

PRELIMINARY GRADING & UTILITY PLAN
7330 N. PIMA RD., SCOTTSDALE AZ 85258
A PORTION OF SECTION 01, TOWNSHIP 2 NORTH, RANGE 4 EAST,
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

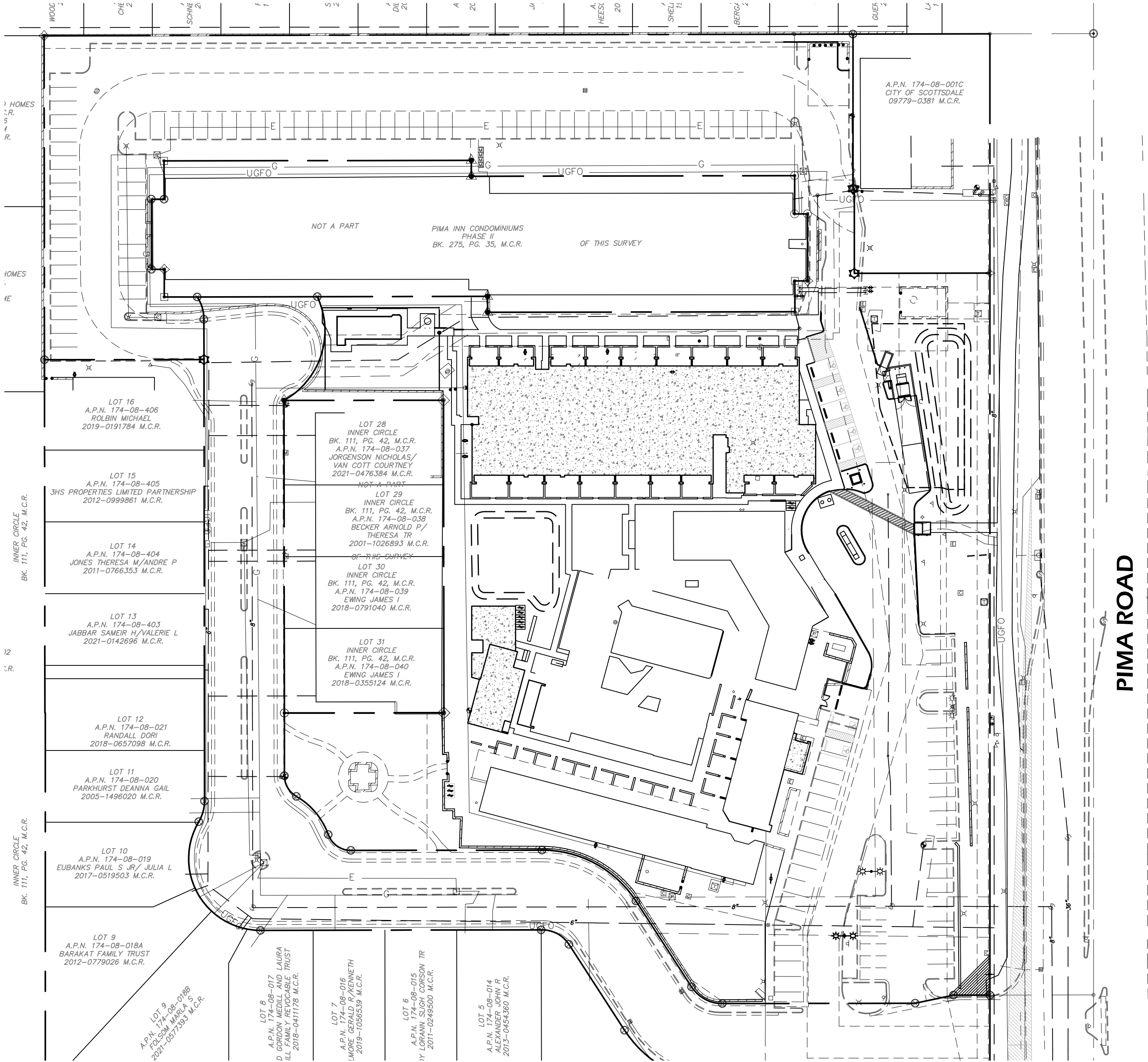
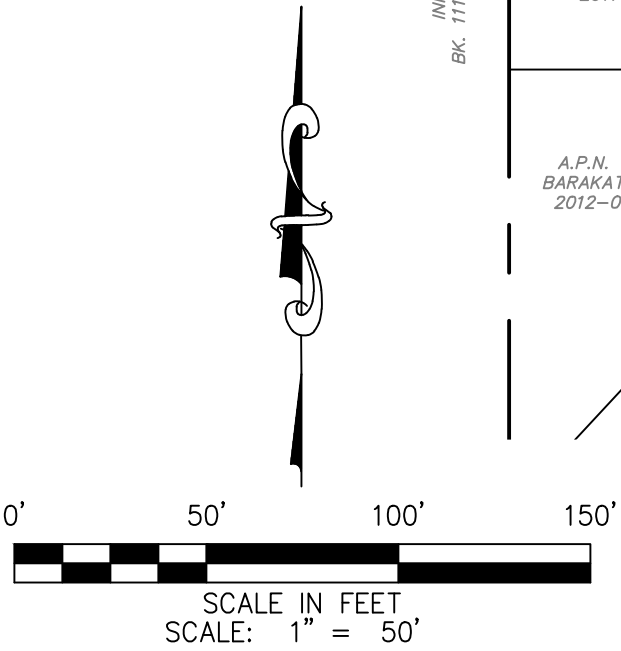
CITY OF SCOTTSDALE GENERAL NOTES

