

The George Hotel  
Permit Application  
Package

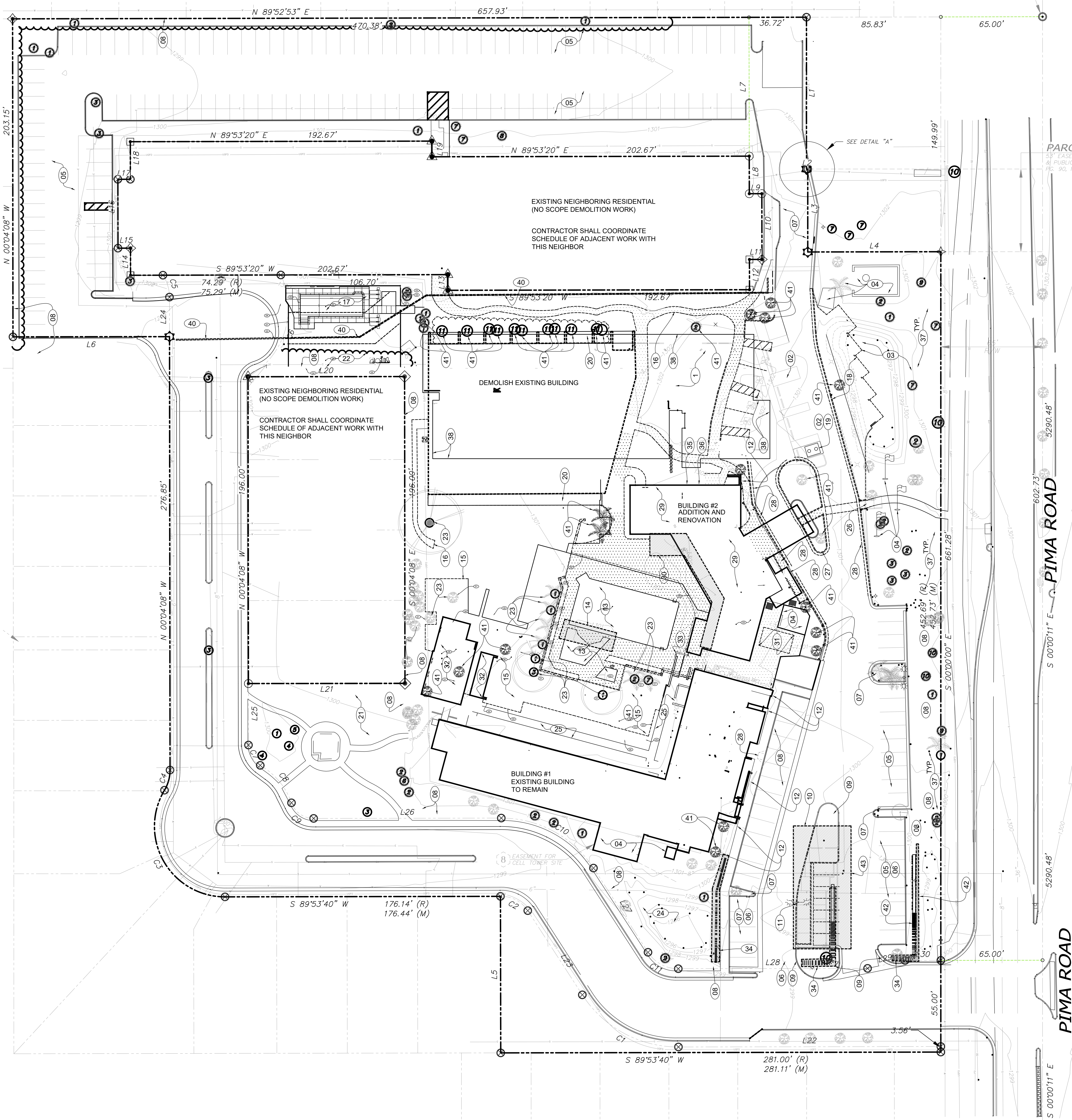
12 July 2022

## 23 DEMOLITION PLAN

FOR Sarchitecture + interiors

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**General Notes - Demolition Plan/Demolition RCP**

