Planning Online Center:

<https://eservices.scottsdaleaz.gov/bldgresources/plans>

ARCHITECTURAL: ☒ Commercial/Multi-family Architectural Plans

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature:

Date:

6/23/2023

Wayland Barton, 480-312-2817

Planning and Development Services

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov

Project: Cardone Ventures – Promenade
Location: 16435 N Scottsdale Road Ste. 195, Scottsdale, Arizona 85254
RE: Project Narrative; Development Review Minor (SA)
Date: 06/08/2023
From: LGE Design Group; Layna Justice

Project Overview:

LGE Design Group is proposing tenant improvement work that includes interior and exterior work for an existing building located at 16435 N Scottsdale Road Ste. 195, Scottsdale, Arizona 85254. Interior work consists of demo all/most of interior partitions to receive brand new interior layout. Use of interior will remain as Office. This will include an Office Training Room, Breakroom, and Lounge. Exterior work consists of replacing a portion of existing storefront glazing to add openings. Egress doors will be added from the Training Room and the Lounge. Bi-folding glass doors will be added to the Breakroom and Training Room.

Site:

The existing site is on the first floor of the Promenade Building B located at 16435 N Scottsdale Road Ste. 195, Scottsdale, Arizona 85254: Southwest corner of Frank Lloyd Wright Rd & Scottsdale Rd. The site will remain zoned as PRC.

Parking will remain and is not included as part of this contract. Reference #4 included refers to the As-Builds and the parking calculations for the property. There is a surplus of parking.

Design:

This tenant improvement project focuses on the enhancement of the interior space with adding a new layer of design and function to the exterior. The exterior of the existing building will be honored. The finish of the exterior mullions and glazing for the new doors will be painted to match the existing overall storefront.

Enhancing the client's vision through a fresh new look with clean and a modern aesthetic on the interior. This space is intended to create a unique experience for the office space users to have a private and well-designed Training Room for internal operations only. This will not be used for public events. The Training Room is accompanied by a Breakroom and Lounge Space.

The Training Room will be equipped with acoustic finishes to help contain the level of noise.



*Refer to attached images (reference #3) that help indicate locations of new openings on the exterior and the client's vision for the interior use. Provided for reference only.

Sincerely,



Designing your vision. Building your future.

Layna Justice

Interior Designer


O: 480.966.4001

1200 N. 52nd St., Phoenix, AZ 85008

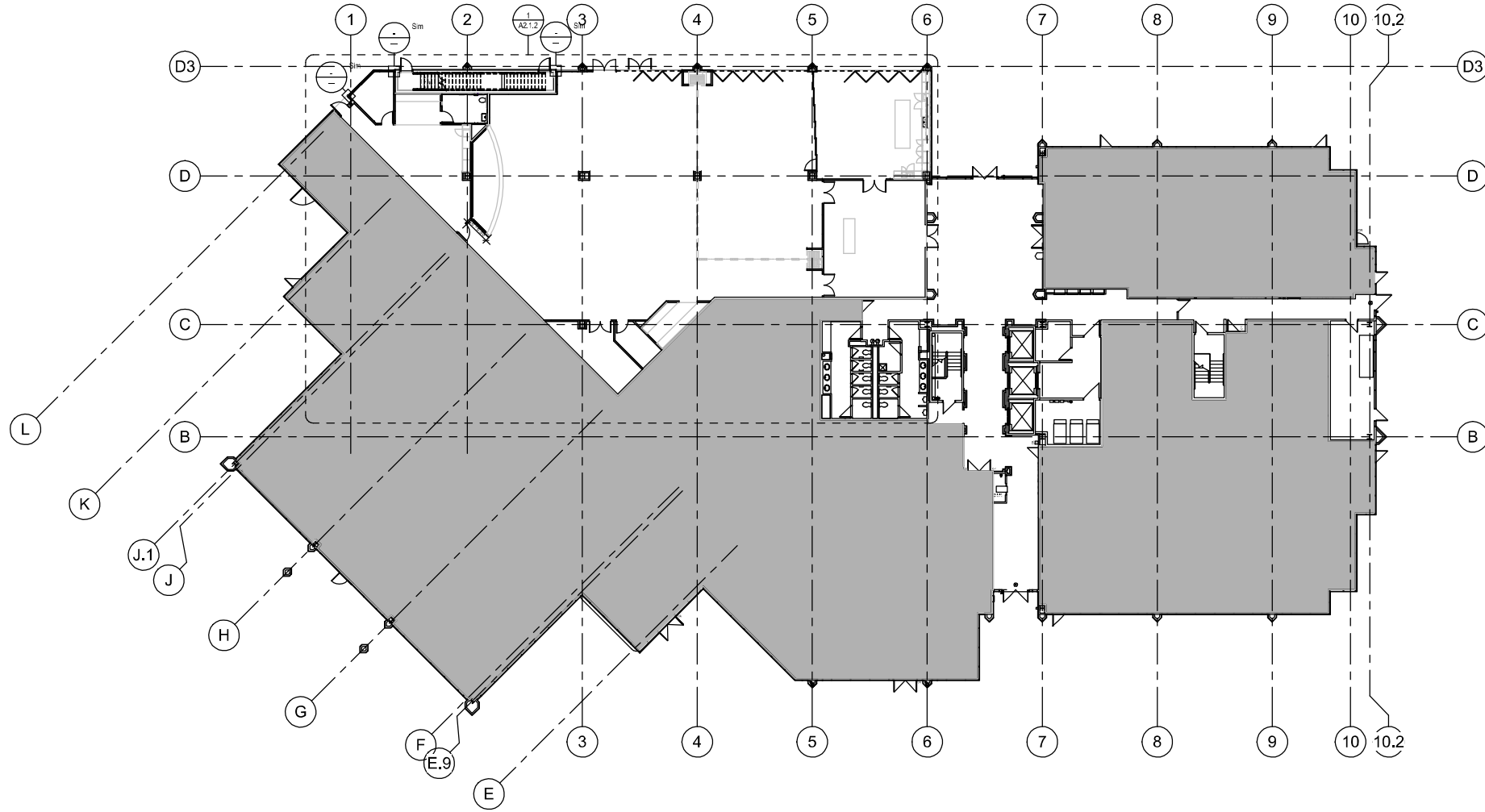
Imagery ©2023 CNES / Airbus, Maxar Technologies, U.S. Geological Survey, USDA/FPAC/GEO, Map data ©2023 Google 200 ft

LGE | **DESIGNBUILD**

**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

06/23/2023 
DATE APPROVED BY

ENLARGED DRAWING (N.T.S.)



1 OVERALL 1ST FLOOR PLAN
1/16" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS.
3. ANY SUCH DISCREPANCIES, OMISSIONS, OR VARIATIONS NOT REPORTED BEFORE START OF CONSTRUCTION SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
4. WHERE DISCREPANCIES OCCUR IN THESE DRAWINGS, NOTES, AND DETAILS ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
5. ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING AND OCCUPANCY PERMITS.
6. CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN AND PROTECT EXISTING SYSTEMS AND FINISHES WHICH ARE TO REMAIN. ANY DAMAGES TO SUCH SYSTEMS AND FINISHES SHALL BE REPAIRED IN A MANNER ACCEPTABLE TO THE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
7. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS OR KEYED NOTES ONLY.
8. CONTACT ARCHITECT FOR CLARIFICATIONS IF REQUIRED.
9. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. NOTIFY THE ARCHITECT FOR DIRECTION.
10. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES WHERE REQUIRED.
11. PROTECT EXISTING MATERIALS AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED.
12. SHORE EXISTING CONSTRUCTION WHENEVER EXISTING SUPPORTS ARE REMOVED TO ALLOW THE INSTALLATION OF NEW WORK.
13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.

