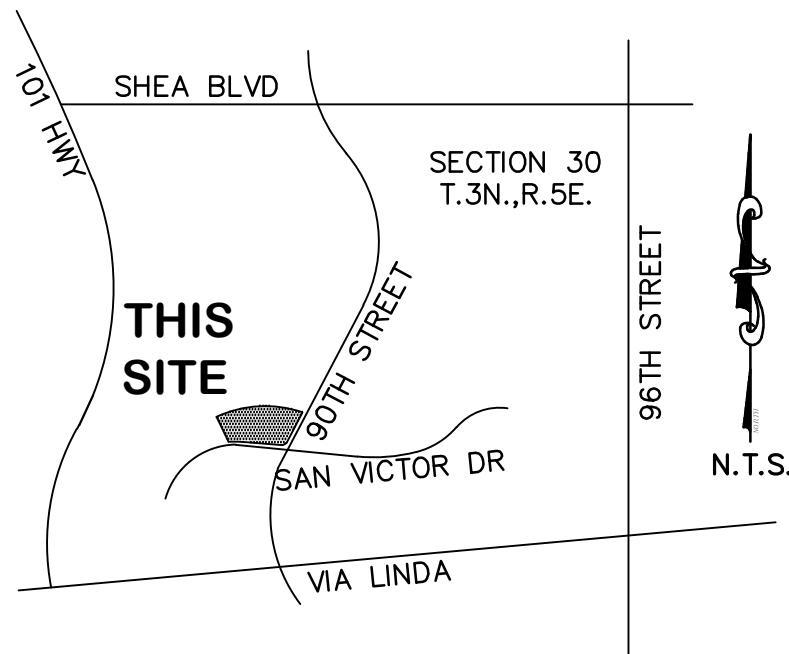


# ALTA/NSPS LAND TITLE SURVEY

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,



VICINITY MAP:

## SCHEDULE "B" ITEMS:

- 1

ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.
- 2

(A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS; (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS.
- 3

ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION THEREOF.
- 4

EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
- 5

DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
- 6

(A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B), OR (C) ARE SHOWN BY THE PUBLIC RECORDS.
- 7

ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR OR MATERIAL NOT SHOWN BY THE PUBLIC RECORDS.
- 8

TAXES FOR THE FULL YEAR OF 2021. (THE FIRST HALF IS DUE OCTOBER 1, 2021 AND IS DELINQUENT NOVEMBER 1, 2021. THE SECOND HALF IS DUE MARCH 1, 2022 AND IS DELINQUENT MAY 1, 2022).
- 9

ANY CHARGE UPON THE LAND BY REASON OF ITS INCLUSION IN MCCORMICK RANCH PROPERTY OWNER'S ASSOCIATION, INC..
- 10

RESERVATIONS OR EXCEPTIONS IN PATENTS, OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF.
- 11

WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- 12

THE RIGHT TO ENTER UPON THE LAND, PROSPECT FOR, MINE AND REMOVE ALL OIL, GAS AND MINERALS AS RESERVED IN INSTRUMENT SET FORTH AS BOOK 432 OF DEEDS, PAGE 554. (AFFECTS THE PARCEL BUT NOT THE SURVEY)
- 13

RESERVATION OF ARCHITECTURAL CONTROL RECORDED IN DOCKET 9148, PAGE 701 AND ASSIGNED IN INSTRUMENT RECORDED IN DOCKET 14943, PAGE 384. (AFFECTS THE PARCEL BUT NOT THE SURVEY)
- 14

COVENANTS, CONDITIONS, RESTRICTIONS, LIABILITIES AND OBLIGATIONS IN THE DOCUMENT RECORDED AS 84-0306867, OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES. (AFFECTS THE PARCEL BUT NOT THE SURVEY)
- 15

COVENANTS, CONDITIONS, RESTRICTIONS, LIABILITIES AND OBLIGATIONS IN THE DOCUMENT RECORDED AS 84-0306868, OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES. (AFFECTS THE PARCEL BUT NOT THE SURVEY)
- 16

AN EASEMENT FOR RIGHT OF WAY DEDICATION AND INCIDENTAL PURPOSES RECORDED AS 84-355081, OF OFFICIAL RECORDS. (AS SHOWN ON THE SURVEY)
- 17

