

LEGEND

- BRASS CAP FLUSH  
• BRASS CAP IN HAND HOLE  
• FIRE HYDRANT  
• WATER VALVE  
• WATER METER  
• BACKFLOW PREVENTOR  
• AIR RELEASE VALVE  
• REDUCER  
• SEWER MANHOLE  
• SEWER CLEANOUT  
• SEWER FLOW DIRECTION  
• EXISTING CONTOUR  
• P=(1210.92) EXISTING PAVEMENT ELEVATION  
• P=(1210.56) EXISTING AND PROPOSED ELEVATION  
• 1210 CONTOUR ELEVATION  
• 2.0% DIRECTION & SLOPE OF DRAINAGE  
• RIGHT-OF-WAY  
• EASEMENT  
• PROPERTY LINE  
• GB  
• W WATER  
• S SEWER  
• F FIRE LINE  
• G GAS  
• FO FIBER OPTIC  
• LIGHT POLE  
• EXISTING GAS MANHOLE  
• EXISTING SANITARY SEWER MANHOLE  
• EXISTING SIGN  
• EXISTING ELECTRICAL PULL BOX  
• EXISTING TELEPHONE PEDISTAL  
• EXISTING GUY WIRE  
• EXISTING POWER POLE  
• EXISTING WATER  
• EXISTING SEWER  
• EXISTING GAS  
• EXISTING UG FIBER OPTIC LINE  
• STREET SIGN POST  
• ELECTRIC CABINET

- R/W RIGHT-OF-WAY  
CL CENTERLINE  
P PAVEMENT ELEVATION  
B/C BACK OF CURB  
F/C FACE OF CURB  
TC TOP OF CURB ELEVATION  
S/W SIDEWALK  
MH MANHOLE  
CO CLEAN OUT  
FH FIRE HYDRANT  
VG VALLEY GUTTER  
FL FLOW LINE  
EOP EDGE OF PAVEMENT  
HWE HIGH WATER ELEVATION  
BOT BOTTOM ELEVATION  
TOP TOP ELEVATION  
STA STATION  
INV INVERT  
LF LINEAR FEET  
SF SQUARE FEET  
SY SQUARE YARDS  
CY CUBIC YARDS  
EA EACH  
RT RIGHT  
LT LEFT  
EX EXISTING  
GB GRADE BREAK  
FG FINISH GRADE  
G GUTTER ELEVATION  
FP FINISHED PAD ELEVATION  
FF FINISHED FLOOR ELEVATION  
PC POINT OF CURVATURE  
PCC POINT OF COMPOUND CURVATURE  
PRC POINT OF REVERSE CURVATURE  
PT POINT OF TANGENCY  
UGE UNDERGROUND ELECTRIC  
OHE OVER HEAD ELECTRIC  
TW TOP OF WALL  
TF TOP OF FOOTING  
TRW TOP OF RETAINING WALL  
C1 CURVE TABLE NUMBER  
L1 LINE TABLE NUMBER  
PUE PUBLIC UTILITY EASEMENT  
VNAE VEHICULAR NON-ACCESS EASEMENT  
VTE VISIBILITY TRIANGLE EASEMENT  
CJ CONSTRUCTION/CONTROL JOINT  
EJ EXPANSION JOINT  
CONT CONTINUOUS  
MWD MARICOPA WATER DISTRICT

KEY NOTES

- 1 EXISTING CUBR AND GUTTER TO REMAIN  
2 EXISTING DRIVEWAY TO REMAIN  
3 EXISTING SIDEWALK TO REMAIN  
4 PROPOSED CONCRETE SIDEWALK  
5 EXISTING LIGHT POLE TO REMAIN  
6 EXISTING FH TO REMAIN  
7 EXISTING BUILDING TO BE DEMOLISHED  
8 PROPOSED ASPHALT PAVEMENT  
9 PROPOSED CURB  
10 EXISTING SCREEN WALL TO REMAIN  
11 LANDSCAPE AREA  
12 PROPOSED BUILDING  
13 EXISTING REFUSE ENCLOSURE TO BE REPLACED  
14 PROPOSED BICYCLE PARKING PAD  
15 FIRE RISER ROOM