#	REVISION	DATE

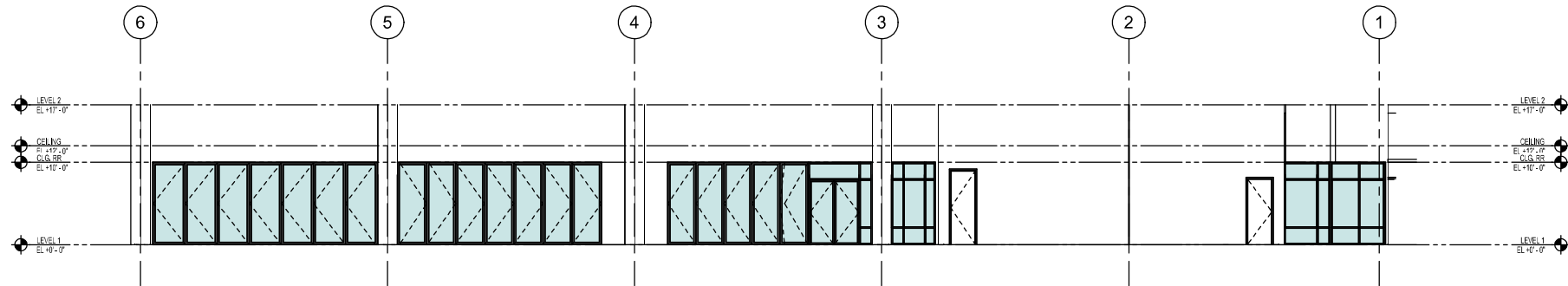
NOT FOR CONSTRUCTION

SHEET TITLE: OVERALL FLOOR PLAN
ISSUE DATE: 04.19.2023
DRAWN BY: START Sheet
CHECKED BY: Checker
PROJECT No: #####

A2.1.0

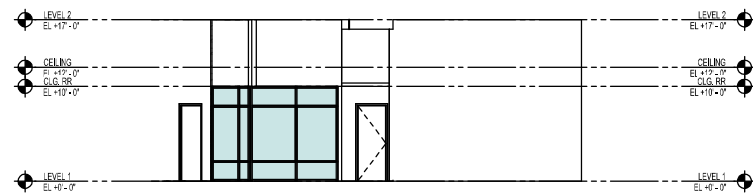
**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

06/23/2023
DATE APPROVED BY



1 EXTERIOR ELEVATION

1/8" = 1'-0"



2 EXTERIOR ELEVATION

1/8" = 1'-0"

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE:	Unnamed
ISSUE DATE:	04.19.2023
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT No:	####

A7.3.3

**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

06/23/2023
DATE

APPROVED BY

#	REVISION	DATE

NOT FOR CONSTRUCTION

DRAWING TITLE:	
EXTERIOR OPENINGS	
ISSUE DATE:	05.24.2023
DRAWN BY:	YJ
CHECKED BY:	JP
PROJECT No:	###

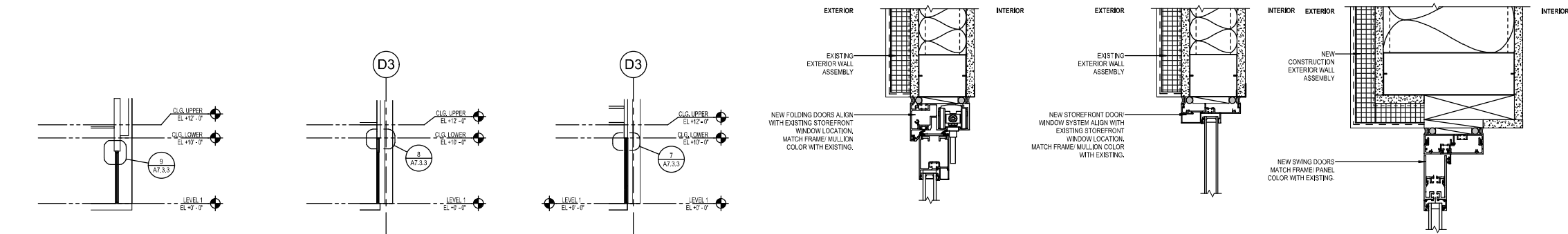
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05.24.2023

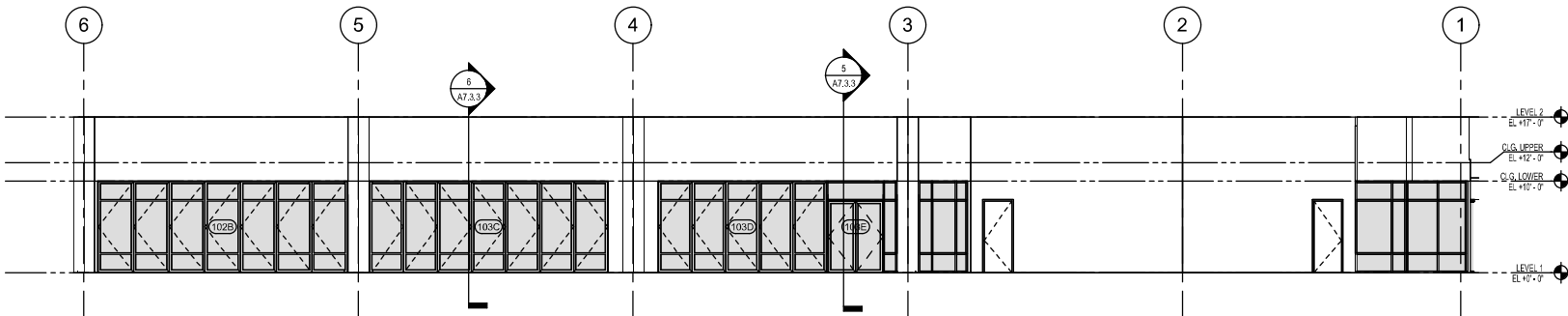
BLUELINES

STIPULATION SET
RETAIN FOR RECORDS
APPROVED

06/23/2023
DATE APPROVED BY



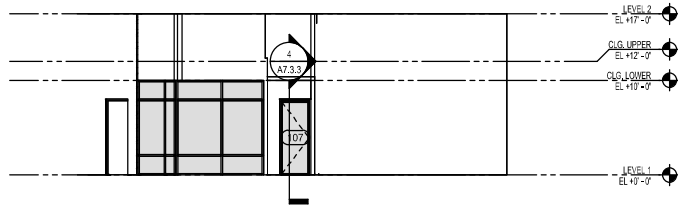
4 SECTION - DOOR 110 1/8" = 1'-0"
5 SECTION - DOOR 103F 1/8" = 1'-0"
6 SECTION - DOOR 103D 1/8" = 1'-0"
7 FOLDING DOOR HEAD 3" = 1'-0"
8 STOREFRONT HEAD 3" = 1'-0"
9 SWING DOOR HEAD 3" = 1'-0"



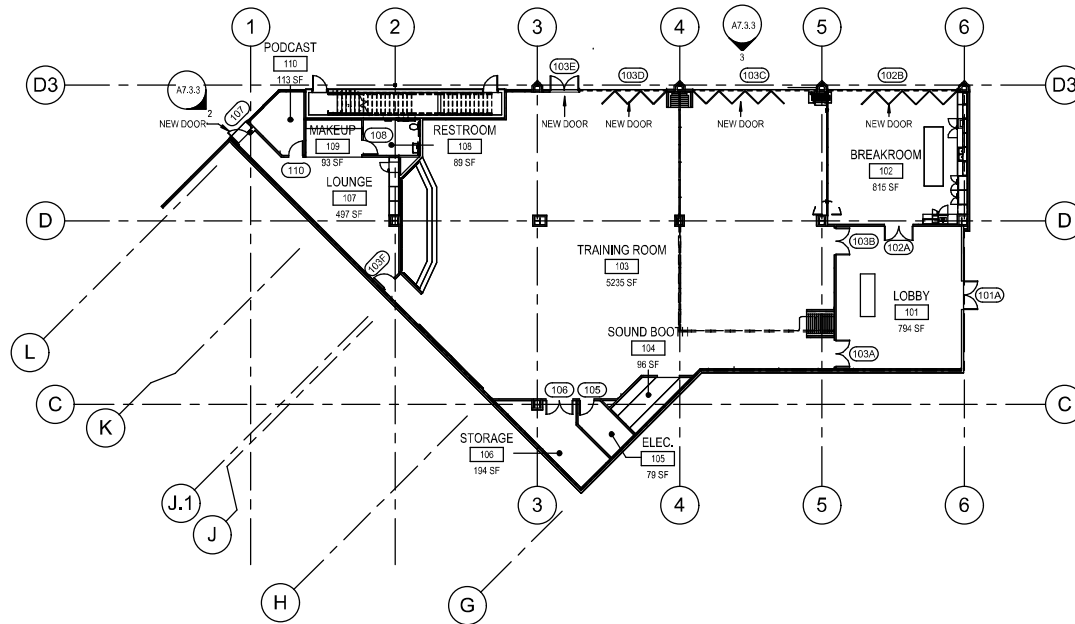
3 EXTERIOR ELEVATION
1/8" = 1'-0"