AN EASEMENT FOR UNDERGROUND UTILITY AND INCIDENTAL PURPOSES RECORDED AS 84-355085, OF OFFICIAL RECORDS. (AS SHOWN ON THE SURVEY)
- 18

AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES RECORDED AS 84-416260, OF OFFICIAL RECORDS. (AS SHOWN ON THE SURVEY)
- 19

AN EASEMENT FOR UTILITY AND INCIDENTAL PURPOSES RECORDED AS 85-005181, OF OFFICIAL RECORDS. (THE DOCUMENT FOR THE EXCEPTION IS UNREADABLE AND THE EASEMENT HAS BEEN PLACED IN THE DRAWING FOR ONLY APPROXIMATE LOCATION)
- 20

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED DELEGATION OF RIGHTS UNDER RESERVATION OF ARCHITECTURAL CONTROL AND DECLARATION OF RESTRICTIONS RECORDED JUNE 3, 1987 AS 87-348552, OF OFFICIAL RECORDS. (AFFECTS THE PARCEL BUT NOT THE SURVEY)
- 21

THE TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED NOTICE OF TELECOMMUNICATION SERVICE AND NON-EXCULSIVE ACCESS AGREEMENT RECORDED FEBRUARY 28, 2000 AS 2000-0140861, OF OFFICIAL RECORDS. (AFFECTS THE PARCEL BUT NOT THE SURVEY)
- 22

ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT WOULD BE DISCLOSED BY A CORRECT ALTA/NSPS SURVEY.
- 23

ANY RIGHTS, INTEREST OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS.  
NOTE: THIS MATTER WILL BE MORE FULLY SET FORTH OR DELETED UPON COMPLIANCE WITH THE APPLICABLE REQUIREMENT.

## LEGAL DESCRIPTION:

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 30;

THENCE SOUTH 89 DEGREES 46 MINUTES 51 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 30, FOR A DISTANCE OF 1.32 FEET TO A POINT ON THE CENTERLINE OF PIMA ROAD, SAID POINT BEING A CURVE TO THE RIGHT OF THE CENTER OF WHICH BEARS SOUTH 87 DEGREES 39 MINUTES 54 SECONDS EAST, FOR A DISTANCE OF 2000.00 FEET;

THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AND ALONG THE CENTERLINE OF PIMA ROAD AS DESCRIBED IN DOCKET 13359, PAGE 178, THROUGH A CENTRAL ANGLE OF 9 DEGREES 39 MINUTES 36 SECONDS, AND A DISTANCE OF 337.20 FEET;

THENCE SOUTH 82 DEGREES 00 MINUTES 18 SECONDS EAST ALONG THE CENTERLINE OF VIA LINDA AS SHOWN ON PLAT OF DEDICATION OF RIGHTS-OF-WAY FOR COLLECTOR AND ARTERIAL STREETS, RECORDED IN BOOK 219, PAGE 10, RECORDS OF MARICOPA COUNTY, ARIZONA, FOR A DISTANCE OF 331.19 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2000.00 FEET;

THENCE EASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID LINE THROUGH A CENTRAL ANGLE OF 25 DEGREES 34 MINUTES 42 SECONDS, AND A DISTANCE OF 892.85 FEET TO THE INTERSECTION OF SAID VIA LINDA AND 90TH STREET;

THENCE NORTH 17 DEGREES 35 MINUTES 00 SECONDS WEST ALONG THE CENTERLINE OF SAID 90TH STREET, FOR A DISTANCE OF 54.93 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 550.00 FEET;

THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID LINE THROUGH A CENTRAL ANGLE OF 29 DEGREES 17 MINUTES 48 SECONDS, AND A DISTANCE OF 281.23 FEET;

THENCE NORTH 11 DEGREES 42 MINUTES 48 SECONDS EAST, FOR A DISTANCE OF 653.88 FEET TO THE INTERSECTION OF 90TH STREET AND SAN VICTOR DRIVE;

THENCE NORTH 78 DEGREES 17 MINUTES 12 SECONDS WEST ALONG THE CENTERLINE OF SAID SAN VICTOR DRIVE, FOR A DISTANCE OF 60.00 FEET;

THENCE NORTH 11 DEGREES 42 MINUTES 48 SECONDS EAST, FOR A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SAN VICTOR DRIVE, SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING;

