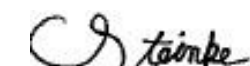


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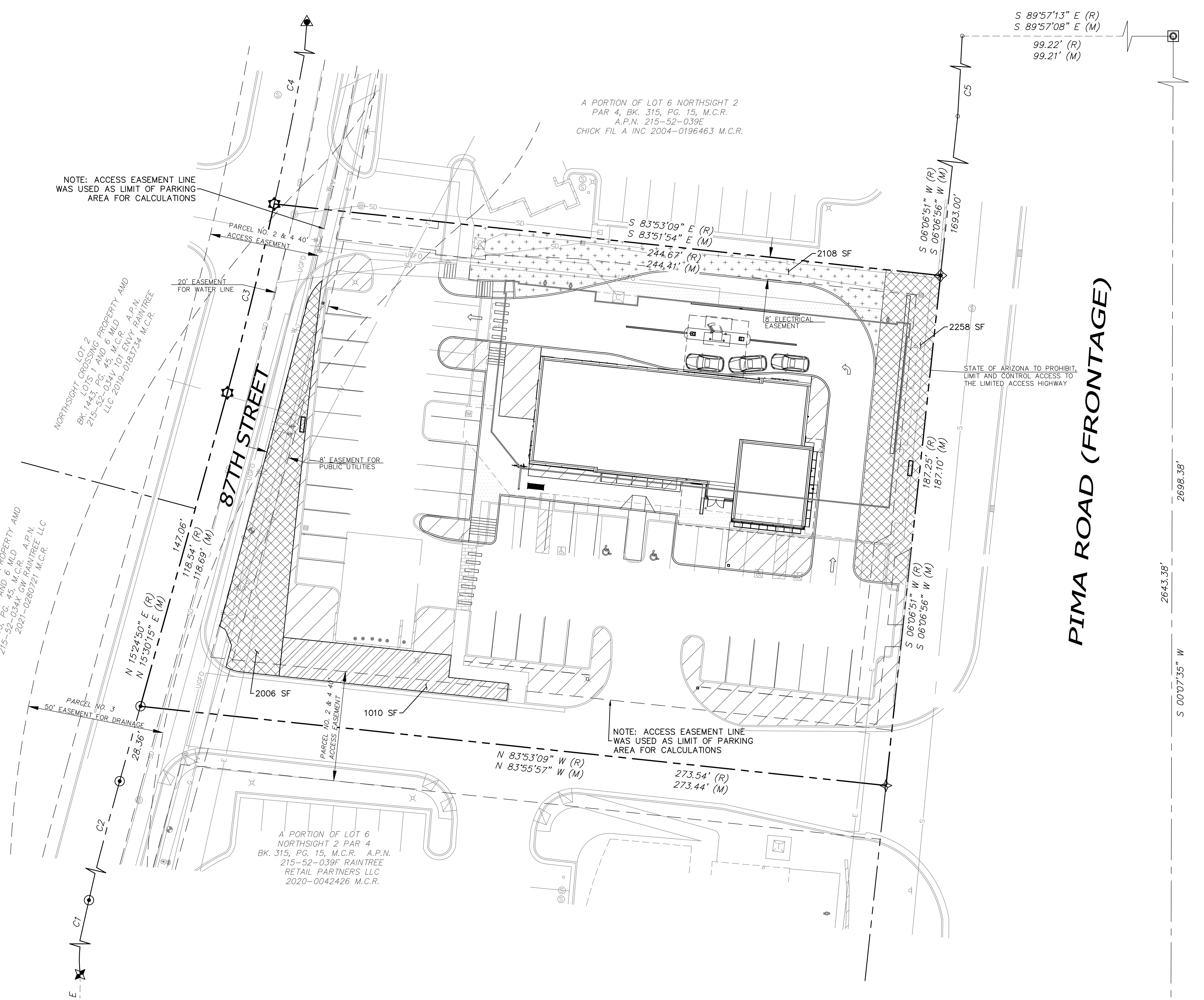
Stip Set PLANNING

08/28/2023



DATE

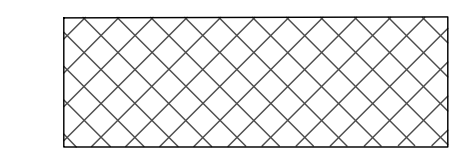
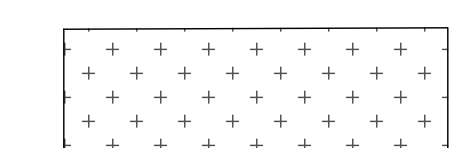
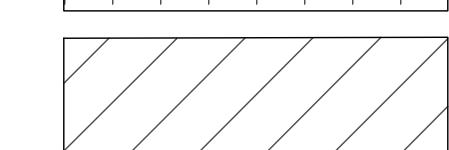

APPROVED BY



**OPEN SPACE CALCULATIONS**

PROJECT DATA ZONING:	C-2
NET LOT AREA:	48,349 SF
BUILDING HEIGHT:	24'-4"
MINIMUM OPEN SPACE AREA REQUIRED:	
TOTAL LOT AREA:	48,349 (.10)=4835 SF
FROM BUILDING HEIGHT:	48,349 x 0.004 x 12.33 = 2385 SF
TOTAL OPEN SPACE REQUIRED:	4835 + 2385 = 7220 SF
NET OPEN SPACE PROVIDED:	7382 SF
FRONTAGE OPEN SPACE REQUIRED:	7382 X .5 = 3691 SF
FRONTAGE OPEN SPACE PROVIDED:	5275 SF
PARKING LOT AREA:	20,530 SF
LANDSCAPE REQUIRED:	20,530 x .15 = 3080 SF
LANDSCAPE PROVIDED:	4118 SF


**OPEN SPACE LEGEND**

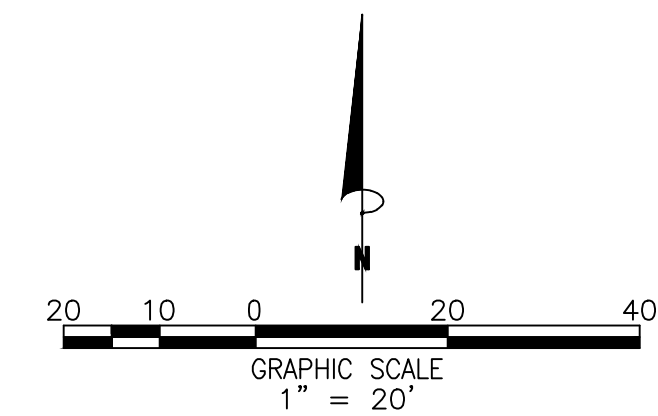
	OPEN SPACE, FRONTAGE 4265 SF
	OPEN SPACE, NON-FRONTAGE 2108 SF
	LANDSCAPE AREA, PARKING LOT 4118 SF
	OPEN SPACE, COMMON AREA 1010 SF

**Bowman**

Bowman Consulting Group Ltd  
1600 N. Desert Drive Ste 210  
Tempe, Arizona 85288  
Phone: (480) 629-8830  
www.bowman.com  
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OPEN SPACE PLAN  
**US BANK**  
SCOTTSDALE, ARIZONA  
MARICOPA COUNTY

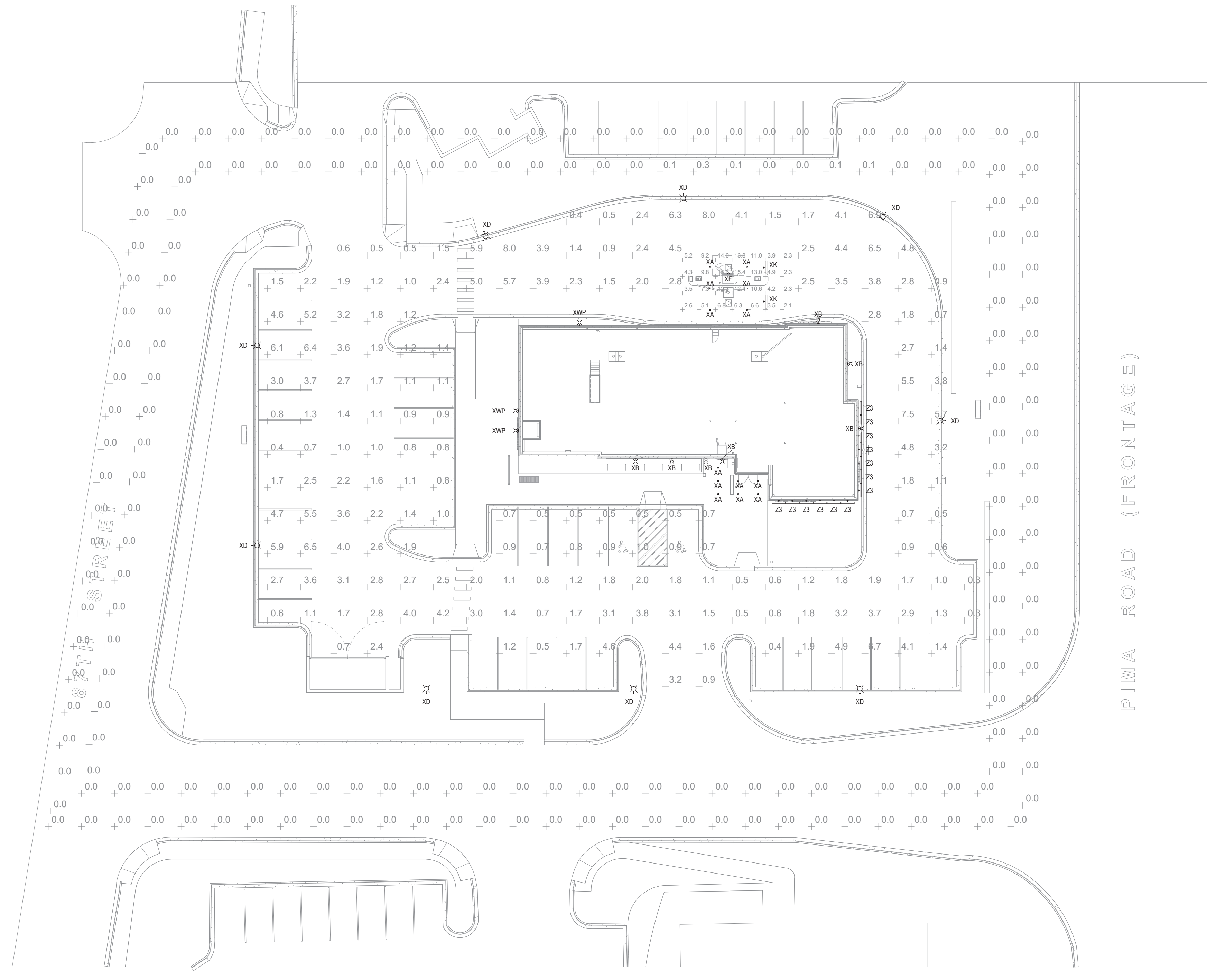
PROJECT NUMBER		
		
PLAN STATUS		
DATE	DESCRIPTION	
JSR DESIGN	JMB DRAWN	JSR CHKD
SCALE	H: 1"=20'	
	V: 1"=20'	
JOB No. 051355-01-001		
DATE : 03/27/2023		
<b>C1.1</b>		
SHEET	1	OF



Call at least two full working days before you begin excavation.

