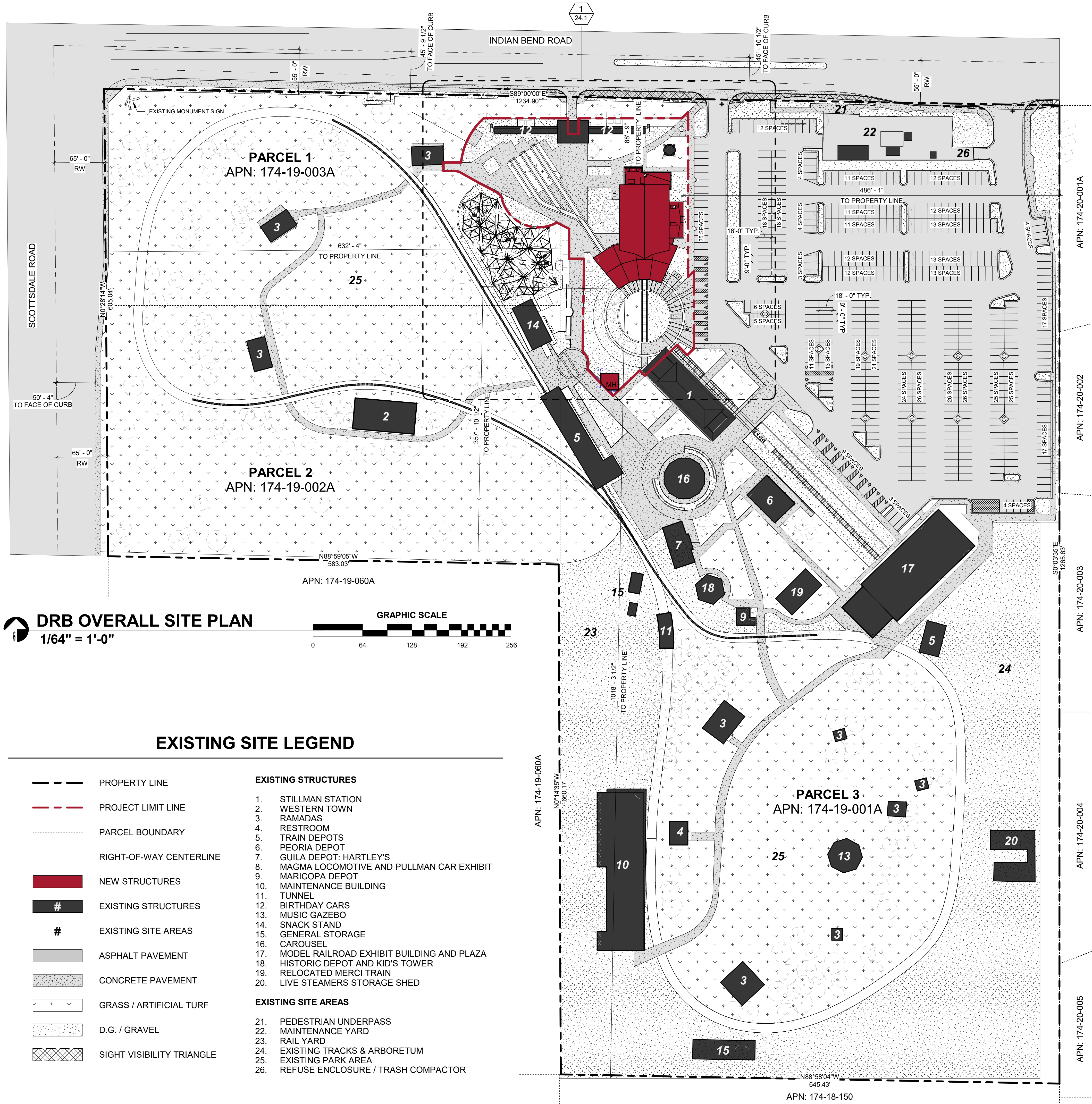




PROJECT DATA

GROSS LOT AREA: 1,276,701 SF / 29.31 ACRES
NET LOT AREA: 1,165,753 SF / 26.76 ACRES
PARCEL NUMBERS: 174-19-001A, 174-19-002A, 174-19-003A
PARCEL ZONING: O-S

