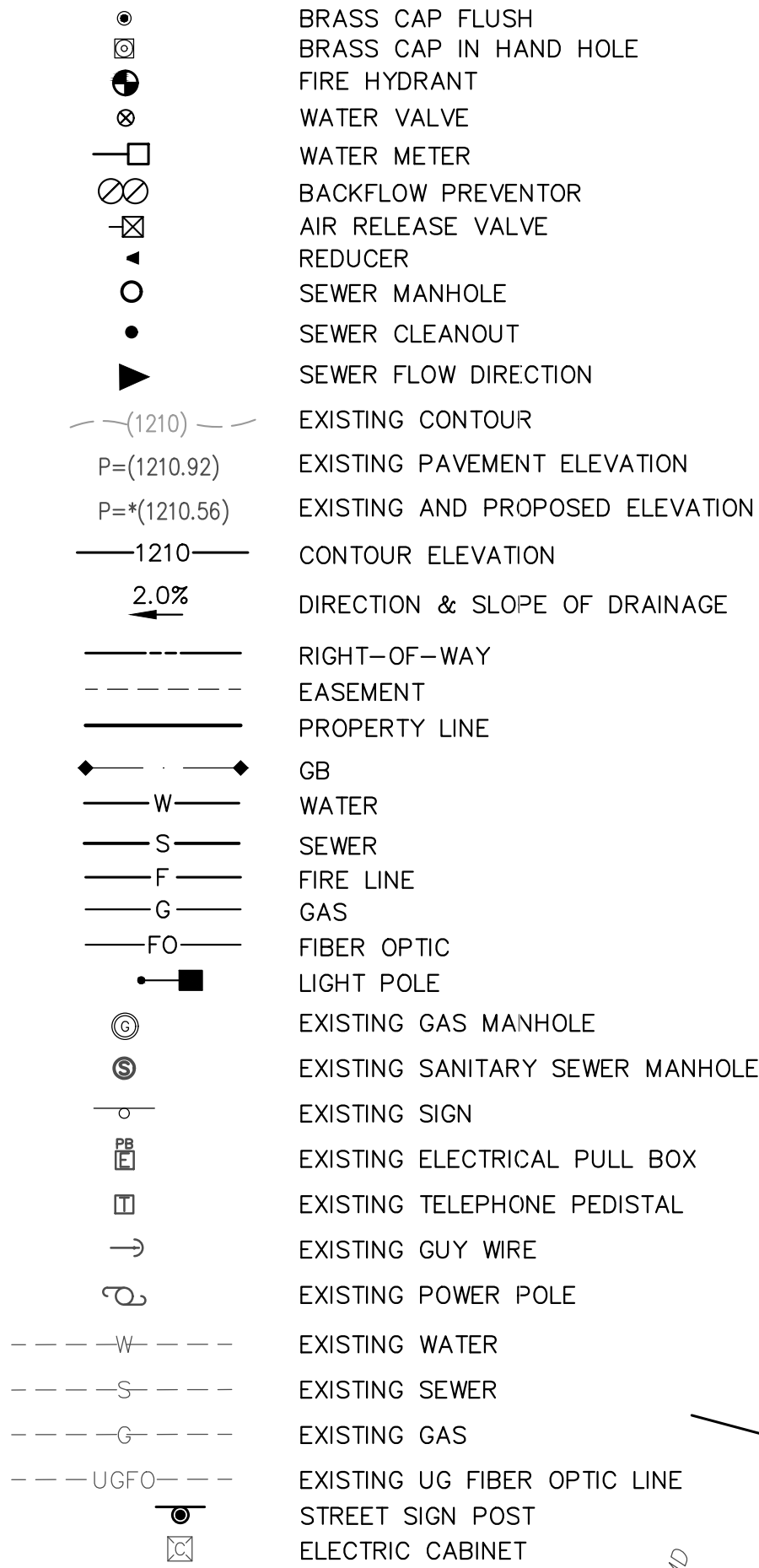


LEGEND



R/W RIGHT-OF-WAY
CL CENTERLINE
P PAVEMENT ELEVATION
B/C BACK OF CURB
F/C FACE OF CURB
TC TOP OF CURB ELEVATION
S/W SIDEWALK
MH MANHOLE
CO CLEAN OUT
FH FIRE HYDRANT
VG VALLEY GUTTER
FL FLOW LINE
EOP EDGE OF PAVEMENT
HWE HIGH WATER ELEVATION
BOT BOTTOM ELEVATION
TOP TOP ELEVATION
STA STATION
INV INVERT
LF LINEAR FEET
SF SQUARE FEET
SY SQUARE YARDS
CY CUBIC YARDS
EA EACH
RT RIGHT
LT LEFT
EX EXISTING
GB GRADE BREAK
FG FINISH GRADE
G GUTTER ELEVATION
FP FINISHED PAD ELEVATION
FF FINISHED FLOOR ELEVATION
PC POINT OF CURVATURE
PCC POINT OF COMPOUND CURVATURE
PRC POINT OF REVERSE CURVATURE
PT POINT OF TANGENCY
UGE UNDERGROUND ELECTRIC
OHE OVER HEAD ELECTRIC
TW TOP OF WALL
TF TOP OF FOOTING
TRW TOP OF RETAINING WALL
C1 CURVE TABLE NUMBER
L1 LINE TABLE NUMBER
PUE PUBLIC UTILITY EASEMENT