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MAG UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
2. THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
3. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF A RIGHT-OF-WAY PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
4. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
5. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT.
6. RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. A RIGHT-OF-WAY PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
7. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO APPENDIX J, GRADING, OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE CITY.

LEGAL DESCRIPTION

PARCEL NO.1:
LOT 1, TRACTS A AND B OF REPLAT OF A PORTION OF THE INNER CIRCLE SUBDIVISION ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDED OF MARICOPA COUNTY, ARIZONA RECORDED IN BOOK 1120 OF MAPS, PAGE 44.

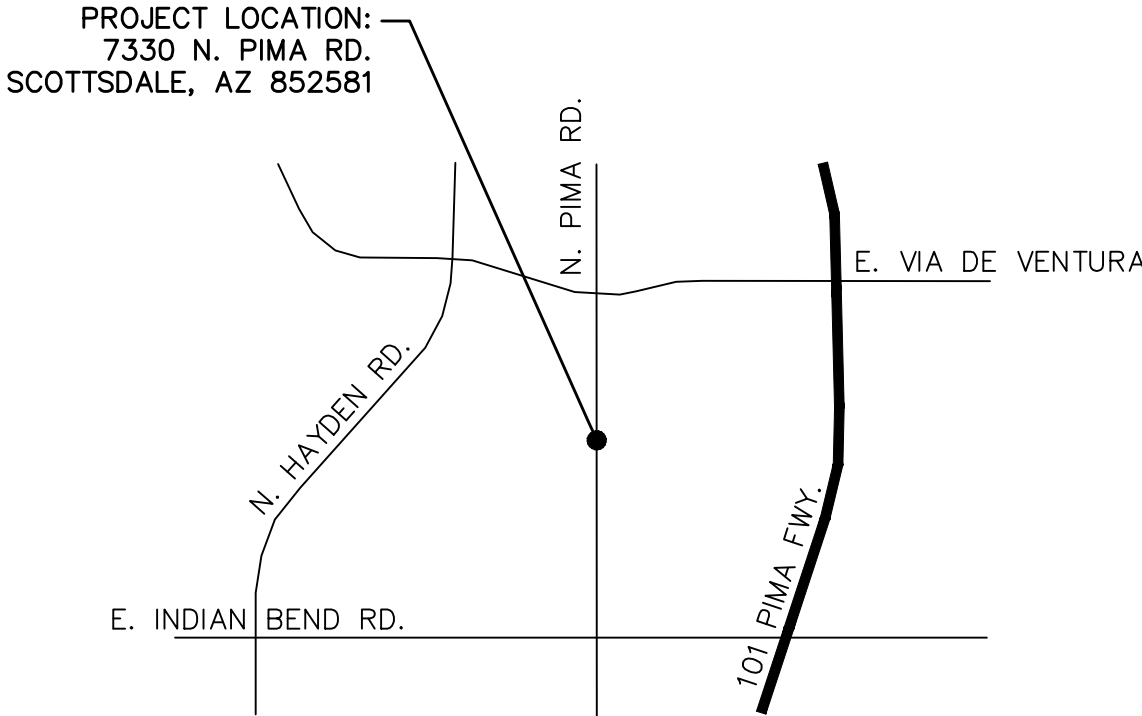
PARCEL NO.2:
AN EASEMENT FOR ROADWAY AND PUBLIC UTILITIES OVER THE SOUTH 53.00 FEET OF THE NORTH 150.00 FEET OF THE EAST 150.00 FEET OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SET FORTH IN INSTRUMENT RECORDED JUNE 29,1966 AS DOCKET 6109, PAGE 90.



INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL GRADING PLAN
3	OVERALL UTILITY PLAN

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
Community Number	Panel # Panel Date	Suffix	Date of FIRM (Index Date)	FIRM Zone	Base Flood Elevation (in AO Zone use Depth)
045012	04013C1770 09/18/2020	M	07-20-2021	X	NA

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.



VINICITY MAP
NOT TO SCALE

OWNER/DEVELOPER

OASIS 33 LLC
ATTN: JOHN MCCOLGIN
520-795-9888
JOHN@FORSARCHITECTURE.COM

ENGINEER

PREFLING ENGINEERING
4435 E. CHANDLER BLVD, SUITE 200
PHOENIX, AZ 85048
CONTACT PERSON: MIKE PREFLING
TEL. NO. 480-625-9795
E-MAIL: mike@preflingeng.com

SITE DATA

APN
174-08-939

ADDRESS
7330 N. PIMA ROAD
SCOTTSDALE, AZ 85258

ZONING
R-5

LOT AREA
206,307 SF / 4.74 AC

DISTURBED AREA
105,377 SF / 2.42 AC

BENCHMARK

A CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE AT THE INTERSECTION OF INDIAN BEND ROAD AND HAYDEN ROAD.
ELEVATION = 1284.465, NAVD'88.
COS BENCHMARK NO: 4121

BASIS OF BEARING

THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 NORTH, RANGE 4 EAST.
SAID LINE BEARS NORTH 00°00'00" EAST

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" MEASUREMENTS AS SHOWN OR NOTED HERE ON WERE MADE BY MYSELF OR UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST AND BELIEF OF MY KNOWLEDGE.

SIGNATURE _____ DATE _____

COUNTY APPROVAL

MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT _____ DATE _____

CITY OF SCOTTSDALE CIVIL APPROVAL			
REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		TRAFFIC	
G & D		PLANNING	
W & S		FIRE	
RET.WALLS			
ENGINEERING COORDINATION MANAGER (OR DESIGNEE) _____ Date _____			

UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SIGNED
WATER	CITY OF SCOTTSDALE	N/A	N/A	-
SANITARY SEWER	CITY OF SCOTTSDALE	N/A	N/A	-
ELECTRIC	ARIZONA PUBLIC SERVICE	SCOTT TIMAR	(602) 493-4403	-
TELEPHONE	CENTURY LINK	JOHN O'DELL	(602) 630-0496	-
NATURAL GAS	SOUTHWEST GAS COMPANY	MARC WATANABE	(602) 484-5306	-
CABLE TV	COX COMMUNICATIONS	RHONDA HANNA	(623) 328-3953	-
ENGINEER'S CERTIFICATION				
I, _____, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.				
SIGNATURE _____		DATE _____		

THE GEORGE HOTEL
SITE IMPROVEMENTS

A PORTION OF SECTION 01,
TOWNSHIP 2 NORTH, RANGE 4 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.