- A. Refer to Mechanical, Electrical and Plumbing drawings for additional information; including critical equipment and systems. The Contractor shall keep and maintain a complete set of drawings at the job site, typical, throughout the entire construction process, including demolition.
- B. Prior to the start of any work, the Contractor shall verify the existing information indicated on this drawing set and compare it to the existing field conditions. If the existing work is not located as indicated in this drawing set notify the Architect prior to the start of any work.
- C. Prior to proceeding with any work, the Contractor shall hold a pre - demolition meeting on site. Notify the following at least 42 hours in advance of the meeting: General Contractor and any demolition sub-contractors, and the Construction Supervisor. Construction Supervisor, Demolition sub-contractor(s) foremen shall attend the meeting. In the meeting the Contractor shall outline the scope of work and procedures as well as any Owner requirements and expectations. The Contractor shall advise all parties as to the Owner approved hours of work. The Contractor shall go over the Owner's procedures for service interruptions and the Demolition Contractor shall coordinate the service interruptions with the Contractor and the Owner. The Contractor shall identify systems and items to remain. See General Note "D" below. The Demolition sub-Contractor shall provide written meeting minutes for this meeting and distribute them to all meeting participants and the Architect. This meeting shall be in addition to any Owner required meeting.
- D. The Contractor shall identify any systems to remain. These include but are not limited to: fire safety systems, rain water leaders and systems, natural gas systems serving other neighbors, water systems serving other tenants, electrical, fire-safety, and fire-suppression systems serving other neighbors. Coordinate with existing cell phone towers and systems.
- E. Systems to remain shall be labeled, wrapped and protected. Damage to systems to remain as a result of Contractor's activities shall be repaired and/or replaced by the Contractor at no additional cost to the Owner.
- F. Repair of Concrete Floor Slab - Repairs shall be per the Owner's requirements. Repair the floor slab as needed at all damaged areas. The repaired areas shall be flat, level, and free of any defects. The Contractor shall coordinate scope of repaired areas with new work, including new slab trenches. Repair existing under-slab systems that are damaged as a result of the work in this drawing set, typical, including insulation and vapor retarder systems. Contractor to grind-down existing high-points in slab. Contractor shall coordinate with new finishes to be installed over existing finishes and substrates.
- G. The Contractor shall grind down any high-points or areas of the existing slab so that the existing slab is flush and level as a part of the demo work, including but not limited to, the existing slab-block-out infill's and anchor bolts.
- H. Existing architectural steel inserts and sleeves in the concrete floor slab can remain however, the surface area is to be ground level, and flush with top of slab. Holes and voids are to be filled with concrete or epoxy systems specifically designed by their manufacturer to repair concrete slabs.
- I. Repair existing walls to remain. Repairs to be flush, free of defects and ready to receive new finishes. Existing walls to be repaired so that any fire-rating and acoustical-rating remain.
- J. Repair finishes to structure above as needed. The Contractor shall use care when removing systems from structure so that existing structure is not damaged. Structural systems DAMAGED as a result of demolition work shall be repaired at the sole expense and time of the Contractor. A Structural Engineer licensed in the State of Arizona shall be retained by the Contractor to oversee and approve repair work. A written stamped and signed letter approving the repair work shall be submitted to the Owner by the Structural Engineer. The Engineer shall complete any and all sketches, designs, calculations and drawings as needed for the repair work. These shall also be signed, sealed and submitted to the Owner for approval prior to the Contractor proceeding with any repair work.
- K. The Contractor shall coordinate the demolition process with Owner.
- L. Disposal fees are the sole responsibility of the Contractor.
- M. Demolition: Casework / millwork, fixtures, furniture, signs, special equipment, accessories are the property of Owner. The Contractor shall, as a part of their scope of work, submit a written list of items (an inventory) to the Owner. This inventory shall be submitted by the Contractor as line items on their bid. Each line item shall represent the cost (in whole total cost) of removing the item from the site. The Contractor shall work with Owner to determine what items Franchisee wishes to salvage for resale. Items not for resale shall become waste and disposed of by the Contractor. The burden of keeping track of the paperwork and the status of items for salvage shall belong to the Contractor. The Contractor shall recycle as much waste as feasible.
- N. Fluids in pipes (of all system types) to be carefully diverted to drains or proper methods of disposal. Provide hoses or drainage systems as needed. Water running across floor slabs as a drainage system is not acceptable. The Contractor shall provide procedure to verify adjacent tenants property and demising walls are kept dry.
- O. Prior to the start of any work the Contractor shall take digital photographs of the existing conditions, tenant demising walls, adjacent walls, floors, ceilings, roofs, pilasters, systems, equipment and finishes. The pictures shall be dated and electronically distributed to the Owner. The purpose of the pictures is to resolve any disputes that may arise with regard to damage.
- P. Contractor shall coordinate scope of work with neighboring residential project to the north. Any interruption of services shall be scheduled with them at least 48 hours in advance and approved by them prior to the interruption of service.