GROSS FLOOR AREA: 9,436 SF

BICYCLE PARKING

Requirement per Sec. 9.103.C (City of Scottsdale, Zoning Ordinance, Article IX): "Every principal and accessory use of the land which is required to provide at least forty (40) vehicular parking spaces shall be required to provide bicycle parking spaces at a rate of one (1) bicycle parking space per every ten (10) required vehicular parking spaces; and after July 9, 2010, new development shall provide, at a minimum, two (2) bicycle parking spaces. No use shall be required to provide more than one hundred (100) bicycle parking spaces."

REQUIRED: 7 BICYCLE PARKING SPACES
66 REQ'D. VEHICLE PARKING / 10 = 6.6, OR 7 REQUIRED SPACES
PROVIDED: 20 BICYCLE PARKING SPACES
8 SPACES (EXISTING) + 12 SPACES (NEW)

OPEN SPACE

Per Sec. 6.900 (City of Scottsdale Zoning Ordinance, Article IX) No minimum open space requirements for Open Space (OS) zoning district.
N/A
900,010 SF (APPROX.)

VEHICLE PARKING

REQUIRED: 66 VEHICLE PARKING SPACES
21.94 ACRES * 3 = 65.82 OR 66 SPACES
PROVIDED: 485 VEHICLE PARKING SPACES
464 NON-ADA SPACES, 21 ADA SPACES
NO CHANGE TO EXISTING PARKING COUNTS

ACCESSIBLE PARKING Requirement per Sec. 9.105.B.4 (City of Scottsdale, Zoning Ordinance, Article IX): Minimum four (4) percent of the provided parking.