**ARIZONA 811**  
Arizona Blue Stake, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)  
In Maricopa County: (602) 263-1100





**1 ELECTRICAL SITE PLAN**  
E101 1/16" = 1'-0"

PIMA ROAD (FRONTAGE)

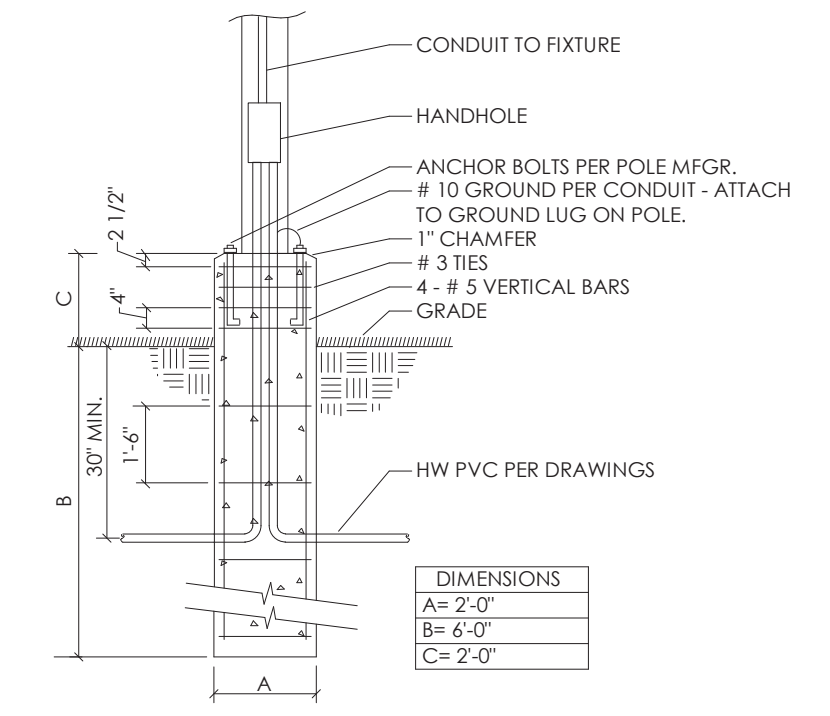
**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Canopy	+	7.5 fc	15.6 fc	2.1 fc	7.4:1	3.6:1
Parking and Drive	+	2.3 fc	8.0 fc	0.3 fc	28.7:1	7.7:1
Property Line	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
10ft Outside Property Boundary	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

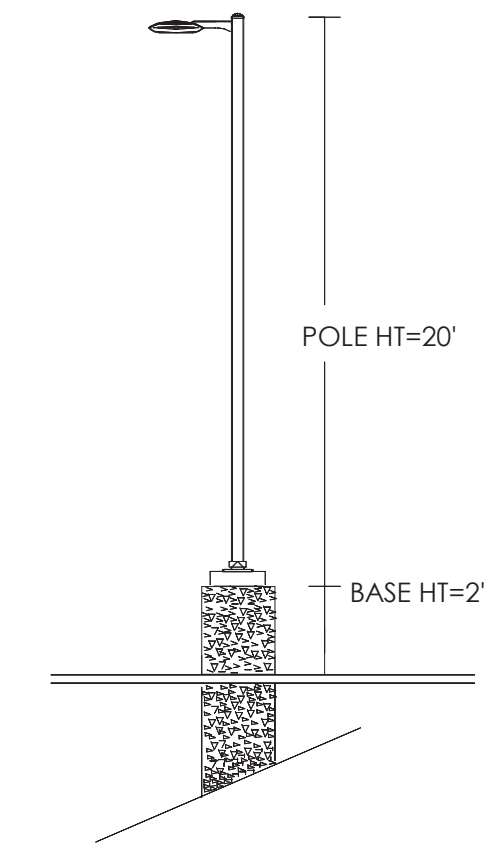
**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	LIGHT SOURCE			INPUT VOLTS	MOUNTING TYPE	HEIGHT	SPECIFIED FIXTURE	
		TYPE	K	WATTS				MANUFACTURE	MODEL NO.
XA	UNDER CANOPY FIXTURE	LED	35	80	32	120	S	12"	BEGA 24 800 K35 BLK
XB	EXTERIOR WALL SCOFF	LED	35	80	43	120	W	12"	BEGA 33 591 K35 BLK
XD	SINGLE HEAD POLE FIXTURE	LED	35	80	96	120	(none)	20'	BEGA 99 522 K35 BLK
XF	EXTERIOR DOWNLIGHT	LED	35	90	16	120	S	12"	BEGA 98 939 K35 BLK
XX	STOP/GO LIGHT	LED	35	80	4	120	W	12 8"	SIGNAL TECH TCL18GR-100
XWP	EXTERIOR WALL PACK	LED	35	80	43	120	W	12"	BEGA 22 359 K35 BLK
Z3	LINEAR EXTERIOR UPLIGHT	LED	35	80	4	120	W	14 8"	ELLIPTIPAR S151-R03M-H-Z3-M-00-0-840-00

KEY MOUNTING TYPE  
S SURFACE  
W WALL



**3 POLE BASE DETAIL**  
E101 SCALE: N.T.S.



**2 POLE HEIGHT DETAIL**  
E101 SCALE: N.T.S.



RSP Architects  
1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499  
www.rsparch.com

Consultants

**DRAFT - PROPRIETARY - DO NOT DISTRIBUTE - NOT FOR CONSTRUCTION**  
03/03/2023

Project For

**U.S. BANK**

**FLW BLVD AND HWY 101 (RAINTREE)**

Project No. 14853F7F8A

Drawn By CL

Checked By CL

Date 03/03/23

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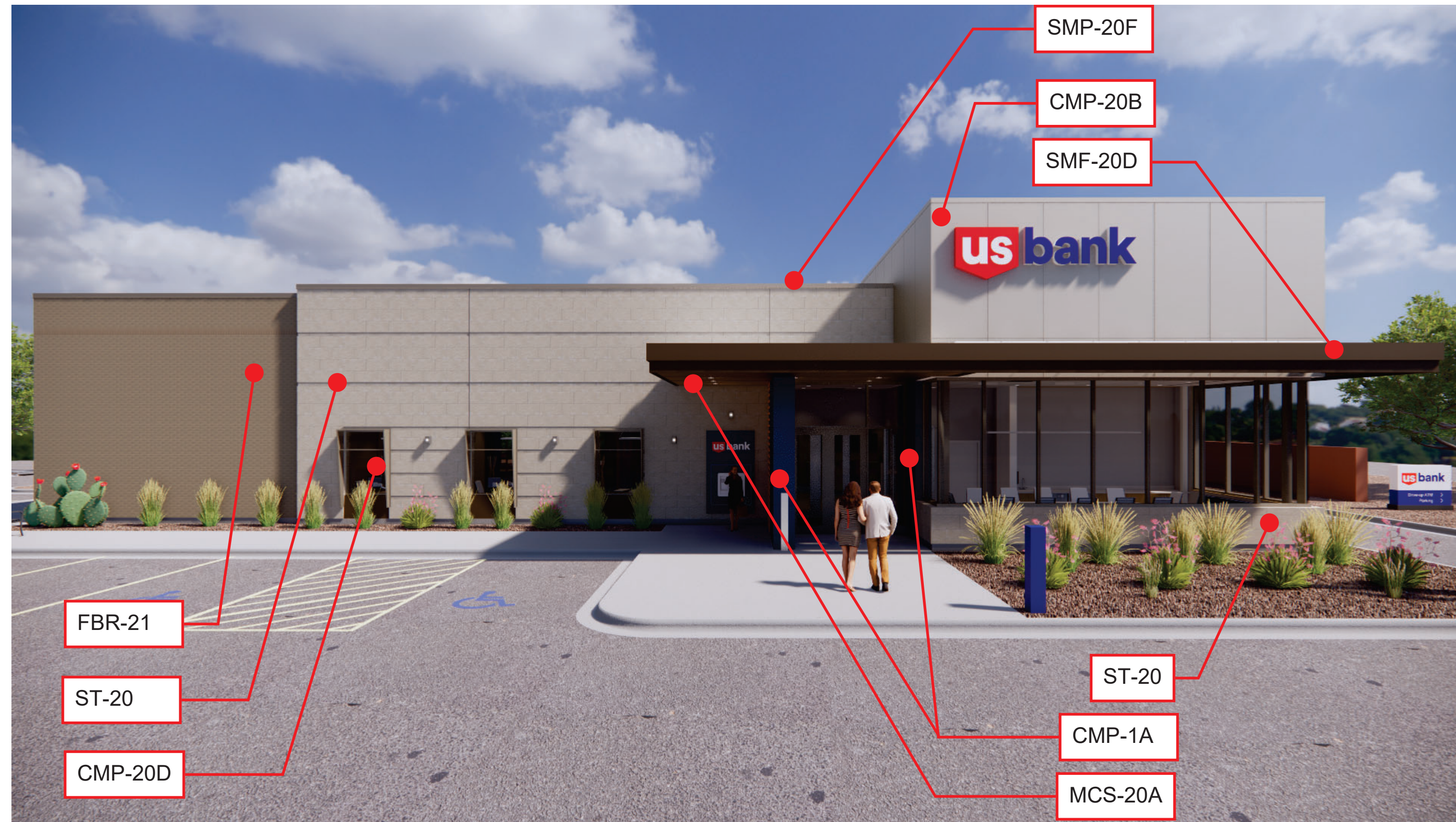
Sheet Issues /

