

LEGEND

- BRASS CAP FLUSH
- BRASS CAP IN HAND HOLE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ BACKFLOW PREVENTOR
- ⊕ AIR RELEASE VALVE
- ⊕ REDUCER
- SEWER MANHOLE
- SEWER CLEANOUT
- ➔ SEWER FLOW DIRECTION
- (1210) EXISTING CONTOUR
- P=(1210.92) EXISTING PAVEMENT ELEVATION
- P=(1210.56) EXISTING AND PROPOSED ELEVATION
- 1210 CONTOUR ELEVATION
- ➔ 2.0% DIRECTION & SLOPE OF DRAINAGE
- RIGHT-OF-WAY
- EASEMENT
- PROPERTY LINE
- GB
- W WATER
- S SEWER
- F FIRE LINE
- G GAS
- FO FIBER OPTIC
- ⊕ LIGHT POLE
- ⊕ EXISTING GAS MANHOLE
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING SIGN
- ⊕ EXISTING ELECTRICAL PULL BOX
- ⊕ EXISTING TELEPHONE PEDISTAL
- ⊕ EXISTING GUY WIRE
- ⊕ EXISTING POWER POLE
- EXISTING WATER
- EXISTING SEWER
- EXISTING GAS
- UGFO EXISTING UG FIBER OPTIC LINE
- ⊕ STREET SIGN POST
- ⊕ ELECTRIC CABINET