EXTERIOR DOOR SCHEDULE						
DOOR NUMBER	WIDTH	HEIGHT	MANUF.	PRODUCT NAME	FRAME FINISH	PANEL FINISH
102B	27'-4"	10'-0"	WESTERN WINDOW SYSTEMS	SERIES 9500 BI-FOLD	PAINTED TO MATCH EXISTING	PAINTED TO MATCH EXISTING
103C	26'-11 1/8"	10'-0"	WESTERN WINDOW SYSTEMS	SERIES 9500 BI-FOLD	PAINTED TO MATCH EXISTING	PAINTED TO MATCH EXISTING
103D	18'-4 3/4"	10'-0"	WESTERN WINDOW SYSTEMS	SERIES 9500 BI-FOLD	PAINTED TO MATCH EXISTING	PAINTED TO MATCH EXISTING
103E	6'-0"	8'-0"	WESTERN WINDOW SYSTEMS	SERIES 900 HINGED	PAINTED TO MATCH EXISTING	PAINTED TO MATCH EXISTING
107	3'-0"	8'-0"	WESTERN WINDOW SYSTEMS	SERIES 900 HINGED	PAINTED TO MATCH EXISTING	PAINTED TO MATCH EXISTING

NOTE: VERIFY DOOR WIDTH AND HEIGHT IN FILED TO MATCH EXISTING STOREFRONT SYSTEM



2 EXTERIOR ELEVATION
1/8" = 1'-0"



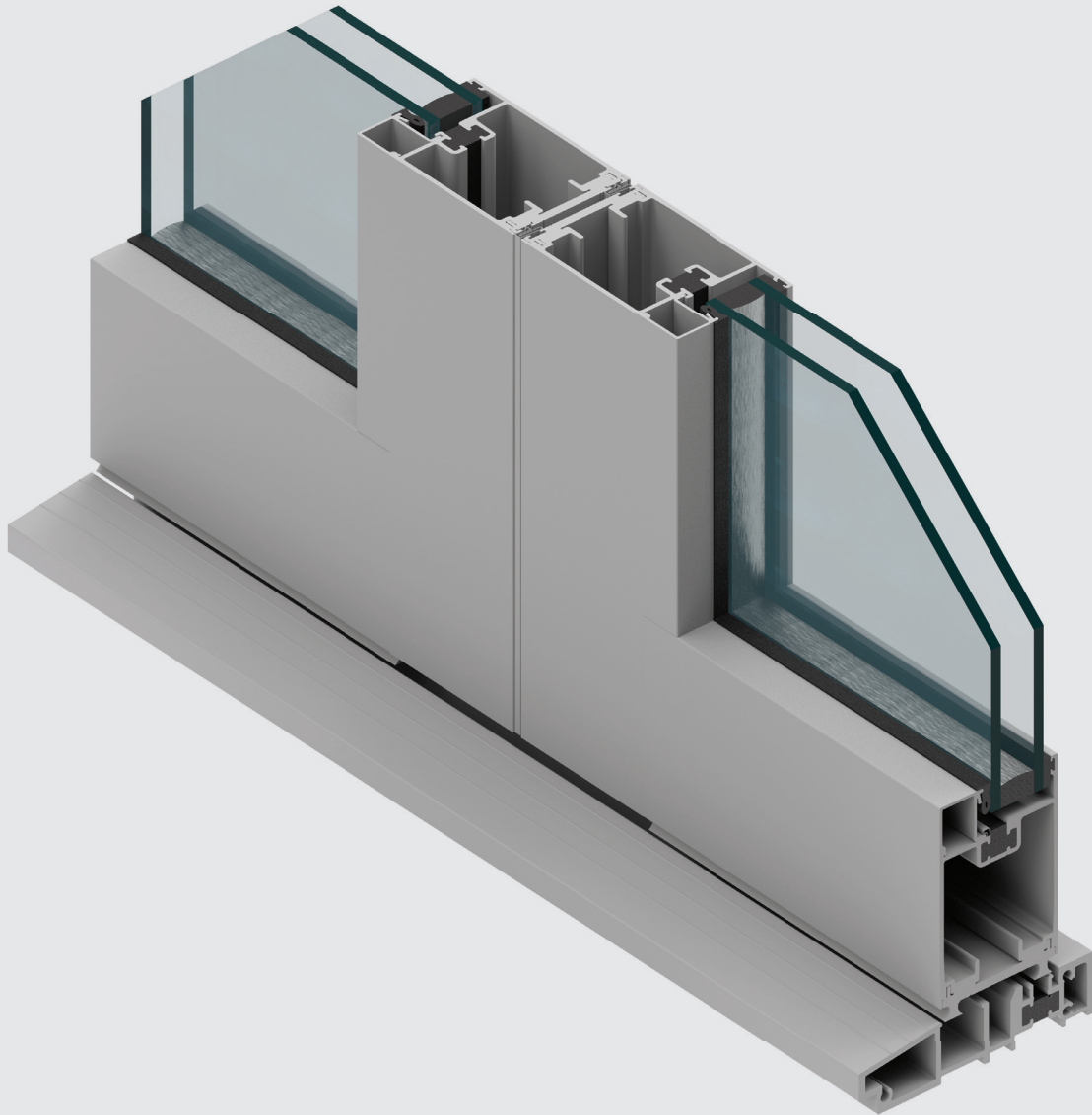
1 OVERALL FLOOR PLAN
1/16" = 1'-0"

T.I. ROOM SCHEDULE		
ROOM NUMBER	ROOM NAME	ROOM AREA
101	LOBBY	794 SF
102	BREAKROOM	815 SF
103	TRAINING ROOM	5235 SF
104	SOUND BOOTH	96 SF
105	ELEC.	79 SF
106	STORAGE	194 SF
107	LOUNGE	497 SF
108	RESTROOM	89 SF
109	MAKEUP	93 SF
110	PODCAST	113 SF

GENERAL NOTES

- USE OF BUILDING REMAINS THE SAME. NO CHANGE IN LAND USE
- PARKING REQUIREMENTS DO NOT CHANGE, GUARANTEED PARKING FOR OFFICE SPACE IN PARKING GARAGE

Series 9500 Bi-Fold Door



Build Better

CLASSIC LINE: High-quality moving glass walls and windows that combine exceptional performance with clean design.

Series 9500 Bi-Fold Door

The Series 9500 Bi-Fold Door features large glass panels that smoothly fold and stack against side walls, creating extra-wide openings for indoor-outdoor commercial and living spaces. Convenient interior or exterior folding configurations and optional swinging panels make access simple when you don't want to open the entire bi-fold system. Openings can be made up to 16 panels wide (eight in each direction) with panel heights up to 12' tall. And even with extreme panel sizes, it is easy to operate, thanks to sealed stainless steel ball bearing rollers. The aluminum frame's clean lines, narrow profile, and high-quality anodized or painted finishes deliver a contemporary aesthetic that seamlessly blends into nearly any space.