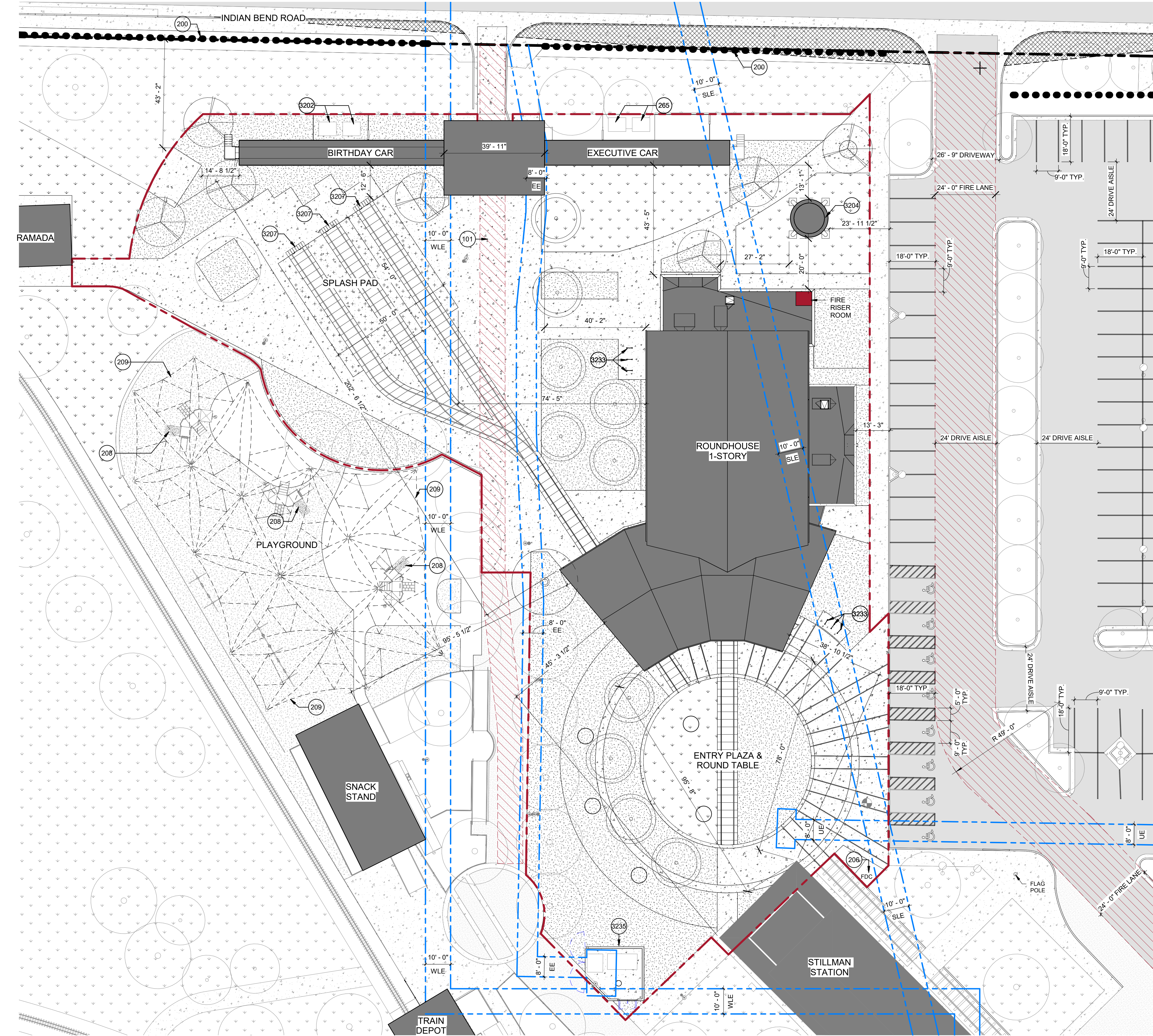
REQUIRED: 20 ACCESSIBLE PARKING SPACES
485 PROVIDED PARKING * 0.04 = 19.4, OR 20 ACCESSIBLE SPACES
PROVIDED: 21 ACCESSIBLE PARKING SPACES
NO CHANGE TO EXISTING PARKING COUNTS

9/21/2023 DRB
APPROVED

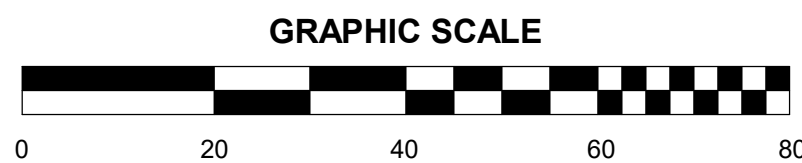


VICINITY SITE MAP

6/16/2023 10:20:15 AM



1 DRB ENLARGED SITE PLAN
1" = 20'-0"



KEYNOTES

101	MAINTAIN 16' EXISTING FIRE LANE
200	EXISTING SITE FENCE TO REMAIN
206	EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN
208	EXISTING PLAYGROUND EQUIPMENT TO REMAIN
209	EXISTING SHADE STRUCTURE TO REMAIN
262	EXISTING APS TRANSFORMER TO REMAIN
265	EXISTING CONDENSING UNIT TO REMAIN
3202	RE-INSTALL EXISTING CONDENSER UNIT
3204	CELL TOWER (DECORATIVE WATER TOWER) INSTALLED UNDER SEPERATE PROJECT
3207	SEAT WALL
3233	BIKE RACKS
3235	MASONRY EQUIPMENT ENCLOSURE

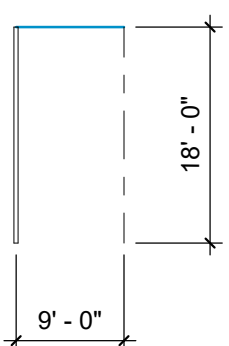
SITE PLAN LEGEND

	PROPERTY LINE
	PROJECT LIMIT LINE
	EXISTING SITE WALL / FENCE
	EASEMENTS
• SLE • EE • UE • WLE	- SEWER LINE - ELECTRICAL - UTILITY - WATER LINE