No.	Date	Description

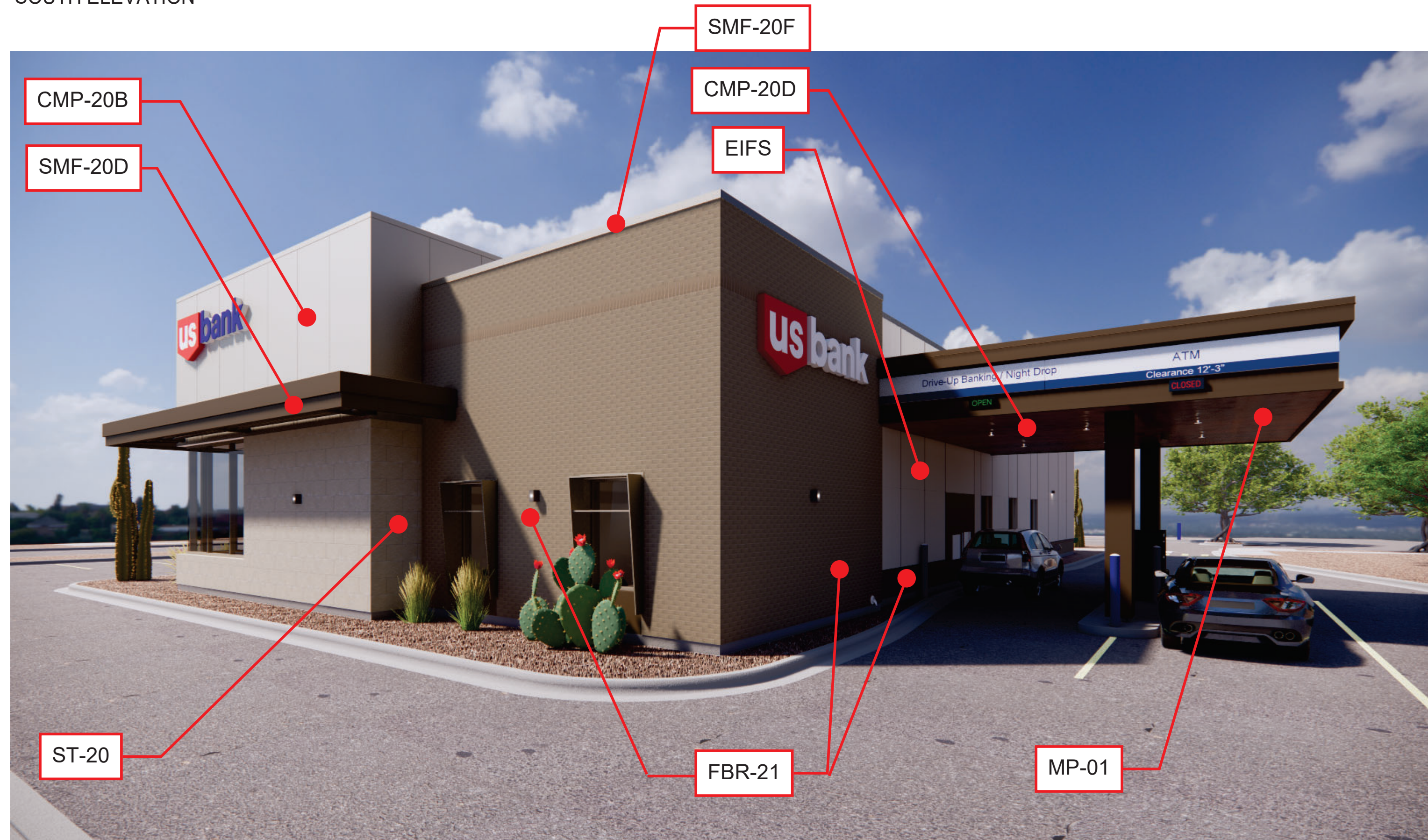


**PROJECT DESCRIPTION:**

A PROPOSED NEW 4,000 S.F. GROUND-UP U.S. BANK BRANCH IN SCOTTSDALE, AZ. THE BANK WILL INCLUDE (2) TELLER LINES, (2) DRIVE-THRU LANES AND (1) DRIVE-AROUND LINE.



SOUTH ELEVATION



NORTH EAST CORNER

**EIFS**  
MFR: DRYVIT  
COLOR: 103 NATURAL WHITE

**CMP-20D**  
COMPOSITE METAL PANEL  
MFR: REYNOBOND / PAC-CLAD  
COLOR: MEDIUM BRONZE

**CMP-1A**  
COMPOSITE METAL PANEL  
MFR: REYNOBOND / PAC-CLAD  
COLOR: AWARD BLUE

**CMP-20B**  
COMPOSITE METAL PANEL  
MFR: REYNOBOND / PAC-CLAD  
COLOR: LIMESTONE

**FBR-21**  
FACE BRICK  
MFR: ENDICOTT BRICK  
COLOR: LIGHT GRAY BLEND

**MCC-20D**  
FORMED METAL COLUMN COVERS  
MFR: PAC-CLAD  
COLOR: MEDIUM BRONZE

**MP-01**  
METAL SOFFIT PANEL  
MFR: CERTAINTEED  
COLOR: 8424 WALNUT

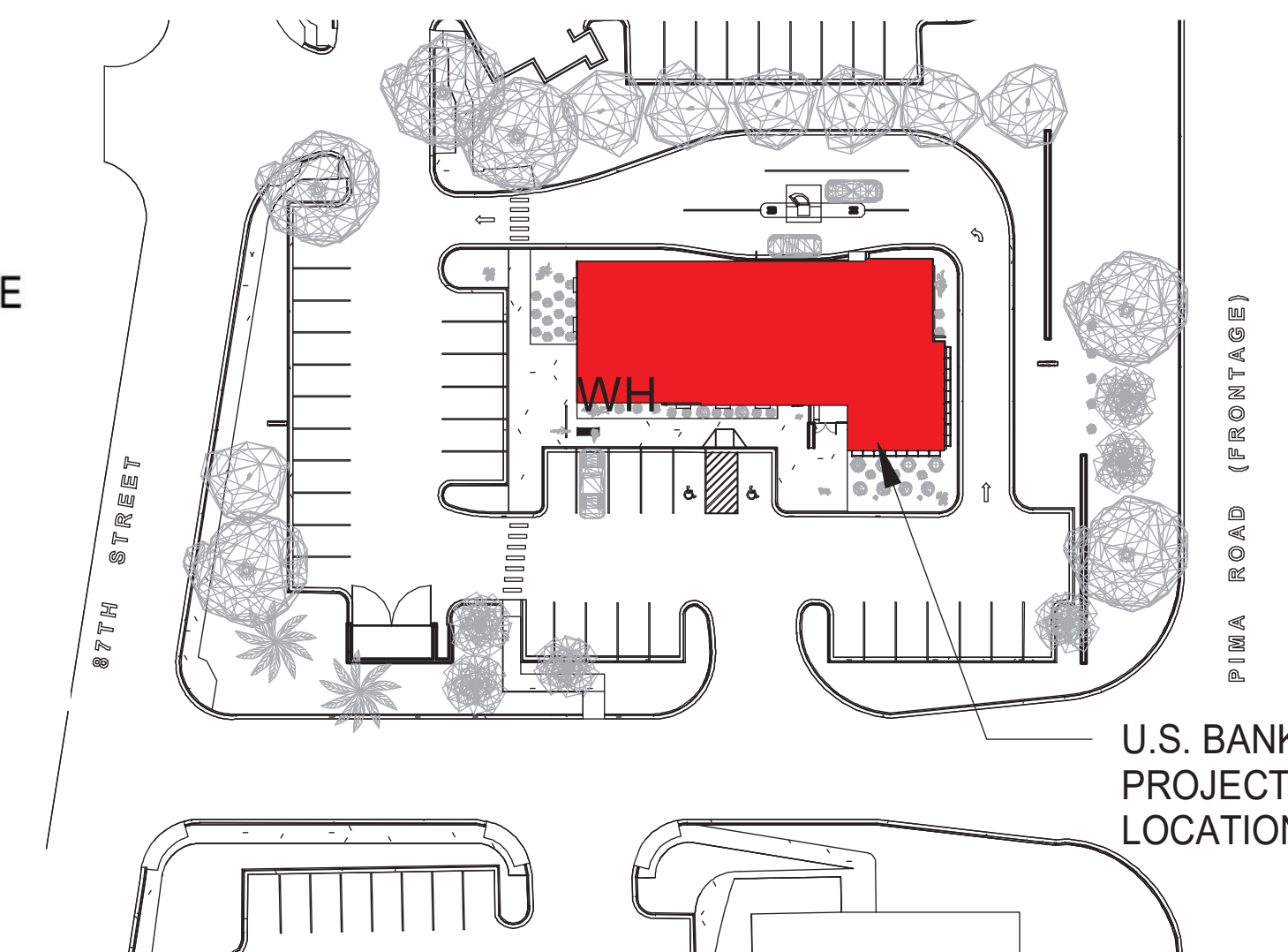
**MCS-1B**  
METAL SOFFIT PANEL  
MFR: CERTAINTEED  
COLOR: 0401 - LUXACOTE LIGHTHOUSE WHITE

**SMF-20D**  
SHEET METAL FLASHING  
MFR: PAC-CLAD  
COLOR: MEDIUM BRONZE

**SMF-20F**  
SHEET METAL FLASHING  
MFR: PAC-CLAD  
COLOR: CHAMPAGNE METALLIC

**ST-20**  
NATURAL STONE  
MFR: VALDERS STONE AND MARBLE  
COLOR: VALDERS BUFF

**APPROVED**  
Stip Set PLANNING  
08/28/2023 DATE  
*[Signature]* APPROVED BY



**RSP Architects**

1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499 fax  
www.rsparch.com

Project For



**FLW BLVD & HWY 101  
(RAINTREE)**

**14900 N Pima Rd,  
Scottsdale, AZ 85260**

Project No.	14853F7F8A
Drawn By	MSC
Checked By	DC, MB
Date	05/25/2023

**3D VIEWS WITH EXTERIOR MATERIALS**



**APPROVED**

Stip Set PLANNING

08/28/2023

*Timber*

DATE

APPROVED BY



LANDSCAPE PLAN



LANDSCAPE LEGEND

- CERCIDIUM 'HYBRID'  
DESERT MUSEUM PALO VERDE  
24" BOX (8)
- EXISTING TREE  
PROTECT FROM  
CONSTRUCTION
- ACACIA STENOPHYLLA  
SHOESTRING ACACIA  
24" BOX (5)
- PROSOPIS 'RIO-SALADO'  
HYBRID THORNLESS MESQUITE  
24" BOX (1)
- FOUQUIERIA SPLENDENS  
OCOTILLO  
10 CANE MIN. 7T MIN. (3)
- LEUCOPHYLLUM FRUTESCENS  
'GREEN CLOUD'  
5 GALLON (35)
- EXISTING SHRUB  
PROTECT FROM  
CONSTRUCTION
- TECOMA 'ORANGE JUBILEE'  
ORANGE JUBILEE  
5 GALLON (2)
- DASYLIRION WHEELERII  
DESERT SPOON  
5 GALLON (21)
- PACHYCEREUS MARGINATUS  
MEXICAN FENCE POST  
3-STALK GROUPING (2.5', 2', 1' TALL) (7)
- ECHINOCACTUS GRUSONII  
GOLDEN BARREL CACTUS  
10" ROUND (MATCHING) (29)
- EUPHORBIA RESINIFERA  
MOROCCAN MOUND  
5 GALLON (23)
- LANTANA MONTEVIDENSIS  
'GOLD MOUND'  
1 GALLON (37)
- CONVOLVULUS CNEORUM  
BUSH MORNING GLORY  
5 GALLON (43)
- 3'x3'x3' SURFACE SELECT  
GRANITE BOULDER (BURY 1/3)  
MINIMUM 2000lbs EACH (16)
- 1/2" MINUS MADISON GOLD  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

PIMA ROAD (FRONTAGE)

CITY OF SCOTTSDALE  
LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE,

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED, TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 8-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE / CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.

THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE / CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.