ENERGY EFFICIENCY

A .50 U-value for standard low-E, argon-filled dual-pane glass from Cardinal IG gives the door excellent energy efficiency. It can be customized in a variety of panel counts and configurations. The aluminum frame and panels are thermally broken to reduce heat and cold transfer. NFRC labeling is included to comply with energy code requirements.

HARDWARE

Stainless steel head load carriers are capable of handling panels weighing up to 264 pounds. Bottom-load carriers and hinges can accommodate panels weighing up to 176 pounds. A hidden stainless steel multi-point lock secures the folding panels.

OPTIONS

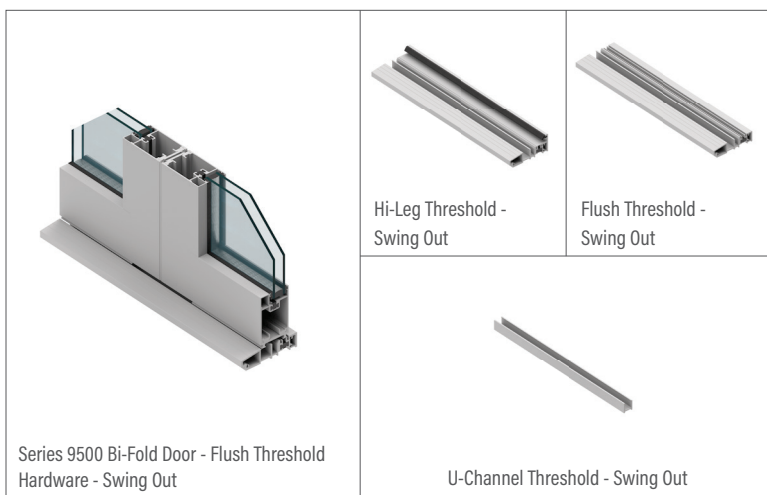
Bottom-load sill tracks include the water-barrier sill (2.51" tall), which safeguards against water intrusion, and the flush sill (1.76" tall), when ease of entry is more important than climate performance. When using top-hung sill tracks, the water-barrier sill is 1.82" and the flush sill is 1.07" tall. The door includes three high-quality handles: the Dallas handle, located on all active panels; a D-shaped pull handle, at the bi-fold's pivot points; and an inactive lock handle, at the door's pivot points, which secures the panels with steel pins at the head and sill. The Dallas handle has a keyed cylinder.

FINISHES AND COLORS

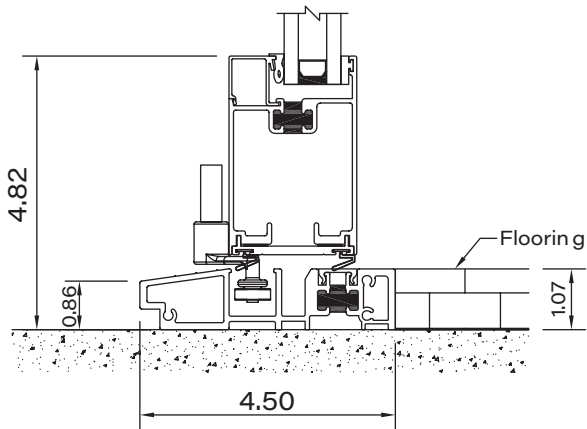
Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

PERFORMANCE

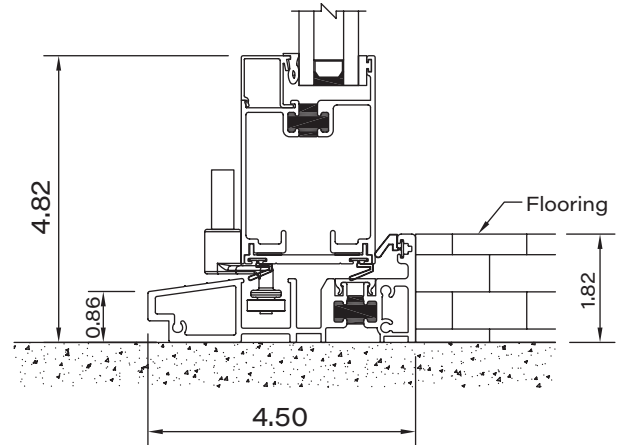
Frame Depth	4 1/2"
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	PG25-141x96-SP
Test Configuration	141.5" x 95.5" 1L3R Swing Out
Air Infiltration (Per ASTM E 283)	.23 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	3.76 psf
Uniform Load Deflection (Per ASTM E 330)	25 psf
Uniform Load Structural (Per ASTM E 330)	37.5 psf
Forced Entry Resistance	ASTM F842 Type C Grade 10 and AAMA 1304
U-Factor (Per NFRC 100)*	0.50
CR (Per NFRC 500)*	27
CRF Frame (Per AAMA 1503)	41
Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear	



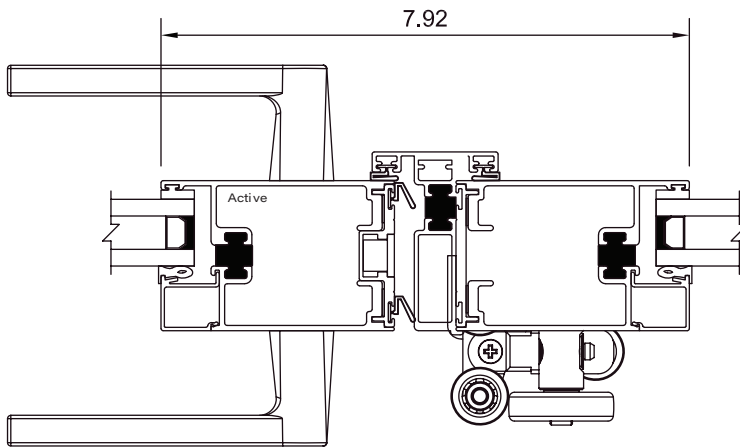
Series 9500 Bi-Fold Door



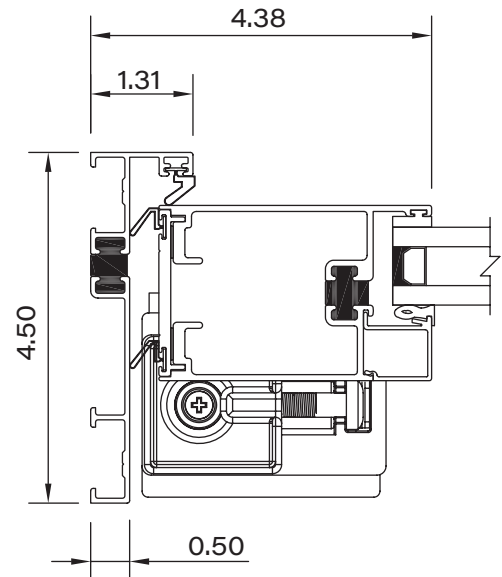
swing out with flush sill
head load bi-fold