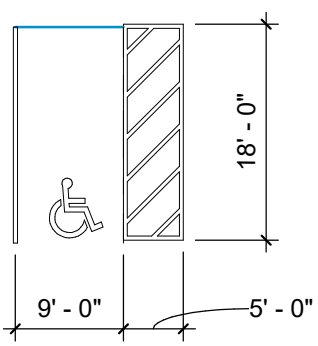
	SIGHT VISIBILITY TRIANGLE
	FIRE LANE
	BUILDING FOOTPRINT
	SHADE STRUCTURE
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT

	SITE LIGHTPOLE
	EXISTING FIRE HYDRANT

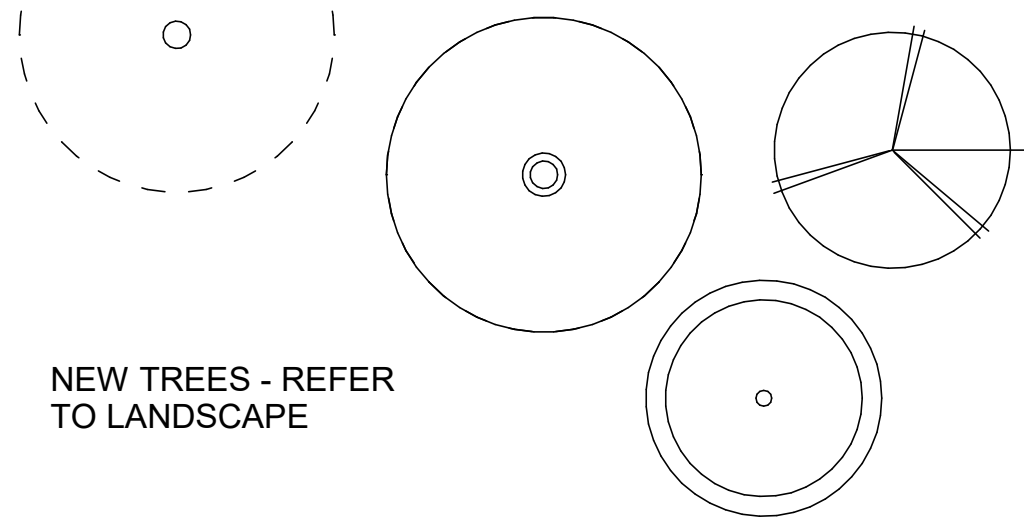
TYPICAL PARKING



TYP. ADA PARKING



EXISTING TREE TO REMAIN



NEW TREES - REFER TO LANDSCAPE



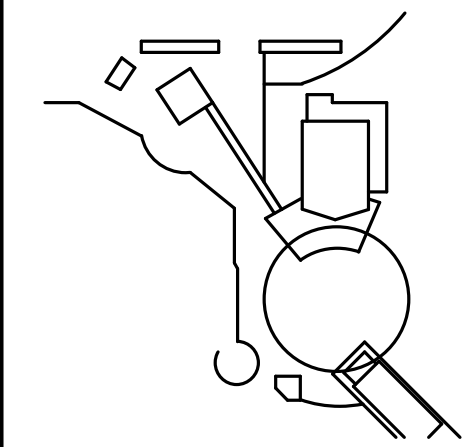
REVISIONS

No.	Description	Date
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DEVELOPMENT APPLICATION

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DWL ARCHITECTS + PLANNERS, INC.

KEY:



SHEET TITLE

SITE PLAN

SHEET NUMBER:

24.1

DRAWN BY: LIEBGOLD	REVIEWED BY: VOORHEIS
DATE: 6/16/2023	PROJECT NUMBER: 1939.00