VNAE VEHICULAR NON-ACCESS EASEMENT
VTE VISIBILITY TRIANGLE EASEMENT
CJ CONSTRUCTION/CONTROL JOINT
EJ EXPANSION JOINT
CONT CONTINUOUS
MWD MARICOPA WATER DISTRICT

See the comments on the drainage report for applicable comments to address

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING
C1	2277.51'	534.19'	13°26'19"	S 06°05'12" W
C2	2277.50'	103.28'	2°35'54"	S 14°06'18" W
C3	1422.50'	70.95' (R) 70.98' (M)	2°51'28"	S 13°56'38" W
C4	1422.50'	206.65'	8°19'24"	S 08°21'07" W
C5	11258.53' (R) 11257.64' (M)	87.67' (R) 87.31' (M)	0°26'46" (R) 0°26'40" (M)	S 03°13'05" E

A PORTION OF LOT 6 NORTHSIGHT 2
PAR 4, BK. 315, PG. 15, M.C.R.
A.P.N. 215-52-039E
CHICK FIL A INC 2004-0196463 M.C.R.

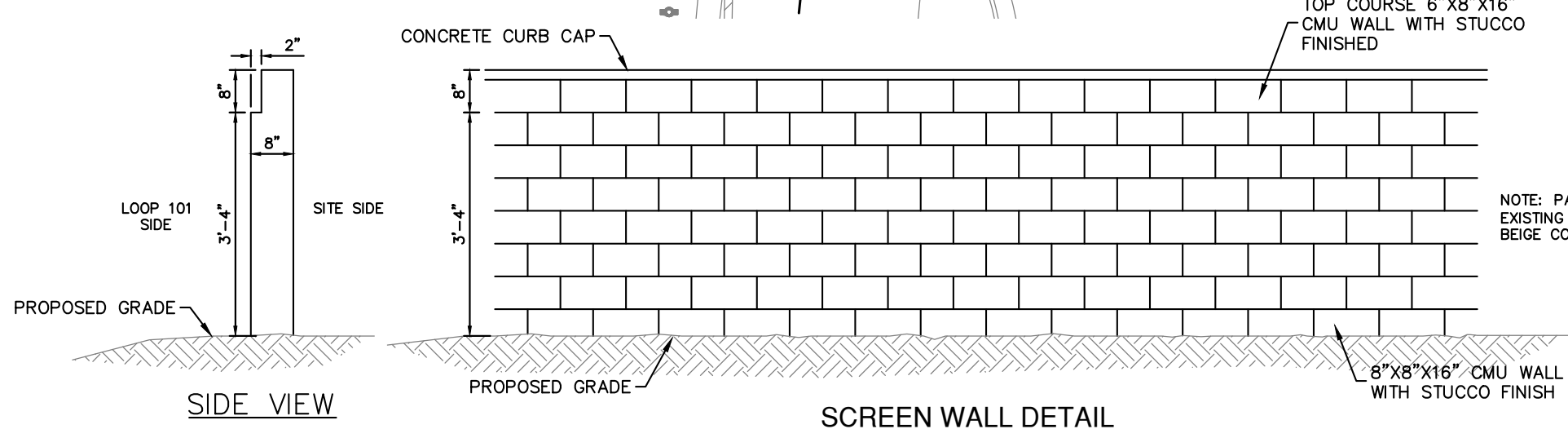
NORTHSIGHT CROSSING PROPERTY AND
BK. 144.3, PG. 15, M.C.R. A.P.N.
215-52-034V 101 ENVY RAIN TREE
LLC 2019-0183734 M.C.R.