THENCE NORTH 78 DEGREES 17 MINUTES 12 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, FOR A DISTANCE OF 42.00 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 280.00 FEET;

THENCE WESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 40 DEGREES 37 MINUTES 48 SECONDS, AND A DISTANCE OF 198.56 FEET;

THENCE SOUTH 61 DEGREES 05 MINUTES 00 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, FOR A DISTANCE OF 60.18 FEET;

THENCE NORTH 28 DEGREES 55 MINUTES 00 SECONDS WEST, FOR A DISTANCE OF 289.37 FEET TO A POINT ON A CURVE TO THE EAST, THE CENTRAL POINT OF WHICH BEARS SOUTH 38 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 550.00 FEET THEREFROM;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 48 DEGREES 56 MINUTES 53 SECONDS, FOR A DISTANCE OF 469.87 FEET TO A POINT MARKING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 750.00 FEET;

THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05 DEGREES 13 MINUTES 09 SECONDS, FOR A DISTANCE OF 68.32 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID 90TH STREET;

THENCE SOUTH 11 DEGREES 42 MINUTES 48 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, FOR A DISTANCE OF 295.91 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET; THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, FOR A DISTANCE OF 31.42 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT ALL MINERALS AS RESERVED IN BOOK 432 OF DEEDS, PAGE 554 TO THE UNITED STATES OF AMERICA IN THE PATENT OF SAID LAND.

## LOT AREAS:

PARCEL AREA 2.996 AC.± 130,489 SQ.FT.±

## FEMA NOTES:

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 1760L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X

ZONE: X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

## NOTES:

1. ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: 80991TAZ, COMMITMENT DATE: MARCH 16, 2021, 5:00 AM
2. THE UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON RECORDS PROVIDED BY THE RESPECTIVE UTILITY COMPANIES WITHOUT VERIFICATION BY THE SURVEYOR; THEREFORE, NO GUARANTEE CAN BE MADE AS TO THE EXTENT OF THE UTILITIES AVAILABLE, EITHER IN SERVICE ABANDONED, NOR GUARANTEE TO THEIR EXACT LOCATION. PLEASE CALL "BLUE-STAKE" AT 602-263-1100, PRIOR TO ANY EXCAVATION OR TO DETERMINE WHAT UTILITIES FOR THE OPERATION OF THE PROPERTY ARE AVAILABLE AT THE LOT LINES, EITHER FROM CONTIGUOUS PROPERTY OR ADJOINING STREETS.
3. BASIS OF BEARING FOR THIS SURVEY IS A BEARING OF NORTH 11°42'48" EAST, ALONG THE MONUMENT LINE OF 90TH STREET IN THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO A UNRECORDED SURVEY BY SUPERIOR SURVEYING SERVICES INC, SIGNED APRIL 4, 2006 JOB NO. 260272.
4. THE SURVEYOR HAS MADE NO ATTEMPT AND HAS NOT OBTAINED ANY INFORMATION RELATING TO, AND HAS NO KNOWLEDGE OF ANY PROPOSED RIGHT-OF-WAYS, EASEMENTS, OR DEDICATIONS THAT ANY MUNICIPALITY, INDIVIDUAL OR GOVERNMENTAL AGENCY MAY HAVE MADE OR MAY REQUIRE.
5. USE OF THE INFORMATION, CONTAINED IN THIS A.L.T.A./N.S.P.S. LAND TITLE SURVEY, FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED ("TITLE INSURANCE MATTERS"), IS FORBIDDEN, UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY HUNTER ENGINEERING, INC. AND THEREFORE SHALL HAVE NO LIABILITY FOR ANY SUCH UNAUTHORIZED USE.
6. THE BUILDING LINES AND DIMENSIONS SHOWN DEPICT THE EXTERIOR BUILDING FOOTPRINT AT GROUND LEVEL BASED ON FIELD MEASUREMENTS. THIS INFORMATION IS INTENDED TO DEPICT THE GENERAL CONFIGURATION OF THE BUILDING AT GROUND LEVEL AND MAY OR MAY NOT BE THE EXACT DIMENSIONS OF THE BUILDING FOUNDATION. THE BUILDING SQUARE FOOTAGE SHOWN IS BASED ON THE EXTERIOR BUILDING FOOTPRINT AND IS NOT INTENDED TO REFLECT THE INTERIOR OR LEASEABLE AREA OF ANY BUILDING. THE BUILDING OFFSET DISTANCES SHOWN ARE TO ACTUAL BUILDING CORNERS.
7. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
8. THERE IS NO OBSERVABLE EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
9. THERE IS NO EVIDENCE TO SUGGEST THAT THERE IS A CEMETERY OR BURIAL GROUNDS ON THESE PREMISES.
10. WETLANDS DESIGNATION DID NOT EXIST AT TIME OF THIS SURVEY PER THE NATIONAL WETLANDS INVENTORY MAP AS SHOWN ON WWW.FDS.GOV/WETLANDS/DATA/MAPPER.HTML