swing out with water barrier sill
head load bi-fold

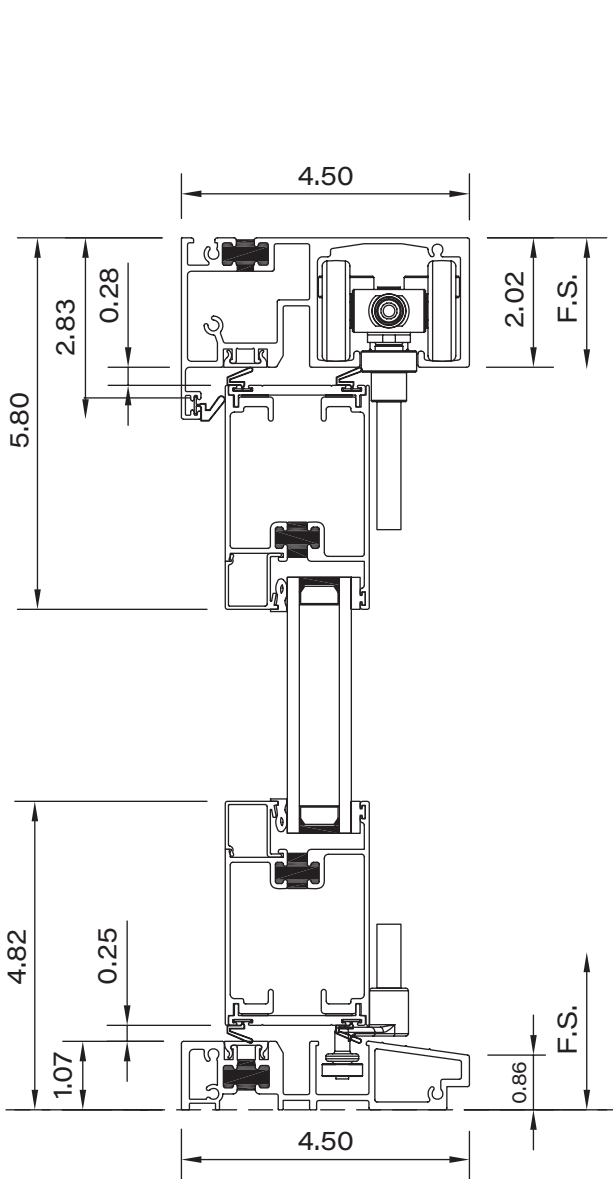


swing out at meeting stiles
head load bi-fold

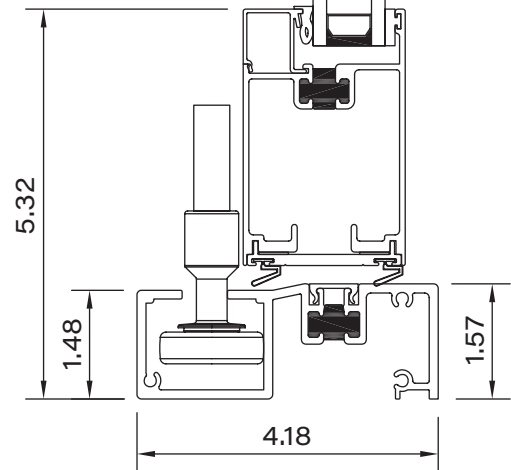
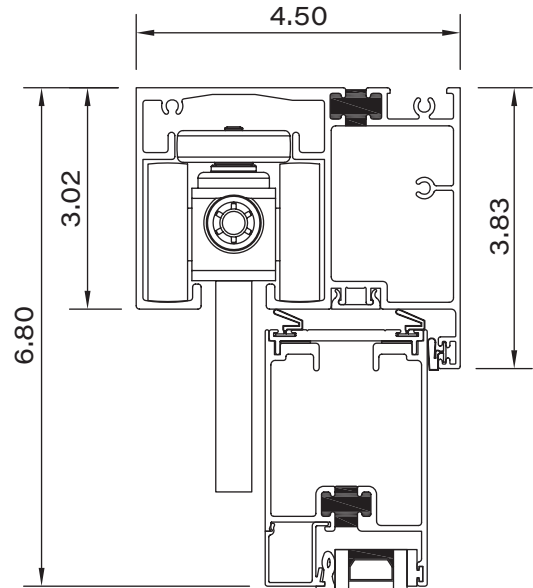


swing out with jamb
head load bi-fold

Series 9500 Bi-Fold Door

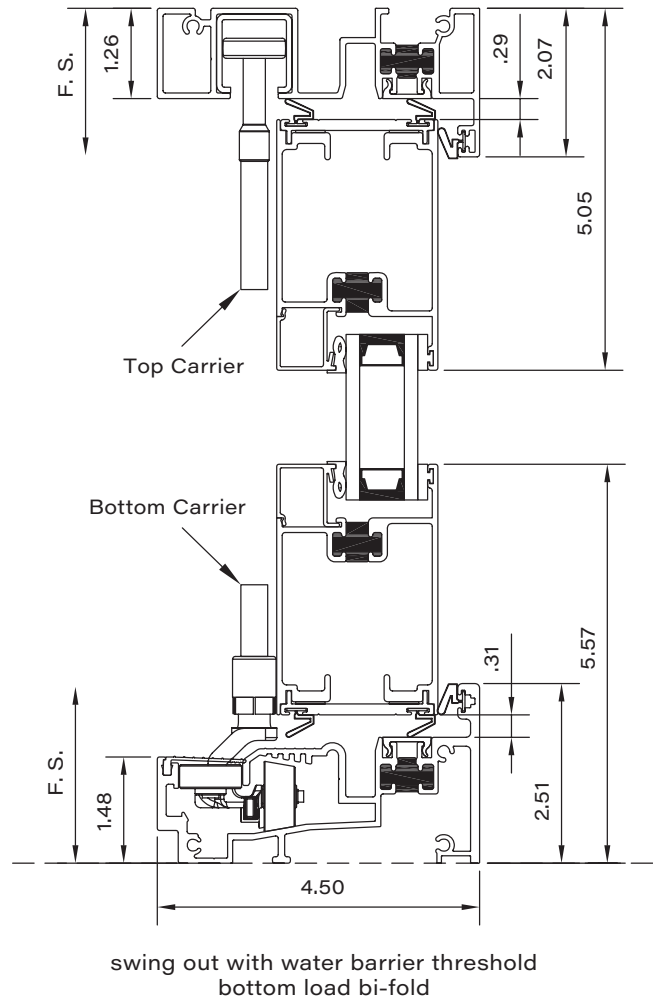
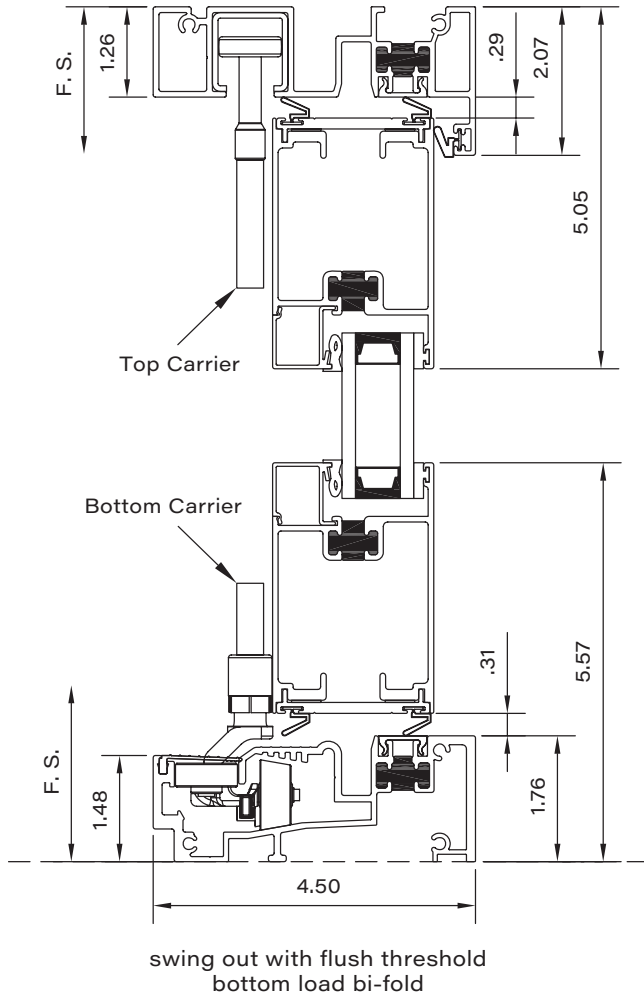