4435 E. Chandler Blvd
Suite 200
Phoenix, AZ 85048
480-625-9795

PRELIM GRADING AND UTILITY PLAN
COVER SHEET

Version
1 1ST SUBMITTAL 07/15/2023
2 2ND SUBMITTAL 02/21/2023
3 3RD SUBMITTAL 05/24/2023

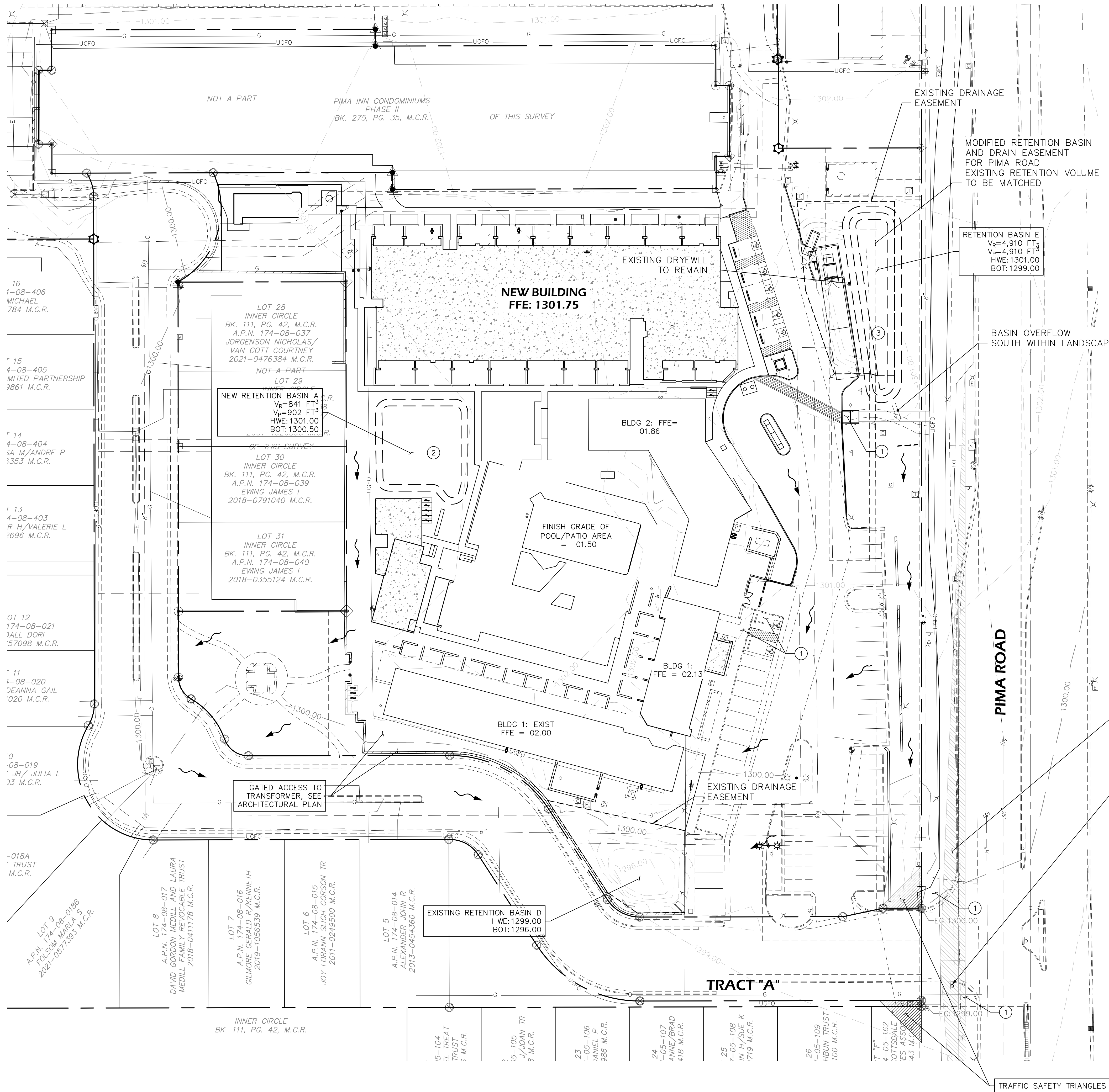
Designed by: MJP
Drawn by: MJP
Checked by: MJP
Date: 05/24/2023



SEAL
46785
MICHAEL J. PREFLING
EXPIRES: 9/30/25
JOB NUMBER
100

SHEET
1 OF 3

C:\USERS\WIKEP\DESKTOP\NEW FOLDER\GEORGE HOTEL\PRLM-SITE IMPROVEMENTS.DWG 05/24/23 -- 07:56pm



GRADING AND PAVING CONSTRUCTION NOTES

- EXISTING NON ADA COMPLIANT PEDESTRIAN RAMPS TO BE REMOVED AND REPLACED WITH ADA COMPLIANT RAMPS.
- A DRAINAGE EASEMENT SHALL BE PROVIDED AROUND THE PROPOSED BASIN AND DEDICATED AT THE TIME OF THE FINAL PLAT.
- EXISTING DRAINAGE EASEMENT TO BE MODIFIED AROUND NEW BASIN CONTOURS AND SHALL BE DEDICATED AT THE TIME OF THE FINAL PLAT.