LANDSCAPE PLAN  
**APPROVED**  
CITY OF SCOTTSDALE

CASE NUMBER \_\_\_\_\_ APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

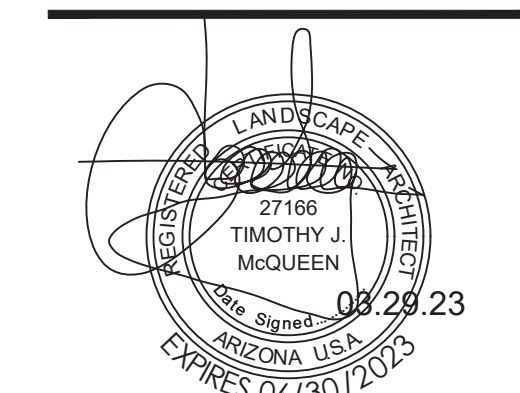
Case No: XX - DR - 2022



T.J. McQUEEN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
10450 N. 74th Street, Suite 120  
Scottsdale, Arizona 85258  
P: (602) 265-0320  
EMAIL: timmcqueen@tjma.net

**US BANK**  
**14900 NORTH PIMA ROAD**  
**SCOTTSDALE, ARIZONA**

NUMBER	REVISION	DATE



SHEET TITLE: LANDSCAPE

ISSUE DATE: 03.29.23

DRAWN BY: STAFF

CHECKED BY: TJMCQ

PROJECT No.: 22383

SHEET:

La.01



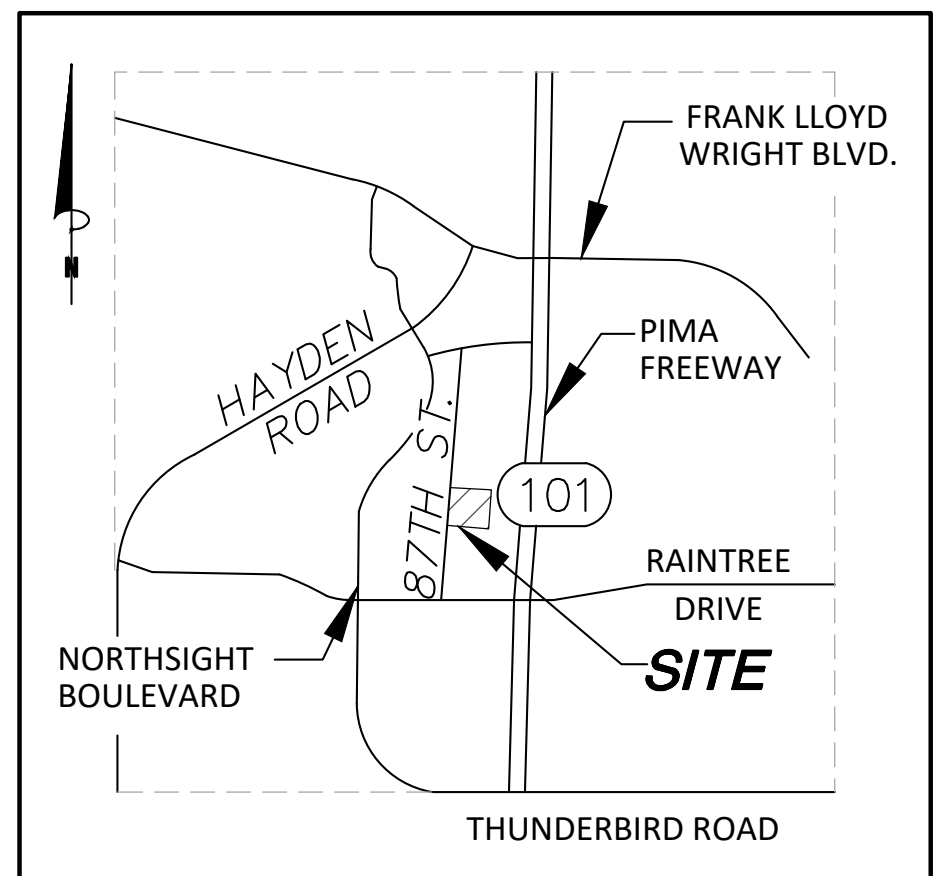
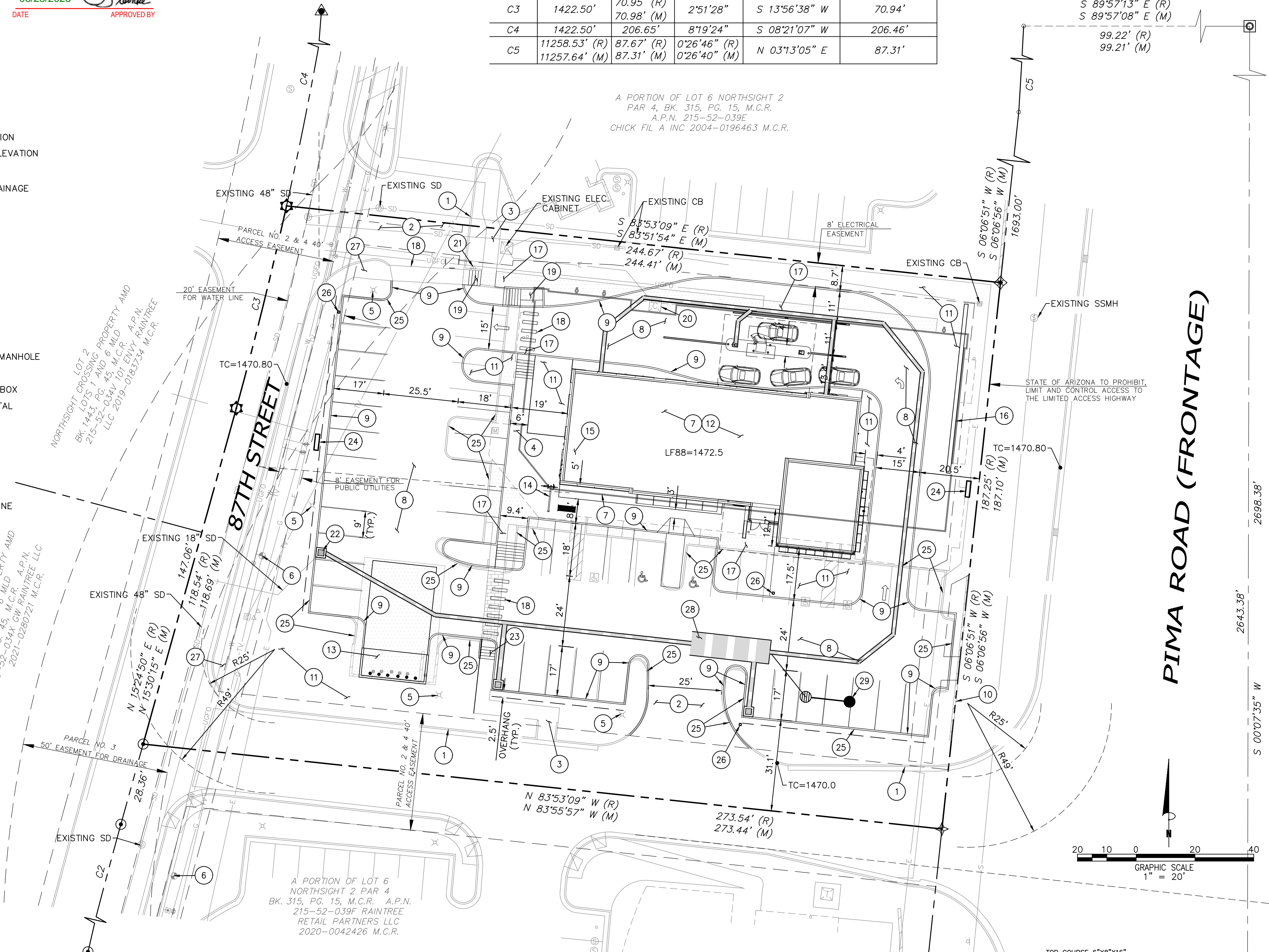
**LEGEND**

- BRASS CAP FLUSH
- BRASS CAP IN HAND HOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- BACKFLOW PREVENTOR
- AIR RELEASE VALVE
- REDUCER
- SEWER MANHOLE
- SEWER CLEANOUT
- SEWER FLOW DIRECTION
- EXISTING CONTOUR
- P=(1210.92) EXISTING PAVEMENT ELEVATION
- P=(1210.56) EXISTING AND PROPOSED ELEVATION
- 1210 CONTOUR ELEVATION
- 2.0% DIRECTION & SLOPE OF DRAINAGE
- RIGHT-OF-WAY
- EASEMENT
- PROPERTY LINE
- GB
- WATER
- S SEWER
- F FIRE LINE
- G GAS
- FO FIBER OPTIC
- LIGHT POLE
- EXISTING GAS MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SIGN
- EXISTING ELECTRICAL PULL BOX
- EXISTING TELEPHONE PEDISTAL
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING WATER
- EXISTING SEWER
- EXISTING GAS
- UGFO EXISTING UG FIBER OPTIC LINE
- STREET SIGN POST
- ELECTRIC CABINET

**APPROVED**  
 Stip Set PLANNING  
 08/28/2023  
 DATE APPROVED BY

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	2277.51'	534.19'	13°26'19"	S 06°05'12" W	532.96'
C2	2277.50'	103.28'	2°35'54"	S 14°06'18" W	103.27'
C3	1422.50'	70.95' (R) 70.98' (M)	2°51'28"	S 13°56'38" W	70.94'
C4	1422.50'	206.65'	8°19'24"	S 08°21'07" W	206.46'
C5	11258.53' (R) 11257.64' (M)	87.67' (R) 87.31' (M)	0°26'46" (R) 0°26'40" (M)	N 03°13'05" E	87.31'

A PORTION OF LOT 6 NORTHSIGHT 2  
 PAR 4, BK. 315, PG. 15, M.C.R.  
 A.P.N. 215-52-039E  
 CHICK FIL A INC 2004-0196463 M.C.R.



**VICINITY MAP**

**OWNER/DEVELOPER**  
 AVALON MAMMOTH LLC  
 7333 EAST DOUBLETREE RANCH RD  
 SUITE 140  
 SCOTTSDALE, AZ 85258

**ARCHITECT**  
 RSP ARCHITECTS, LTD  
 1220 MARSHALL STREET NE  
 MINNEAPOLIS, MN 88413-1036  
 PHONE: 612-677-7202 CONTACT:  
 MICHAEL BRANDT, PM  
 EMAIL:  
 MICHAEL.BRANDT@RSPARCH.COM

**ENGINEER**  
 BOWMAN CONSULTING  
 1600 N. DESERT DRIVE, SUITE 210  
 TEMPE, AZ 85281  
 PH: 480.629.8830  
 CONTACT: JEFFREY S. RYBARCZYK  
 EMAIL: JRYBARCZYK@BOWMAN.COM

**BENCHMARK:**  
 GDAACS POINT # 26037-1  
 BRASS CAP IN HAND HOLE AT THE  
 SOUTH QUARTER CORNER OF  
 SECTION 12, T3N, R4E, G&SRB&M  
 ELEVATION = 1434.44 (NAVD88)

**NOTE:**  
 I HEREBY CERTIFY THAT ALL ELEVATIONS  
 PRESENTED ON THIS PLAN ARE BASED ON  
 NAVD - 1988 AND MEET THE FEMA  
 BENCHMARK MAINTENANCE (BMM) CRITERIA.