NORTHSIGHT CROSSING PROPERTY AND
BK. 144.3, PG. 15, M.C.R. A.P.N.
215-52-034V 101 ENVY RAIN TREE
LLC 2021-0280721 M.C.R.

KEY NOTES

- EXISTING CUBR AND GUTTER TO REMAIN
- EXISTING DRIVEWAY TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- PROPOSED CONCRETE SIDEWALK
- EXISTING LIGHT POLE TO REMAIN
- EXISTING FH TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CURB
- EXISTING SCREEN WALL TO REMAIN
- LANDSCAPE AREA
- PROPOSED BUILDING
- EXISTING REFUSE ENCLOSURE TO BE REPLACED
- PROPOSED BICYCLE PARKING PAD
- FIRE RISER ROOM

- PROPOSED SCREEN WALL TO MATCH EXISTING SCREEN WALL - SEE DETAIL THIS SHEET
- EXISTING SIDEWALK TO BE REMOVED
- 5' WIDE STRIPED PEDESTRIAN ZONE
- EXISTING ADA RAMP REMOVED AND REPLACED
- EXISTING ELECTRIC CABINET TO BE RELOCATED
- EXISTING FDC
- EXISTING CATCH BASIN TO BE REPLACED
- EXISTING ADA RAMP TO REMAIN
- PROPOSED MONUMENT SIGN
- EXISTING CURB TO BE REMOVED
- PROPOSED DIRECTIONAL SIGN
- EXISTING PEDESTRIAN RAMP TO BE RECONSTRUCTED TO BE ADA COMPLIANT
- PROPOSED 96" PIPE
- PROPOSED DUAL CHAMBER DRYWELL

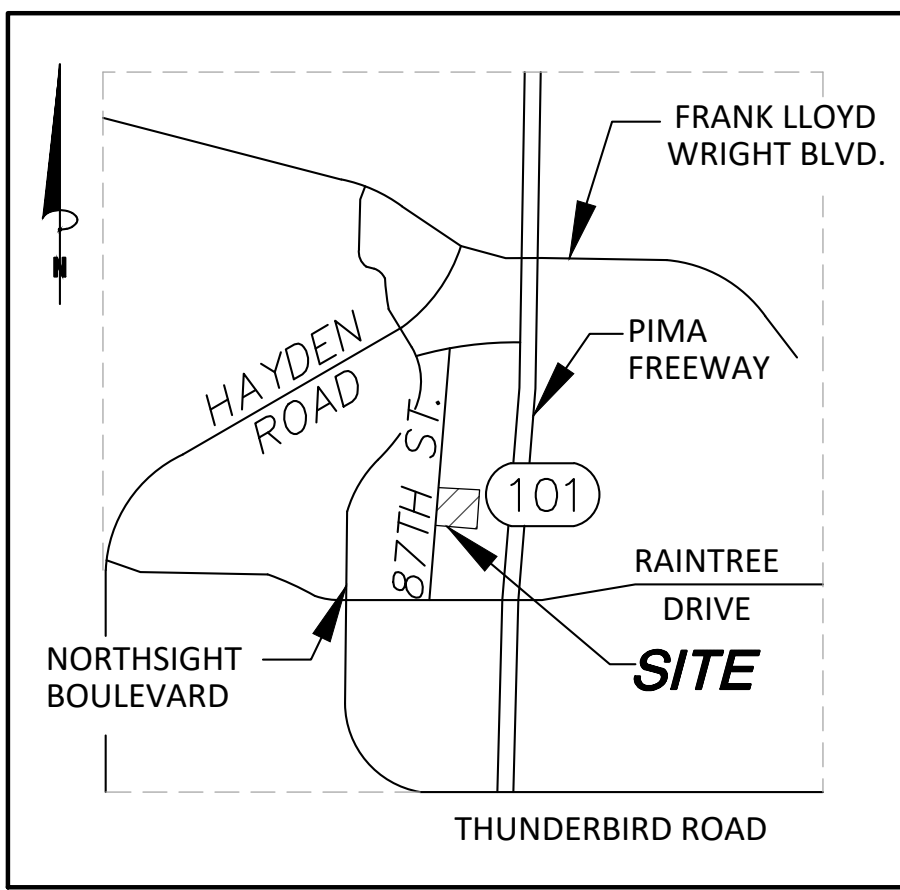


FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	04013C1760L 10/16/2013	L	10/16/2013	X	N/A