SUMMARY OF INCREASED IMPERVIOUS

BUILDING 1: NO CHANGE IN AREA
BUILDING 2: THE NET INCREASE IN AREA = 1,812 FT²
BUILDING 3: THE NET INCREASE IN AREA = 3,922 FT²

RETENTION REQUIRED CALCS

RETENTION VOLUME CALCULATION

$$V_R = C * (P/12) * A_{INC}$$

WHERE

V_R = RETENTION VOLUME REQUIRED
 C = RUNOFF COEFFICIENT (SET AT 0.80 FOR R-5 ZONING)
 P = 100-YR, 2-HR RAINFALL DEPTH (SET AT 2.2)
 A_{INC} = INCREASED IMPERVIOUS AREA (1,812 + 3,922 FT²)

$$V_R = 0.80 * (2.2/12) * 5,734$$

$$V_R = 841 \text{ FT}^3$$

NEW RETENTION BASIN VOLUME PROVIDED

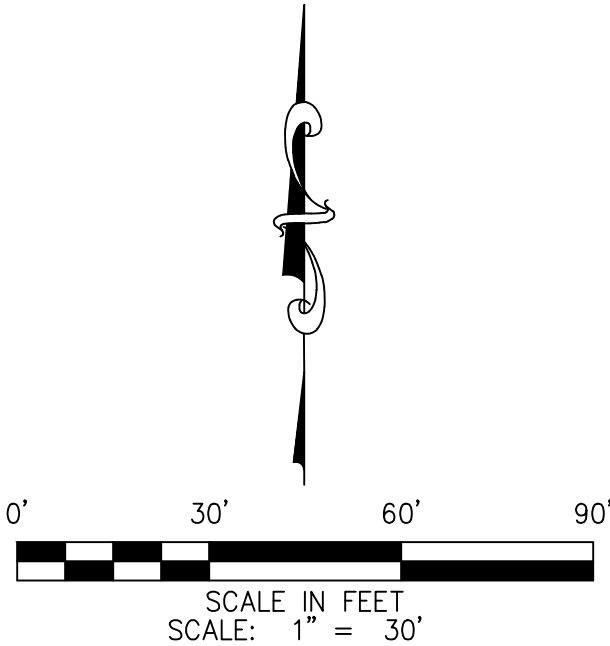
RETENTION BASIN TABLE			
BASIN ID	VOL REQ'D	VOL PROVIDED	AS-BUILT VOL.
A	841	902	

INTERSECTION SITE DISTANCE

INSTALL MODIFIED W11-15 SIGN



W11-1



THE GEORGE HOTEL
SITE IMPROVEMENTS

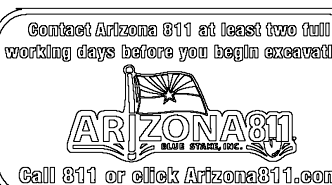
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GRADING PLAN

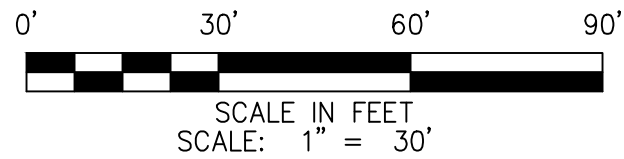
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Drawn by: MJP
Checked by: MJP
Date: 05/24/2023



SEAL
Professional Engineer
46785
MICHAEL J. PREFLING
EXPIRES: 9/30/25
JOB NUMBER
100

SHEET
2 OF 3

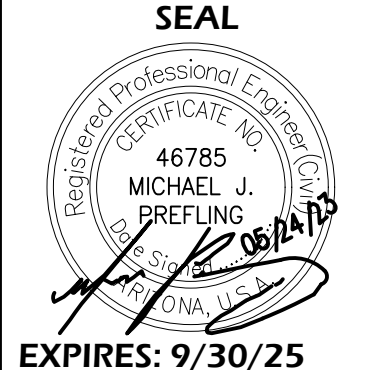


1 INSTALL REDUCED PRESSURE-PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER COS STD DTL 2352. BACKFLOW TO MATCH EXISTING METER SIZE.

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MARICOPA COUNTY, ARIZONA.

LOADING AND UTILITY PLAN UTILITY PLAN

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1	1ST SUBMITTAL 07/15/2022
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SHEET
3 OF **3**