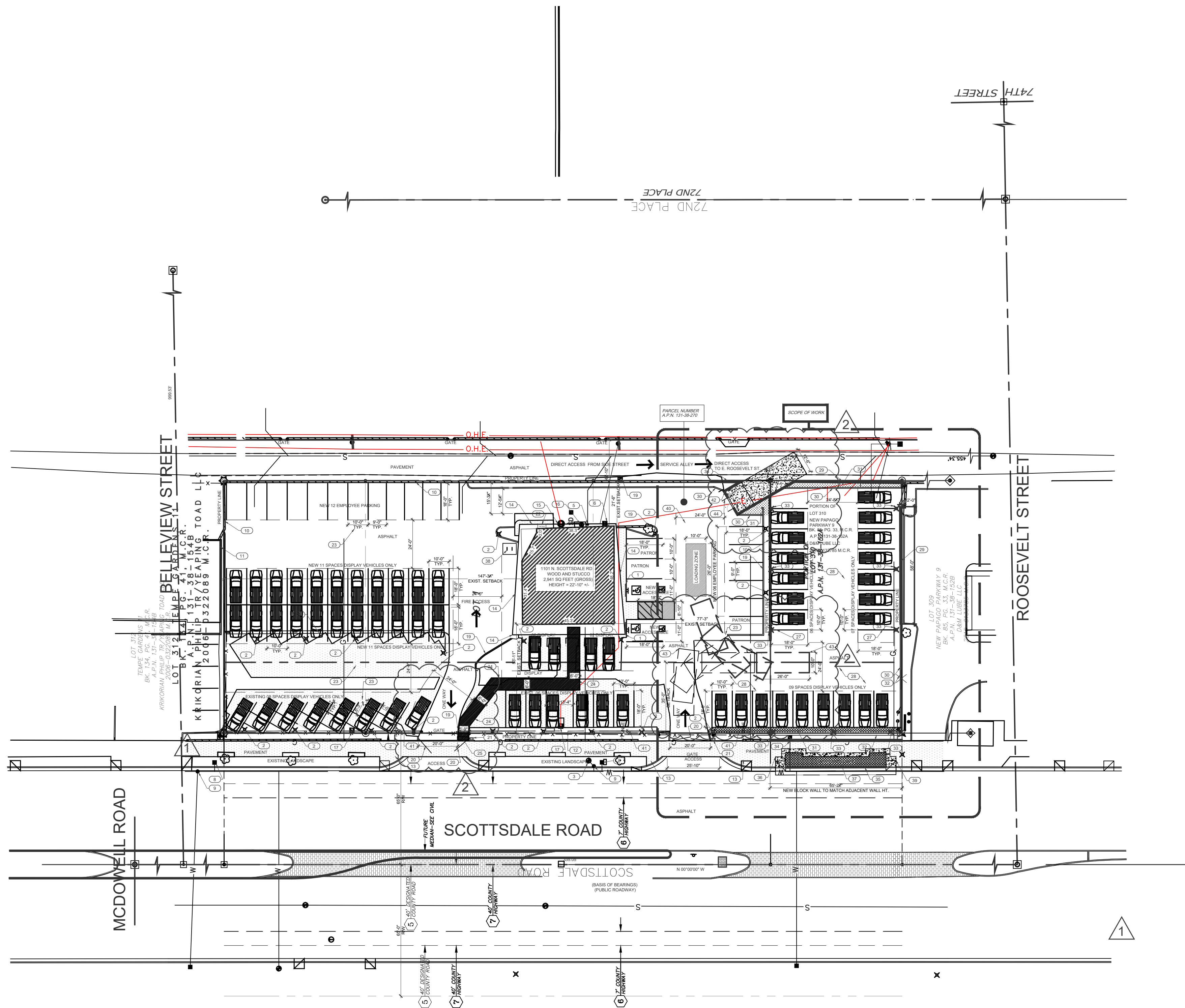




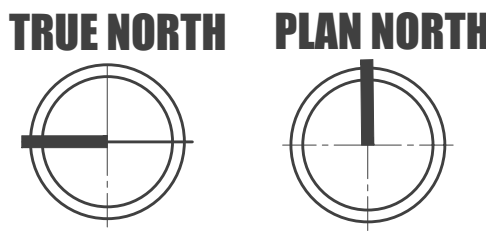
WATER & WASTE WATER

- A. OWNER SHALL PROPERLY ABANDON/REMOVE THE EXISTING WATER SERVICE TO 1029 BUILDING THAT WILL BE DEMOLISHED. CITY WATER BILLING ACCOUNT TO BE CANCELED BY CURRENT OWNER. METER TO BE REMOVED BY CITY. OWNER'S CONTRACTOR SHALL REMOVE THE WATER SERVICE LINE BACK TO THE PUBLIC MAIN.
- B. THE SEWER SERVICE FOR THE 1029 BUILDING IS TO BE DEMOLISHED UP TO THE PROPERTY LINE AND THE END OF THE LINE CAPPED.