swing in with flush sill
head load bi-fold

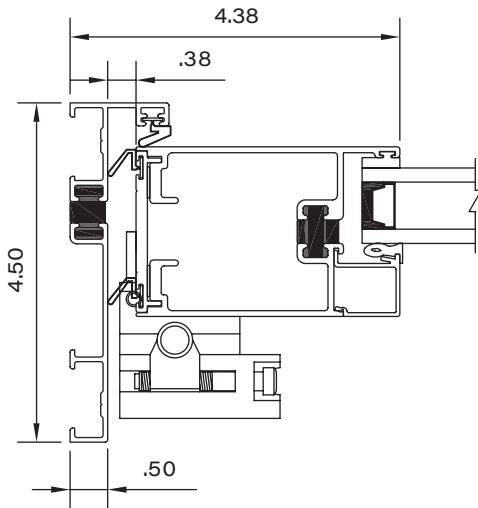


swing out with flush sill
heavy duty head load bi-fold

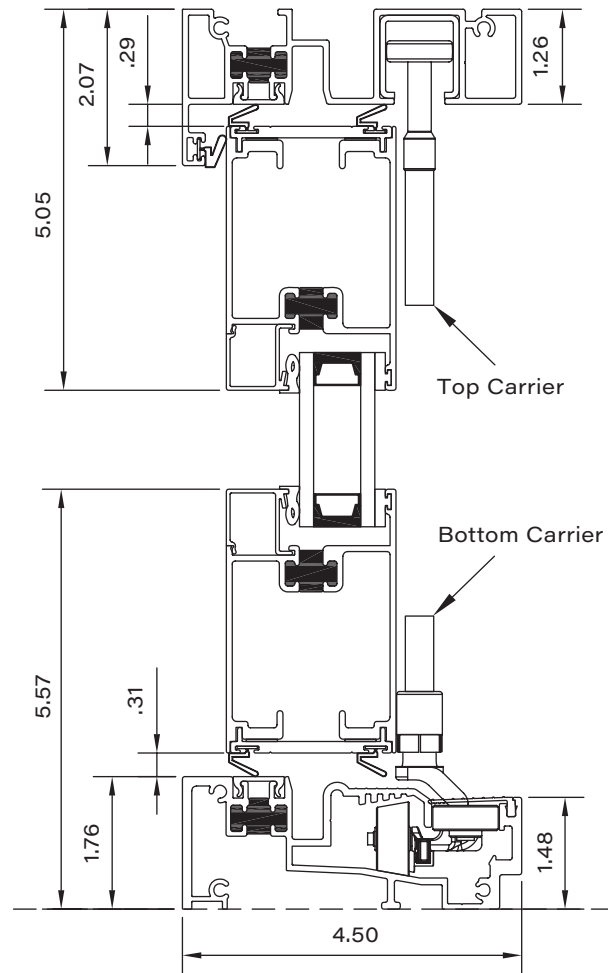
Series 9500 Bi-Fold Door



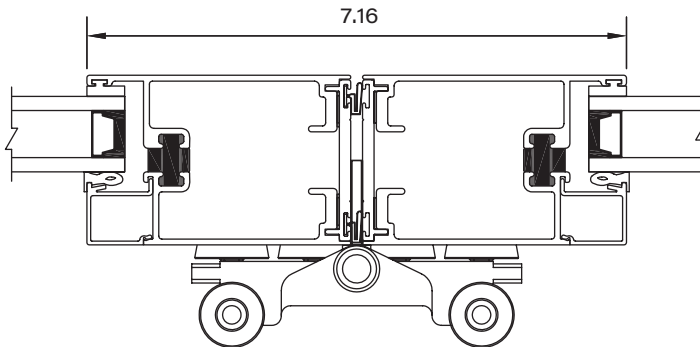
Series 9500 Bi-Fold Door



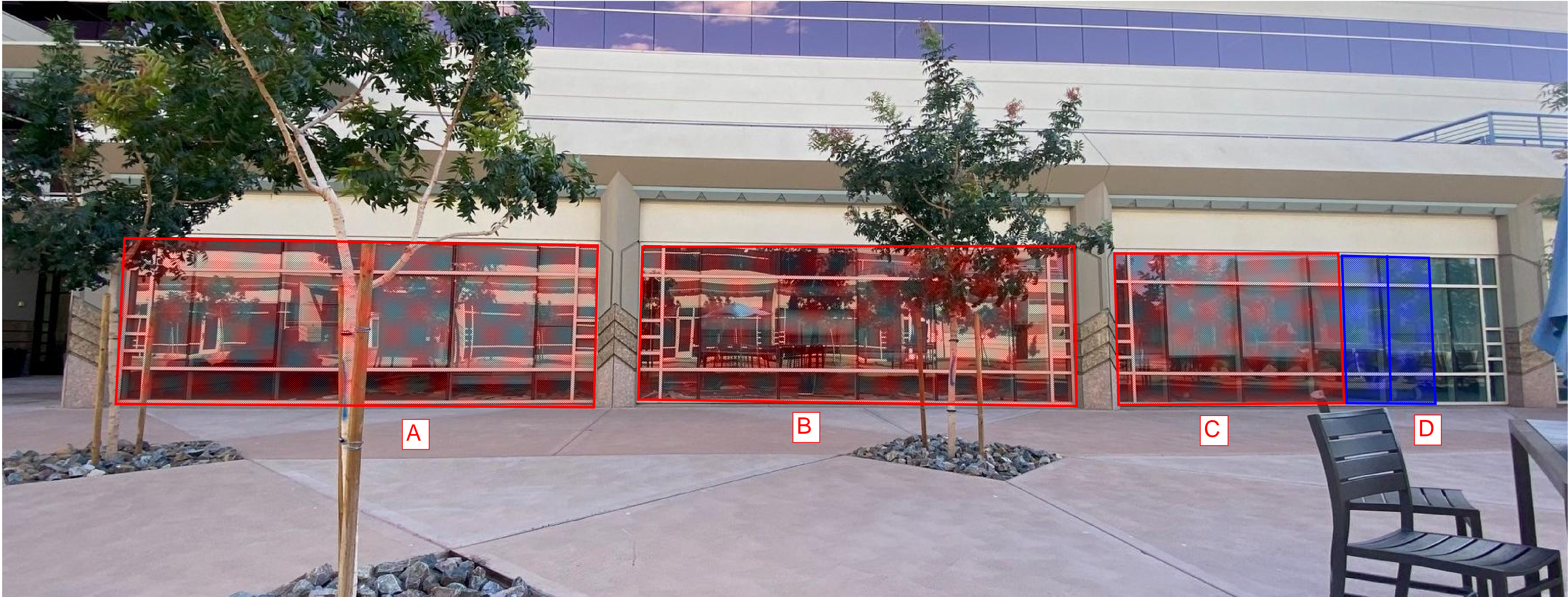
swing out at jamb
bottom load bi-fold



swing in with flush threshold
bottom load bi-fold



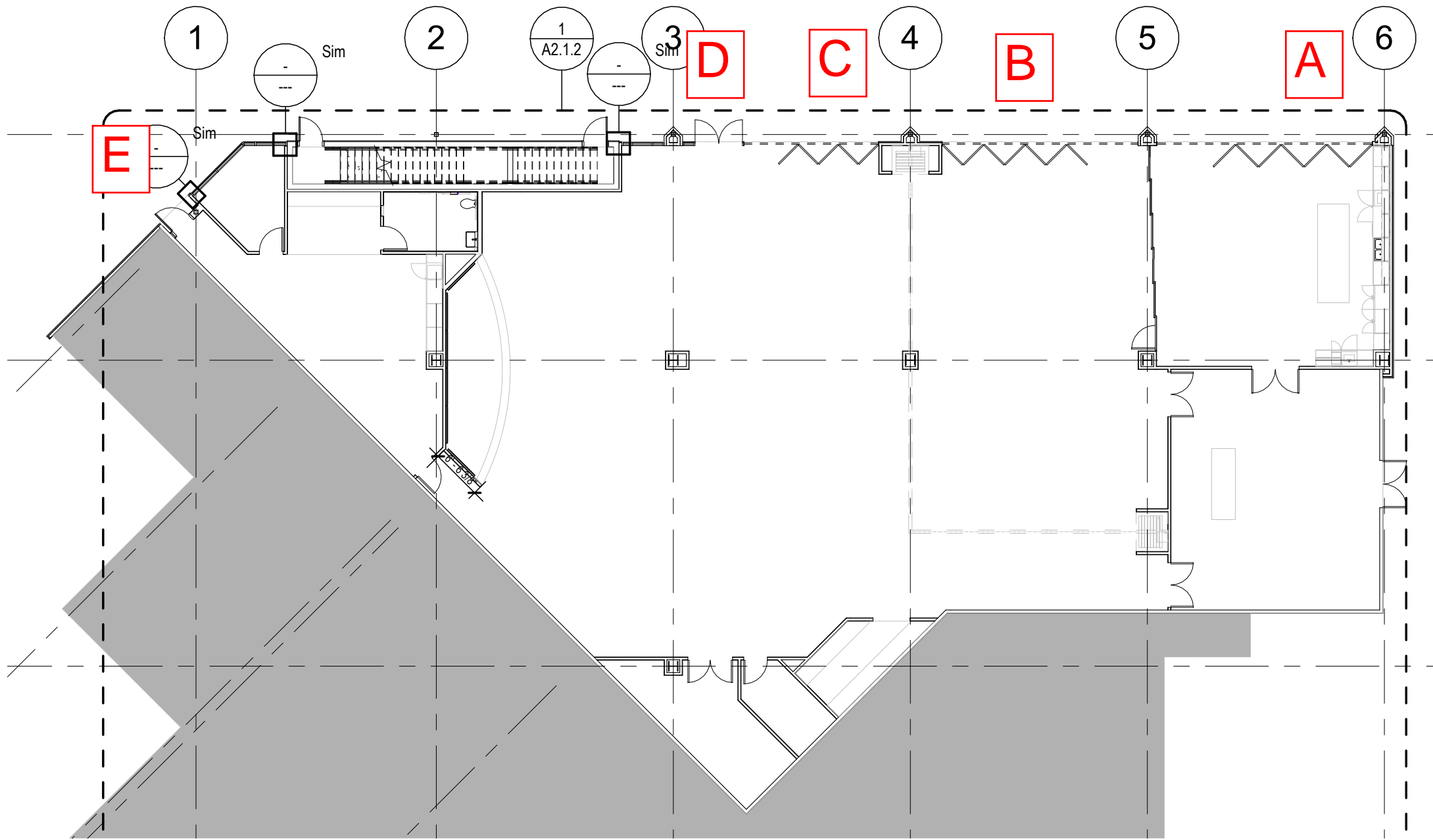
swing out at jamb
bottom load bi-fold



A, B, & C: BI-FOLDING GLASS SYSTEM

D: DOUBLE EGRESS DOORS

KEY PLAN



E: SINGLE EGRESS DOORS



June 16, 2023

City of Scottsdale
Planning & Development Department
7447 E. Indian School Rd.
Scottsdale, AZ 85251

RE: Change in Exterior Door – Approval

To whom it may concern:

Please consider this letter approval for the change to the original choice for the exterior doors at:

16435 N. Scottsdale Rd., Ste.195
Scottsdale, AZ 85254

Feel free to contact me with any questions at 480-698-3907 or
ann.bohlke@ryancompanies.com.

Sincerely,
Ryan Companies US, Inc.

A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal flourish extending to the right.

Ann Bohlke
Sr. Property Manager

Ryan Companies US, Inc.
3900 East Camelback Road, Suite 100
Phoenix, AZ 85018

p: 602-322-6100
ryancompanies.com

Development Review Minor (SA)

Administrative Staff Approval

Development Application Checklist

**Official Use:**City Staff Contact: Wayland BartonPhone: 480-312-2817

Staff Signature: _____

Email: wbarton@scottsdaleaz.gov

<input checked="" type="checkbox"/> Completed Application (this form) and Application Fee – \$ <u>110.00</u> (fee subject to change every July)	<input type="checkbox"/> Landscape Plan (____ copy(ies)) – indicate location of existing and new plants, location and dimension of paving, a plant palette with names, symbols, sizes, spacing & quantities, and open space/landscaping calculations.
<input checked="" type="checkbox"/> Affidavit of Authority to Act for Property Owner, letter of authorization, or signature below	
<input type="checkbox"/> Request to Submit Concurrent Development Applications	<input type="checkbox"/> Cross Sections – for all cuts and fills applications
<input checked="" type="checkbox"/> Signed Owner Certification Acknowledging Receipt of Notice of Right to Appeal Exactions and Dedications	<input type="checkbox"/> Conceptual Grading & Drainage Plan – show existing, proposed drainage flows, channels, retention, etc.
<input checked="" type="checkbox"/> Request for Site Visits and/or Inspections form	<input type="checkbox"/> Copy of Liquor License Application (for all bars or restaurants patio applications)
<input checked="" type="checkbox"/> Narrative – describing nature of request <small>Description of Training Room use</small>	
<input checked="" type="checkbox"/> Homeowners or Property Owners Association Approval	<input type="checkbox"/> Airport Vicinity Development Checklist
<input checked="" type="checkbox"/> Color photographs of site – include area of request	
<input checked="" type="checkbox"/> Site plan (____ copy(ies)) indicate the extent and location of additions, buildings and other structures, dimensions of existing and proposed structures, sidewalks, and/or driveways as well as any required setbacks.	<input checked="" type="checkbox"/> Floor Plan(s) – show additions, alterations, or new structures. The floor plan shall be dimensioned and clearly delineate existing and proposed construction.