**SITE DATA TABLE**

PROJECT:	US Bank
ADDRESS:	14900 NORTH PIMA ROAD SCOTTSDALE, AZ 85260
DEVELOPER:	AVALON MAMMOTH LLC
SCOPE:	CONSTRUCTION OF A NEW 4,410 SF US BANK FACILITY
LEGAL DESCRIPTION:	A PORTION OF PARCEL 6, ACCORDING TO THE MAP OF DEDICATION FOR NORTHSIGHT II, RECORDED IN BOOK 315 OF MAPS, PAGE 15
ASSESSOR PARCEL NUMBER:	215-52-039D
MAXIMUM BUILDING HEIGHT:	24' - 4"
OCCUPANCY:	B-BUSINESS
CONSTRUCTION:	VB
REQUIRED F.A.R.	MAX ALLOWED 0.8X48,349 SF = 38,679 SF
PROVIDED F.A.R.	4,445 SF / 48,349 SF = 0.092
BUILDING AREA:	4,445 SF
EXISTING ZONING:	C-2
SITE AREA:	1,109 AC / 48,349 SF
LANDSCAPE AREA:	11,102 SF
LANDSCAPE COVERAGE:	11,102 / 48,439=23.0%
PARKING REQUIRED:	4,445 SF / 250 SF = 18 SPACES
PARKING PROVIDED:	36 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES

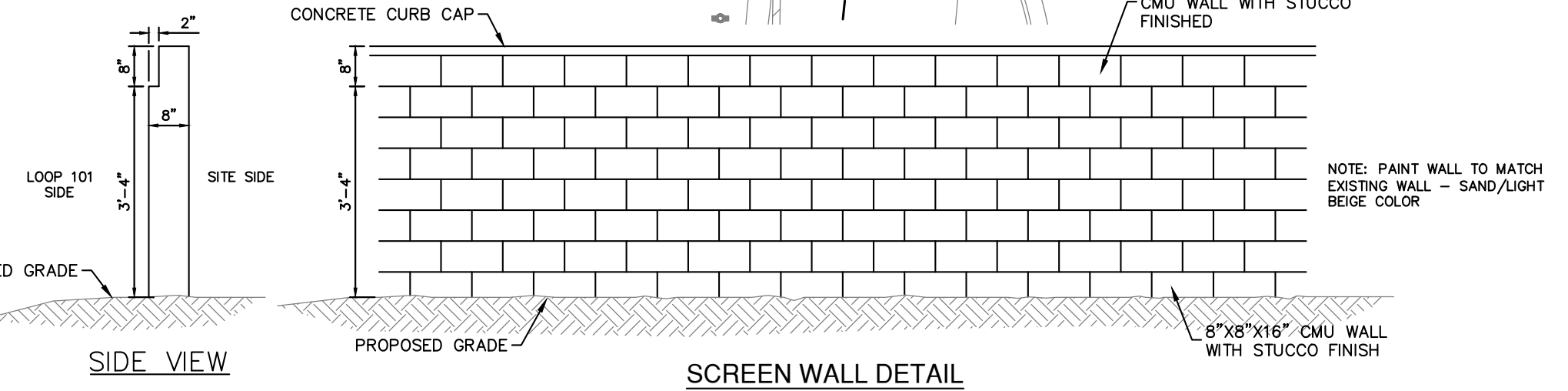
**BUILDING HEIGHT CALCULATIONS**

TOP OF BUILDING	= 1472.5 + 24.33 = 1496.83
HEIGHT EAST SIDE	= 1496.83 - 1471.80 = 25.03'
HEIGHT SOUTH SIDE	= 1496.83 - 1471.00 = 25.83'
HEIGHT WEST SIDE	= 1496.83 - 1471.80 = 25.03'

**FIRST FLUSH MITIGATION NOTE**

UNDERGROUND STORMWATER STORAGE TANKS (USSTs) MUST MEET THE CITY'S USST POLICY IN SECTION 4-1.2020F OF THE CITY'S DESIGN STANDARDS AND POLICIES MANUAL (DSPM), WHICH INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: (THE REFERENCED SECTION SHOULD BE FULLY REVIEWED TO ADDRESS ALL APPLICABLE ITEMS)

- THE OWNER MUST DEDICATE A PUBLIC DRAINAGE EASEMENT OVER THE USST, WITH NO MAJOR VEGETATION SUCH AS TREES WITHIN THE EASEMENT. AT A MINIMUM, THE EASEMENT SHOULD EXTEND AT A PROJECTED SLOPE OF 1:1 FROM THE BOTTOM OF THE TANK, AT THE OUTER LIMIT POINTS.
- THE USST MUST HAVE AT LEAST A 75-YEAR LIFE, INCLUDING THE LINING AND COATING.
- THE USST MUST DRAIN BY GRAVITY.
- SPECIFY MAG SUPPLEMENT STANDARD DETAIL 2554 FOR CORRUGATED METAL PIPES.
- A MINIMUM OF TWO ACCESS POINTS MUST BE PROVIDED FOR EACH USST.
  - AN OPERATIONS AND MAINTENANCE (O&M) MANUAL MUST BE PREPARED FOR THE SYSTEM PRIOR TO APPROVAL OF FINAL PLANS.
  - FINAL PLANS MUST INCLUDE SIGNS AT EACH END OF THE USST.
  - A SIGNED AND NOTARIZED OWNERSHIP AND RESPONSIBILITY STATEMENT MUST BE PROVIDED PRIOR TO APPROVAL OF FINAL PLANS.
  - ADD THE REQUIRED WARNING SIGNS.



**FLOOD INSURANCE RATE MAP (FIRM) INFORMATION**

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	04013C1760L 10/16/2013	L	07/20/2021	X	N/A



- KEY NOTES**
- EXISTING CURB AND GUTTER TO REMAIN
  - EXISTING DRIVEWAY TO REMAIN
  - EXISTING SIDEWALK TO REMAIN
  - PROPOSED CONCRETE SIDEWALK
  - EXISTING LIGHT POLE TO REMAIN
  - EXISTING FH TO REMAIN
  - EXISTING BUILDING TO BE DEMOLISHED
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CURB
  - EXISTING SCREEN WALL TO REMAIN
  - LANDSCAPE AREA
  - PROPOSED BUILDING
  - EXISTING REFUSE ENCLOSURE TO BE REPLACED
  - PROPOSED BICYCLE PARKING PAD
  - FIRE RISER ROOM

- PROPOSED SCREEN WALL TO MATCH EXISTING SCREEN WALL - SEE DETAIL THIS SHEET
- EXISTING SIDEWALK TO BE REMOVED
- 5' WIDE STRIPED PEDESTRIAN ZONE
- PUBLISHING ADA RAMP REMOVED AND REPLACED
- EXISTING ELECTRIC CABINET TO BE RELOCATED
- EXISTING FDC
- EXISTING CATCH BASIN TO BE REPLACED
- PROPOSED MONUMENT SIGN
- EXISTING CURB TO BE REMOVED
- PROPOSED DIRECTIONAL SIGN
- EXISTING PEDESTRIAN RAMP TO BE RECONSTRUCTED TO BE ADA COMPLIANT
- PROPOSED 96" PIPE
- PROPOSED DUAL CHAMBER DRYWELL



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 Phone: (480) 629-8830  
 www.bowman.com  
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MARICOPA COUNTY

SITE PLAN  
**US BANK**  
 SCOTTSDALE, ARIZONA

PROJECT NUMBER  
 28117  
 JEFFREY SCOTT RYBARCZYK  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 20717  
 PLAN STATUS

DATE	DESCRIPTION
JSR	JMB JSR
DESIGN	DRAWN CHKD
SCALE	H: 1"=20' V:
JOB NO.	051355-01-001
DATE:	07/11/2023
<b>C1.1</b>	
SHEET	1 OF 1



**APPROVED**

Stip Set PLANNING

08/28/2023

*Stambe*

DATE

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NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

# RSP

**RSP Architects**

1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499 fax  
www.rsparch.com

Project For



**FLW BLVD & HWY 101  
(RAINTREE)**

**14900 N Pima Rd,  
Scottsdale, AZ 85260**

Project No.	14853F7F8A
Drawn By	BK
Checked By	DC, MB
Date	05/25/2023

**3D RENDERINGS**

# 02



**APPROVED**

Stip Set PLANNING

08/28/2023

DATE APPROVED BY



NORTHWEST ELEVATION



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

# RSP

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**3D RENDERINGS**

# 03



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Stip Set PLANNING

08/28/2023

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DATE

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SEE SHEET A301 FOR DOOR SCHEDULE AND WINDOW TYPES.
B. SEE SHEET A401 FOR EXTERIOR MATERIAL SCHEDULE.
C. SEE SHEET A201 FOR EXTERIOR SOFFIT FINISH AND HEIGHT INFORMATION.
D. SEE EXTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL JOINTS TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE A CONTROL JOINT AT ALL MASONRY REENTRANT CORNERS.
E. ALL EXPOSED STRUCTURE SHALL BE GALVANIZED AND PAINTED PT-10 UNDO.
F. ALL EXTERIOR SIGNAGE BY STRATUS TO BE ISSUED UNDER SEPARATE PACKAGE.
G. SEE SHEET A401 FOR ADDITIONAL SITE INFORMATION, TRASH ENCLOSURE ELEVATIONS, DETAILS AND FINISHES.
H. ALL BANK EQUIPMENT INFORMATION TO BE PROVIDED BY CONVERGENT TECHNOLOGIES. CONTACT INFORMATION IS PROVIDED ON COVER SHEET 0000.
I. FOR INFORMATION ON WINDOW FILM SEE SHEET I201.

KEYNOTES - EXTERIOR ELEVATIONS

Table with 2 columns: NO. and DESCRIPTION. Lists keynotes 1 through 21 for various construction details like fire department connection, thru-wall ATM, metal cap flashing, etc.