## SURVEYOR'S CERTIFICATION:

TO: RANCHO AUTO CENTER, LLC., AN ARIZONA LIMITED LIABILITY COMPANY  
CENTERPOINTE REAL ESTATE GROUP, LLC, AN ARIZONA LIMITED LIABILITY COMPANY  
FIRST AMERICAN TITLE INSURANCE COMPANY, A NEBRASKA CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH "2021 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS, AND INCLUDES ITEMS 2,3,4,5,10,11(a),14,16,&18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 14, 2021.

DATE OF SURVEY: MAY 21, 2021



NO.	DATE	REVISION	BY
PURPOSE: A.L.T.A. SURVEY			

DRAWN BY: JR  
CHECKED BY: JDH

HUNTERENGINEERING

CIVIL AND SURVEY

10450 N. 74TH ST., SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986

## ALTA/NSPS LAND TITLE SURVEY

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

SECTION: 30  
TWNSHP: 3N  
RANGE: 5W

JOB NO.:  
CENT010-SA

SCALE  
1"=30'

SHEET  
1 OF 2



LEGEND:

- ALUMINUM CAP IN HANDHOLE
- SUBDIVISION CORNER
- BRASS CAP IN HANDHOLE
- FOUND AS NOTED
- BRASS CAP FLUSH
- ALUMINUM CAP FLUSH
- SET REBAR
- SEWER MANHOLE
- CABLE TV RISER
- TELEPHONE RISER
- TELEPHONE JUNCTION BOX
- FIRE DEPT. CONNECTION
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- WATER VALVE
- ONE POST SIGN
- TRANSFORMER
- LIGHT POLE
- ELECTRIC METER
- IRRIGATION CONTROL VALVE
- SCHEDULE B HEX
- MONUMENT LINE
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- 8" W 8" WATER LINE
- UGG UNDERGROUND GAS LINE