1 OVERALL SITE PLAN (FOR REFERENCE ONLY)

SCALE: 1/32"=1'-0"

0 4' 8' 16'



LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- 24 INCH ROLLED CURB
- 6 INCH CONCRETE CURB
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- X FENCE
- O.H.E. OVERHEAD ELECTRIC LINE
- OHFO OVERHEAD FIBER OPTIC LINE
- UGFO UNDERGROUND FIBER OPTIC LINE
- E UNDERGROUND ELECTRIC LINE
- G UNDERGROUND GAS LINE
- S UNDERGROUND SANITARY SEWER LINE
- W UNDERGROUND WATER LINE
- SET 1/2" REBAR W/ ALUMINUM CAP STAMPED "KLEIN 42137" (UNLESS OTHERWISE NOTED)
- FOUND CHISELED "X" IN TOP OF CURB
- FOUND NAIL IN WASHER STAMPED "15861"
- SET NAIL IN WASHER STAMPED "KLEIN 42137"
- FOUND 1/2" CAPPED REBAR STAMPED 31020
- FOUND NAIL IN WASHER STAMPED 41076
- FOUND CAPPED REBAR ILLEGIBLE
- CALCULATED POSITION NO MONUMENT FOUND OR SET
- FOUND NAIL NO IDENTIFICATION
- SCHEDULE B ITEM
- BACK FLOW PREVENTER
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC METER
- FIRE HYDRANT
- WATER SPIGOT
- GUARD POST OR GATE POST
- GAS VALVE
- HANDICAPPED SPACE
- METAL GRATE (RECTANGULAR)
- LIGHT POLE
- POWER POLE
- POWER POLE W/ UNDERGROUND ELECTRIC
- SEWER CLEAN OUT
- SEWER MANHOLE
- STUB OUT
- TELECOMMUNICATIONS MANHOLE
- CABLE TELEVISION RISER
- CABLE TELEVISION BOX
- WATER METER
- WATER VALVE
- ASSESSORS PARCEL NUMBER
- MARICOPA COUNTY RECORDS
- RIGHT OF WAY
- BOOK
- PAGE
- (TYP.) TYPICAL
- (R) RECORD PER DESCRIPTION
- (M) MEASURED
- A.P.N.
- M.C.R.
- R/W
- BK.
- P.G.
- (TYP.)
- (R)
- (M)

PARKING REQUIREMENTS

- A) 1 EMPLOYEE PER 200 S.F.
- B) 1 EMPLOYEE PER 20 VEHICLES DISPLAYED
- C) 1 PATRON PER 20 VEHICLES DISPLAYED
- PROVIDED DISPLAY VEHICLE PARKING: 63 SPACES
- PROVIDED EMPLOYEE PARKING: 2,941/ 200 = 15 SPACES
- PROVIDED EMPLOYEE PARKING PER DISPLAY VEHICLES = 63/20 = 3 SPACES
- PROVIDED PATRON PARKING PER DISPLAY VEHICLES = 63/20 = 3 SPACES
- ACCESSIBLE PARKING SPACES PROVIDED: 2 SPACES (1 REGULAR + 1 VAN)
- TOTAL PARKING SPACES PROVIDED = 78 SPACES
- BIKE PARKING: 2 REQUIRED - 2 PROVIDED

SITE INFORMATION

REFER TO SHEET A1.00 UNDER PROJECT DATA FOR SITE INFORMATION

SITE PLAN NOTES

- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- B. THIS PROJECT IS LOCATED IN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- C. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
- D. ALL ON-SITE ACCESSIBLE SIDEWALKS SHALL BE A MINIMUM OF 3 FEET 0 INCHES WIDE AND HAVE A MAXIMUM SLOPE OF 1:20 WITH THE MAXIMUM CROSS SLOPE OF 1:50. ALL CURBS MUST PROVIDE ACCESSIBLE RAMPS PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA STANDARDS).
- E. LANDSCAPING SHALL BE MAINTAINED BY A PERMANENT AND AUTOMATIC IRRIGATION SYSTEM TO MINIMIZE MAINTENANCE AND WATER CONSUMPTION.
- F. FIRE TRUCK ACCESS: 20'-0" MIN. WIDTH REQUIRED FOR FIRE TRUCK IS PROVIDED.