EXTERIOR ELEVATION LEGEND

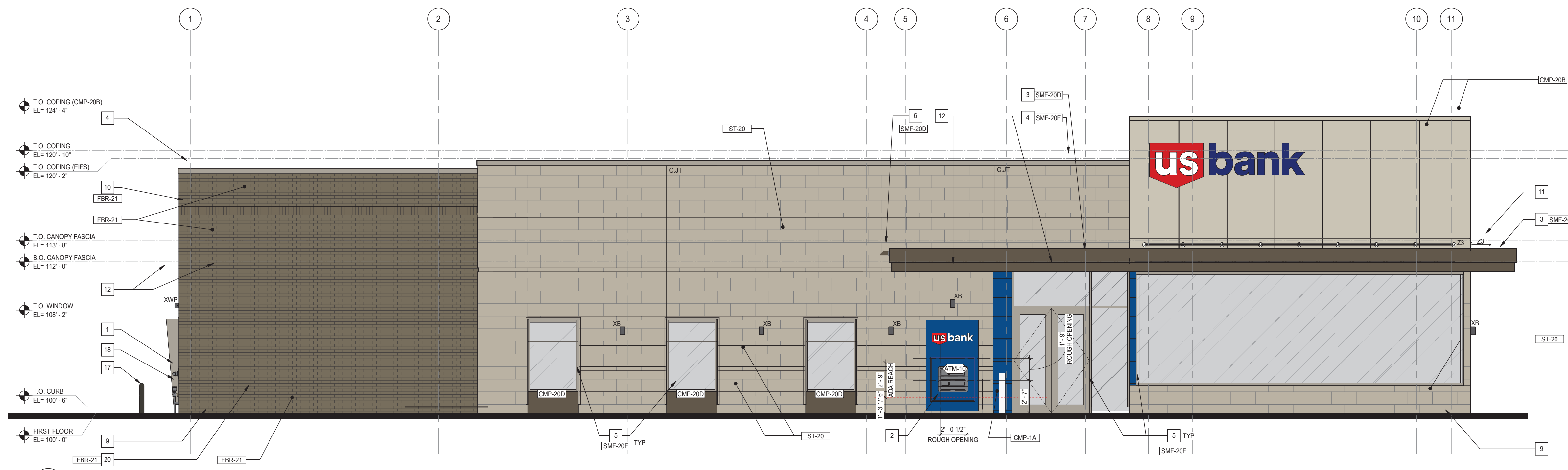
C.JT - CONTROL JOINT

LIGHT FIXTURE SCHEDULE

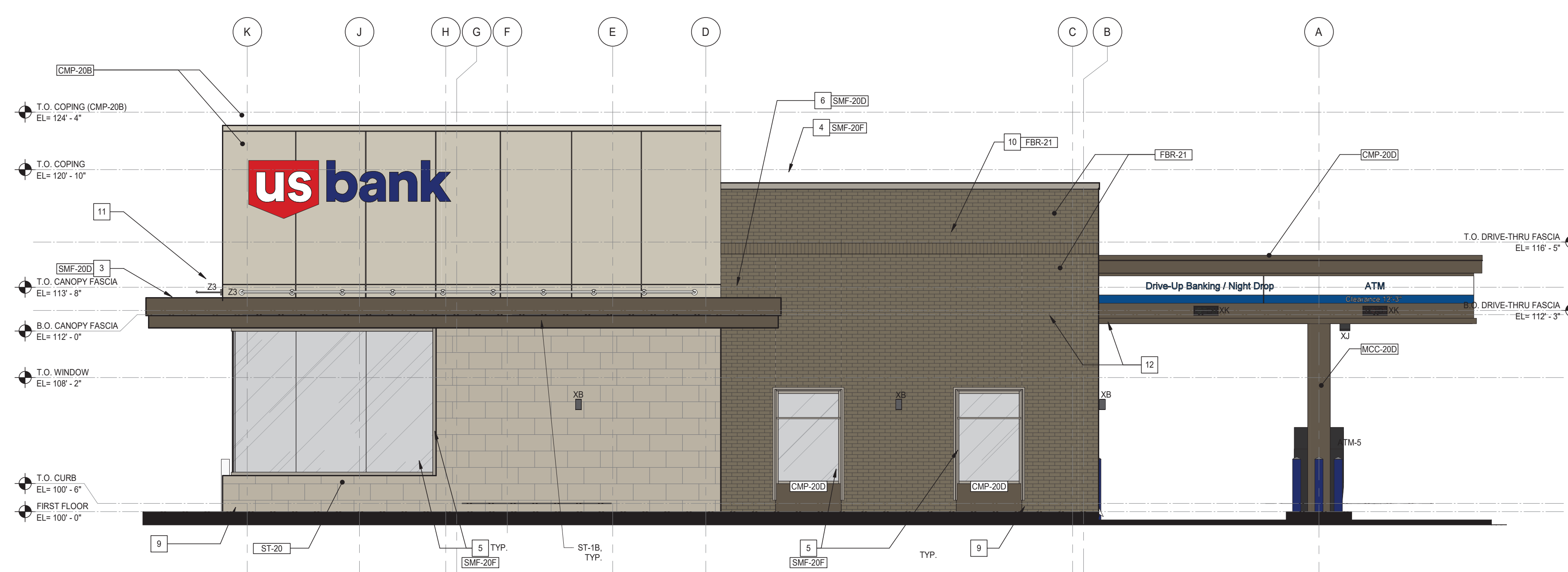
Table listing light fixture details: LIGHT 'XA' - UNDER CANOPY LIGHT, LIGHT 'XB' - WALL SCONCE, LIGHT 'XWP' - WALL PACK, LIGHT 'XK' - EXTERIOR STOP GO LIGHT. Includes manufacturer, style, model, size, lamp, dimming, mounting, color temp, and voltage.

LIGHT 'XJ' - ATM CANOPY LIGHT

Table listing light fixture details for 'XJ' and 'XZ' types, including manufacturer, style, model, size, lamp, dimming, mounting, color temp, and voltage.



1 ELEVATION - SOUTH 1/4" = 1'-0"



2 ELEVATION - EAST 1/4" = 1'-0"

EXTERIOR MATERIAL BOARD. Grid of material swatches with descriptions: EIFS, CMP-200, CMP-1A, MFR DRYVIT, COMPOSITE METAL PANEL, COMPOSITE METAL PANEL, CMP-20B, FACE BRICK, MFR REYNOLBOND / PAC-CLAD, MFR ENDICOTT BRICK, MFR CERTAINTED, MFR CERTAINTED, MFR PAC-CLAD, MFR VALDERS STONE AND MARBLE.

NOT FOR CONSTRUCTION 05/08/2023



FRANK LLOYD WRIGHT BOULEVARD AND HIGHWAY 101 (RAINTREE)

14900 N Pima Rd, Scottsdale, AZ 85260

Project No. 14853F7F8A
Drawn By MSC
Checked By DC, MB
Date 04/21/2023

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Sheet Issues / Revisions

Table with 3 columns: No., Date, Description. For tracking sheet revisions.

EXTERIOR ELEVATIONS

A401



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Stip Set PLANNING

08/28/2023

APPROVED BY

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SEE SHEET A301 FOR DOOR SCHEDULE AND WINDOW TYPES.
B. SEE SHEET A401 FOR EXTERIOR MATERIAL SCHEDULE.
C. SEE SHEET A201 FOR EXTERIOR SOFFIT FINISH AND HEIGHT INFORMATION.
D. SEE EXTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS.
E. ALL EXPOSED STRUCTURE SHALL BE GALVANIZED AND PAINTED PT-10 U.N.O.
F. ALL EXTERIOR SIGNAGE BY STRATUS TO BE ISSUED UNDER SEPARATE PACKAGE.
G. SEE SHEET A001 FOR ADDITIONAL SITE INFORMATION, TRASH ENCLOSURE ELEVATIONS, DETAILS AND FINISHES.
H. ALL BANK EQUIPMENT INFORMATION TO BE PROVIDED BY CONVERGENT TECHNOLOGIES. CONTACT INFORMATION IS PROVIDED ON COVER SHEET 0000.
I. FOR INFORMATION ON WINDOW FILM SEE SHEET I201.

KEYNOTES - EXTERIOR ELEVATIONS

Table with 2 columns: NO. and DESCRIPTION. Lists items 1 through 21 including fire department connection, thru-wall ATM, entry canopy, metal cap flashing, aluminum storefront mullions, scupper, KNOX key box, building identification number, concrete curb, brick soldier course, wall wash light fixture, security camera, drive-thru canopy, overflow scupper, formed metal column enclosure, thru-wall overflow lambs tongue, bollards, irrigation backflow preventer, signage by others, brick rowlock course, and deep thick wood fins.

EXTERIOR ELEVATION LEGEND

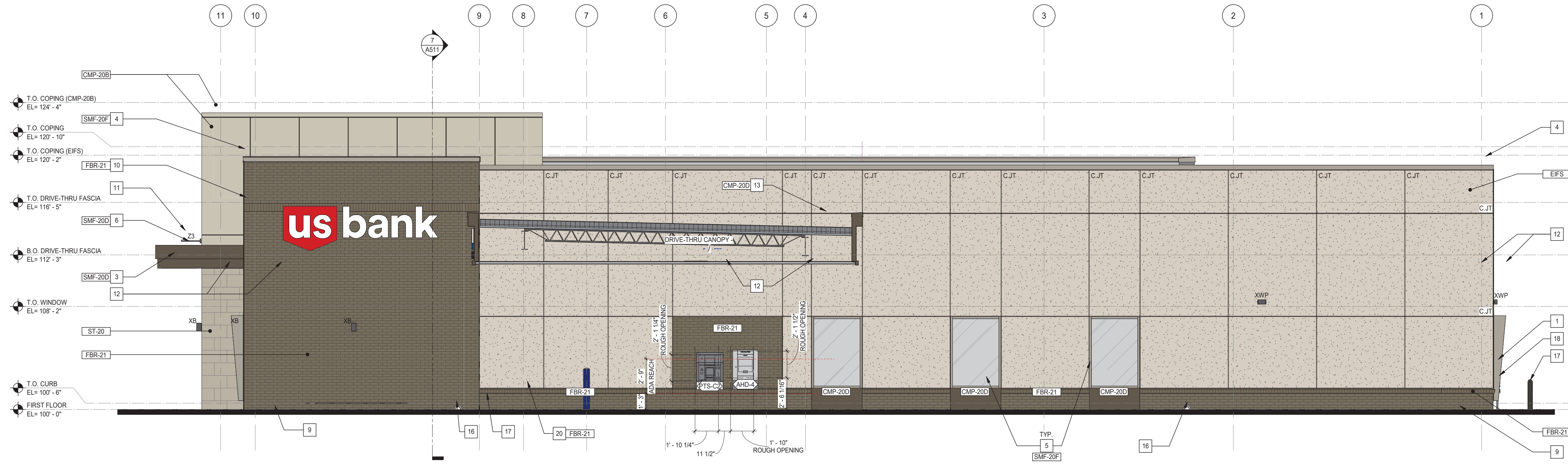
C.JT - CONTROL JOINT

LIGHT FIXTURE SCHEDULE

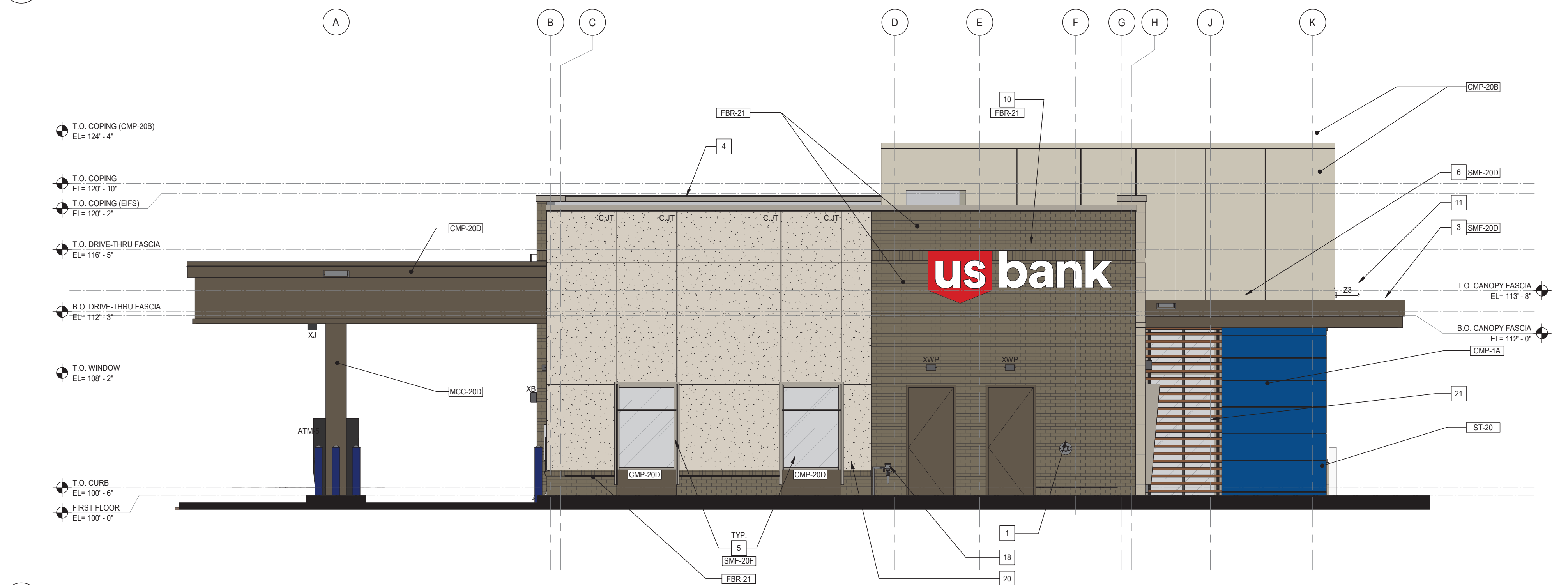
- LIGHT 'XA' - UNDER CANOPY LIGHT
LIGHT 'XB' - WALL SCONCE
LIGHT 'XWP' - WALL PACK
LIGHT 'XK' - EXTERIOR STOP GO LIGHT

LIGHT 'XF' - ATM CANOPY LIGHT

- LIGHT 'XF' - ATM CANOPY LIGHT
LIGHT 'Z3' - 3'-0" WALL MOUNT



1 ELEVATION - NORTH 1/4" = 1'-0"



2 ELEVATION - WEST 1/4" = 1'-0"

EXTERIOR MATERIAL BOARD table listing materials like EFS, CMP-20B, CMP-10A, FBR-21, MCC-20D, MP-01, MCS-1B, SMF-20D, SMF-20F, and ST-20 with their respective colors and finishes.