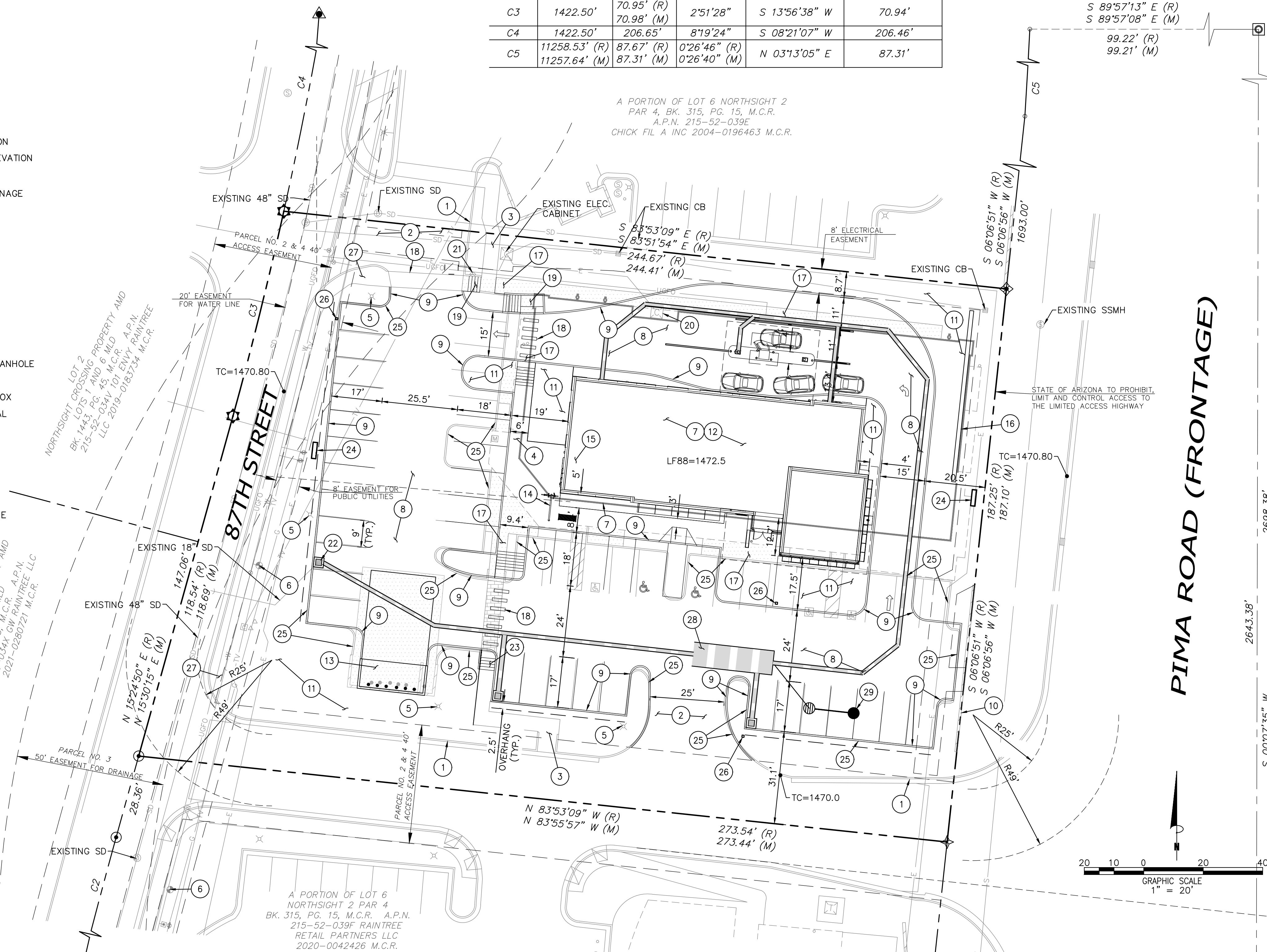
- R/W RIGHT-OF-WAY
- CL CENTERLINE
- P PAVEMENT ELEVATION
- B/C BACK OF CURB
- F/C FACE OF CURB
- TC TOP OF CURB ELEVATION
- S/W SIDEWALK
- MH MANHOLE
- CO CLEAN OUT
- FH FIRE HYDRANT
- VG VALLEY GUTTER
- FL FLOW LINE
- EOP EDGE OF PAVEMENT
- HWE HIGH WATER ELEVATION
- BOT BOTTOM ELEVATION
- TOP TOP ELEVATION
- STA STATION
- INV INVERT
- LF LINEAR FEET
- SF SQUARE FEET
- SY SQUARE YARDS
- CY CUBIC YARDS
- EA EACH
- RT RIGHT
- LT LEFT
- EX EXISTING
- GB GRADE BREAK
- FG FINISH GRADE
- G GUTTER ELEVATION
- FP FINISHED PAD ELEVATION
- FF FINISHED FLOOR ELEVATION
- PC POINT OF CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- PRC POINT OF REVERSE CURVATURE
- PT POINT OF TANGENCY
- UGE UNDERGROUND ELECTRIC
- OHE OVER HEAD ELECTRIC
- TW TOP OF WALL
- TF TOP OF FOOTING
- TRW TOP OF RETAINING WALL
- CI CURVE TABLE NUMBER
- L1 LINE TABLE NUMBER
- PUE PUBLIC UTILITY EASEMENT
- VNAE VEHICULAR NON-ACCESS EASEMENT
- VTE VISIBILITY TRIANGLE EASEMENT
- CJ CONSTRUCTION/CONTROL JOINT
- EJ EXPANSION JOINT
- CONT CONTINUOUS
- MWD MARICOPA WATER DISTRICT