KEYNOTES

- NEW ACCESSIBLE SIGN
- EXISTING LIGHT POLE TO REMAIN
- EXISTING FIRE HYDRANT TO REMAIN
- NOT USED
- EXISTING SEWER CLEAN OUT
- EXISTING ELECTRIC CABINET
- EXISTING GAS VALVE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING BLOCK WALL ON PROPERTY LINE
- EXISTING BUILDING IN ADJACENT LOT
- NEW MONUMENT SIGN- UNDER SEPARATE PERMIT
- EXIST. SIDEWALK TO REMAIN
- EXISTING BUILDING OVERHANG
- EXISTING ELECTRIC METER
- EXISTING STUB OUT
- ELECTRICAL BOX
- CABLE TELEVISION RISER
- EXISTING CURB TO REMAIN
- EXISTING GATE TO REMAIN
- KNOX BOX AND STROBE ACCESS SHALL BE PROVIDED FOR BOTH ACCESS GATES
- NEW FIRE RISER- W/ METAL SCREEN 7FT HT.
- EXISTING CURB TO BE DEMOLISHED
- 6FT WIDE ACCESSIBLE PEDESTRIAN ROUTE FROM MAIN BUILDING ENTRY TO PUBLIC ST.
- EXISTING DECOMPOSITE GRANITE TO BE REMOVED AND REPLACED WITH CONCRETE- TO MATCH EXISTING CONCRETE HEIGHT AND COLOR FOR ACCESSIBLE PATH
- NOT USED
- NEW DISPLAY PARKING
- NEW ASPHALT
- NEW BLOCK WALL- TO MATCH ADJACENT WALL HEIGHT AND COLOR
- NEW CURB
- LANDSCAPE AREA
- NEW FENCE TO MATCH ADJACENT LOT
- NEW SITE LIGHTING-TO MATCH ADJACENT LOT
- NEW BLOCK SITE WALL TO MATCH EXISTING HEIGHT AND FINISH
- NEW CURB- REFER TO CIVIL DRAWINGS
- NEW SIDEWALK- TO MATCH EXISTING AND TO BE CONTINUOUS REFER TO CIVIL DRAWINGS
- NEW LANDSCAPE PLANTER-TO MATCH ADJACENT PROPERTY & WILL BE CONSISTENT WITH SCOTTSDALE ROAD STREET SCAPE IMPROVEMENTS
- NEW BIKE RACKS (X 2) PER CITY OF SCOTTSDALE DETAIL 1/A1.08
- NEW CONCRETE TO FILL IN EXISTING DRIVEWAY FOR NEW SIDEWALK- REFER TO CIVIL DRAWINGS
- LOADING ZONE
- 1FT VEHICULAR NON-ACCESS EASEMENT- REFER TO CIVIL
- NEW TRASH ENCLOSURE- PER CITY OF SCOTTSDALE DETAIL 2/A1.08
- 10FT X 26FT DELIVERY TRUCK TURNING RADIUS
- NEW 6FT LOCKABLE METAL GATE (3'-0" X 2 PANELS) HT. TO MATCH EXISTING WALL



TYPE-X DESIGN STUDIO

TYPE-X DESIGN STUDIO

1641 W. MOUNTAIN VIEW DR.
MESA, AZ 85201
STUDIOTYPEX.COM
520-891-4207

ALL REPORTS, DRAWINGS, SPECIFICATIONS, CALCULATIONS, FIELD DATA, NOTES, AND OTHER INFORMATION ARE THE PROPERTY OF TYPE-X DESIGN STUDIO. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TYPE-X DESIGN STUDIO. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREIN.