<input type="checkbox"/> Material Samples – color chips, awning fabric, glazing, etc.	<input type="checkbox"/> Exterior Lighting – provide cut sheets, details and photometrics for any proposed lighting.
<input checked="" type="checkbox"/> Elevation Drawings or Color Photo simulations (____ copy(ies)) – of additions, buildings, or other changes with materials and colors noted and keyed	<input type="checkbox"/> Other: _____

Submittal Requirements:Please submit materials requested below. **All digital files must be uploaded in PDF format.**Project No.: 304 -PA- 2023Key Code: 487F1Submit digitally at: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalMenu>Project Name: Cardone Ventures - Promenade - Ste 195Property's Address: 16435 N. Scottsdale Rd. Ste 195, Scottsdale, AZ A.P.N.: 215-45-017Property's Zoning District Designation: PRCApplication Request: Development Review Minor (SA)Owner: Breanne KayApplicant: Layna JusticeCompany: Cardone VenturesCompany: LGE Design BuildAddress: 4800 N Scottsdale Rd, Suit 5500Address: 1200 N. 52nd St, Phoenix, AZ 85008Phone: 480-818-7633

Fax: _____

Phone: 480.966.4001

Fax: _____

E-mail: bkay@cardoneventures.comE-mail: laynaj@lgedesignbuild.com**Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2):**☒ **Enhanced Application Review:** I hereby authorize the city of Scottsdale to review this application utilizing the Enhanced Application Review methodology.☐ **Standard Application Review:** I hereby authorize the city of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature _____

Agent/Applicant Signature _____

Planning and Development Services

7447 E. Indian School Road, Suite #105, Scottsdale, AZ 85251 • www.ScottsdaleAZ.gov

Development Application



Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Land Divisions
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Subdivision (PP)
<input type="checkbox"/> In-fill Incentive (II)	<input checked="" type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Subdivision (Minor) (MD)
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Wash Modification (WM)	<input type="checkbox"/> Land Assemblage
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Historic Property (HP)	Other
<input type="checkbox"/> Development Agreement (DA)	Wireless Communication Facilities	<input type="checkbox"/> Annexation/De-annexation (AN)
Exceptions to the Zoning Ordinance	<input type="checkbox"/> Small Wireless Facilities (SW)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Minor Amendment (MN)	<input type="checkbox"/> Type 2 WCF DR Review Minor (SA)	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Hardship Exemption (HE)	Signs	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance/Accommodation/Appeal (BA)	<input type="checkbox"/> Master Sign Program (MS)	Other Application Type Not Listed
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Community Sign District (MS)	<input type="checkbox"/> Other:

Project Name: Cardone Ventures - Promenade - Ste 195

Project Address: 16435 N. Scottsdale Rd. Ste 195, Scottsdale, AZ

Property's Current Zoning District Designation: PRC

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the city regarding this Development Application. The agent/applicant shall be responsible for communicating all city information to the owner and the owner application team.