KEY NOTES

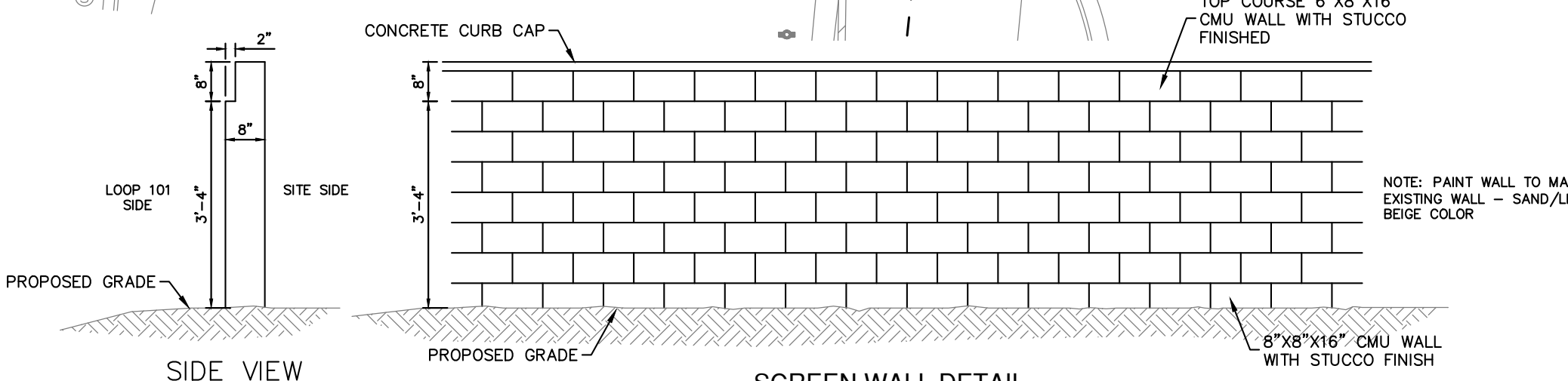
- | | |
|---|---|
| 1 EXISTING CURB AND GUTTER TO REMAIN | 16 PROPOSED SCREEN WALL TO MATCH EXISTING SCREEN WALL - SEE DETAIL THIS SHEET |
| 2 EXISTING DRIVEWAY TO REMAIN | 17 EXISTING SIDEWALK TO BE REMOVED |
| 3 EXISTING SIDEWALK TO REMAIN | 18 5' WIDE STRIPED PEDESTRIAN ZONE |
| 4 PROPOSED CONCRETE SIDEWALK | 19 EXISTING ADA RAMP REMOVED AND REPLACED |
| 5 EXISTING LIGHT POLE TO REMAIN | 20 EXISTING ELECTRIC CABINET TO BE RELOCATED |
| 6 EXISTING FH TO REMAIN | 21 EXISTING FDC |
| 7 EXISTING BUILDING TO BE DEMOLISHED | 22 EXISTING CATCH BASIN TO BE REPLACED |
| 8 PROPOSED ASPHALT PAVEMENT | 23 EXISTING ADA RAMP TO REMAIN |
| 9 PROPOSED CURB | 24 PROPOSED MONUMENT SIGN |
| 10 EXISTING SCREEN WALL TO REMAIN | 25 EXISTING CURB TO BE REMOVED |
| 11 LANDSCAPE AREA | 26 PROPOSED DIRECTIONAL SIGN |
| 12 PROPOSED BUILDING | 27 EXISTING PEDESTRIAN RAMP TO BE RECONSTRUCTED TO BE ADA COMPLIANT |
| 13 EXISTING REFUSE ENCLOSURE TO BE REPLACED | 28 PROPOSED 96" PIPE |
| 14 PROPOSED BICYCLE PARKING PAD | 29 PROPOSED DUAL CHAMBER DRYWELL |
| 15 FIRE RISER ROOM | |

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	2277.51'	534.19'	13°26'19"	S 06°05'12" W	532.96'
C2	2277.50'	103.28'	2°35'54"	S 14°06'18" W	103.27'
C3	1422.50'	70.95' (R) 70.98' (M)	2°51'28"	S 13°56'38" W	70.94'
C4	1422.50'	206.65'	8°19'24"	S 08°21'07" W	206.46'
C5	11258.53' (R) 11257.64' (M)	87.67' (R) 87.31' (M)	0°26'46" (R) 0°26'40" (M)	N 03°13'05" E	87.31'

A PORTION OF LOT 6 NORTHSIGHT 2
PAR 4, BK. 315, PG. 15, M.C.R.
A.P.N. 215-52-039E
CHICK FIL A INC 2004-0196463 M.C.R.