LIFTED TRUCKS SCOTTSDALE
1029 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85257
CITY OF SCOTTSDALE: PROJECT # 450 - PA - 2022

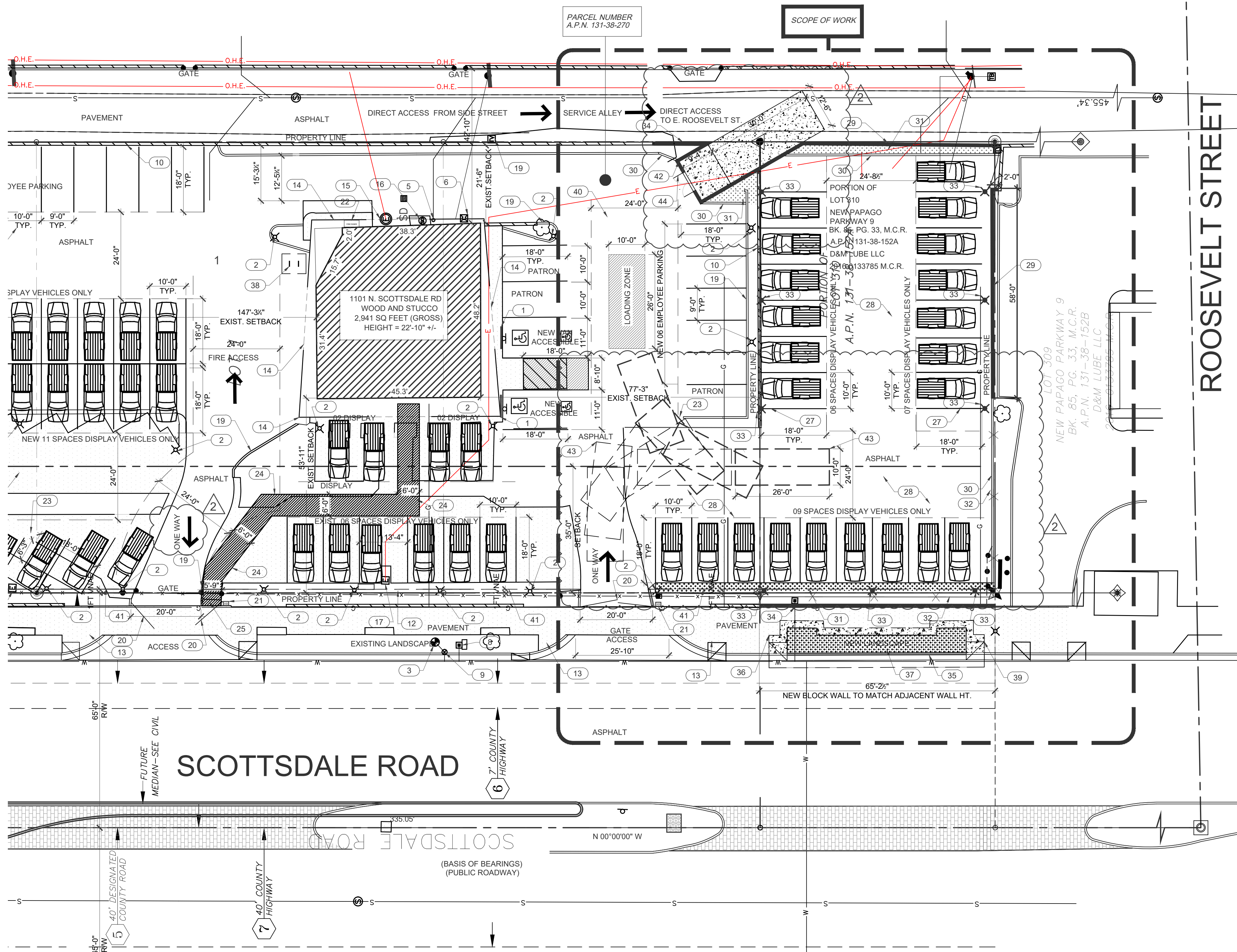
REVISIONS	
REVISION 1: 12/17/2022- CUP COMMENTS 1	
REVISION 2: 06/25/2023- CUP COMMENTS 2	

CONDITIONAL
USE PERMIT

DATE	09/12/2022
SCALE	1/32"=1'-0"
PROJECT #	2021-04
DRAWN BY	DG

SHEET #
OVERALL SITE PLAN (FOR
REFERENCE ONLY)

A1.01



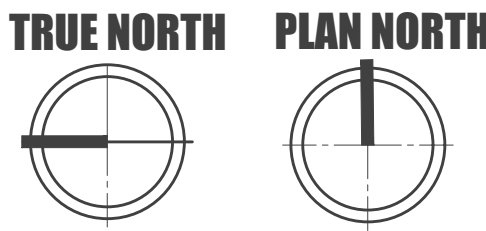
WATER & WASTE WATER

- A. OWNER SHALL PROPERLY ABANDON/REMOVE THE EXISTING WATER SERVICE TO 1029 BUILDING THAT WILL BE DEMOLISHED. CITY WATER BILLING ACCOUNT TO BE CANCELED BY CURRENT OWNER. METER TO BE REMOVED BY CITY. OWNER'S CONTRACTOR SHALL REMOVE THE WATER SERVICE LINE BACK TO THE PUBLIC MAIN.
- B. THE SEWER SERVICE FOR THE 1029 BUILDING IS TO BE DEMOLISHED UP TO THE PROPERTY LINE AND THE END OF THE LINE CAPPED.