- 16 PROPOSED SCREEN WALL TO MATCH EXISTING  
SCREEN WALL - SEE DETAIL THIS SHEET  
17 EXISTING SIDEWALK TO BE REMOVED  
18 5' WIDE STRIPED PEDESTRIAN ZONE  
19 EXISTING ADA RAMP REMOVED AND REPLACED  
20 EXISTING ELECTRIC CABINET TO BE RELOCATED  
21 EXISTING FDC  
22 EXISTING CATCH BASIN TO BE REPLACED  
23 EXISTING ADA RAMP TO REMAIN  
24 PROPOSED MONUMENT SIGN  
25 EXISTING CURB TO BE REMOVED  
26 PROPOSED DIRECTIONAL SIGN  
27 EXISTING PEDESTRIAN RAMP TO BE RECONSTRUCTED  
TO BE ADA COMPLIANT  
28 PROPOSED 96" PIPE  
29 PROPOSED DUAL CHAMBER DRYWELL

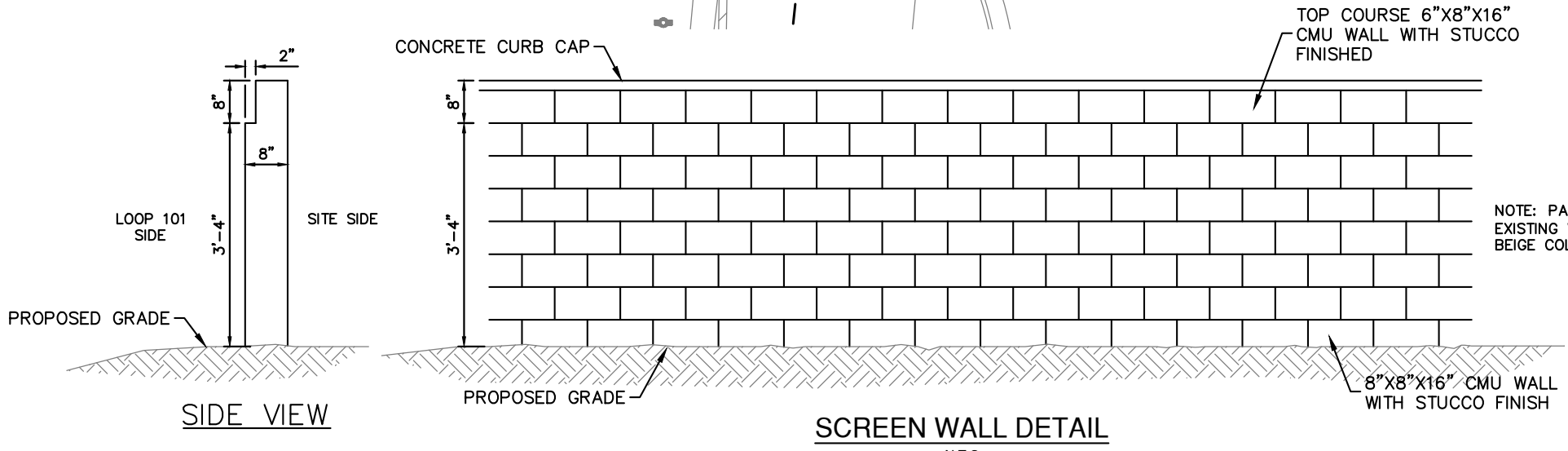
CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING
C1	2277.51'	534.19'	13°26'19"	S 06°05'12" W
C2	2277.50'	103.28'	2°35'54"	S 14°06'18" W
C3	1422.50'	70.95' (R) 70.98' (M)	2°51'28"	S 13°56'38" W
C4	1422.50'	206.65'	8°19'24"	S 08°21'07" W
C5	11258.53' (R) 11257.64' (M)	87.67' (R) 87.31' (M)	0°26'46" (R) 0°26'40" (M)	S 02°13'05" E

A PORTION OF LOT 6 NORTHSIGHT 2  
PAR 4, BK. 315, PG. 15, M.C.R.  
A.P.N. 215-52-039E  
CHICK FIL A INC 2004-0196463 M.C.R.