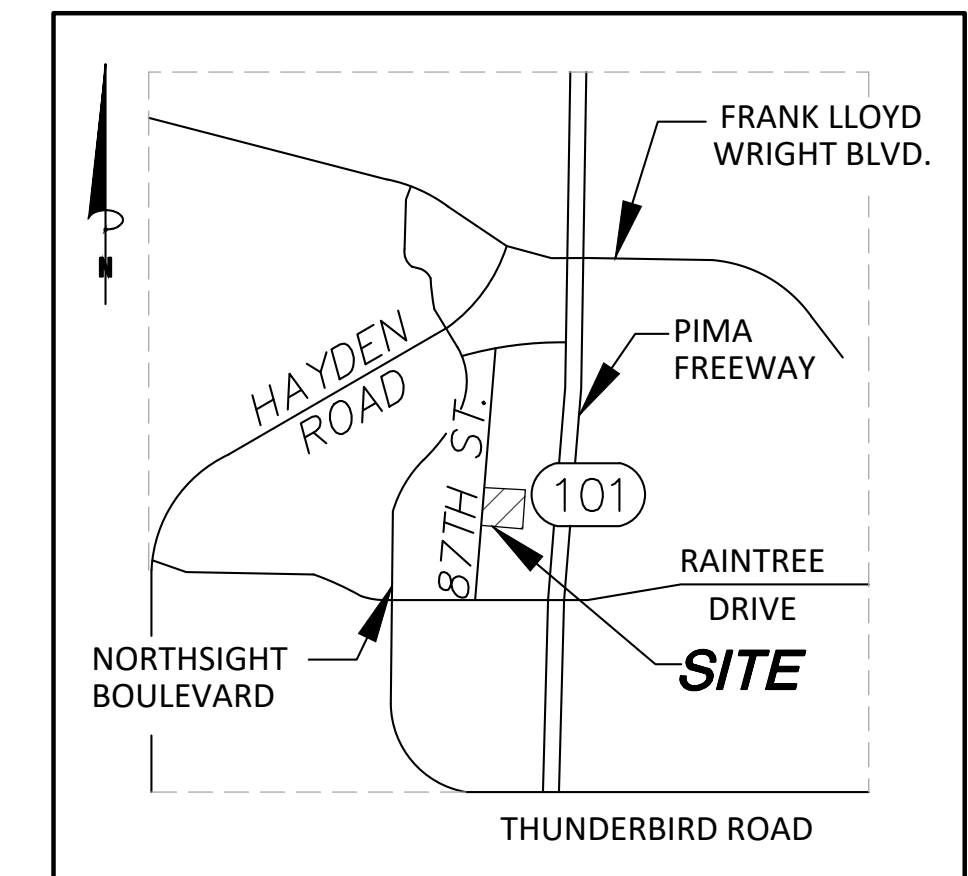
PIMA ROAD (FRONTAGE)



FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	04013C1760L 10/16/2013	L	07/20/2021	X	N/A

NOTE:
THE LOWEST FLOOR ELEVATION AND/OR FLOOD PROOFING ELEVATION ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - STORMWATER AND FLOODPLAIN MANAGEMENT.



VICINITY MAP

OWNER/DEVELOPER
AVALON MAMMOTH LLC
7333 EAST DOUBLETREE RANCH RD
SUITE 140
SCOTTSDALE, AZ 85258

ENGINEER
BOWMAN CONSULTING
1600 N. DESERT DRIVE, SUITE 210
TEMPE, AZ 85281
PH: 480.629.8830
CONTACT: JEFFREY S. RYBARCZYK
EMAIL: JRYBARCZYK@BOWMAN.COM

ARCHITECT
RSP ARCHITECTS, LTD
1220 MARSHALL STREET NE
MINNEAPOLIS, MN 88413-1036
PHONE: 612-677-7202 CONTACT:
MICHAEL BRANDT, PM
EMAIL:
MICHAEL.BRANDT@RSPARCH.COM

BENCHMARK:
GDAACS POINT # 26037-1
BRASS CAP IN HAND HOLE AT THE
SOUTH QUARTER CORNER OF
SECTION 12, T3N, R4E, G&SRB&M
ELEVATION = 1434.44 (NAVD88)

NOTE:
I HEREBY CERTIFY THAT ALL ELEVATIONS
PRESENTED ON THIS PLAN ARE BASED ON
NAVD - 1988 AND MEET THE FEMA
BENCHMARK MAINTENANCE (BMM) CRITERIA.