1 ENLARGED SITE PLAN

SCALE: 1/16"=1'-0"

0 4' 8' 16'



LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- 24 INCH ROLLED CURB
- 6 INCH CONCRETE CURB
- ACCESS INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- X FENCE
- O.H.E. OVERHEAD ELECTRIC LINE
- OHFO OVERHEAD FIBER OPTIC LINE
- UGFO UNDERGROUND FIBER OPTIC LINE
- E UNDERGROUND ELECTRIC LINE
- G UNDERGROUND GAS LINE
- S UNDERGROUND SANITARY SEWER LINE
- W UNDERGROUND WATER LINE
- SET 1/2" REBAR W/ ALUMINUM CAP STAMPED "KLEIN 42137" (UNLESS OTHERWISE NOTED)
- FOUND CHISELED "X" IN TOP OF CURB
- FOUND NAIL IN WASHER STAMPED "15861"
- SET NAIL IN WASHER STAMPED "KLEIN 42137"
- FOUND 1/2" CAPPED REBAR STAMPED 31020
- FOUND NAIL IN WASHER STAMPED 41076
- FOUND CAPPED REBAR ILLEGIBLE
- CALCULATED POSITION NO MONUMENT FOUND OR SET
- FOUND NAIL NO IDENTIFICATION
- SCHEDULE B ITEM
- BACK FLOW PREVENTER
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC METER
- FIRE HYDRANT
- WATER SPIGOT
- GUARD POST OR GATE POST
- GAS VALVE
- HANDICAPPED SPACE
- METAL GRATE (RECTANGULAR)
- LIGHT POLE
- POWER POLE
- POWER POLE W/ UNDERGROUND ELECTRIC
- SEWER CLEAN OUT
- SEWER MANHOLE
- STUB OUT
- TELECOMMUNICATIONS MANHOLE
- CABLE TELEVISION RISER
- CABLE TELEVISION BOX
- WATER METER
- WATER VALVE
- ASSESSORS PARCEL NUMBER
- MARICOPA COUNTY RECORDS
- RIGHT OF WAY
- BOOK
- PAGE
- (TYP.) TYPICAL
- (R) RECORD PER DESCRIPTION
- (M) MEASURED
- A.P.N.
- M.C.R.
- R/W
- BK.
- PG.
- (TYP.)
- (R)
- (M)

PARKING REQUIREMENTS

- A) 1 EMPLOYEE PER 200 S.F.
- B) 1 EMPLOYEE PER 20 VEHICLES DISPLAYED
- C) 1 PATRON PER 20 VEHICLES DISPLAYED
- PROVIDED DISPLAY VEHICLE PARKING: 63 SPACES
- PROVIDED EMPLOYEE PARKING: 2,941/ 200 = 15 SPACES
- PROVIDED EMPLOYEE PARKING PER DISPLAY VEHICLES = 63/20 = 3 SPACES
- PROVIDED PATRON PARKING PER DISPLAY VEHICLES = 63/20 = 3 SPACES
- ACCESSIBLE PARKING SPACES PROVIDED: 2 SPACES (1 REGULAR + 1 VAN)
- TOTAL PARKING SPACES PROVIDED = 78 SPACES
- BIKE PARKING: 2 REQUIRED - 2 PROVIDED

SITE INFORMATION

REFER TO SHEET A1.00 UNDER PROJECT DATA FOR SITE INFORMATION

SITE PLAN NOTES

- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- B. THIS PROJECT IS LOCATED IN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- C. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
- D. ALL ON-SITE ACCESSIBLE SIDEWALKS SHALL BE A MINIMUM OF 3 FEET 0 INCHES WIDE AND HAVE A MAXIMUM SLOPE OF 1:20 WITH THE MAXIMUM CROSS SLOPE OF 1:50. ALL CURBS MUST PROVIDE ACCESSIBLE RAMPS PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA STANDARDS).
- E. LANDSCAPING SHALL BE MAINTAINED BY A PERMANENT AND AUTOMATIC IRRIGATION SYSTEM TO MINIMIZE MAINTENANCE AND WATER CONSUMPTION.
- F. FIRE TRUCK ACCESS: 20'-0" MIN. WIDTH REQUIRED FOR FIRE TRUCK IS PROVIDED.