NOT FOR CONSTRUCTION 05/08/2023



FRANK LLOYD WRIGHT BOULEVARD AND HIGHWAY 101 (RAINTREE)

14900 N Pima Rd, Scottsdale, AZ 85260

Project No. 148537F8A
Drawn By MSC
Checked By DC, MB
Date 04/21/2023

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Sheet Issues / Revisions table with columns: No., Date, Description

EXTERIOR ELEVATIONS

A402



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Stip Set PLANNING

08/28/2023

DATE APPROVED BY

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SEE SHEET A301 FOR DOOR SCHEDULE AND WINDOW TYPES.
B. SEE SHEET A401 FOR EXTERIOR MATERIAL SCHEDULE.
C. SEE SHEET A201 FOR EXTERIOR SOFFIT FINISH AND HEIGHT INFORMATION.
D. SEE EXTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS.
E. ALL EXPOSED STRUCTURE SHALL BE GALVANIZED AND PAINTED PT-10 U.N.O.
F. ALL EXTERIOR SIGNAGE BY STRATUS TO BE ISSUED UNDER SEPARATE PACKAGE.
G. SEE SHEET A001 FOR ADDITIONAL SITE INFORMATION, TRASH ENCLOSURE ELEVATIONS, DETAILS AND FINISHES.
H. ALL BANK EQUIPMENT INFORMATION TO BE PROVIDED BY CONVERGENT TECHNOLOGIES. CONTACT INFORMATION IS PROVIDED ON COVER SHEET 0000.
I. FOR INFORMATION ON WINDOW FILM SEE SHEET 0201.

KEYNOTES - EXTERIOR ELEVATIONS

Table with 2 columns: NO. and DESCRIPTION. Lists items 1 through 21 including fire department connection, thru-wall ATM, entry canopy, metal cap flashing, aluminum storefront mullions, scupper, Knox key box, building identification number, concrete curb, brick soldier course, wall wash light fixture, security camera, drive-thru canopy, overflow scupper, formed metal column enclosure, thru-wall overflow lambs tongue, bollards, irrigation backflow preventer, signage, brick rowlock course, and deep thick wood fins.

EXTERIOR ELEVATION LEGEND

C.JT - CONTROL JOINT

LIGHT FIXTURE SCHEDULE

Table listing light fixture details: LIGHT 'XA' - UNDER CANOPY LIGHT, LIGHT 'XB' - WALL SCONCE, LIGHT 'XWP' - WALL PACK, and LIGHT 'XK' - EXTERIOR STOP GO LIGHT. Includes manufacturer, style, model, size, lamp, dimming, mounting, color temp, and voltage for each.

LIGHT 'XF' - ATM CANOPY LIGHT

Table listing light fixture details for LIGHT 'XF' - ATM CANOPY LIGHT, including manufacturer, style, model, size, lamp, dimming, mounting, color temp, and voltage.

EXTERIOR MATERIAL BOARD

Material board showing color swatches and specifications for EIFS, CMP-200, CMP-1A, CMP-20B, FBR-21, MCC-200, MP-01, MCS-1B, SMF-200, SMF-20F, and ST-20. Includes manufacturer, style, model, size, and color information.

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FRANK LLOYD WRIGHT BOULEVARD AND HIGHWAY 101 (RAINTREE)

14900 N Pima Rd, Scottsdale, AZ 85260

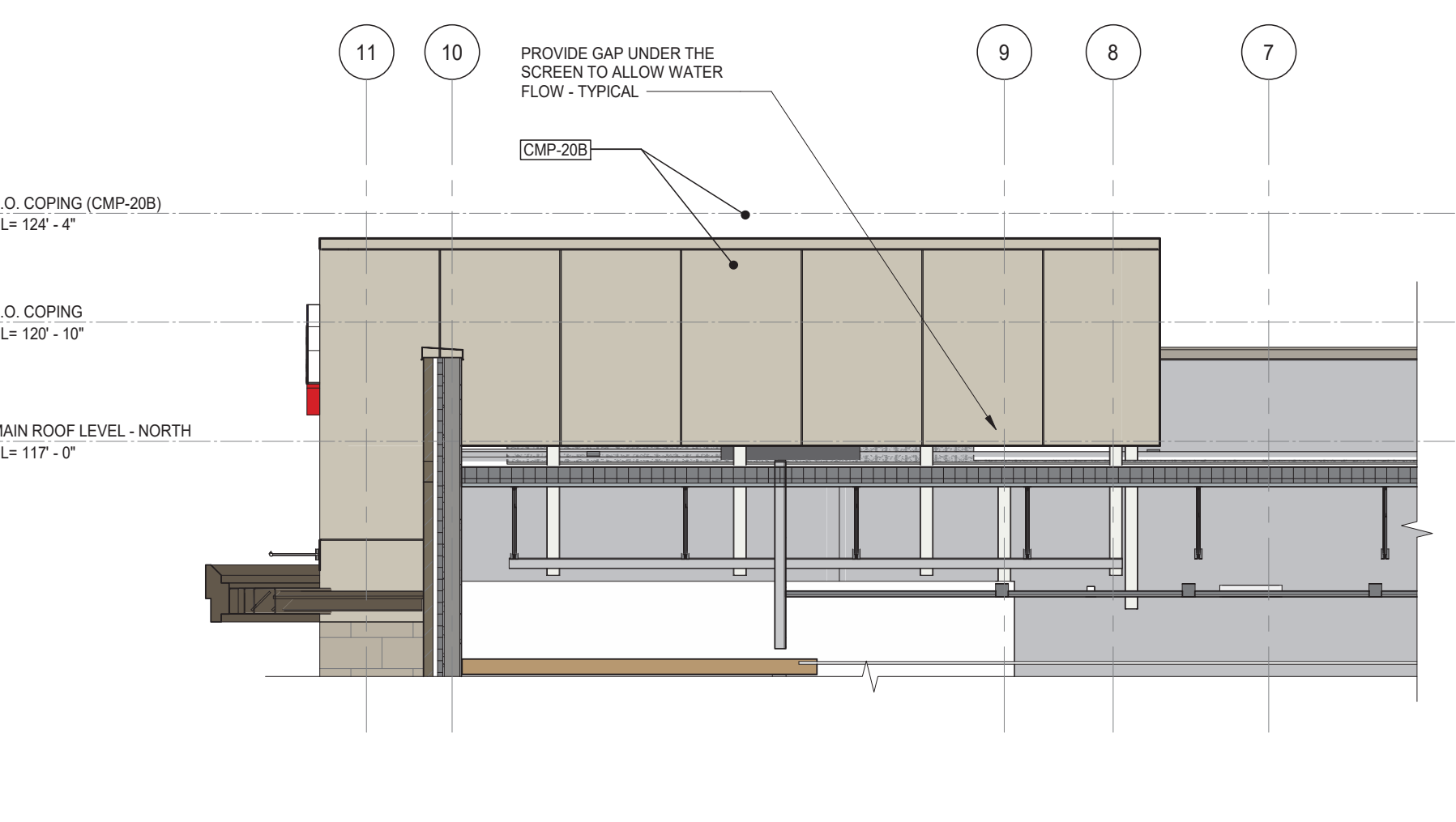
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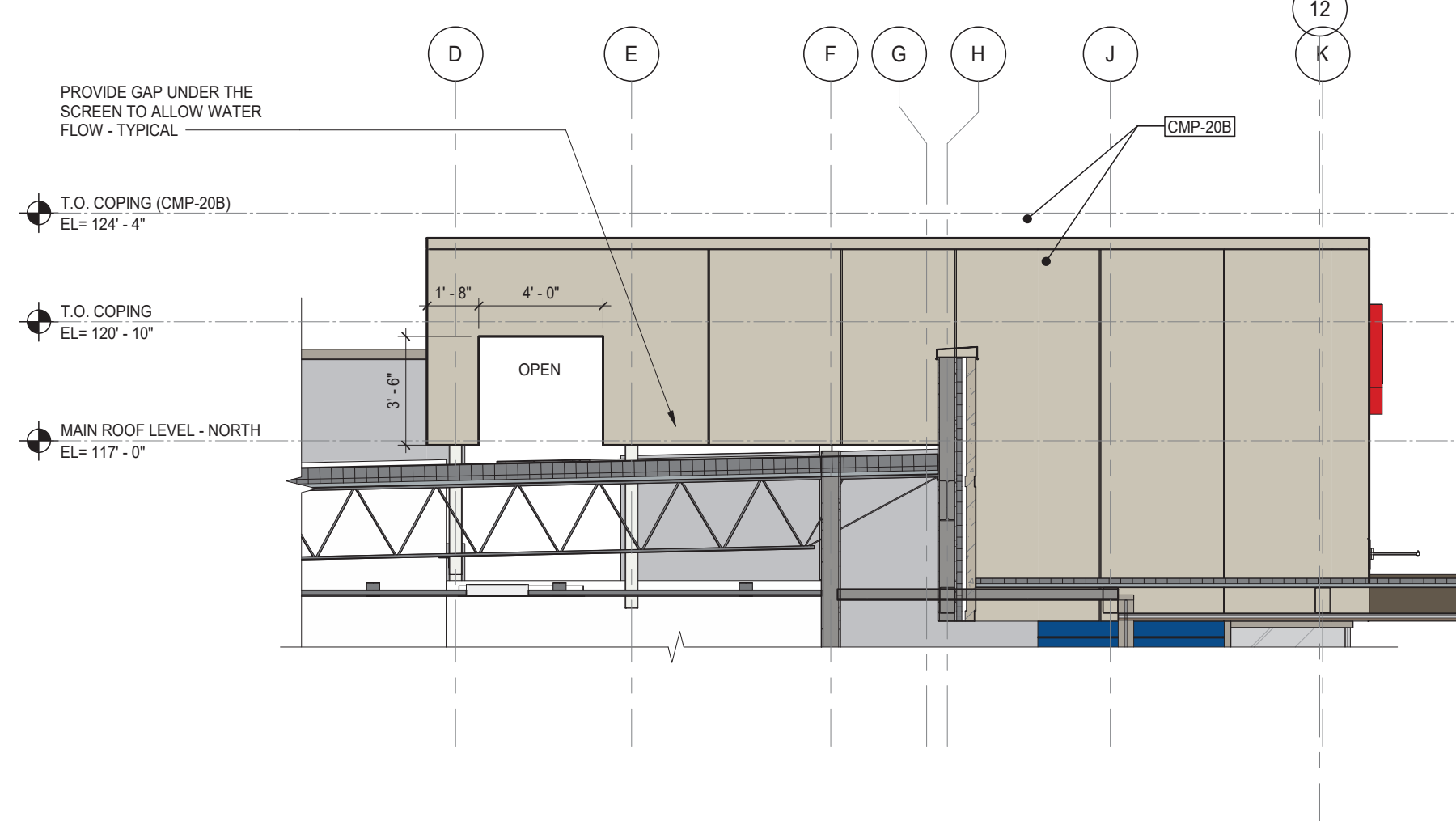
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Sheet Issues / Revisions