CONCRETE CONCRETE HATCH  
COLOR & PATTERN

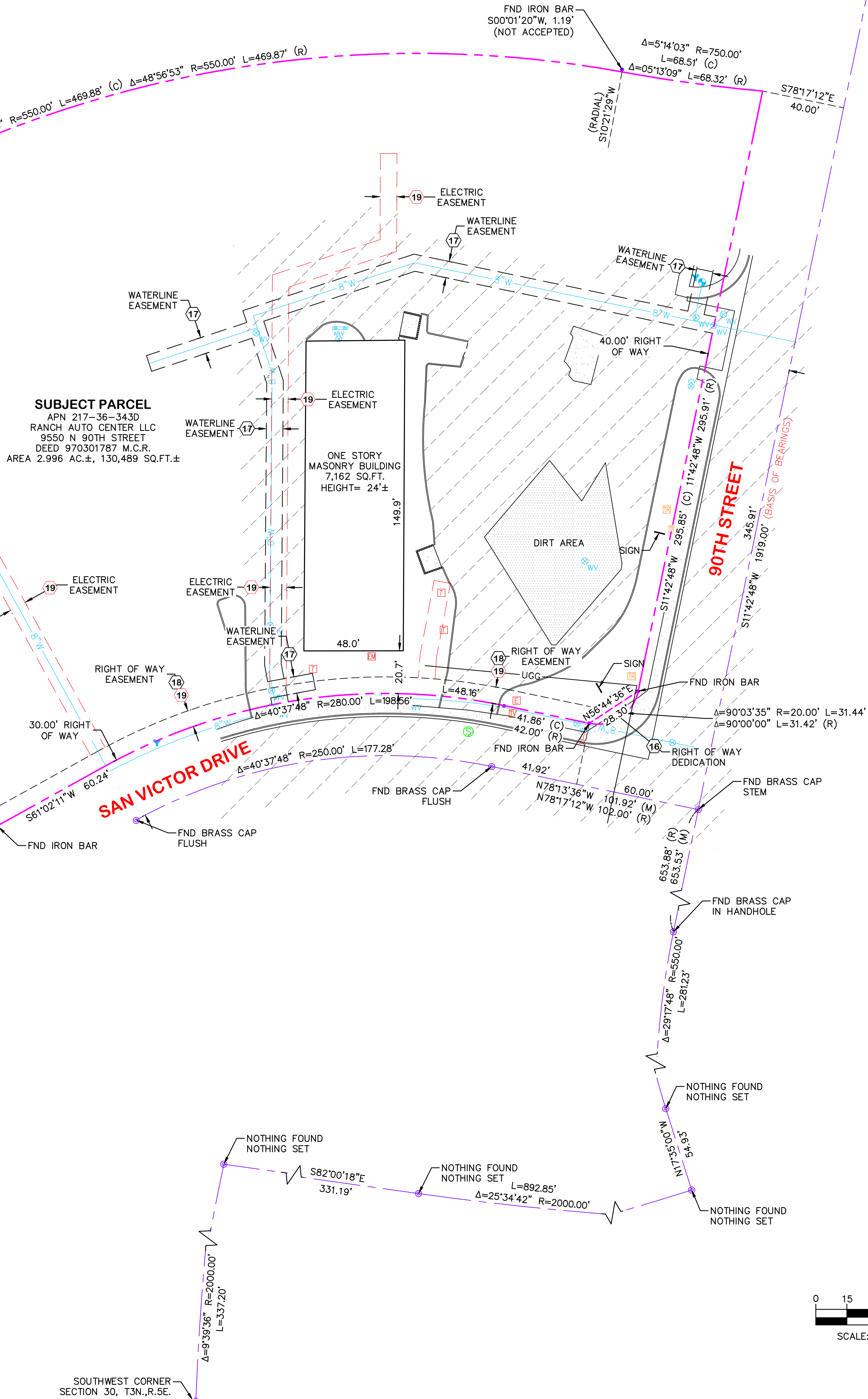
AC PMT ASPHALT HATCH  
COLOR & PATTERN

- (R) COMMITMENT FOR TITLE INSURANCE ISSUED  
BY FIRST AMERICAN TITLE INSURANCE  
COMPANY, FILE NUMBER: 8099TAZ,  
COMMITMENT DATE: MARCH 16, 2021, 5:00  
AM
- (M) MEASURED INFORMATION FROM FIELD DATA  
COLLECTION.
- (C) CALCULATED INFORMATION FROM RECORDED  
DOCUMENTS AS NOTED.

APN 217-36-343Q  
MCCORMICK RANCH PROPERTY OWNERS  
ASSOCIATION  
DEED 870770089 M.C.R.

APN 217-36-343N  
RJ ROLLINS/S DAVIS/BEVERLY  
TRUST/CJ CHILDERS  
8900 E SAN VICTOR DRIVE  
DEED 131027406 M.C.R.

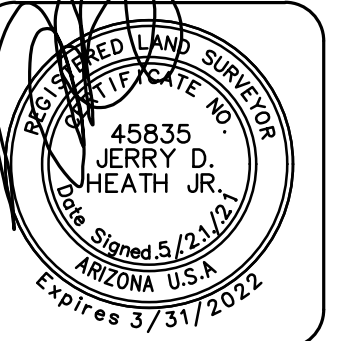
SUBJECT PARCEL  
APN 217-36-343D  
RANCH AUTO CENTER LLC  
9550 N 90TH STREET  
DEED 970301787 M.C.R.  
AREA 2.996 AC.±, 130,489 SQ.FT.±



NO.	DATE	REVISION	BY

DRAWN BY: JR  
CHECKED BY: JDH

HUNTER  
ENGINEERING  
10450 N. 74TH ST., SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986



ALTA/NSPS LAND TITLE SURVEY  
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 3  
NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA,

SECTION: 30  
TOWNSHIP: 3N  
RANGE: 5W

JOB NO.:  
CENT010-SA

SCALE  
1" = 30'

SHEET  
2 OF 2