NORTHSIGHT CROSSING PROPERTY AND  
LOT 2  
BK. 144.3, PG. 15, M.C.R. A.P.N.  
215-52-034V 101 ENVY RAIN TREE  
LLC 2019-0187334 M.C.R.

NORTHSIGHT CROSSING PROPERTY AND  
LOT 4  
BK. 144.3, PG. 15, M.C.R. A.P.N.  
215-52-034V 101 ENVY RAIN TREE  
LLC 2021-0280721 M.C.R.

A PORTION OF LOT 6  
NORTHSIGHT 2 PAR 4  
BK. 315, PG. 15, M.C.R. A.P.N.  
215-52-039F RAIN TREE  
RETAIL PARTNERS LLC  
2020-0042426 M.C.R.



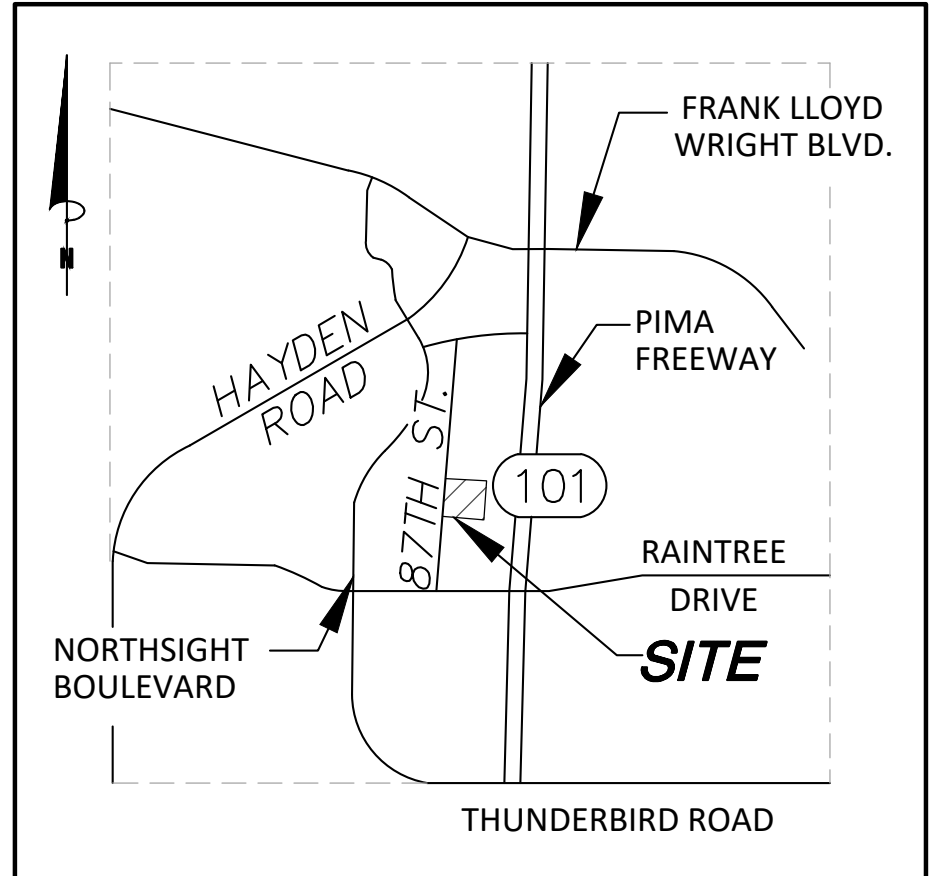
FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	04013C1760L 10/16/2013	L	10/16/2013	X	N/A

NOTE:

THE LOWEST FLOOR ELEVATION AND/OR FLOOD PROOFING ELEVATION ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - STORMWATER AND FLOODPLAIN MANAGEMENT.