SITE DATA TABLE

PROJECT: US Bank
ADDRESS: 14900 NORTH PIMA ROAD
SCOTTSDALE, AZ 85260

DEVELOPER: AVALON MAMMOTH LLC

SCOPE: CONSTRUCTION OF A NEW 4,410 SF
US BANK FACILITY

LEGAL DESCRIPTION: A PORTION OF PARCEL 6, ACCORDING
TO THE MAP OF DEDICATION FOR
NORTHSIGHT II, RECORDED IN BOOK 315
OF MAPS, PAGE 15

ASSESSOR PARCEL NUMBER: 215-52-039D
MAXIMUM BUILDING HEIGHT: 24' - 4"
OCCUPANCY: B-BUSINESS
CONSTRUCTION: VB
REQUIRED F.A.R: MAX ALLOWED 0.8X48,349 SF = 38,679 SF
PROVIDED F.A.R: 4,445 SF / 48,349 SF = 0.092

BUILDING AREA: 4,445 SF

EXISTING ZONING: C-2

SITE AREA: 1.109 AC / 48,349 SF

LANDSCAPE AREA: 11,102 SF
LANDSCAPE COVERAGE: 11,102 / 48,439=23.0%

PARKING REQUIRED: 4,445 SF / 250 SF = 18 SPACES
PARKING PROVIDED: 36 SPACES
BICYCLE PARKING REQUIRED: 2 SPACES
BICYCLE PARKING PROVIDED: 2 SPACES

BUILDING HEIGHT CALCULATIONS

TOP OF BUILDING = 1472.5 + 24.33 = 1496.83
HEIGHT EAST SIDE = 1496.83 - 1471.80 = 25.03'
HEIGHT SOUTH SIDE = 1496.83 - 1471.00 = 25.83'
HEIGHT WEST SIDE = 1496.83 - 1471.80 = 25.03'

FIRST FLUSH MITIGATION NOTE

UNDERGROUND STORMWATER STORAGE TANKS (USSTs) MUST MEET THE CITY'S USST POLICY IN SECTION 4-1.2020F OF THE CITY'S DESIGN STANDARDS AND POLICIES MANUAL (DSPM), WHICH INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: (THE REFERENCED SECTION SHOULD BE FULLY REVIEWED TO ADDRESS ALL APPLICABLE ITEMS)

- THE OWNER MUST DEDICATE A PUBLIC DRAINAGE EASEMENT OVER THE USST, WITH NO MAJOR VEGETATION SUCH AS TREES WITHIN THE EASEMENT. AT A MINIMUM, THE EASEMENT SHOULD EXTEND AT A PROJECTED SLOPE OF 1:1 FROM THE BOTTOM OF THE TANK, AT THE OUTER LIMIT POINTS.
- THE USST MUST HAVE AT LEAST A 75-YEAR LIFE, INCLUDING THE LINING AND COATING.
- THE USST MUST DRAIN BY GRAVITY.
- SPECIFY MAG SUPPLEMENT STANDARD DETAIL 2554 FOR CORRUGATED METAL PIPES.
- A MINIMUM OF TWO ACCESS POINTS MUST BE PROVIDED FOR EACH USST.
 - AN OPERATIONS AND MAINTENANCE (O&M) MANUAL MUST BE PREPARED FOR THE SYSTEM PRIOR TO APPROVAL OF FINAL PLANS.
 - FINAL PLANS MUST INCLUDE SIGNS AT EACH END OF THE USST.
 - A SIGNED AND NOTARIZED OWNERSHIP AND RESPONSIBILITY STATEMENT MUST BE PROVIDED PRIOR TO APPROVAL OF FINAL PLANS.
 - ADD THE REQUIRED WARNING SIGNS.



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MARICOPA COUNTY

SITE PLAN
US BANK
SCOTTSDALE, ARIZONA

PROJECT NUMBER
28117
JEFFREY SCOTT RYBARCZYK
REGISTERED PROFESSIONAL ENGINEER
ARIZONA
2017
PLAN STATUS

DATE	DESCRIPTION
JSR	JMB
DESIGN	DRWN
SCALE	H: 1"=20'
	V:
JOB NO.	051355-01-001
DATE:	07/11/2023
C1.1	
SHEET	1 OF 1