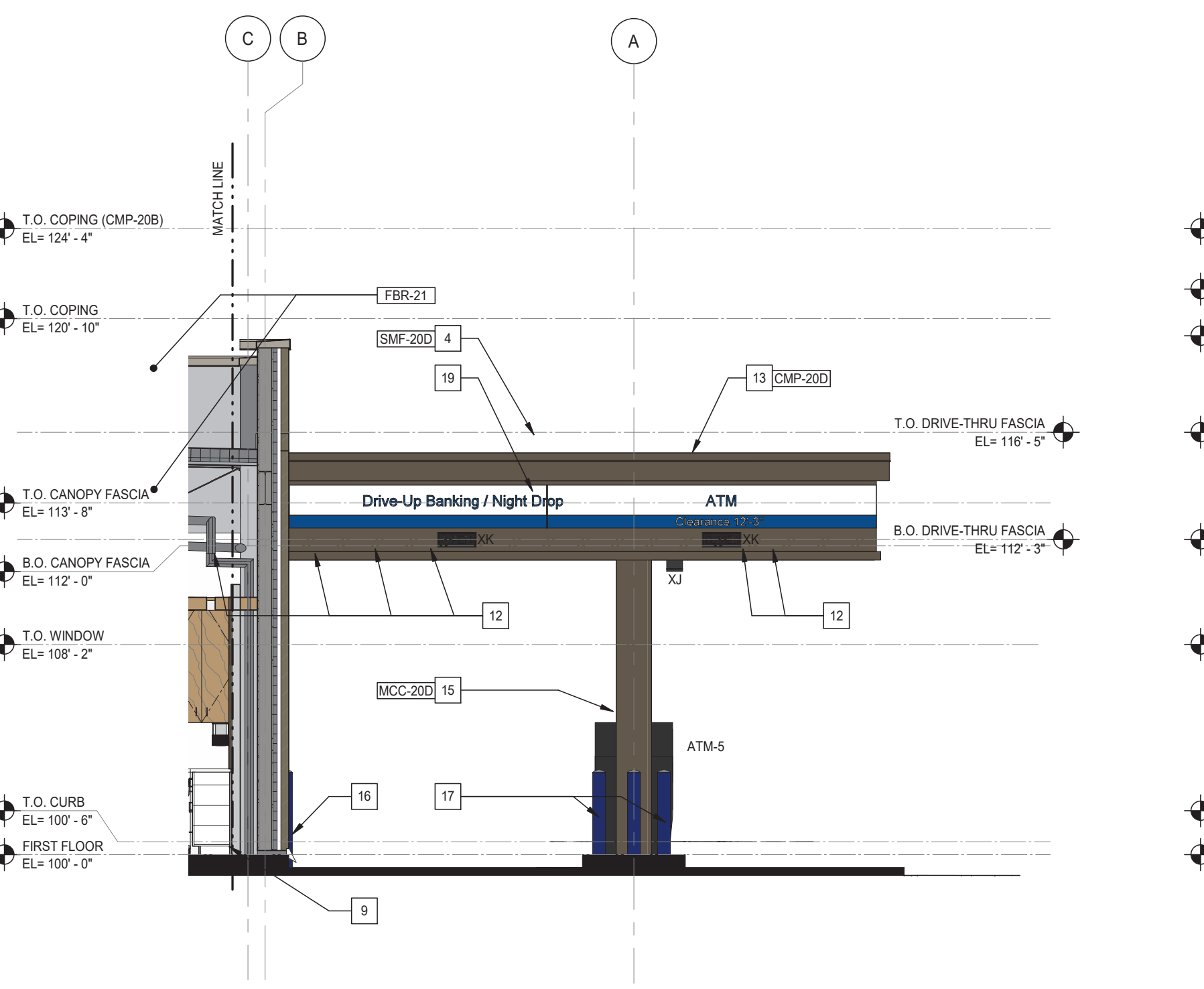
Table with 3 columns: No., Date, Description. Contains one row with empty cells.



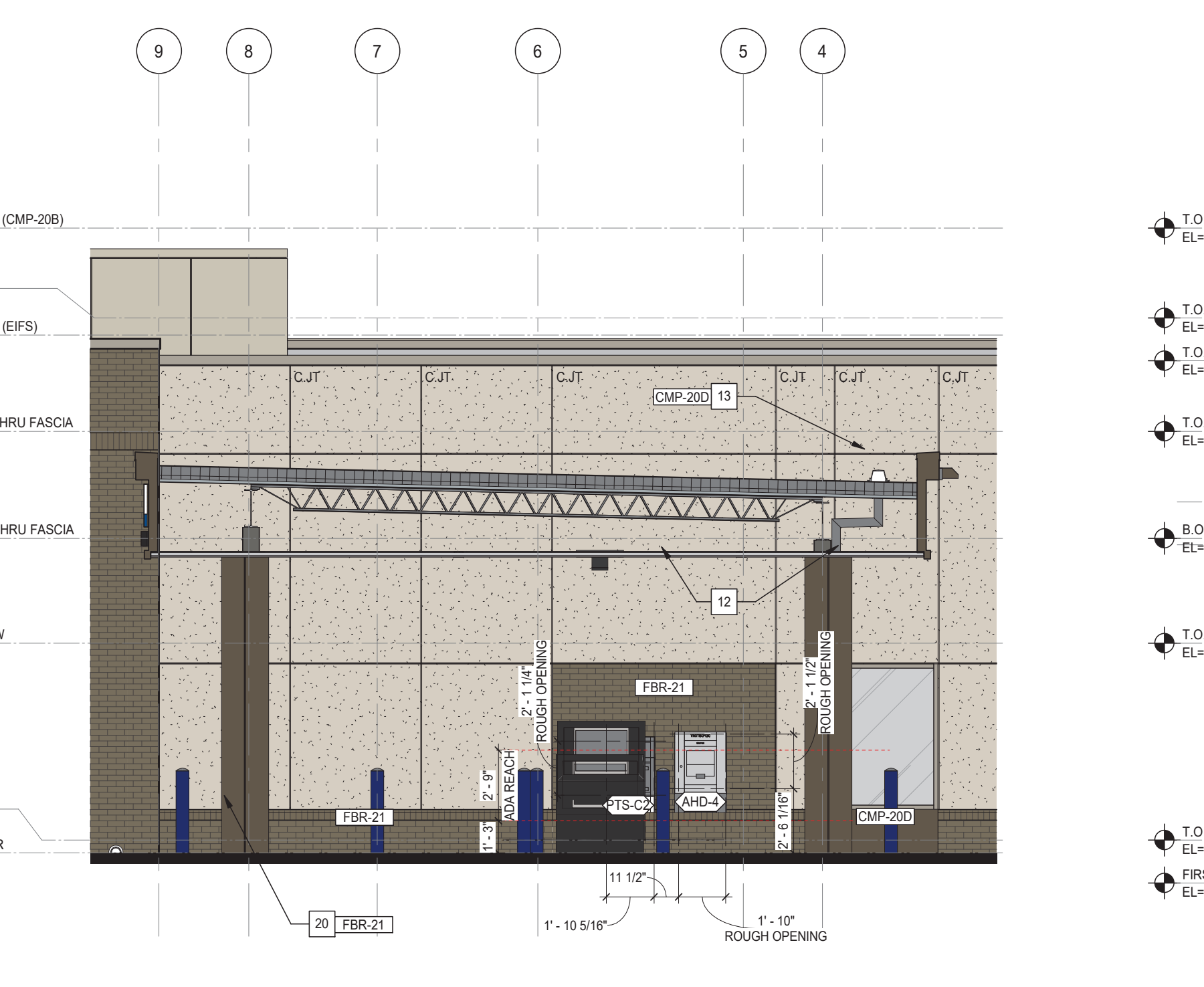
1 PENTHOUSE SCREEN ELEVATION - NORTH 1/4\" = 1'-0\"



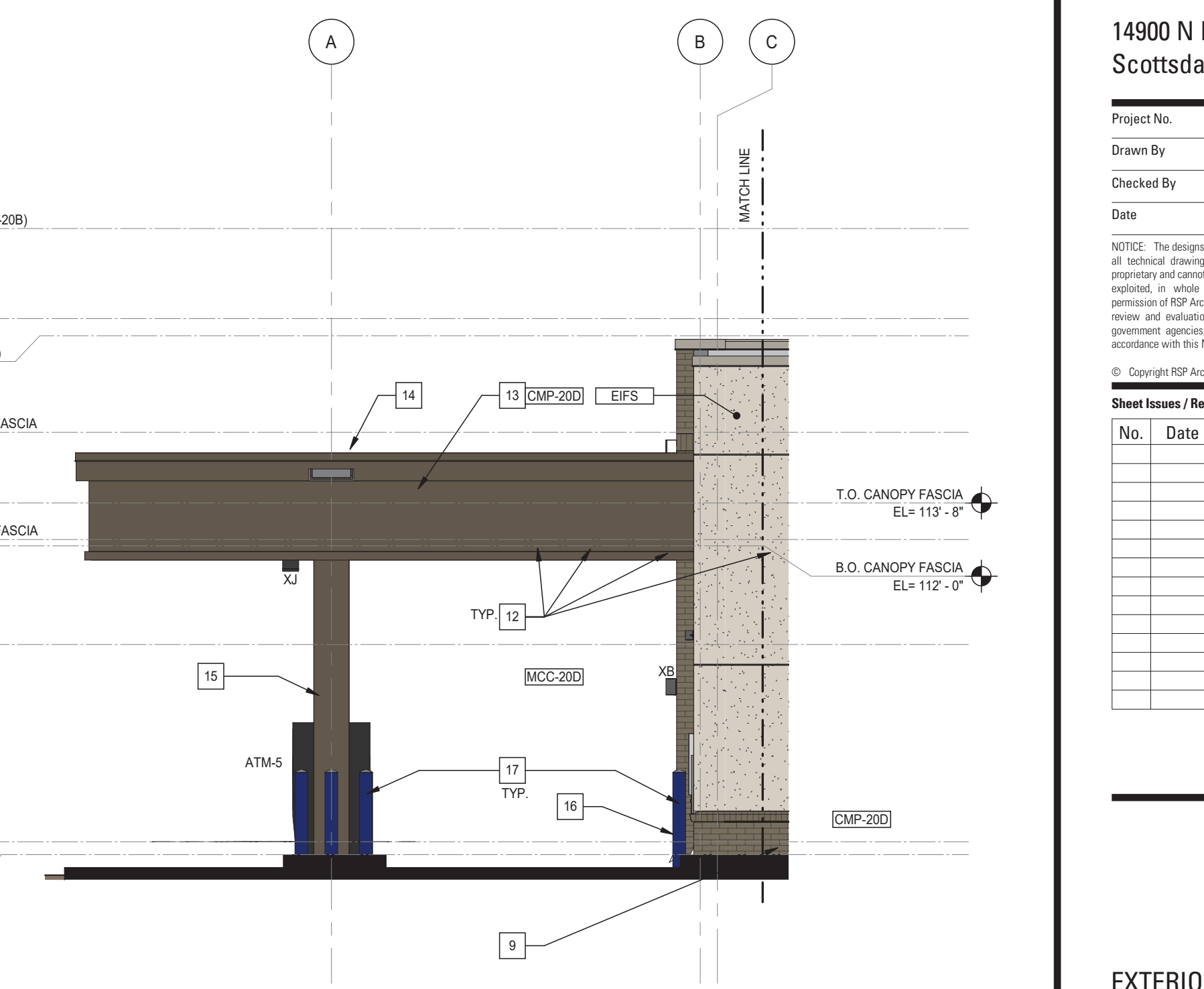
2 PENTHOUSE SCREEN ELEVATION - WEST 1/4\" = 1'-0\"



3 ELEVATION - EAST\_MOUNTAIN VIEW DRIVE-THRU CANOPY 1/4\" = 1'-0\"



4 ELEVATION - EAST\_MOUNTAIN VIEW DRIVE-THRU CANOPY 1/4\" = 1'-0\"



5 ELEVATION - EAST\_MOUNTAIN VIEW DRIVE-THRU CANOPY 1/4\" = 1'-0\"