**KEYNOTES: (SHEET d1.0)**

- 01 Existing systems, games, sidewalks, and landscaping to be demolished.
- 02 Existing parking area, sidewalk, curbs, paving to be demolished. Prep for new underground grease waste interception system.
- 03 New work at existing parking lot and detention basin. Contractor shall retain existing dry-well and drainage system. Contractor shall protect existing systems to remain. Build and supply temporary drainage retaining walls and filtration systems to keep dirt and construction debris from draining, falling into or flowing systems. Contractor shall provide shoring as required.
- 04 Existing cell phone tower, equipment and yard to remain. Contractor shall coordinate with underground utilities and service shall not be interrupted.
- 05 Existing parking, paving, screen-walls, curbs, drainage and utilities to remain, typical. Existing signage to remain. Existing landscaping to remain. Clean and prep paving to repaint striping.
- 06 Faded, sun bleached, or damaged signage and sign posts shall be replaced with new signage to match original signage (when it was new and un-faded).
- 07 Existing parking, paving, screen-walls, curbs, drainage and utilities to remain, typical. Existing signage to remain. Existing landscaping to remain. Clean and prep paving to repaint striping.
- 08 Existing site wall to remain.
- 09 Existing vertical curbs to remain.
- 10 New vertical curbs, paving, screen walls, and landscaping. Prep area for new construction. Relocate existing light poles and light fixtures. Contractor shall coordinate with existing landscaping designated to remain as shown in Landscape drawings. Saw-cut and remove systems as required. Contractor shall coordinate and trench for new utilities and irrigations systems as required. Patch and repair systems to match existing.
- 11 Relocate existing light fixture and pole. Provide new foundation per City of Scottsdale standards. Coordinate with underground utilities and provide power and data as required for lights to function as manufacturer intended and as shown in electrical and civil drawings.
- 12 New screen walls. Prep areas to receive new construction.
- 13 Existing pools and spa to remain. Contractor shall provide and maintain pool safety barriers.
- 14 Existing landscape area and paving to be modified, demolish as required.
- 15 New patio areas, Contractor prep, coordinate area for new construction. Demolish existing systems and landscape as required.
- 16 Existing path and path systems to be demolished.
- 17 New north pool and patio area. Prep, coordinate and demolish existing area to receive new construction.
- 18 Demolish existing paving and systems for new recycling and solid waste enclosures.
- 19 New underground grease waste interception system with drive over slab. Saw cut existing hard-scape as required.
- 20 Existing patios and Oleander to be demolished - Contractor shall dispose of Oleander per City of Scottsdale standards.
- 21 Existing to remain.
- 22 Existing shrubs to remain - coordinate with new pool fence, foundations, pool equipment and underground systems.
- 23 Existing trees to remain - important specimen - Contractor shall provide temporary protection systems, enclosures, and signage for landscape items identified as specimen species to remain - maintain or provide temporary irrigation systems to specimen species.
- 24 Existing rain water retaking basin to remain, coordinate with civil and landscape drawings.
- 25 New patios, grading, landscape, hard-scape, lighting, utilities, irrigation systems, low screen walls, and pedestrian circulation.
- 26 New ADA compliant path, paving, curbs, lighting, and underground systems and utilities at existing path. Modify and demolish existing path and systems as required for new construction.
- 27 Demolish existing curbs, paving and landscaping and systems as required for new island.
- 28 Demolish existing systems, curbs, and landscaping as required for new addition.
- 29 Interior renovation, demolish interior partitions, fixtures, ceiling, light fixtures, systems, trim and finishes as required. Relocate ceiling access hatch. Coordinate new roof penetrations at new systems. Flash and cap as required per roof warranty recommendations.
- 30 Demolish existing patio, roof and systems. Contractor shall provide and maintain path of egress from building while building is occupied. Provide minimum two exits at all times, provide lighted exit signs and emergency lighting for path of egress.
- 31 Demolish existing precast trailer structure and systems.
- 32 New gym and patio cafe.
- 33 Demolish existing non-compliant ramp and stairs prep area for new construction.
- 34 New site screen wall, contractor prep and coordinate existing to receive new construction. Provide underground systems as required.
- 35 Demolish existing systems and glazing and provide new openings per plans and elevations - Contractor coordinate with new beams, columns and bearing wall as shown on structural drawings and as required by new opening and construction shown on Architectural drawings. Demolish systems as required.
- 36 Existing fire riser - coordinate and extend systems as required for new construction (Fire department connection relocated) coordinate and extend / modify life-safety systems.
- 37 Existing landscape and screen walls to remain. Clean and reset existing rip-rap systems. Existing signage and systems to remain.
- 38 Proposed boundary of new building.
- 39 This area of existing sidewalk to remain.
- 40 Existing water-main to remain, Contractor coordinate with as-built location. This service as been located by a professional location service, Contractor coordinate with information provided by location service.
- 41 Demo existing tree.
- 42 Existing site wall to remain, modify existing landscaping, utilities, and grading to be modified as required for new screen wall addition.
- 43 Modify curbs, paving, landscaping, utilities and systems as required for new site wall and landscaping.

**1 demolition plan**  
scale: 0' 6' 24'

**note**

These documents establish the general standards of quality and detail for developing a negotiated construction contract. Be advised that all trades are responsible for reviewing and referring to the complete set of drawings. This is an integrated set and sheets should not be bid or build from individually.

CDS plan check numbers:  
Pre-Application Number: **430-PA-2021**  
**219-PA-2021**



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**the GEORGE Hotel**  
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100% phase 1  
construction  
documents  
01 November 2021

phase 2  
demolition  
plan

**d1.0**