Owner: Breanne Kay		Agent/Applicant: Layna Justice	
Company: Cardone Ventures		Company: LGE Design Build	
Address: 4800 N Scottsdale Rd, Suit 5500		Address: 1200 N. 52nd St, Phoenix, AZ 85008	
Phone: 480-818-7633	Fax:	Phone: 480.966.4001	Fax:
E-mail: bkay@cardoneventures.com		E-mail: laynaj@lgedesignbuild.com	
Designer: Layna Justice		Engineer:	
Company: LGE Design Build		Company:	
Address: 1200 N. 52nd St, Phoenix, AZ 85008		Address:	
Phone: 480.966.4001	Fax:	Phone:	Fax:
E-mail: laynaj@lgedesignbuild.com		E-mail:	

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications¹ will be reviewed in a format similar to the Enhanced Application Review methodology.

☒ **Enhanced Application Review:** I hereby authorize the city of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

☐ **Standard Application Review:** I hereby authorize the city of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature

Agent/Applicant Signature

Official Use Only: Submittal Date: _____

Development Application No.: _____

Planning and Development Services

7447 E. Indian School Road, Suite #105, Scottsdale, AZ 85251 • www.ScottsdaleAZ.gov

Affidavit of Authorization to Act for Property Owner



1. This affidavit concerns the following parcel of land:

- a. Street Address: 16435 N. Scottsdale Rd. Ste 195, Scottsdale, AZ
- b. County Tax Assessor's Parcel Number: 215-45-017
- c. General Location: Scottsdale, AZ
- d. Parcel Size: 204,223.00
- e. Legal Description: MRC# 788-23 | SUBDIVISION: PROMENADE | LOT # 7

(If the land is a platted lot, then write the lot number, subdivision name, and the plat's recording number and date. Otherwise, write "see attached legal description" and attach a legal description.)

- 2. I am the owner of the land or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this affidavit on the owner's behalf. If the land has more than one owner, then I am the agent for all of the owners, and the word "owner" in this affidavit refers to all of them.
- 3. I have authority from the owner to act for the owner before the City of Scottsdale with regard to any and all reviews, zoning map amendments, general plan amendments, development variances, abandonments, plats, lot splits, lot ties, use permits, building permits and other land use regulatory or related matters of every description involving the land, or involving adjacent or nearby lands in which the owner has (or may acquire) an interest, and all applications, dedications, payments, assurances, decisions, agreements, legal documents, commitments, waivers and other matters relating to any of them.
- 4. The City of Scottsdale is authorized to rely on my authority as described in this affidavit until three work days after the day the owner delivers to the Director of the Scottsdale Planning & Development Services Department a written statement revoking my authority.
- 5. I will immediately deliver to the Director of the City of Scottsdale Planning & Development Services Department written notice of any change in the ownership of the land or in my authority to act for the owner.
- 6. If more than one person signs this affidavit, each of them, acting alone, shall have the authority described in this affidavit, and each of them warrant to the City of Scottsdale the authority of the others.
- 7. Under penalty of perjury, I warrant and represent to the City of Scottsdale that this affidavit is true and complete. I understand that any error or incomplete information in this affidavit or any applications may invalidate approvals or other actions taken by the City of Scottsdale, may otherwise delay or prevent development of the land, and may expose me and the owner to other liability. I understand that people who have not signed this form may be prohibited from speaking for the owner at public meetings or in other city processes.

Name (printed)

Date

Signature

Brandon Dawson

05.24, 2023

Breanne Kay

05.24, 2023

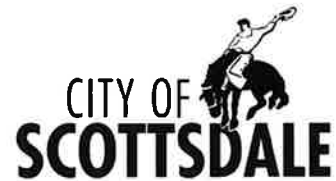
_____, 20____

_____, 20____

Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • www.ScottsdaleAZ.gov

Appeals of Dedication, Exactions or Zoning Regulations



Rights of Property Owner

In addition to the other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) when an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violations of Arizona and federal court decision.

Appeal Procedure

The appeal must be in writing and specify the City action appealed and the date final action was taken, and must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken

- No fee will be charged for filing
- The city Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply
- Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- The City will submit a takings impact report to the hearing officer.
- In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does not create a taking of property in violation of Arizona and federal court cases.
- The hearing officer must render his decision within five working days after the appeal is heard.
- The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial *nevo* with the Superior Court within 30 days of the hearing officer's decision.

For questions, you may contact:

City's Attorney's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
480-312-2405

Address your appeal to:

Hearing Officer, C/O City Clerk
3939 Drinkwater Blvd
Scottsdale, AZ 85251

Please be aware that City Staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.

Planning and Development Services

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov


**Owner Certification
Acknowledging Receipt
Of
Notice Of Right To Appeal
Exactions And Dedications**

I hereby certify that I am the owner of property located at:

16435 N. Scottsdale Rd. Ste 195, Scottsdale, AZ

(address where development approval, building permits, or city required improvements and dedications are being required)

and hereby certify that I have received a notice that explains my right to appeal all exactions and/or dedications required by the City of Scottsdale as part of my property development on the parcel listed in the above address.



Signature of Property Owner

5/24/2023
Date

Request for Site Visits and/or Inspections

Construction Document Application



This request concerns all property identified in the construction document (plan review) application.

Project Name: Cardone Ventures - Promenade - Ste 195

Project Address: 16435 N. Scottsdale Rd. Ste 195, Scottsdale, AZ

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent: Breanne Kay

Print Name

A handwritten signature in black ink, appearing to be "Breanne Kay", written over a horizontal line.

Signature

City Use Only:

Submittal Date: _____

Plan review number: _____

Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov



Current Planning Services
Long Range Planning Services

NOTICE OF INSPECTION RIGHTS
A.R.S. § 9-833

You have the right to:

- Have the City staff member present a photo ID.
- Have the City staff member state the purpose for the planning inspection and legal authority to conduct it.
- Know the amount of inspection fees if applicable.
- An on-site representative may accompany the City staff member during the inspection except during confidential interviews and may:
 - Receive copies of any documents taken during the inspection.
 - Receive a split of any samples taken during the inspection.
 - Receive copies of any analysis of the samples taken when available.
- Be informed if statements are being recorded.
- Be given notice that any statements may be used in an inspection report.
- Be presented with a copy of your inspection rights.
- Be notified of the due process rights pertaining to an appeal

You are hereby notified and informed of the following:

- The inspection is conducted pursuant to the authority of A.R.S § 9-462.05, and/or Scottsdale Revised Code, Appendix B, Article I, Section 1.203.
- Any statements made by anyone interviewed during this inspection may be included in the inspection report.
- Information on appeal rights related to this inspection is found under Scottsdale Revised Code, Appendix B, Article I, Section 1.801.
- There is no inspection fee associated with this inspection.

I acknowledge I have been informed of my inspection rights. If I decline to sign this form, the inspector(s) may still proceed with the inspection.

If I have any questions, I may contact the City staff member, Wayland Barton

at the following number 480-312-2817

Signature: 

Date: 5/24/2023

Printed Name: Breanne Kay

☐ Check box if signature refused

Copy of Bill of Rights left at: _____