Call at least two full working days before you begin excavation.  
**ARIZONA 811**  
Arizona Blue Stake, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)  
In Maricopa County: (602) 263-1100



VICINITY MAP  
N.T.S.

OWNER/DEVELOPER

AVALLON MAMMOUTH LLC  
7333 EAST DOUBLETREE RANCH RD  
SUITE 140  
SCOTTSDALE, AZ 85258

ENGINEER

BOWMAN CONSULTING  
1600 N. DESERT DRIVE, SUITE 210  
TEMPE, AZ 85281  
PH: 480.629.8830  
CONTACT: JEFFREY S. RYBARCZYK  
EMAIL: JRYBARCZYK@BOWMAN.COM

ARCHITECT

RSP ARCHITECTS, LTD  
1220 MARSHALL STREET NE  
MINNEAPOLIS, MN 55413-1036  
PHONE: 612-677-7202  
CONTACT: MICHAEL BRANDT, PM  
EMAIL: MICHAEL.BRANDT@RSPARCH.COM

BENCHMARK:

GDACS POINT # 26037-1  
BRASS CAP IN HAND HOLE AT THE  
SOUTH QUARTER CORNER OF  
SECTION 12, T3N, R4E, G&SRB&M  
ELEVATION = 1434.44 (NAVD88)

NOTE:

THEREBY CERTIFY THAT ALL ELEVATIONS  
PRESENTED ON THIS PLAN ARE BASED ON  
NAVD - 1988 AND MEET THE FEMA  
BENCHMARK MAINTENANCE (BMM) CRITERIA.

SITE DATA TABLE

PROJECT:	US bank
ADDRESS:	14900 NORTH PIMA ROAD SCOTTSDALE, AZ 85260
DEVELOPER:	AVALLON MAMMOTH LLC
SCOPE:	CONSTRUCTION OF A NEW 4,410 SF US BANK FACILITY
LEGAL DESCRIPTION:	A PORTION OF PARCEL 6, ACCORDING TO THE MAP OF DEDICATION FOR NORTHSIGHT II, RECORDED IN BOOK 315 OF MAPS, PAGE 15
ASSESSOR PARCEL NUMBER:	215-52-039D
MAXIMUM BUILDING HEIGHT:	24' - 4"
OCCUPANCY:	B-BUSINESS
CONSTRUCTION:	VB
REQUIRED F.A.R.	MAX ALLOWED 0.8X48,349 SF = 38,679 SF
PROVIDED F.A.R.	4,445 SF / 48,349 SF = 0.092
BUILDING AREA:	4,445 SF
EXISTING ZONING:	C-2
SITE AREA:	1.109 AC / 48,349 SF
LANDSCAPE AREA:	11.102 SF
LANDSCAPE COVERAGE:	11.102 / 48,439-23.0%
PARKING REQUIRED:	4,445 SF / 250 SF = 18 SPACES
PARKING PROVIDED:	36 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES

BUILDING HEIGHT CALCULATIONS

TOP OF BUILDING	= 1472.5 + 24.33 = 1496.83
HEIGHT EAST SIDE	= 1496.83 - 1471.80 = 25.03'
HEIGHT SOUTH SIDE	= 1496.83 - 1471.00 = 25.83'
HEIGHT WEST SIDE	= 1496.83 - 1471.80 = 25.03'

**Bowman**

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Tempe, Arizona 85281  
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www.bowman.com  
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MARICOPA COUNTY

SITE PLAN  
US BANK

SCOTTSDALE, ARIZONA

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
JSR	JMB
DESIGN	DRAWN
SCALE	CHKD
H: 1"=20'	
V:	
JOB No. 051355-01-001	
DATE : 06/02/2023	

C1.1  
SHEET 1 OF 1