KEYNOTES

- NEW ACCESSIBLE SIGN
- EXISTING LIGHT POLE TO REMAIN
- EXISTING FIRE HYDRANT TO REMAIN
- NOT USED
- EXISTING SEWER CLEAN OUT
- EXISTING ELECTRIC CABINET
- EXISTING GAS VALVE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING BLOCK WALL ON PROPERTY LINE
- EXISTING BUILDING IN ADJACENT LOT
- NEW MONUMENT SIGN- UNDER SEPARATE PERMIT
- EXIST. SIDEWALK TO REMAIN
- EXISTING BUILDING OVERHANG
- EXISTING ELECTRIC METER
- EXISTING STUB OUT
- ELECTRICAL BOX
- CABLE TELEVISION RISER
- EXISTING CURB TO REMAIN
- EXISTING GATE TO REMAIN
- KNOX BOX AND STROBE ACCESS SHALL BE PROVIDED FOR BOTH ACCESS GATES
- NEW FIRE RISER- W/ METAL SCREEN 7FT HT.
- EXISTING CURB TO BE DEMOLISHED
- 6FT WIDE ACCESSIBLE PEDESTRIAN ROUTE FROM MAIN BUILDING ENTRY TO PUBLIC ST.
- EXISTING DECOMPOSITE GRANITE TO BE REMOVED AND REPLACED WITH CONCRETE- TO MATCH EXISTING CONCRETE HEIGHT AND COLOR FOR ACCESSIBLE PATH
- NOT USED
- NEW DISPLAY PARKING
- NEW ASPHALT
- NEW BLOCK WALL- TO MATCH ADJACENT WALL HEIGHT AND COLOR
- NEW CURB
- LANDSCAPE AREA
- NEW FENCE TO MATCH ADJACENT LOT
- NEW SITE LIGHTING-TO MATCH ADJACENT LOT
- NEW BLOCK SITE WALL TO MATCH EXISTING HEIGHT AND FINISH
- NEW CURB- REFER TO CIVIL DRAWINGS
- NEW SIDEWALK- TO MATCH EXISTING AND TO BE CONTINUOUS REFER TO CIVIL DRAWINGS
- NEW LANDSCAPE PLANTER- TO MATCH ADJACENT PROPERTY & WILL BE CONSISTENT WITH SCOTTSDALE ROAD STREET SCAPE IMPROVEMENTS
- NEW BIKE RACKS (X 2) PER CITY OF SCOTTSDALE DETAIL 1/A1.08
- NEW CONCRETE TO FILL IN EXISTING DRIVEWAY FOR NEW SIDEWALK- REFER TO CIVIL DRAWINGS
- LOADING ZONE
- 1FT VEHICULAR NON-ACCESS EASEMENT- REFER TO CIVIL
- NEW TRASH ENCLOSURE- PER CITY OF SCOTTSDALE DETAIL 2/A1.08
- 10FT X 26FT DELIVERY TRUCK TURNING RADIUS
- NEW 6FT LOCKABLE METAL GATE (3'-0" X 2 PANELS) HT. TO MATCH EXISTING WALL



TYPE-X DESIGN STUDIO

1641 W. MOUNTAIN VIEW DR.
MESA, AZ 85201
STUDIOTYPEX.COM
520-891-4207

ALL RIGHTS RESERVED. REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF TYPE-X DESIGN STUDIO IS PROHIBITED. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF TYPE-X DESIGN STUDIO. THE CLIENT ASSUMES ALL RISK OF INADEQUATE INFORMATION AND/OR INADEQUATE DESIGN. TYPE-X DESIGN STUDIO DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT. TYPE-X DESIGN STUDIO SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING OUT OF OR FROM THE USE OF THE INFORMATION PROVIDED BY TYPE-X DESIGN STUDIO.

LIFTED TRUCKS SCOTTSDALE
1029 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85257
CITY OF SCOTTSDALE: PROJECT # 450 - PA - 2022

REVISIONS
REVISION 1: 12/17/2022- CUP COMMENTS 1
REVISION 2: 06/25/2023- CUP COMMENTS 2

CONDITIONAL
USE PERMIT

DATE 09/12/2022
SCALE 1/16"=1'-0"
PROJECT # 2021-04
DRAWN BY DG

SHEET #
ENLARGED SITE PLAN

A1.02