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Larson

September 7th, 2022

Jeff Barnes
City of Scottsdale, Senior Planner
7447 East Indian School Road,
Scottsdale, Arizona 85251

RE: 108-ZN-1984#2 - Desert Cove Self Storage – Scottsdale; Comment Responses

Jeff,

Larson Engineering, Inc. (LEI) is pleased to present the comment responses below in regards to the City of Scottsdale Review comments dated 8/16/2022 for **Desert Cove Self Storage Facility** development in Scottsdale, Arizona.

Please do not hesitate to contact me if you have any questions, or require further information in this regard.

Sincerely,

Larson Engineering, Inc.



Dillon Corrington
Civil Department Lead

City of Scottsdale Comment Responses
Desert Cove Self Storage Facility
Scottsdale, AZ
September 1st, 2022

WATER AND WASTEWATER

1. Please submit a revised Water and Wastewater Basis of Design Reports, addressing the document redlines and the comments below:
 - a. The static and residual pressures in the “Design Documentation” section of the report narrative does not match the most recent fire flow test. Also, in this section, the service line diameter does not match the diameter identified in the rest of the document.
 - Please see the attached revised Water BOD report reflecting the correct fire flow test information, as well as the revised service line sizes.
 - b. An incorrect gpm/sf value for the demand was used in the calculation. Use 0.000834 gpm/sf as in DSPM figure 6.1.2 (also see footnote 2 for information). Updated calculations using correct demand value throughout document.
 - Please see the attached revised Water BOD report reflecting the corrected flow demands per DSPM Manual. See attached updated calculations inclusive within the revised report.
 - c. The Modeling Scenario 3 requirements have not been satisfied. Per DSPM 6-1.202.G.6, a minimum of 30 PSI must be maintained at the hydrant for Model Scenario 3. Must also demonstrate 15 PSI is maintained at all domestic demand nodes, including the highest finish floor elevation.
 - Please see the attached fire flow test information conveying the requirements have been met per DSPM 6-1.202.G.6.
 - d. Installation of 3 inch and larger fire service lines use a tee and valve per COS Std Det 2362-2 DSPM 6-1.504.
 - Please see the attached revised utility plan reflecting the added Tee and Valve
 - e. Fire line valve box and cover shall be per Mag Std Det 391-1 type C and Mag Std Det 270. See COS Std Det 2362-2.
 - See the revised utility plan reflecting additional Std Det’s and references
 - f. A 6” sewer service connection is required for commercial service per DSPM 7-1.409.A.
 - See attached revised utility plan implementing the 6” sewer connection

DRAINAGE:

2. Please provide a revised Drainage Report and Grading and Drainage Plan with the resubmittal, addressing the following General Underground Storage Requirements:
 - a. Level of detail required for the underground storage system design is 75% in the preliminary drainage report.
 - Please see the revised Drainage Report reflecting updated information and revised calculations
 - b. Drainage easement is required over underground storage system
 - See the attached revised Grading and Drainage plan reflecting the added easements for both tank systems.
 - c. Service life of 75 years per MAG standard detail 2554