NOTE:

THE LOWEST FLOOR ELEVATION AND/OR FLOOD PROOFING ELEVATION ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - STORMWATER AND FLOODPLAIN MANAGEMENT.



VICINITY MAP

N.T.S.

OWNER/DEVELOPER

AVOLON MAMMOUTH LLC
7333 EAST DOUBLETREE RANCH RD
SUITE 140
SCOTTSDALE, AZ 85258

ENGINEER

BOWMAN CONSULTING
1600 N. DESERT DRIVE, SUITE 210
TEMPE, AZ 85281
PH: 480.629.8830
CONTACT: JEFFREY S. RYBARCZYK
EMAIL: JRYBARCZYK@BOWMAN.COM

ARCHITECT

RSP ARCHITECTS, LTD
1220 MARSHALL STREET NE
MINNEAPOLIS, MN 55413-1036
PHONE: 612-677-7202
CONTACT: MICHAEL BRANDT, PM
EMAIL: MICHAEL.BRANDT@RSPARCH.COM

BENCHMARK:

GDACS POINT # 26037-1
BRASS CAP IN HAND HOLE AT THE
SOUTH QUARTER CORNER OF
SECTION 12, T3N, R4E, G&SRB&M
ELEVATION = 1434.44 (NAVD88)

NOTE:

THEREBY CERTIFY THAT ALL ELEVATIONS
PRESENTED ON THIS PLAN ARE BASED ON
NAVD - 1988 AND MEET THE FEMA
BENCHMARK MAINTENANCE (BMM) CRITERIA.

SITE DATA TABLE

PROJECT:	US bank
ADDRESS:	14900 NORTH PIMA ROAD SCOTTSDALE, AZ 85260
DEVELOPER:	AVOLON MAMMOUTH LLC
SCOPE:	CONSTRUCTION OF A NEW 4,410 SF US BANK FACILITY
LEGAL DESCRIPTION:	A PORTION OF PARCEL 6, ACCORDING TO THE MAP OF DEDICATION FOR NORTHSIGHT II, RECORDED IN BOOK 315 OF MAPS, PAGE 15
ASSESSOR PARCEL NUMBER:	215-52-039D
MAXIMUM BUILDING HEIGHT:	24' - 4"
OCCUPANCY:	B-BUSINESS
CONSTRUCTION:	VB
REQUIRED F.A.R.	MAX ALLOWED 0.8X48,349 SF = 38,679 SF
PROVIDED F.A.R.	4,445 SF / 48,349 SF = 0.092
BUILDING AREA:	4,445 SF
EXISTING ZONING:	C-2
SITE AREA:	1.109 AC / 48,349 SF
LANDSCAPE AREA:	11.102 SF
LANDSCAPE COVERAGE:	11.102 / 48,439-23.0%
PARKING REQUIRED:	4,445 SF / 250 SF = 18 SPACES
PARKING PROVIDED:	36 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES

BUILDING HEIGHT CALCULATIONS

TOP OF BUILDING	= 1472.5 + 24.33 = 1496.83
HEIGHT EAST SIDE	= 1496.83 - 1471.80 = 25.03'
HEIGHT SOUTH SIDE	= 1496.83 - 1471.00 = 25.83'
HEIGHT WEST SIDE	= 1496.83 - 1471.80 = 25.03'

Bowman

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Tempe, Arizona 85281
Phone: (480) 629-8830
www.bowman.com
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MARICOPA COUNTY

SITE PLAN
US BANK

SCOTTSDALE, ARIZONA

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
JSR DESIGN	JMB DRAWN
JSR CHKD	
SCALE	H: 1"=20'
V:	
JOB No.	051355-01-001
DATE	06/02/2023

C1.1
SHEET 1 OF 1

Case #43-DR-2023