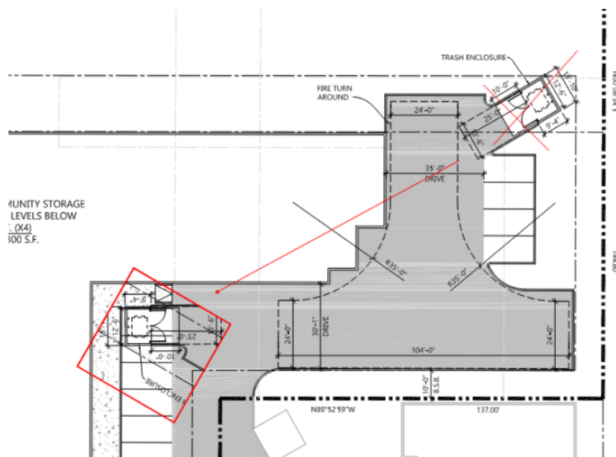
- See the revised service life updated information within the Drainage Report, and on the revised Grading and Drainage Plan
- d. Underground retention system must drain by gravity.
 - See updated Grading and Drainage plan with UG system connected to drywell bleed off via gravity fed out of the UG tanks.
- e. At a minimum, 2 access points must be provided.
 - See revised Grading and Drainage Plan with the additions of the access covers
- g. A signed and notarized ownership responsibility statement
 - Please see the attached ownership agreement
- h. Add the required warning signage, at a minimum, 2 signs
 - Please see the attached updated Grading and Drainage Plan inclusive of sign additions
- i. Plan: Add more spot elevations, particularly near the northern and eastern parcel limits. The adjacent parcel to the west drains part of the lot and building to the north in a depressed area which connects to this parcel.
 - See the revised Grading and Drainage Plan
- j. Plan: Review DSPM for minimum pipe size
 - Please see the attached revised Grading and Drainage Plan
- k. Plan: provide elevations for the underground system, the plan needs to include more details to verify the system will work.
 - Please refer to the revised Grading and Drainage Plan reflecting the additional information
- l. Plan: How will you address the first flush at the site since everything drains to the underground system with no treatment.
 - Refer to the maintenance manual – sediment load removal will be required from first flush generation
- m. Report: The area used in the computation is about an acre while the City GIS data and the County Assessors’ website shows the area to be 1.35 acres, or 60,000 sf. Review the retention volume calculations and verify the extents of improvements.
 - Please see the revised retention required volume calculations on the revised report, and the revised Grading and Drainage Plan
- n. Report: The report discusses the O&M manual provided with the submittal but could not locate it for review
 - See revised detail sheets reflecting the maintenance procedures and frequencies.

SIGNIFICANT POLICY RELATED ISSUES

The following policy related issues have been identified in the review of this application. While issues may not be critical to scheduling the application for public hearing, they may affect the City Staff’s recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

SITE DESIGN:

3. The proposed refuse enclosure location and configuration does not comply with the maximum backup distance and is located at the end of a dead-end aisle (Per DSPM 2-1.309). please keep the hammerhead but revise the enclosure placement as follows:
 - Please see the attached revised site plan reflecting the relocated enclosure



4. Per DSPM 5-3.108 and 5-3.110, Local Commercial and Industrial developments, please revise the plans to show and provide a 6-foot minimum sidewalk along the Desert Cove Frontage with accessible pedestrian route from the sidewalk to the main entrance of the building.
 - a. The site plan identifies an added 1-foot to the existing sidewalk to create the total 6-feet of width, but that approach can not be accepted as it creates unsafe accessibility conditions. Please revise the plan to identify the removal and replacement of the existing sidewalk with a new full width sidewalk.
 - Please see the revised site plan inclusive of the added sidewalk

Please resubmit the revised application requirements and additional/supplemental information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The city will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional/supplemental information is necessary.

The Planning & Development Services Division has had this application in review for 41 Staff Review Days since the application was determined to have the minimal information to be reviewed.

These **2nd Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-2376 or at jbarnes@ScottsdaleAZ.gov.

Sincerely,

Jeff Barnes
Senior Planner

ATTACHMENT A
Resubmittal Checklist

Case Number: 108-ZN-1984#2

Key Code: 3364E

Please follow the plan and document submittal requirements below. **All files shall be uploaded in PDF format.** Provide one (1) full-size copy of each required plan document file. Application forms and other written documents or reports should be formatted to 8.5 x 11.

A digital submittal Key Code is required to upload your documents: **3364E**. Files should be uploaded **individually** and in **order** of how they are listed on this checklist.

Submit digitally at: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalLogin>

Digital submittals shall include one copy of each identified below.

- COVER LETTER – Respond to all the issues identified in this Review Comment Letter
- Site Plan:
- Open Space Plan:
- Landscape Plan:
- Refuse Plan:

Technical Reports: Please submit one (1) digital copy of each report requested

- Water Design Report:
- Wastewater Design Report:
- Drainage Report with G&D Plan: