



Franchise East
September 12, 2022

Gretchen Laird
Argus Consulting, PC
28150 N Alma School Pkwy
Suite 103-#193
Scottsdale, AZ 85262

SUBJECT: Sereno Canyon Parcel 2A, Mariposa Grande Extension
Improvement Plans
Mariposa Grande Dr, @ 122nd St Alignment, Scottsdale, AZ
Utility Conflict Review

Dear Gretchen Laird,

After reviewing the plans for the above referenced project, it has been determined that there are no apparent conflicts between the Southwest Gas system and your proposed project.

Please be aware that there may be abandoned steel gas lines within your project limits that are potentially coated or wrapped with unidentified materials. Southwest Gas treats all steel gas pipe with unidentified coating/wrapping materials as potentially containing asbestos. Accordingly, whenever such pipe is in direct conflict and requires removal, it must only be done so by a Southwest Gas NESHAP certified contractor. Care must also be taken when working near and exposing these lines. The costs associated with such removal will be the responsibility of the developer. Please contact Southwest Gas in advance to coordinate any removal.

Prior to beginning construction, please instruct your contractor to call the Blue Stake Center at 1-800-782-5348 for field locations of all utility facilities, pursuant to the "Blue Stake Law" (ARIZONA REVISED STATUTES (State Law), Chapter 2, Article 6.3, Sections 40-360.21 through 40-360.32).

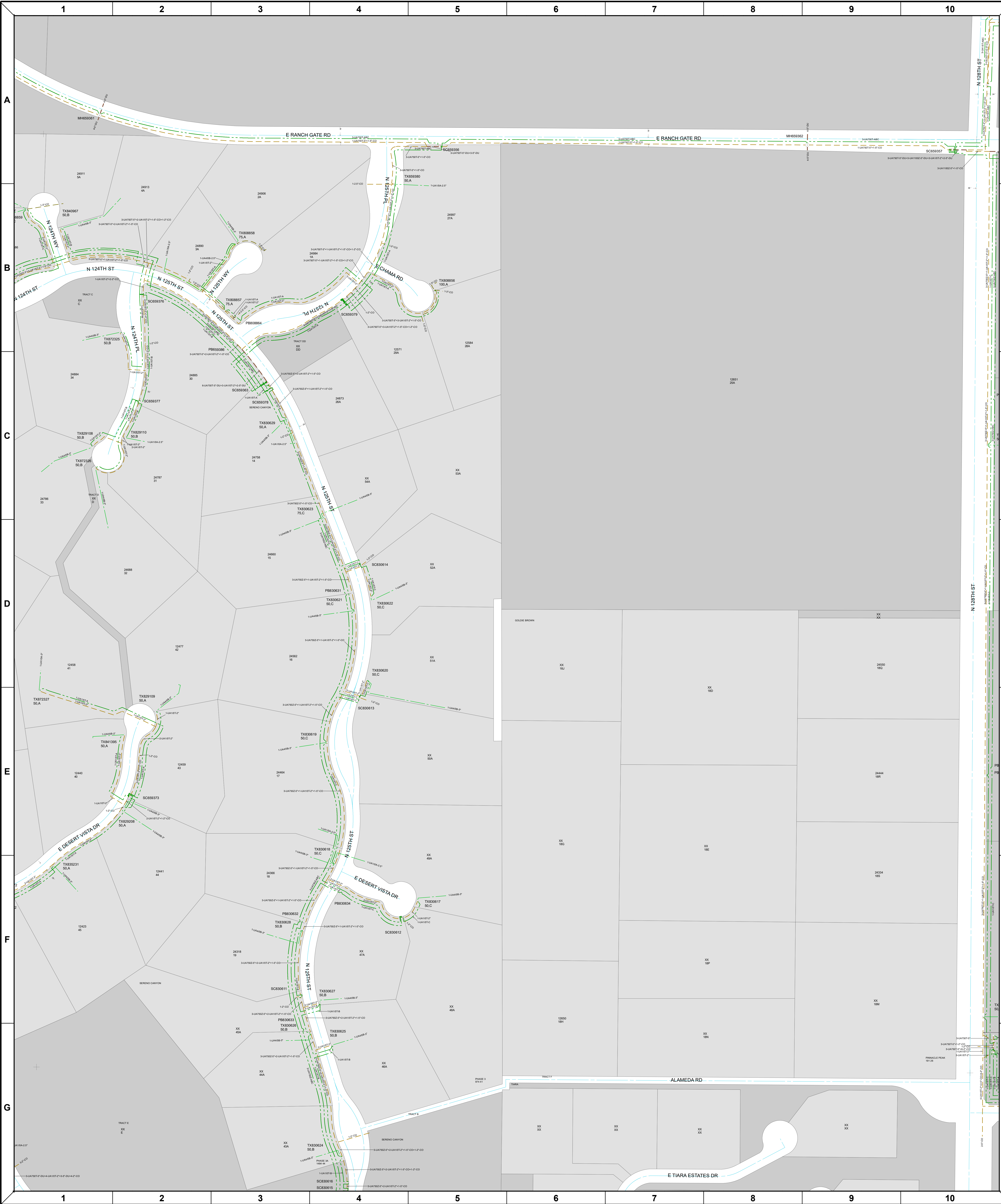
Thank you for your cooperation on this project. Please contact Andy Saks at (480) 730-3857 (Email: andrew.saks@swgas.com) or myself if you have any questions or require additional information.

Sincerely, 

Zach Stevenson
Supervisor, Engineering
Mail Station 42I-586
(480) 730-3855

CC: Andy Saks

1600 E NORTHERN AVE PHOENIX, AZ 85020-3982
P.O. BOX 52075 PHOENIX, AZ 85072-2075 (877) 860-6020
www.swgas.com



APS Proprietary Information

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NOTICE:
THE UTILITY LOCATIONS SHOWN ON
THIS MAP ARE APPROXIMATE ONLY
AND ARE NOT RELIABLE FOR
CONSTRUCTION PURPOSES. IN
ADDITION, THERE MAY BE FACILITIES
IN EXISTENCE DUE TO RECENT
CONSTRUCTION THAT ARE NOT SHOWN.
FOR ACTUAL FIELD LOCATIONS
CONTACT ARIZONA BLUE STAKE CENTER
AT 1-800-782-5348 (1-800-STAKE-IT).

Electric Line Features Legend

- Overhead Primary
- Overhead Aerial Cable
- Overhead Secondary
- Overhead Service
- Underground Secondary
- Underground Service
- Underground Primary
- Underground Transmission
- Underground 230 kV Transmission
- Overhead Transmission
- Overhead Communication Line
- Conduit / Duct / Direct Buried

Electric Device Features Legend

- Overhead Capacitor Bank
- Pad Mounted Capacitor
- Feeder Circuit Breaker
- Fuse Disconnect
- One Anchor Guy
- OH/UG Change in Wire/Conduit Size
- Overhead Tap Mid Span
- PM Auto Transfer Enclosure
- PM Switching Enclosure
- PM Junction Enclosure
- PM Sectionalizing Enclosure
- PM Termination Enclosure
- OH Auto Transfer Switch
- OH Recloser
- OH Sectionalizer
- Pad Mounted Sectionalizer
- Metal Pole - APS-Owned - Not Joint Use
- Metal Pole - APS-Owned - Joint Use
- Wood Pole - APS-Owned - Not Joint Use
- Wood Pole - APS-Owned - Joint Use
- Riser/Transition Assembly
- OH Primary Meter
- Service Entry Point
- Pad Mounted Primary Meter
- Dusk-To-Dawn Light
- Street Light
- OH Blade Disconnect
- OH Gang-Operated Air Break Switch
- Open Point
- Manhole - Octagon
- Manhole - Rectangular
- Primary Pull Box - Man Accessible
- Primary Junction Box
- Secondary Junction Box
- Primary Pull Box
- Vault Building
- OH Voltage Regulator
- Pad Mounted Voltage Regulator
- OH APS XFR Bank - One Unit
- OH APS XFR Bank - Two Units
- OH APS XFR Bank - Three Units
- Pad Mounted 1 Ph XFR
- Pad Mounted Duplex XFR
- Pad Mounted 3Ph XFR
- Subsurface XFR

Wire Code Legend

- Overhead:**
3-R002W-NC-ABC
Phases
Neutral Position
Wire Code
of Conductors
- Underground:**
3-UA750T-5'-CO
Encasement
Size of Conduit
Wire Code
of Conductors
- (* No Conduit Size or Encasement = Direct Buried)

Arizona Public Service

OH & UG ELECTRIC

04/29/2022 04:14	04/29/2022 04:14	04/29/2022 04:14	Date: 9/11/2022
04/29/2022 04:14	04/29/2022 04:14	04/29/2022 04:14	Scale: 1:1,200
04/29/2022 04:14	04/29/2022 04:14	04/29/2022 04:14	1" = 100'



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| | Underground Primary |
| | Underground Transmission |
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| | Overhead Transmission |
| | Overhead Communication Line |
| | Conduit / Duct / Direct Buried |

Electric Device Features Legend

- | | |
|--|--|
| | Overhead Capacitor Bank |
| | Overhead Capacitor |
| | Fused Circuit Breaker |
| | Fuse Disconnect |
| | One Anchor Guy |
| | OH/G Change in Wire/Conduit Size |
| | Overhead Tap Mid Span |
| | PM Auto Transfer Enclosure |
| | PM Switching Enclosure |
| | PM Junction Enclosure |
| | PM Sectionalizing Enclosure |
| | PM Termination Enclosure |
| | OH Auto Transfer Switch |
| | OH Recloser |
| | OH Sectionalizer |
| | Pad Mounted Sectionalizer |
| | Metal Pole - APS-Owned - Not Joint Use |
| | Metal Pole - APS-Owned - Joint Use |
| | Wood Pole - APS-Owned - Not Joint Use |
| | Wood Pole - APS-Owned - Joint Use |
| | Riser/Transition Assembly |
| | OH Primary Meter |
| | Service Entry Point |
| | Pad Mounted Primary Meter |
| | Dusk-To-Dawn Light |
| | Street Light |
| | OH Blade Disconnect |
| | OH Gang-Operated Air Break Switch |
| | Open Point |
| | Manhole - Octagon |
| | Manhole - Rectangular |
| | Primary Pull Box - Man Accessible |
| | Primary Junction Box |
| | Secondary Junction Box |
| | Primary Pull Box |
| | Vault Building |
| | OH Voltage Regulator |
| | Pad Mounted Voltage Regulator |
| | OH APS XFR Bank - One Unit |
| | OH APS XFR Bank - Two Units |
| | OH APS XFR Bank - Three Units |
| | Pad Mounted 1 Ph XFR |
| | Pad Mounted Duplex XFR |
| | Pad Mounted 3Ph XFR |
| | Subservice XFR |

Wire Code Legend

- Overhead:**
3 - R002W - NC - ABC
- Phases
Neutral Position
Wire Code
of Conductors
- Underground:**
3 - UA750T - 5" - CO
- Encasement*
Size of Conduit*
Wire Code
of Conductors
- (* No Conduit Size or Encasement = Direct Buried)

Arizona Public Service

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Date: 9/11/2022

Scale: 1:1,200

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Underground:

3 - UA750T - 5" - CO

Encasement*
Size of Conduit*
Wire Code
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A subsidiary of Pinnacle West Capital Corporation

Station 4031
P.O. Box 53933
Phoenix, AZ 85072-3933
www.aps.com

9/9/2022

Gretchen Laird
Argus Consulting, PC
28150 N Alma School Pkwy, Ste 103-193
Scottsdale, Az 85262

Re: Sereno Canyon Parcel 2A, Mariposa Grande Extension

Dear Gretchen Laird,

Thank you for your recent request for a utility conflict review.

The APS maps show facility locations adjacent to or within the property shown on the proposed plans we received from your company. **The utility locations are approximate only and are not reliable for construction purposes.** It is important to note that there may be additional conflicts in existence due to recent construction that are not shown on the current maps you receive. We have requested the maps from our Mapping Department, you should receive the map(s) by email within 5-7 business days.

Please be advised that it is the responsibility of the customer to maintain proper clearances and Blue Stake prior to digging. For actual conditions, please contact Arizona Blue Stake Center at (602) 263-1100, 811, or www.arizona811.com for Blue Stake to be performed.

Further information is also available on the APS Construction Services at:

www.aps.com/construction

Sincerely,

Hailey Parks

Hailey Parks | Administrative Coordinator – T&D Customer Construction East

Physical: 4612 E Bell Rd.

Mailing: PO Box 53933, M.S. 4031 Phoenix, AZ 85004

CCEControlDesk@apsc.com

Hailey.Parks@APS.com

(602) 493-4401 Cell

GIS MAP REQUESTS CANNOT BE PROCESSED WITHOUT INFORMATION COMPLETED BELOW:

REQUESTING PARTY

DATE:	
APS CONTACT ID NUMBER:	
BUSINESS PURPOSE:	Conflict Review
	APS Active Project Coordination

COMPANY:	
NAME:	
ADDRESS:	
PHONE:	
EMAIL ADDRESS:	

THE "I AGREE" BOX BELOW MUST BE CHECKED TO PROCESS A REQUEST

Example:	TOWNSHIP	RANGE	SECTION #	NW	NE	SE	SW
	2N	2.5W	29			X	
	1N	1W	3		X		

[illegible]

TERMS AND CONDITIONS

I am a representative for the above-named Requesting Party, and I am authorized by the Requesting Party to agree to this request form on behalf of the Requesting Party.

The Requesting Party represents and warrants that the Business Purpose for requesting the GIS Map that is checked on this request form is accurate, and Requesting Party will only use the GIS Map for this Business Purpose.

The data and information on the GIS Map resulted from the compilation efforts of APS, or otherwise represents or contains a work of authorship, security sensitive information, or APS trade secrets. As such, the requested GIS Map is the proprietary and/or confidential information of APS. APS retains ownership of the map which is provided for the sole use of the Requesting Party.

Unless the Requesting Party has received APS's prior written consent, which APS may withhold at its discretion, the Requesting Party shall maintain the confidentiality of the GIS Map and not assign, license, distribute, disclose or transfer the GIS Map to any other person, company, corporation or other entity, or use or copy the GIS Map other than for the Business Purpose.

The Requesting Party represents and agrees that the GIS Map is not being requested for litigation purposes and Requesting Party shall inform APS, as soon as possible and in writing, if others request the GIS Map or any portion thereof in any court proceeding or other tribunal.

APS PROVIDES THE GIS MAP AS IS AND MAKES NO EXPRESS OR IMPLIED WARRANTY OR REPRESENTATION REGARDING THE GIS MAP, INCLUDING BUT NOT LIMITED TO ANY WARRANTY AS TO MERCHANTABILITY OR ACCURACY OF THE INFORMATION, FITNESS FOR ANY PARTICULAR PURPOSE, OR INFRINGEMENT.

To the full extent allowed by law, in no event shall APS be liable to Requesting Party for any damages whatsoever resulting from or related to the GIS Map or its use, including but not limited to direct, indirect, special, incidental, consequential or exemplary damages.

The Requesting Party acknowledges that the unauthorized disclosure of the GIS Map, or portion thereof, may cause irreparable harm and significant injury to APS that may be difficult to ascertain. Requesting Party therefore agrees that specific performance or injunctive relief, in addition to other legal and equitable relief, are appropriate remedies for any actual or threatened violation or breach of this agreement.

I agree to the Terms and Conditions ☐



**General Design Guidelines
For
Proposed Improvements
In APS Transmission ROW**

1/15/14

Any improvements within Arizona Public Service Company's (APS) Transmission easement/ right of way (collectively, ROW) must have written approval which is given by APS in the form of an Encroachment Agreement. A SIGNED *ENCROACHMENT AGREEMENT* / APPROVAL LETTER IS REQUIRED PRIOR TO BEGINNING CONSTRUCTION.

To obtain *An Encroachment Agreement*, plans must be submitted to the APS Land Services Department where they will undergo a process of review, revision (if necessary), and approval. The review process should begin early in the design process to obtain approval of plans prior to construction. Upon approval of the final plans, an Encroachment Agreement will be drafted by the APS Land Services Department and sent to the Landowner for signature. The *Encroachment Agreement*, including an exhibit will be recorded at the County Recorder's Office. The approved plans are retained by APS.

General guidelines for the *Encroachment Agreement* process are as follows:

1. All plans submitted to APS must be drawn "to scale",
Plans should be submitted to:

APS
Attention: Land Services Department
Mail Station 3286
P.O. Box 53933
Phoenix, AZ 85072-3933
2. All plans must show APS ROW boundaries.
3. All plans must show existing APS facilities, including poles/towers, equipment enclosures, overhead/underground wire locations and identifying equipment numbers when available.
4. Plans must show all proposed improvements within APS ROW, including utilities, paving, grading, drainage, lighting, landscaping, etc.
5. Lighting structures must meet APS electrical clearances with respect to our overhead conductors and towers/poles. The lighting design and construction must also meet OSHA requirements. In general, lighting

structures 12 ft high or less should not violate APS electrical clearances. Proposed lighting plans need to be reviewed and approved by APS. APS may require the land owner to provide a Survey of APS facilities as part of calculating clearances and approving lighting within the ROW.

6. In general, trees are prohibited within APS ROW. In special cases some landscaping, including low growing type trees, may be allowed provided they do not interfere with the maintenance of existing or future transmission lines. All proposed landscaping in APS ROW plans need to be reviewed and approved.
7. APS does not allow temporary or permanent structures within our ROW. Structures, by way of example shall include, but are not limited to buildings, mobile homes, recreational vehicle parking or storage, storage tanks, septic systems, swimming pools, tennis courts, dumpsters, dry wells, or similar facilities.
8. Retention basins will need to be designed by the customer to adhere to the Storm Water Retention Basin Design Guidelines and site-specific comments from APS. (Please contact APS to obtain a copy of the Storm Water Retention Basin Design Guidelines.) Any deviation from this guideline will require APS approval.
9. Any fencing that is constructed across APS ROW must have a 16-foot dual-lock gate installed at each end of the right-of-way area. Metal fencing must be properly grounded. APS must maintain access along its line.
10. Maintenance equipment / crane setup areas are required at poles/towers and at intervals parallel to the wires. The setup area at a pole / tower differs depending upon the voltage of the line. The EHV (115KV, 230KV and 500KV) pole/tower setup area is generally defined as, a length of approximately 50 ft in each direction from the pole or tower foundations or by the width of the ROW. The 69KV pole setup area is generally defined as, a length of approximately 30 ft in each direction from the pole, by the width of the ROW. Depending upon the transmission line voltage, the distance between setup areas along the wires and the size of the setup

areas will vary. Due to the complexity of issues involved, pole setup areas and wire setup areas will need to be designed by the landowner's consultants based upon input from APS. (The APS Storm Water Retention Basin Design Guidelines drawing also contains general design information for pole/tower and wire setup areas.)

11. Parking lots are an acceptable use of APS ROW. There are specific requirements for orientation with respect to traffic flow. Maintenance paths and crane setup areas will need to be incorporated into the parking lot design based upon input from APS.
12. All pipes, manholes, or other proposed facilities to be located at or below grade in APS ROW must be designed to withstand a minimum of 320 psi on a 27 inch diameter outrigger pad. Load calculations sealed by an Arizona licensed Civil Engineer must be provided to APS for review.
13. NO GRADE CHANGES/ CUT OR FILL IS PERMITTED WITHIN APS ROW WITHOUT PRIOR WRITTEN APPROVAL. APS has specific requirements for excavations near APS poles, towers, and facilities.
14. For Transmission pole bracing, pole relocations, or transmission line conflict checks, please contact APS Transmission Line Maintenance Department at 602 371-7242
15. APS does not allow recreational pool encroachments into its ROW, whether the ROW is created by private easement or by Public Utility Easement (PUE). If the permitting agency requires concurrence from APS in order to issue a permit, please contact the Land Services Department at 602-371-5966 for instructions.
16. MINIMUM OSHA SAFE WORKING DISTANCES SHALL BE MAINTAINED AT ALL TIMES ONCE AN APPROVED ENCROACHMENT AGREEMENT HAS BEEN AUTHORIZED BY APS. APS WILL PROVIDE UPON REQUEST. SPECIFIC SAFE WORKING DISTANCES DEPENDING ON THE VOLTAGES OF THE LINES WITHIN THE ROW'S.

Date:



To Whom It May Concern,

Reference Number: CR-
Referenced Project:
Response: **CONFLICTS IDENTIFIED**

The amounts below are an estimate of itemized costs and may not represent the actual amount:

Materials: \$
Labor: \$
Design/Engineering: \$
TOTAL PROJECT COST: \$

All checks should be made to: **COX Communications**
Send payments and reimbursement letter to:

COX Communications
Attn: CSSS (Construction Support)
11811 E. 51st St.
Tulsa, OK 74146

Cox Communications (Cox) has received and reviewed the design stage plans you submitted for the above-referenced Project. Based on the documentation you submitted, Cox finds one or more conflicts exist between the proposed Project and Cox infrastructure and/or communication facilities (Facilities) within the identified area of Project construction or development.

To remove or minimize conflicts, please allow at least 90 days for Cox to complete this work from the date payment is received and a plan is agreed upon for any Cox Facilities requiring relocation. Prior to relocation, should Project construction activities occur in the immediate vicinity of the conflict(s), it will be your responsibility to conduct potholing and to properly protect Cox's Facilities. Cox requests that a minimum of 12 inches of vertical and horizontal separation from existing Cox Facilities be maintained at all times.

Please note, Cox has made no determination as to the accuracy of the drawings or plans you submitted. You are solely responsible for complying with all utility locate laws (IE., 811 Locate Services, One Call, etc.) to verify the location of all utilities, including Cox Facilities, which may be in the area of the Project. Throughout the duration of the Project, should Project construction activities occur outside the identified area and near other Cox Facilities, it will be your responsibility to notify Cox and to assure such Cox Facilities are supported, protected or otherwise remain undisturbed.

If you have any questions or require additional information, please contact our Corporate Traffic Management center at constructionsupport@cox.com.

Sincerely,

Cox Communications' Construction Engineering Team

CONFLICT INQUIRY FACILITIES WITHIN PROJECT LIMITS: YES CONFLICT: NO														
#	ROAD	SHEET #	FIGURE #	STATION (APPROXIMATE)	OFFSET	LT/RT	FACILITIES	CONFLICT	ACTION	IN CONFLICT WITH	POTHOLE REQUIRE	LATITUDE	LONGITUDE	COMMENTS/QUESTIONS
1	MARIPOSA GRANDE DR	4	1	NA	NA	CROSSING TO NORTH	TRENCH	NO CONFLICT	PROTECT IN PLACE	CAUTION: PROPOSED DEMOLITION ABOVE EXISTING UNDERGROUND FACILITIES	NO	NA	NA	PROCEED WITH CAUTION AND PROTECT IN PLACE.
2	MARIPOSA GRANDE DR	4	1	NA	NA	CROSSING TO NORTH	TRENCH	NO CONFLICT	PROTECT IN PLACE	CAUTION: PROPOSED GRADING AND PAVEMENT ABOVE EXISTING UNDERGROUND FACILITIES	NO	NA	NA	PROCEED WITH CAUTION AND PROTECT IN PLACE.
3	MARIPOSA GRANDE DR	4	1	NA	NA	NORTH	PEDESTAL	NO CONFLICT	PROTECT IN PLACE	CAUTION: PEDESTAL WITHIN CONSTRUCTION AREA, DROPS SERVICE IN THE AREA	NO	NOT FOUND	NOT FOUND	LOCATE FACILITIES, PROTECT IN PLACE.
4	MARIPOSA GRANDE DR	4	1	19+70 - 21+25	NA	WEST TO NORTH	TRENCH	NO CONFLICT	PROTECT IN PLACE	CAUTION: EXISTING UNDERGROUND FACILITIES WITHIN PROJECT VICINITY, OUTSIDE OF IMMEDIATE CONSTRUCTION AREA	NO	NA	NA	PROCEED WITH CAUTION AND PROTECT IN PLACE.
5	MARIPOSA GRANDE DR	5	1	21+25 - 23+00	NA	NORTH	TRENCH	NO CONFLICT	PROTECT IN PLACE	CAUTION: EXISTING UNDERGROUND FACILITIES WITHIN PROJECT VICINITY, OUTSIDE OF IMMEDIATE CONSTRUCTION AREA	NO	NA	NA	PROCEED WITH CAUTION AND PROTECT IN PLACE.
6	MARIPOSA GRANDE DR	5	1	NA	NA	NORTH	PEDESTAL	NO CONFLICT	PROTECT IN PLACE	CAUTION: PEDESTAL WITHIN PROJECT VICINITY BUT OUTSIDE OF IMMEDIATE CONSTRUCTION AREA, DROPS SERVICE IN THE AREA	NO	NOT FOUND	NOT FOUND	PROCEED WITH CAUTION AND PROTECT IN PLACE.
7	BLACK ROCK RD	8	2	NA	NA	NORTH	TRENCH	NO CONFLICT	PROTECT IN PLACE	CAUTION: EXISTING UNDERGROUND FACILITIES WITHIN PROJECT VICINITY, OUTSIDE OF IMMEDIATE CONSTRUCTION AREA	NO	NA	NA	PROCEED WITH CAUTION AND PROTECT IN PLACE.
8	BLACK ROCK RD	8	2	NA	NA	NORTH	PEDESTAL	NO CONFLICT	PROTECT IN PLACE	CAUTION: PEDESTAL WITHIN PROJECT VICINITY BUT OUTSIDE OF IMMEDIATE CONSTRUCTION AREA, DROPS SERVICE IN THE AREA	NO	NOT FOUND	NOT FOUND	PROCEED WITH CAUTION AND PROTECT IN PLACE.
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LEGEND

- ✕ POWER POLE
- ⊠ POWER POLE (WITH TRANSFORMER)
- TELCO POLE
- CATV POLE
- ⊗ JOINT POLE
- ⊠ JOINT POLE (WITH TRANSFORMER)
- OVERHEAD GUY
- ~ DROP ONLY
- STRAND
- AFO AFO STRAND (AERIAL FIBER OPTICS)
- ⌒ SLACK SPAN
- STRAND SPLICE
- ➔ EXISTING CATV ANCHOR (TV/T/P/TP)
- ➔ CATV PLACE ANCHOR
- TRENCH
- - - CONDUIT
- (LG) PEDESTAL
- ⊠ (MD) PEDESTAL
- (SM) PEDESTAL
- HANDHOLE
- V VAULT
- F FIBER VAULT
- MH MANHOLE
- HH HANDHOLE
- ⚡ GROUND LOCATION
- ⚡ FIBER GROUND
- Ⓡ RISER

FIGURE 1: UNDERGROUND FACILITIES ON THE NORTH SIDE OF MARIPOSA GRANDE DR
(REFERENCE SHEET 5,6, & 7)

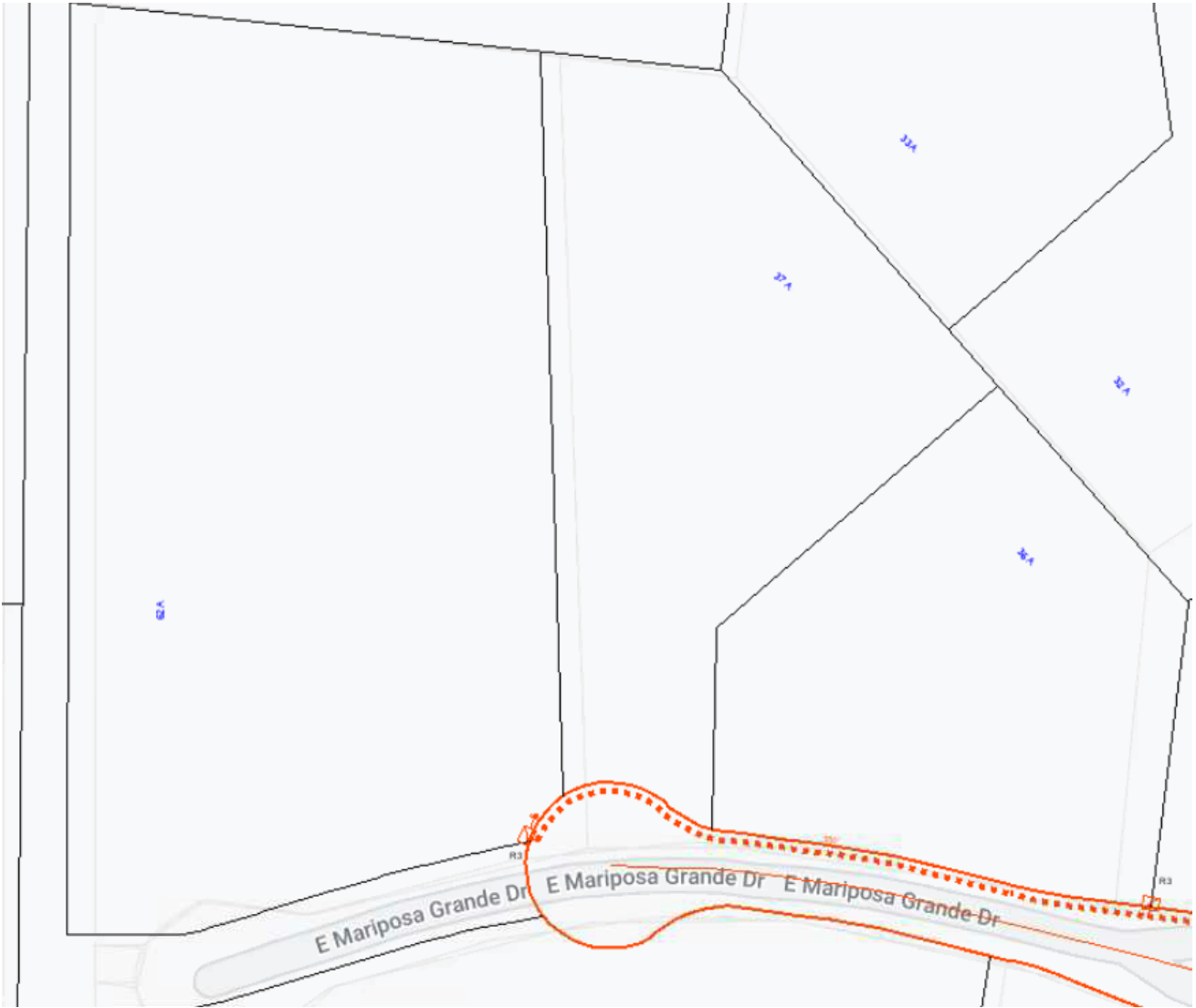
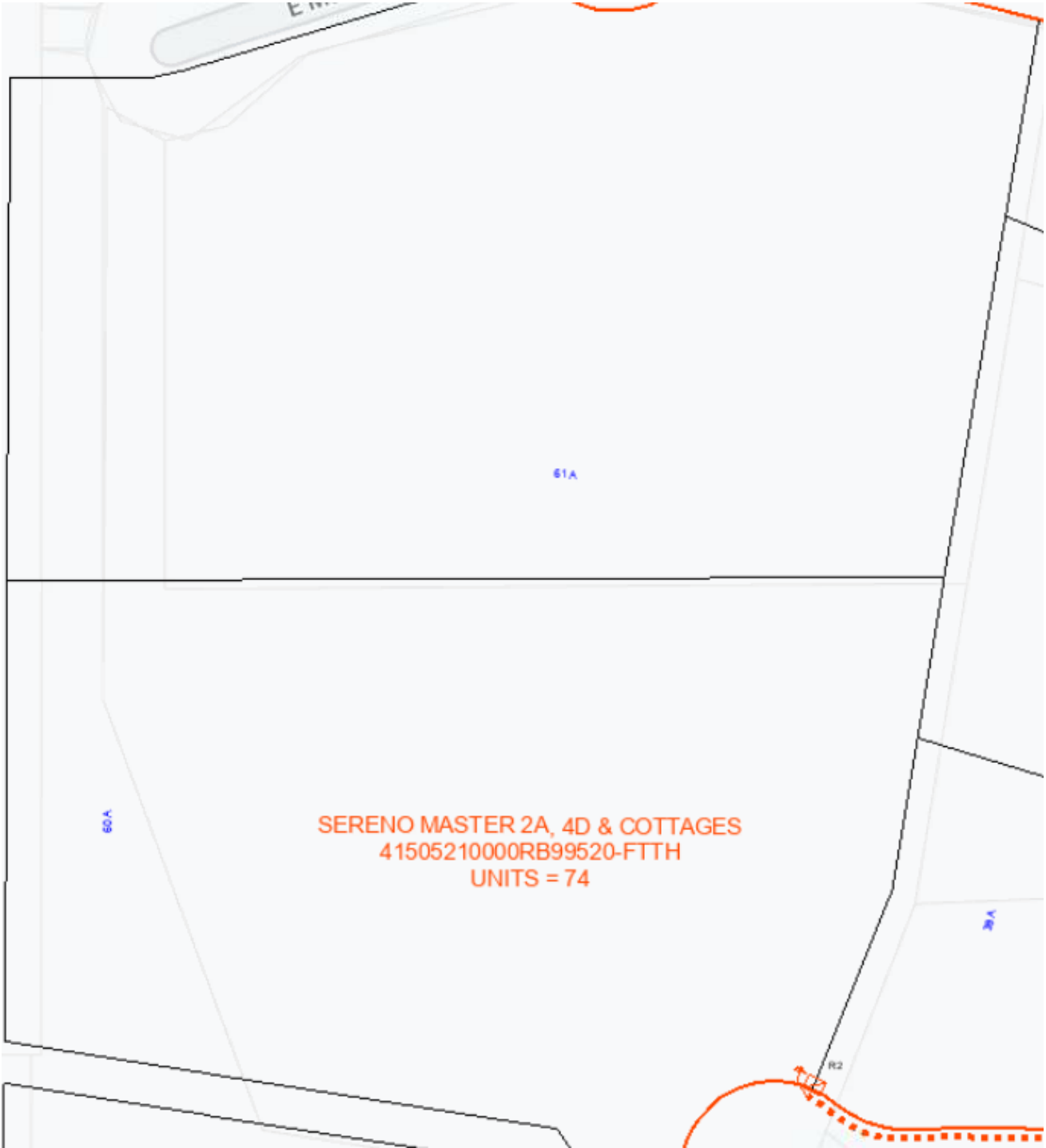


FIGURE 2: UNDERGROUND FACILITIES ON THE NORTH SIDE OF BLACK ROCK RD
(REFERENCE SHEET 8)



DEVELOPER
TOLL BROTHERS AZ CONSTRUCTION COMPANY
8767 E VIA DE VENTURA, SUITE 390
SCOTTSDALE, ARIZONA 85258
CONTACT: CHAD FISHER (480) 951-0782

ENGINEER
ARGUS CONSULTING, P.C.
28150 N ALMA SCHOOL PKWY, SUITE 103 - #193
SCOTTSDALE, ARIZONA 85262
CONTACT: JORGE GARRE (480) 596-1131

PROJECT INFO
EXISTING ZONING: R1-43 & R1-130
RELATED CASE NO.
19-PP-2013 10-GP-2011 16-ZN-2011 2725-19 272-19-1

BENCHMARK
GDACS POINT 43555-1 (MCDOT)
FD 1" I.P. WITH GLO BRASS CAP UP 1.20' STAMPED
"1/4 CORNER S10/S11 1919"
NAVD88 ELEVATION = 2673.236

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED
ON THIS PLAN ARE BASED ON THE NORTH AMERICA
VERTICAL DATUM 1988 (NAVD 1988) AND MEET THE
FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

UTILITY PROVIDERS
WATER CITY OF SCOTTSDALE
SEWER CITY OF SCOTTSDALE
ELECTRICITY ARIZONA PUBLIC SERVICE
TELEPHONE CENTURY LINK
GAS SOUTHWEST GAS COMPANY
CABLE TV COX COMMUNICATIONS

SPECIFICATIONS
ALL SITE WORK SHALL CONFORM TO THE LATEST EDITION OF
MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM
STANDARD SPECIFICATIONS, THE CITY OF SCOTTSDALE
SUPPLEMENT TO MARICOPA ASSOCIATION OF GOVERNMENTS (MAG)
UNIFORM STANDARD SPECIFICATIONS, AND UNIFORM STANDARD DETAILS
FOR PUBLIC WORKS CONSTRUCTION, AS AMENDED BY PROJECT
SPECIFICATIONS, PLANS AND PROJECT GEOTECHNICAL REPORT.

NATIVE PLANT SUBMITTAL
2901-18-2

QUARTER SECTIONS
45-57

ASSESSORS PARCEL NOS.
217-01-520 & 217-01-518

UNDERGROUND UTILITY STATEMENT
The underground utilities shown have been located from field
survey information and existing drawings. The surveyor
makes no guarantee that the underground utilities shown
comprise all such utilities in the area, either in service or
abandoned. The engineer further does not warrant that the
underground utilities shown are in the exact location
indicated although he does certify that they are located as
accurately as possible from information available.
The engineer has not physically located the
underground utilities.

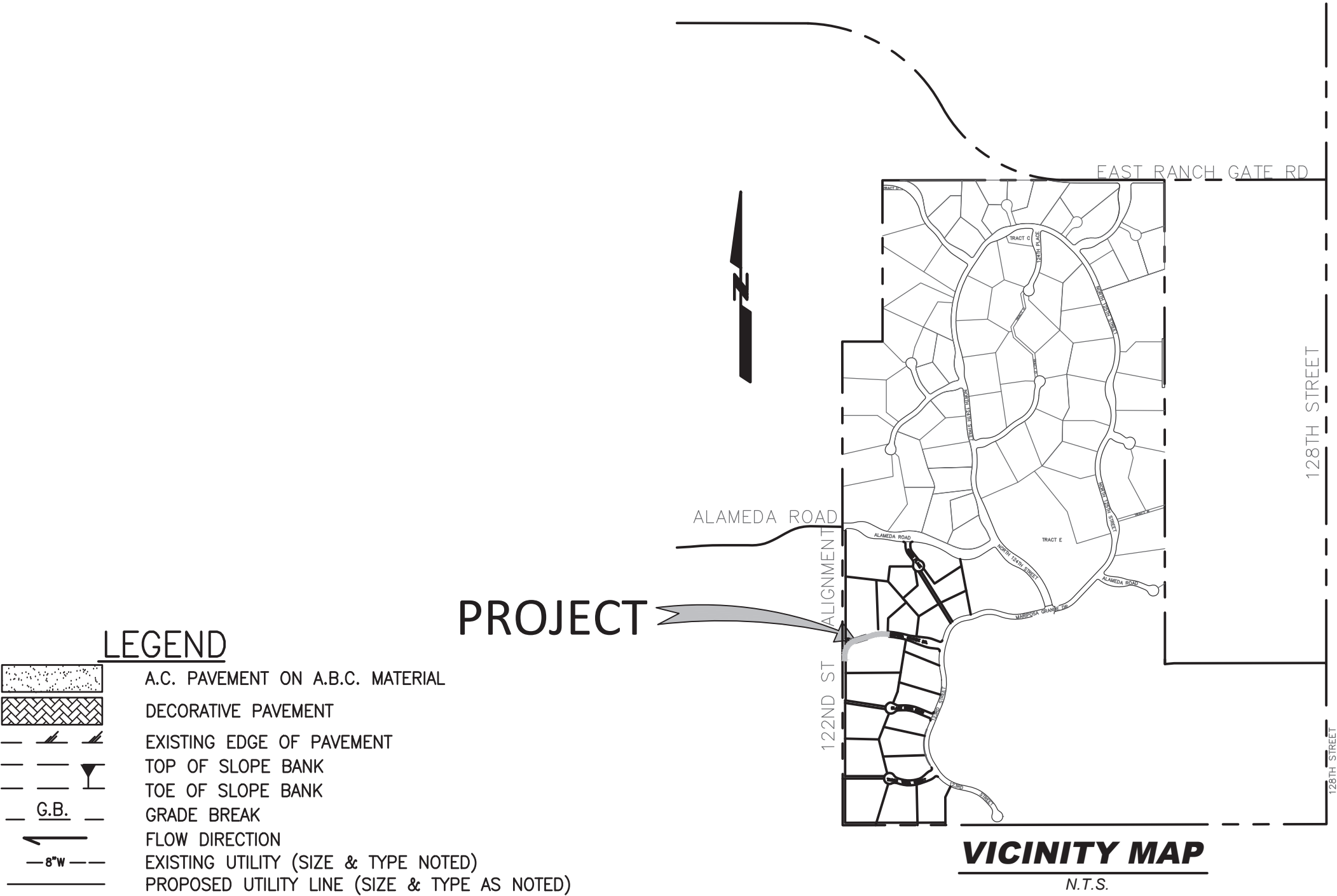
NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:

- NO BUILDING, GRADING OR CONSTRUCTION ACTIVITY SHALL ENCR OACH INTO THE AREAS
DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
- ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO
AND DURING CONSTRUCTION BY THE FOLLOWING METHOD:
 - A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTURBANCE
BASED ON THIS EXHIBIT.
 - ±3 FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES
APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, CONNECTED WITH
GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
 - ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE
DIRECTLY ADJACENT, WITHIN 2 FEET, OF THE NAOS AND LOC LINE SHALL BE
FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
 - THE STAKING, ROPING, AND FENCING SHALL BE MAINTAINED INTACTED BY THE
CONTRACTOR DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE
LETTER OF ACCEPTANCE/CERTIFICATION OF OCCUPANCY FROM THE CITY OF SCOTTSDALE
FOR ALL CONSTRUCTION WORK.

NO CONFLICT SIGNATURE BLOCK					
UTILITY	UTILITY COMPANY	COMPANY REP.	TEL.. NO.	DATE SUBMITTED	DATE RETURNED
ELECTRIC	APS	SCOTT TIMAR	602-493-4421	8-19-22	
TELEPHONE	CENTURY LINK	CHRIS (MARIA) LERTIQUE	602-630-0492	8-19-22	
NATURAL GAS	S.W. GAS	GREG COOPER	602-484-5276	8-19-22	
CABLE TV	COX	TRAFFIC MGMT CENTER	623-328-2190	8-19-22	
ELECTRIC					
OTHER					
ENGINEERS CERTIFICATION					
I JORGE GARRE, BEING RESPONSIBLE FOR DESIGNING THE FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL OF THE UTILITY COMPANIES LISTED ABOVE HAVE BEEN CONTACTED, PLANS AND "NO CONFLICT" FORMS HAVE BEEN SUBMITTED FOR REVIEW AND COMMENT BY EACH COMPANY.					
					8-25-21
SIGNATURE					DATE

IMPROVEMENT PLANS SERENO CANYON, PHASE 2A MARIPOSA GRANDE EXTENSION

A REPLAT OF LOTS 36A, 37A, 60A, 61A, 62A AND TRACT CC AND TRACT FF OF THE FINAL
PLAT FOR SERENO CANYON PHASE 2A REPLAT, RECORDED IN BOOK 1520 OF MAPS, PAGE
10, IN THE RECORDS OF THE MARICOPA COUNTY RECORDER'S OFFICE, COUNTY OF MARICOPA,
STATE OF ARIZONA. LOCATED WITHIN THE CITY OF SCOTTSDALE.



LEGEND	
	A.C. PAVEMENT ON A.B.C. MATERIAL
	DECORATIVE PAVEMENT
	EXISTING EDGE OF PAVEMENT
	TOP OF SLOPE BANK
	TOE OF SLOPE BANK
	GRADE BREAK
	FLOW DIRECTION
	EXISTING UTILITY (SIZE & TYPE NOTED)
	PROPOSED UTILITY LINE (SIZE & TYPE AS NOTED)
	PROPERTY LINE OR RIGHT OF WAY LINE
	EASEMENT LINE
	NATURAL AREA OPEN SPACE LINE (N.A.O.S.)
	BUILDING SETBACK LINE (BSL)
	STORM DRAIN
	AIR RELEASE VALVE
	PROPOSED GROUND ELEVATION
	PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	GUTTER ELEVATION
	CONCRETE ELEVATION
	FINISH GRADE ELEVATION
	TOP OF BANK ELEVATION
	LIP OF GUTTER
	FLOW LINE ELEVATION
	TOP OF GUNITE
	TOP OF SCOUR
	BOTTOM OF GUNITE
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF FENCE
	TOP OF WALL
	OVER FLOW ELEVATION
	PEDESTRIAN ACCESS EASEMENT
	WATER LINE EASEMENT
	SEWER LINE EASEMENT
	SIGHT DISTANCE EASEMENT
	PUBLIC UTILITY EASEMENT
	SIDEWALK
	POINT OF VERTICAL INTERSECTION
	POINT OF CURVE
	POINT OF COMPOUND CURVE
	POINT OF TANGENCY
	GRADE BREAK
	NATURAL AREA OPEN SPACE
	WATER SURFACE ELEVATION
	EXISTING PUBLIC
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BUILDING SETBACK LINE
	BOULDER EASEMENT
	DRAINAGE FLOOD CONTROL EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	EXISTING PUBLIC DRAINAGE EASEMENT
	EXISTING PUBLIC UTILITY EASEMENT
	EXISTING WALL EASEMENT
	EXISTING SIGHT DISTANCE EASEMENT
	EXISTING BOULDER EASEMENT
	EXISTING VEHICULAR NON-ACCESS EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	EXISTING SIGHT DISTANCE EASEMENT
	EXISTING PUBLIC UTILITY EASEMENT
	RIGHT-OF-WAY
	CUT CONDITION
	FILL CONDITION
	SLOPE EASEMENT
	TEMPORARY CONSTRUCTION EASEMENT

EXISTING CONDITIONS FLOWS
FUTURE CONDITIONS FLOWS

SHEET INDEX	
SHEET 01	- COVER SHEET
SHEET 02	- SHEET INDEX MAP & QUANTITIES
SHEET 03-04	- PLAN & PROFILES
SHEET 05-08	- GRADING PLANS
SHEET 09	- DETAILS

- ### GENERAL CONSTRUCTION NOTES FOR PUBLIC WORKS CONSTRUCTION
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENT (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
 - THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS: THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
 - THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF ASSOCIATED PERMIT HAS NOT BEEN ISSUED WITHIN THIS TIME FRAME, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR RE-APPROVAL.
 - A CITY INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE. NOTIFY INSPECTION SERVICES 72 HOURS BEFORE BEGINNING WORK.
 - WHENEVER EXCAVATION IS NECESSARY, CALL BLUE STAKE CENTER, 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS.
 - PERMISSION TO WORK IN THE (PWR) PERMITS ARE REQUIRED FOR ALL WORKS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.

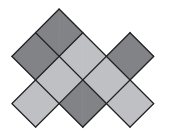
- ### GENERAL NOTES:
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING PAD ELEVATIONS.
 - ANY EXSTING LANDSCAPE WHICH IS DISRTUBED OR DESTROYED AS A RESULT OF CONSTRUCTION SHALL BE RELOCATED OR REPLACED ON THE SITE WITH MATERIAL OF LIKE SIZE, TYPE AND QUANTITY.
 - AREA WITHIN TEH SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT OF 2'-0". PLANT MATERIAL MUST HAVE A CANOPY THAT BEGINS AT 7'-0" UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
 - HAUL ROUTE PERMIT. IF IMPORT OR EXPORT IN EXCESS OF 5,000 CUBIC YARDS IS REQUIRED DURING THE COURSE OF CONSTRUCTION A HAUL ROUTE PERMIT WILL BE OBTAINED FOR THIS WORK.
 - ONSITE DRAINAGE STRUCTURES ARE PRIVATE AND MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
 - CITY OF SCOTTSDALE WATERLINE EASEMENT IS TO BE FREE OF OBSTRUCTIONS AND ACCESSIBLE TO CITY FORCES AT ALL TIMES.
 - IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-213 ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER, SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 60 AND 61.
 - ALL WASH CROSSINGS SHALL BE DESIGNED FOR A MIN. 100-YEAR STORM ACCESS AND TO A MIN. LOADING DESIGN OF 83,000 POUNDS G.V.W.
 - ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH STIPULATIONS FOR ATALON APPROVED UNDER CASE 22-PP-2011.
 - ALL STREETS AND PRIVATE DRIVEWAYS SHALL BE DESIGNED FOR A MIN. 100-YEAR STORM AND EMERGENCY ACCESS.
 - ALL RIP-RAP SHALL BE INDIGENOUS/NATIVE STONE.
 - WATER METER BOXES MAY NOT BE LOCATED WITHIN DRIVEWAYS.
 - ALL DRAINAGE STRUCTURES SHALL BE INTEGRALLY COLORED.
 - IN ACCORDANCE WITH NOTE 1 OF CITY OF SCOTTSDALE GENERAL CONSTRUCTION NOTES FOR PUBLIC WORKS CONSTRUCTION ABOVE, ALL WATER AND SEWER LINE, CONSTRUCTION, TESTING, AND DISINFECTION MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE (COS) SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS AND CITY OF SCOTTSDALE'S DESIGN STANDARDS & POLICIES MANUAL (DS&PM).
 - IN ACCORDANCE WITH CHAPTER 6-1.407 OF THE CITY OF SCOTTSDALE DS&PM ALL METERED SERVICES ARE TO HAVE A PRESSURE REGULATING VALVE INSTALLED ON THE PRIVATE SERVICE LINE.
 - ALL HEADWALLS AND DRAINAGE STRUCTURES SHALL BE INTEGRALLY COLORED CONCRETE TO BLEND WITH THE COLOR OF THE SURROUNDING NATURAL DESERT. SIDEWALK SHALL BE SAN DIEGO BUFF COLORED CONCRETE.

- ### ADDITIONAL REQUIREMENTS TO M.A.G. SPECIFICATIONS
- M.A.G. SECTION 301 - SUB GRADE PREPARATION**
- 301.3 RELATIVE COMPACTION
- SPECIFIED DENSITY SHALL BE ACHIEVED IMMEDIATELY PRIOR TO PLACEMENT OF BASE MATERIAL. MOISTURE CONTENT SHALL BE WITHIN ±2% OF OPTIMUM MOISTURE CONTENT DURING COMPACTION.
- M.A.G. SECTION 321 - ASPHALT CONCRETE**
- 321.5.5 PRESERVATIVE SEAL
- PRESERVATIVE SEAL SHALL NOT BE APPLIED.
- M.A.G. SECTION 710 - ASPHALT CONCRETE**
- THE USE OF RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE IN ACCORDANCE WITH SECTION 409 OF THE M.A.G. SPECIFICATIONS. IN NO CASE WILL THE PERCENTAGE OF RAP BE ALLOWED TO EXCEED 15 PERCENT OF THE TOTAL WEIGHT OF THE TOTAL MIX.
 - ASPHALT CEMENT SHALL BE PG70-10 ACCORDING TO THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS MP1-93, SPECIFICATION FOR PERFORMANCE GRADED ASPHALT BINDER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING THE MIX DESIGN. OWNER SHALL APPROVE TESTING LABORATORY SELECTED BY CONTRACTOR.
THE ASPHALT MIX DESIGN SHALL FOLLOW PROCEDURES FOR (LOW) TRAFFIC VOLUME.
ASPHALT CONCRETE MIX DESIGNS FOR LOW VOLUME TRAFFIC SHALL BE PERFORMED ACCORDING TO THE MARSHALL METHOD AND SHALL HAVE GRADATION ABOVE THE RESTRICTED ZONE.
ASPHALT CONCRETE MIX DESIGNS FOR MEDIUM OR HIGH VOLUME TRAFFIC SHALL BE PERFORMED ACCORDING TO THE SUPERPAVE (TM) METHOD AND SHALL HAVE GRADATION BELOW THE RESTRICTED ZONE.
 - ALL ASPHALT MIXES SHALL CONTAIN A MINIMUM 0.75 PERCENT HYDRATED LIME OR 1.00 PERCENT PORTLAND CEMENT AS ANTI STRIPPING AGENT.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zone, Use Depth)
045012	04013C1330 10/16/13	L	7/20/21	X	N/A

ENGINEER'S CERTIFICATION: The lowest floor elevation(s) and/or flood proofing elevation(s) on this plan are sufficiently high to provide protection from flooding caused by a one-hundred year flood, and are in accordance with City of Scottsdale Revised Code, Chapter 37- Floodways & Flood plains Ordinance.



CITY OF SCOTTSDALE REVIEW & RECOMMENDED APPROVAL BY:				 ARGUS CONSULTING A CIVIL ENGINEERING COMPANY, P.C. 28150 N. Alma School Pkwy, Suite 103 - #193 Scottsdale, Arizona 85262 480-596-1131	
PAVING		TRAFFIC			
G & D		PLANNING		COVER SHEET	
W & S		FIRE		IMPROVEMENT PLANS MARIPOSA GRANDE EXTENSION SCOTTSDALE - ARIZONA	
RET. WALLS					
ENGINEERNG COORDINATION MANAGER (OR DESIGNEE)				Date 8/19/22	Job No. 385-17
				Sheet 1	of 9

NOTES

1. THE QUANTITIES LISTED ARE APPROXIMATE. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES AND BASE HIS BID ON HIS ESTIMATES.
2. TRAFFIC ACCESS TO FUTURE PHASES SHALL BE PROPERLY BARRICADED.
3. DISTURBED AREAS OF FUTURE PHASES SHALL BE WATERED AS NECESSARY FOR DUST CONTROL.
4. LANDSCAPING AND IRRIGATION SHALL BE COMPLETED WITH PAVING IMPROVEMENTS.
5. STORM DRAIN MATERIAL MAY BE REINFORCED CONCRETE, CAST IN PLACE CONCRETE, OR HIGH DENSITY POLYETHYLENE (H.D.P.E.).

N.T.S.

ESTIMATED PAVING QUANTITIES

PAVING, ASPHALT CONCRETE	1327 SY
24" ROLL CURB & GUTTER	1194 LF
CURB TRANSITIONS	30 LF
BARRICADE	24 LF
SURVEY MARKER	4 EA
ADJUST VALVE BOX TO GRADE	1 EA
ADJUST MANHOLE FRAME TO GRADE	2 EA
4" COMPACTED GRANITE PATH RE-ALIGNMENT	230 SY
CONCRETE CURB REMOVAL	394 LF
A.C. PAVEMENT REMOVAL	518 SY
SURVEY MARKER REMOVAL	1 EA

ESTIMATED EARTHWORK QUANTITIES

CUT (RAW)	1,400 CY
FILL (RAW)	2,582 CY

ESTIMATED STORM DRAIN QUANTITIES

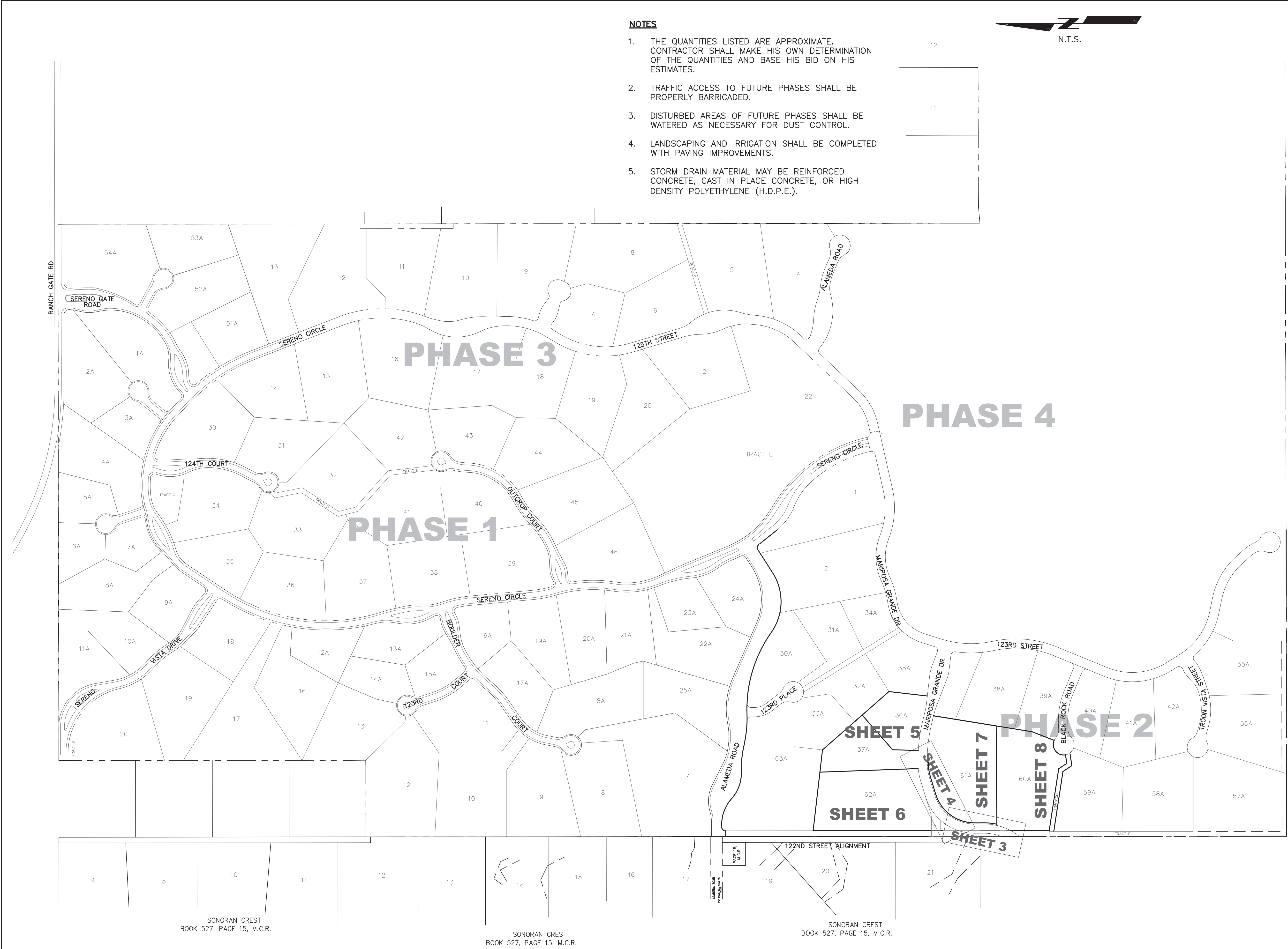
U-SHAPE HEADWALL 2-24" PIPE	2 EA
24" CLASS IV RGRCP STORM DRAIN	114 LF
RIP-RAP EROSION PROTECTION	130 SY

ESTIMATED WATER QUANTITIES

8" D.I.P. WATER LINE	144 LF
8" VERTICAL REALIGNMENT	1 EA
8" G.V.B.& C.	3 EA
2" AIR RELEASE VALVE	2 EA
CONNECT TO EXIST WATER LINE	2 EA
2" CURB STOP WITH FLUSHING PIPE	1 EA
REMOVE EXISTING WATER LINE	144 EA

ESTIMATED SEWER QUANTITIES

CONCRETE SEWER LINE ENCASEMENT	20 LF
--------------------------------	-------



ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
28150 N. Alma School Pkwy, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

SHEET INDEX AND QUANTITIES

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA





Line #	Length	Direction
L14	41.71	N0° 03' 44.55"W
L15	41.71	S0° 03' 44.55"E
L13	41.71	S0° 03' 44.55"E

Curve #	Length	Radius	Delta
C37	79.97	220.00	20.83
C42	254.89	200.00	73.02
C38	84.33	232.00	20.83
C43	239.60	188.00	73.02
C35	75.61	208.00	20.83
C41	270.18	212.00	73.02

CONSTRUCTION NOTES:

PAVING

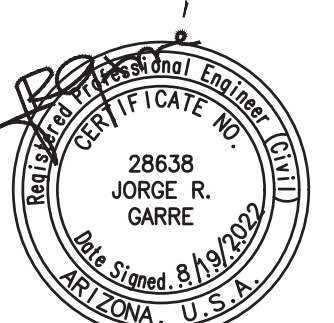
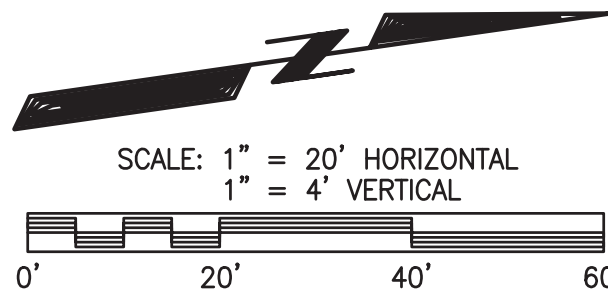
- 1 CONSTRUCT 3" OF R-19 MM A.C. OVER 6" ABC. ON 95% COMPACTED SUBGRADE PER M.A.G. SPEC. 301, 310 & 321 & PER ROADWAY SECTION ON SHT 9.
- 2 INSTALL SURVEY MONUMENT TYPE 'B' PER M.A.G. STD. DETAIL 120.
- 3 CONSTRUCT TYPE 'C' ROLL CURB & GUTTER PER M.A.G. STD. DETAIL 220-1.
- 4 ADJUST FRAME AND COVER TO GRADE PER M.A.G. STD. DETAIL 422.
- 5 CONSTRUCT DEPRESSED CURB OPENING, L=8' WITH RIP-RAP EROSION PROTECTION, PER DETAILS ON SHEET 9.
- 6 ADJUST FRAME AND COVER TO GRADE PER M.A.G. STD. DETAIL 270.
- 8 2-30" CLASS V RGRCP STORM DRAIN PIPE, TYPE "U" HEADWALLS AND HANDRAILS. SEE SHEET 9 FOR CONSTRUCTION.
- 9 INSTALL BARRICADE PER M.A.G. STD. DETAIL 130.
- 10 CONSTRUCT 17.5 L.F. OF CONCRETE SEWER LINE ENCASEMENT PER M.A.G. STD. DETAIL 404-2 AND 404-3.

WATER

- ① INSTALL CURB STOP WITH FLUSHING PIPE PER M.A.G. STD. DETAIL 390-B.
- ② INSTALL 8" GATE VALVE BOX AND COVER PER M.A.G. STD. 391-1 TYPE 'C'.
- ③ INSTALL VERTICAL REALIGNMENT OF 8" WATER LINE PER C.O.S. STD. DETAIL 2370, WITH 2-8" VALVES & AIR RELEASE ASSEMBLY DETAIL 2348.
- ④ INSTALL AIR RELEASE VALVE PER C.O.S. STD. DETAIL 2348.
- ⑤ INSTALL BEND, TEE, CROSS OR REDUCER WITH ELECTRONIC MARKER PER C.O.S. SUPPLEMENTAL SPEC. 610. JOINT RESTRAINTS PER & M.A.G. STD. DETAILS 303-1 & 303-2.
- ⑥ REMOVE EXISTING AND INSTALL 8" D.I.P. CLASS 350, POLYETHYLENE WRAPPED WATER PIPE PER M.A.G. SPEC. 750.2 AND 610.6. WITH 3' MIN. COVER BELOW FINISHED GRADE.
- ⑦ CONNECT TO EXISTING WATERLINE. CONTRACTOR TO VERIFY EXISTING LOCATION.
- ⑧ REMOVE AND SALVAGE EXISTING 2" ARV.



MARIPOSA GRANDE AND
PARCEL 2A PLANS
PER C.O.S. 2725-19-



EXPIRES 12/31/24



ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.

*28150 N. Alma School Pkwy, Suite 103 - #192
Scottsdale, Arizona 85262 480-596-1131*

PAVING & UTILITIES

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA

Call at least two full working days
before you begin excavation.

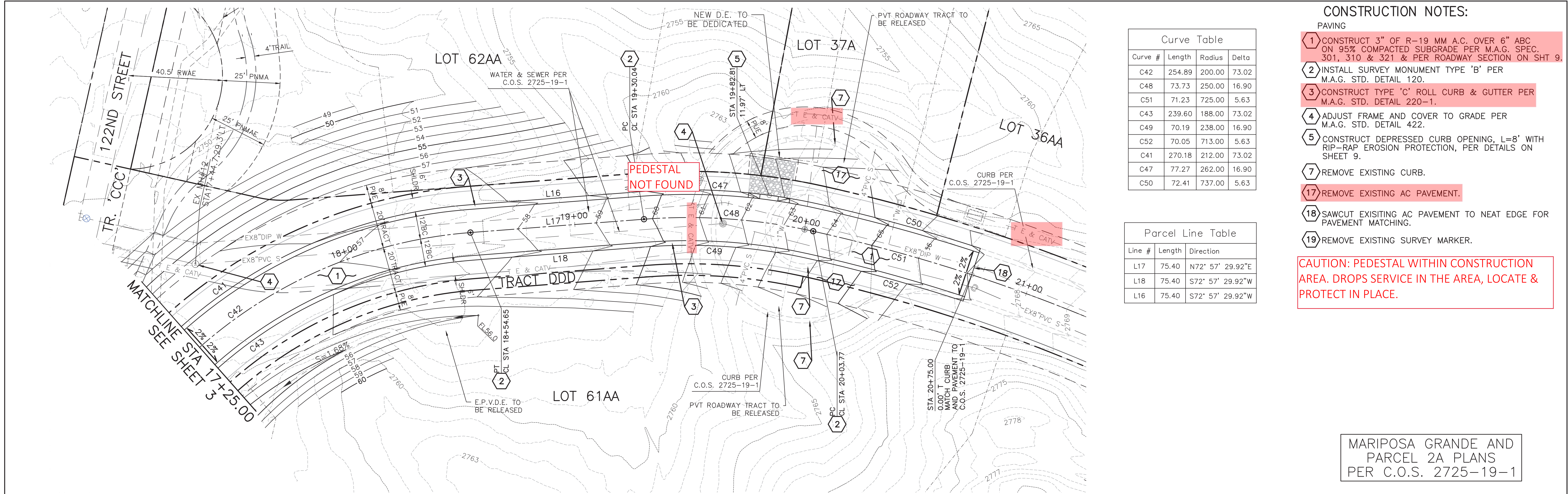
ARIZONA 811
Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5342)
In Maricopa County: (602) 263-1100

Date 8/19/22

Job No. 385-1

Sheet 3 of 9



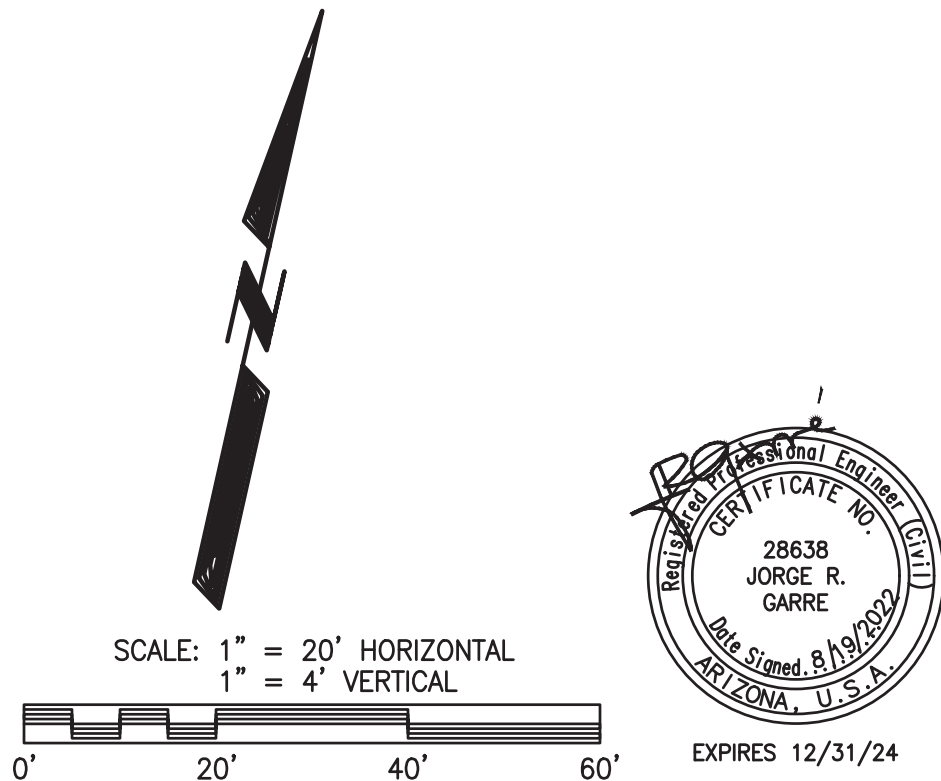
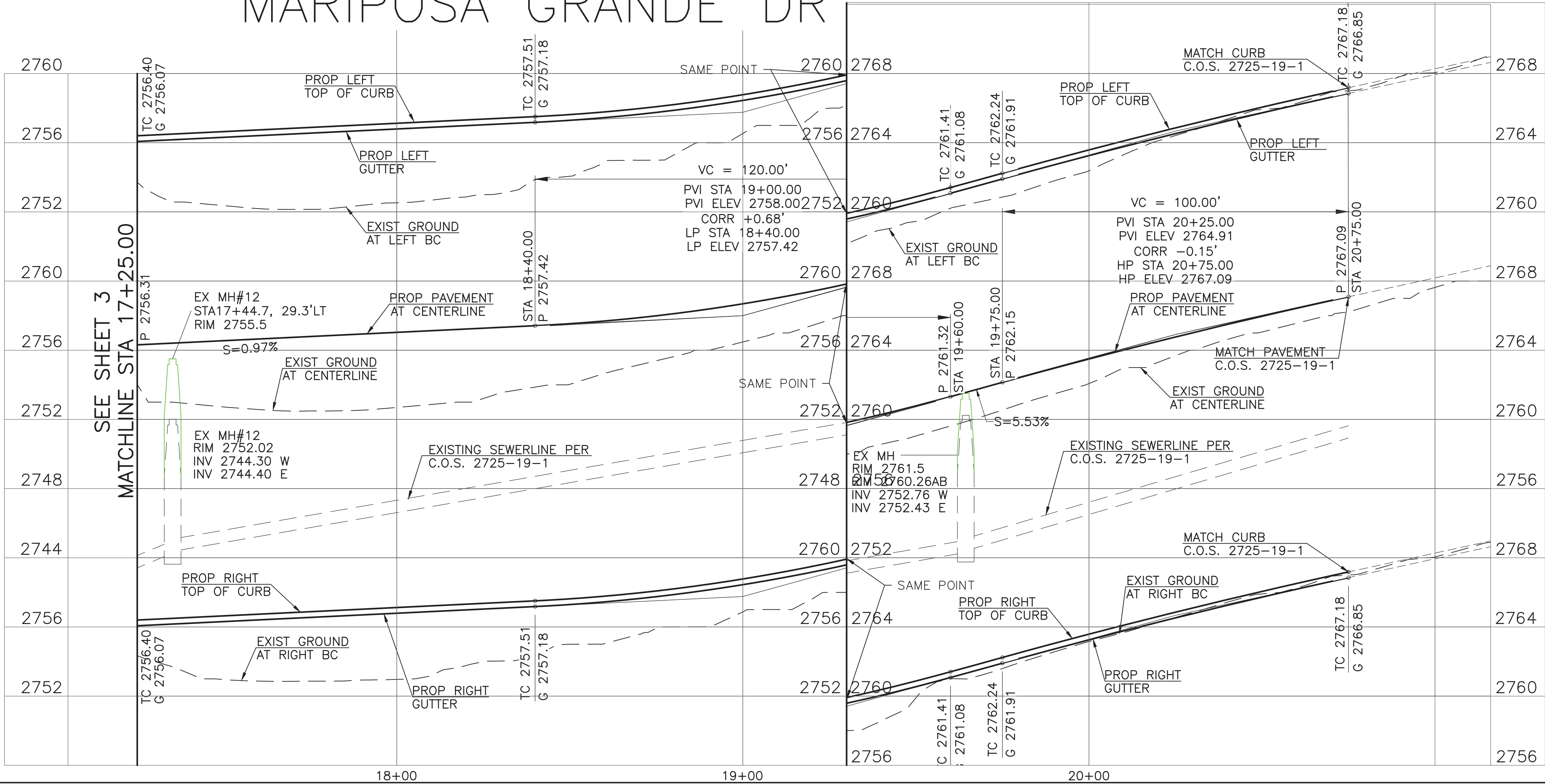
Curve Table			
Curve #	Length	Radius	Delta
C42	254.89	200.00	73.02
C48	73.73	250.00	16.90
C51	71.23	725.00	5.63
C43	239.60	188.00	73.02
C49	70.19	238.00	16.90
C52	70.05	713.00	5.63
C41	270.18	212.00	73.02
C47	77.27	262.00	16.90
C50	72.41	737.00	5.63

Parcel Line Table		
Line #	Length	Direction
L17	75.40	N72° 57' 29.92"E
L18	75.40	S72° 57' 29.92"W
L16	75.40	S72° 57' 29.92"W

- CONSTRUCTION NOTES:
- PAVING
- 1 CONSTRUCT 3" OF R-19 MM A.C. OVER 6" ABC ON 95% COMPACTED SUBGRADE PER M.A.G. SPEC. 301, 310 & 321 & PER ROADWAY SECTION ON SHT 9.
 - 2 INSTALL SURVEY MONUMENT TYPE 'B' PER M.A.G. STD. DETAIL 120.
 - 3 CONSTRUCT TYPE 'C' ROLL CURB & GUTTER PER M.A.G. STD. DETAIL 220-1.
 - 4 ADJUST FRAME AND COVER TO GRADE PER M.A.G. STD. DETAIL 422.
 - 5 CONSTRUCT DEPRESSED CURB OPENING, L=8' WITH RIP-RAP EROSION PROTECTION, PER DETAILS ON SHEET 9.
 - 7 REMOVE EXISTING CURB.
 - 17 REMOVE EXISTING AC PAVEMENT.
 - 18 SAWCUT EXISTING AC PAVEMENT TO NEAT EDGE FOR PAVEMENT MATCHING.
 - 19 REMOVE EXISTING SURVEY MARKER.
- CAUTION: PEDESTAL WITHIN CONSTRUCTION AREA. DROPS SERVICE IN THE AREA, LOCATE & PROTECT IN PLACE.

MARIPOSA GRANDE AND
PARCEL 2A PLANS
PER C.O.S. 2725-19-1

MARIPOSA GRANDE DR



ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
28150 N. Alma School Pkwy, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

PAVING & UTILITIES

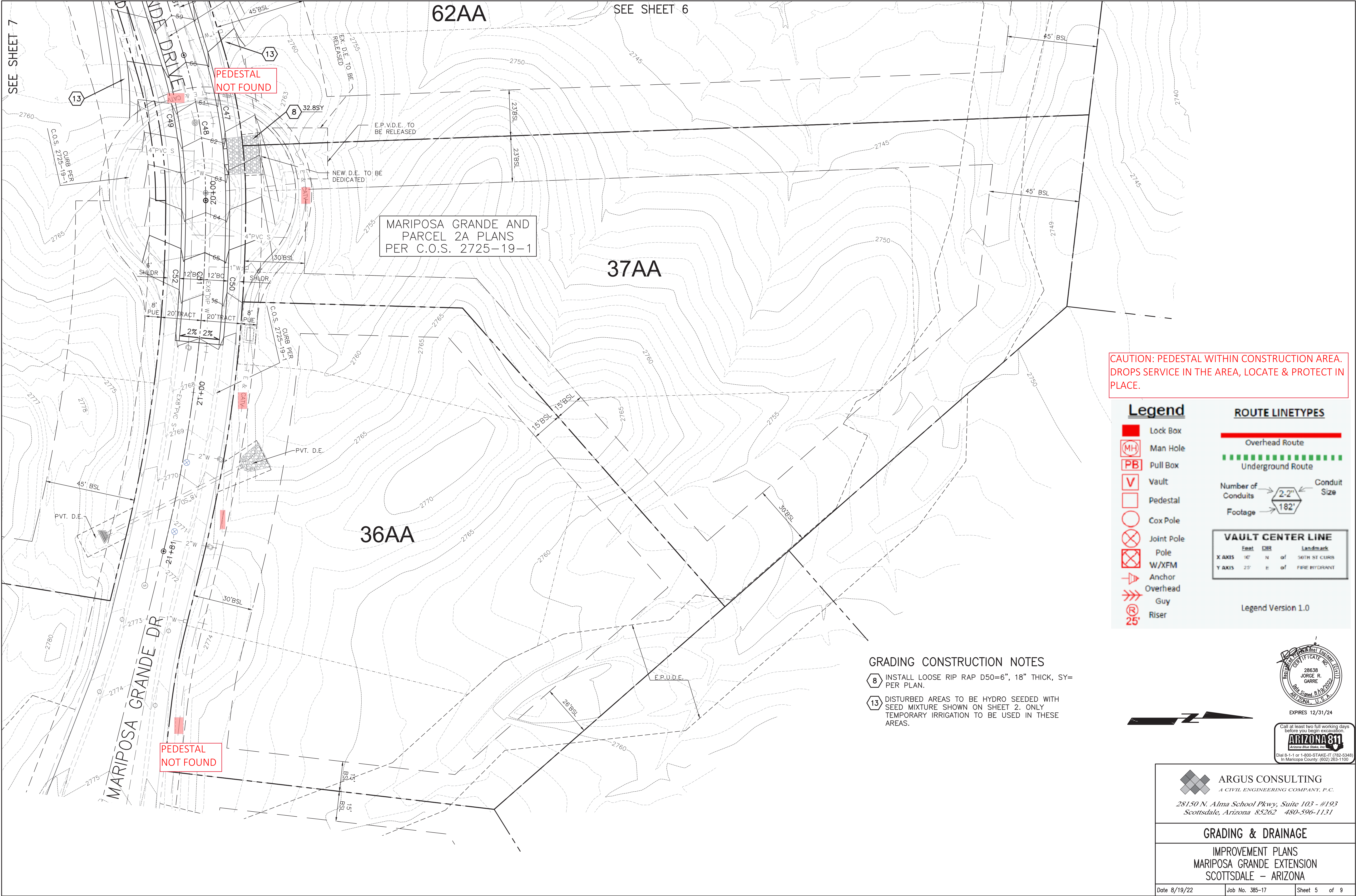
IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA

Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stakes, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 283-1100

Date 8/19/22

Job No. 385-17

Sheet 4 of 9



CAUTION: PEDESTAL WITHIN CONSTRUCTION AREA. DROPS SERVICE IN THE AREA, LOCATE & PROTECT IN PLACE.

Legend

- Lock Box
- Man Hole
- Pull Box
- Vault
- Pedestal
- Cox Pole
- Joint Pole
- Pole W/XFM
- Anchor
- Overhead Guy
- Riser

ROUTE LINETYPES

- Overhead Route
- Underground Route

Number of Conduits → 2-2" → Conduit Size

Footage → 182' →

VAULT CENTER LINE

	Feet	DIR	Landmark
X AXIS	10'	N	of 56TH ST CURB
Y AXIS	25'	E	of FIRE HYDRANT

Legend Version 1.0

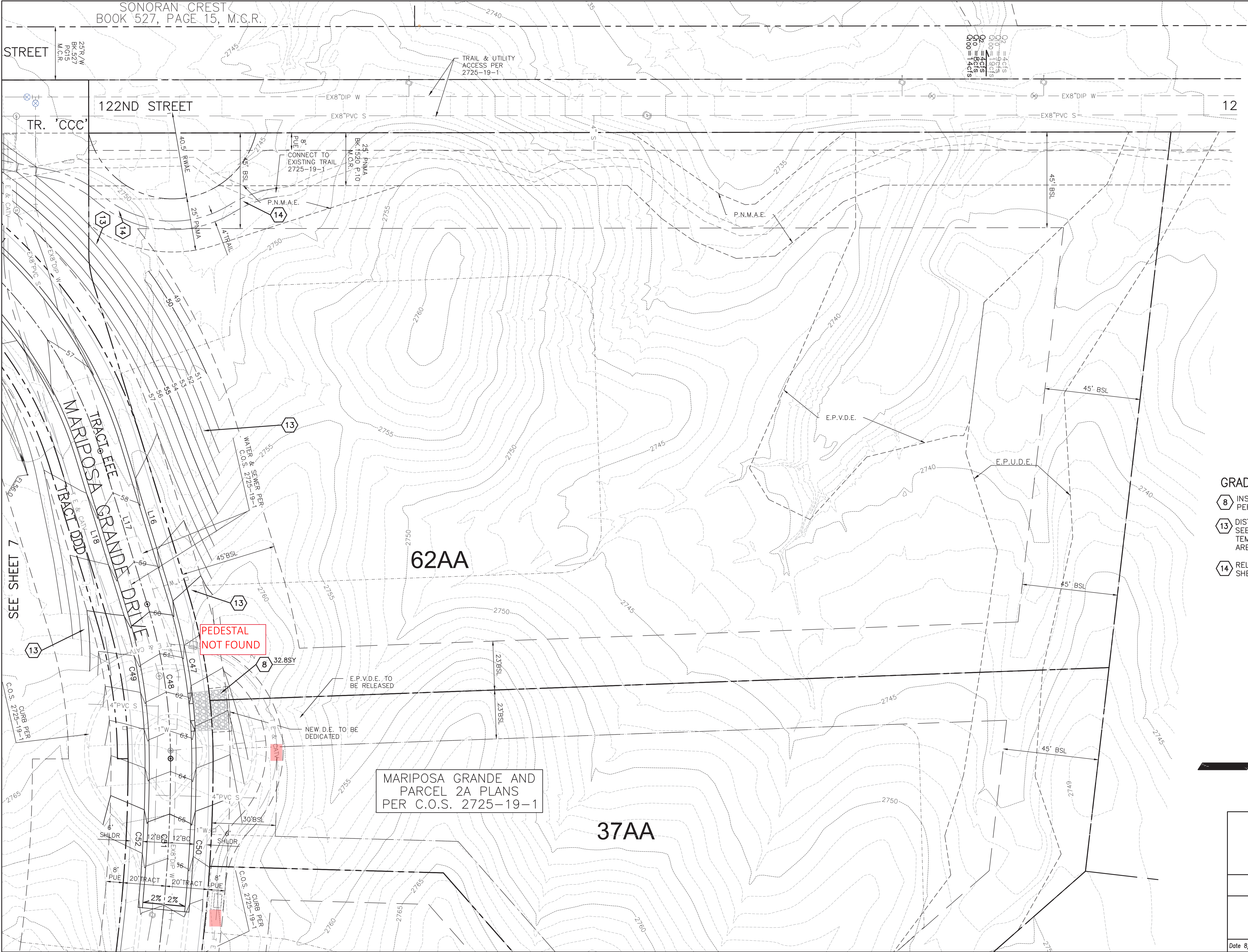
GRADING CONSTRUCTION NOTES

- 8. INSTALL LOOSE RIP RAP D50=6", 18" THICK, SY= PER PLAN.
- 13. DISTURBED AREAS TO BE HYDRO SEEDING WITH SEED MIXTURE SHOWN ON SHEET 2. ONLY TEMPORARY IRRIGATION TO BE USED IN THESE AREAS.



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GRADING & DRAINAGE
IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA



GRADING CONSTRUCTION NOTES

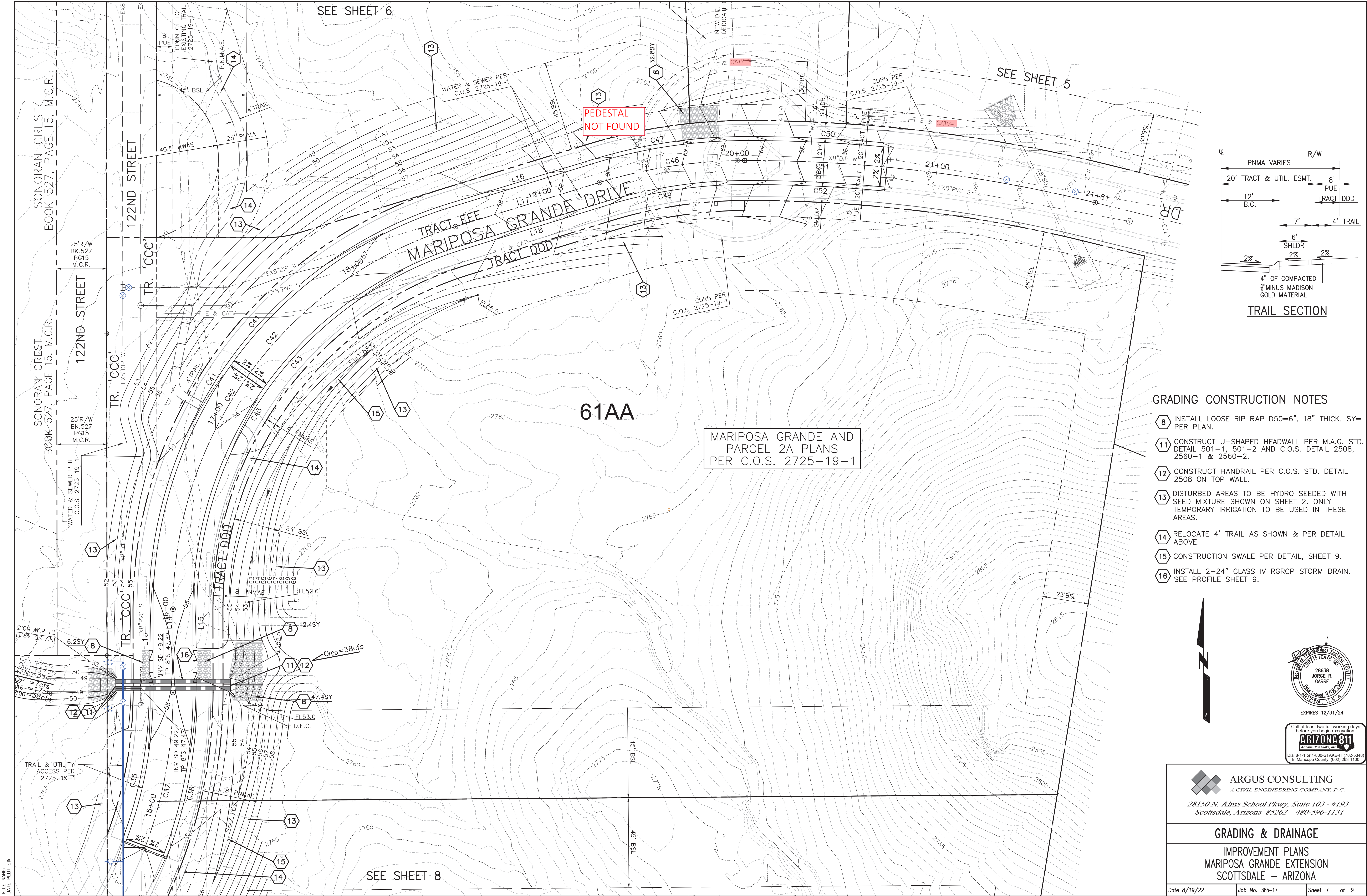
- 8 INSTALL LOOSE RIP RAP D50=6", 18" THICK, SY= PER PLAN.
- 13 DISTURBED AREAS TO BE HYDRO SEEDING WITH SEED MIXTURE SHOWN ON SHEET 2. ONLY TEMPORARY IRRIGATION TO BE USED IN THESE AREAS.
- 14 RELOCATE 4' TRAIL AS SHOWN & PER DETAIL ON SHEET 7.



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GRADING & DRAINAGE

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA



GRADING CONSTRUCTION NOTES

- 8
- INSTALL LOOSE RIP RAP D50=6", 18" THICK, SY= PER PLAN.
- 13
- DISTURBED AREAS TO BE HYDRO SEEDING WITH SEED MIXTURE SHOWN ON SHEET 2. ONLY TEMPORARY IRRIGATION TO BE USED IN THESE AREAS.
- 14
- RELOCATE 4' TRAIL AS SHOWN & PER DETAIL ON SHEET 7.
- 15
- CONSTRUCT SWALE PER DETAIL, SHEET 9.

CAUTION: EXISTING UNDERGROUND FACILITIES WITHIN PROJECT VICINITY, OUTSIDE OF IMMEDIATE PROJECT LIMITS. CONFIRM LOCATION & PROTECT IN PLACE.

CAUTION: PEDESTAL WITHIN PROJECT VICINITY BUT OUTSIDE OF IMMEDIATE CONSTRUCTION AREA. DROPS SERVICE IN THE AREA, PROTECT IN PLACE.

Legend

Lock Box

MH

PB

V

Pedestal

Cox Pole

Joint Pole

Pole

W/XFM

Anchor

Overhead

Guy

Riser

ROUTE LINETYPES

Overhead Route

Underground Route

Number of Conduits

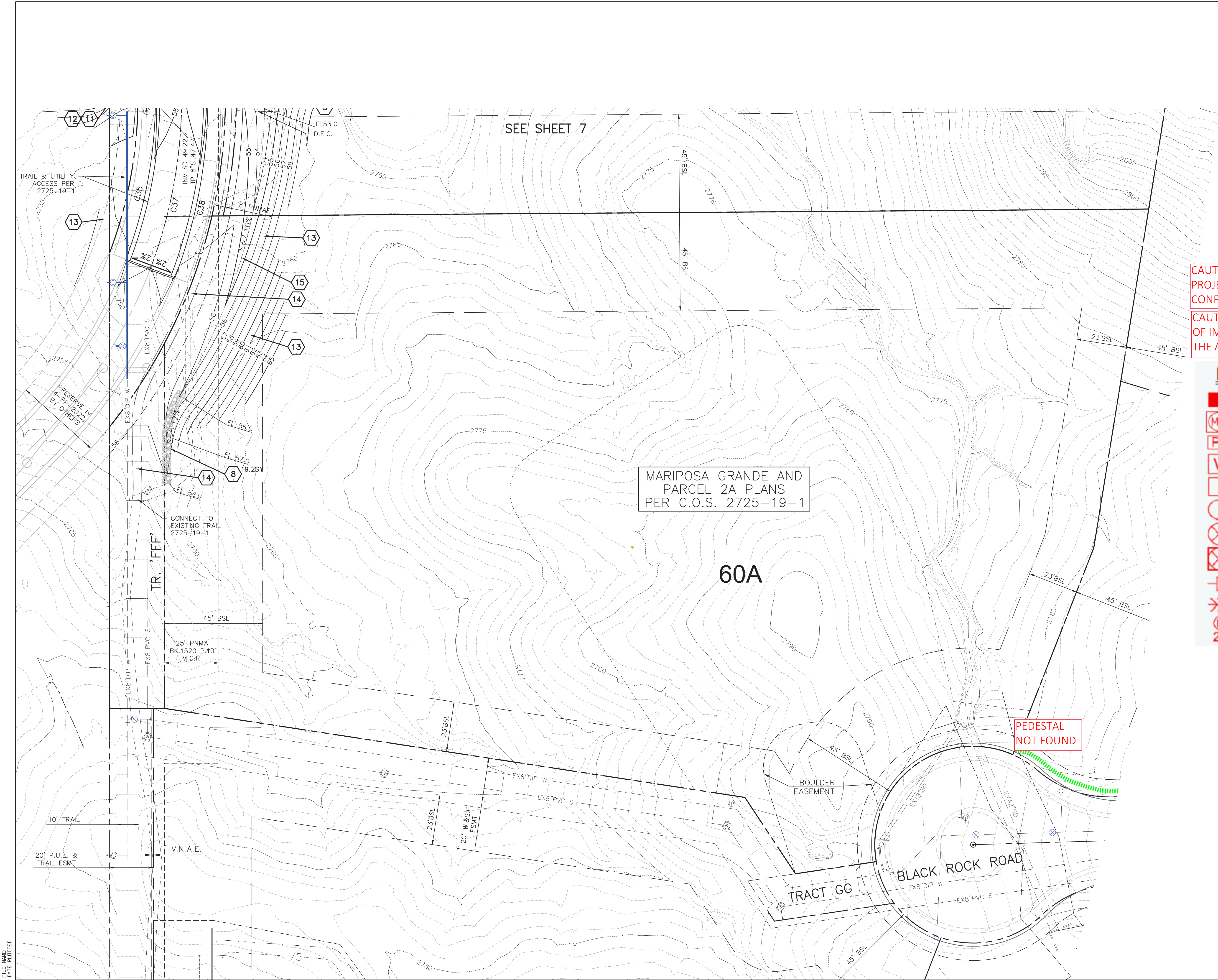
Conduit Size

Footage

VAULT CENTER LINE

	Feet	DIR	Landmark
X AXIS	10'	N	of 56TH ST CURB
Y AXIS	25'	E	of FIRE HYDRANT

Legend Version 1.0



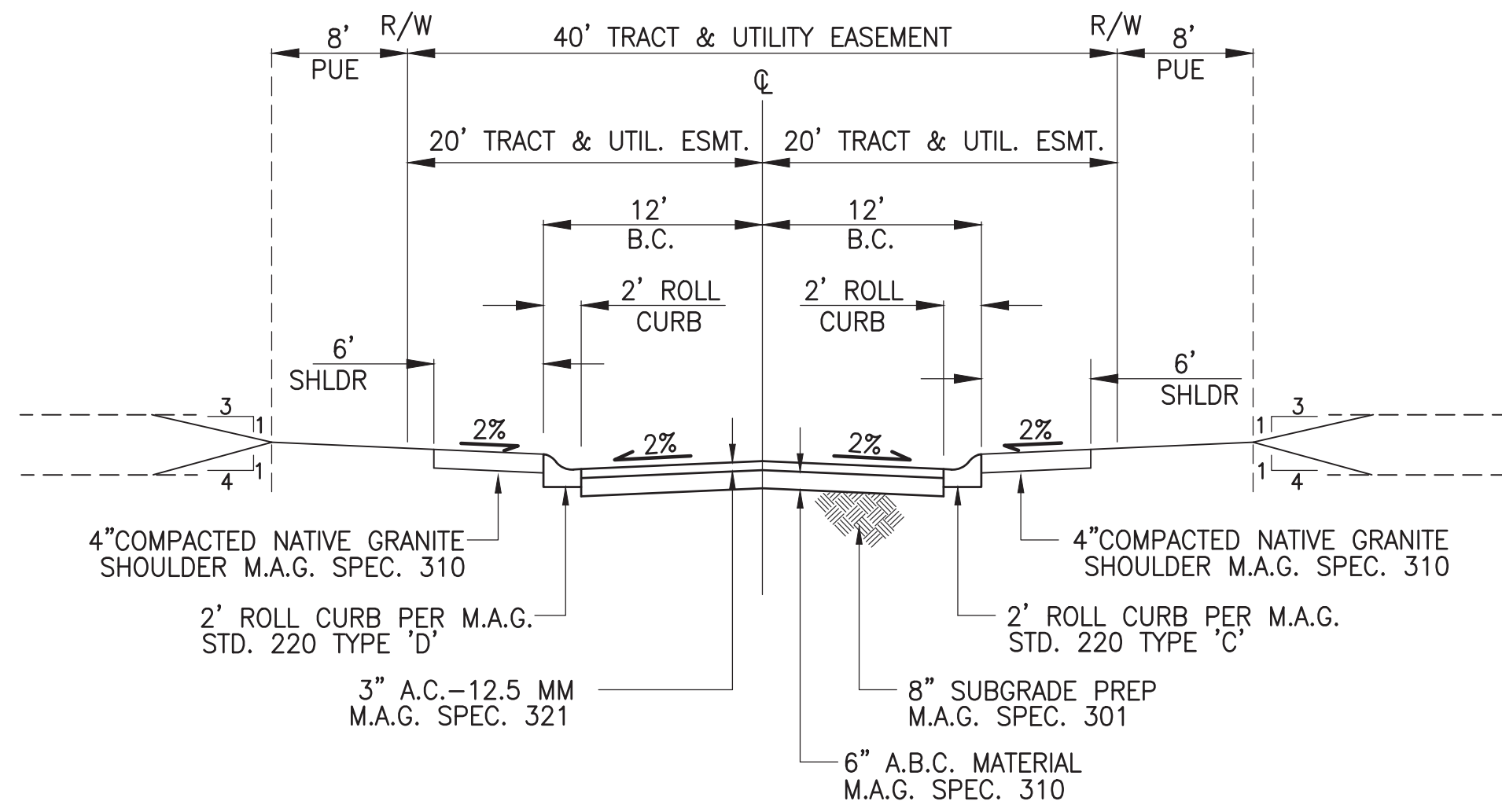
ARGUS CONSULTING
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Scottsdale, Arizona 85262 480-596-1131

GRADING & DRAINAGE
IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA

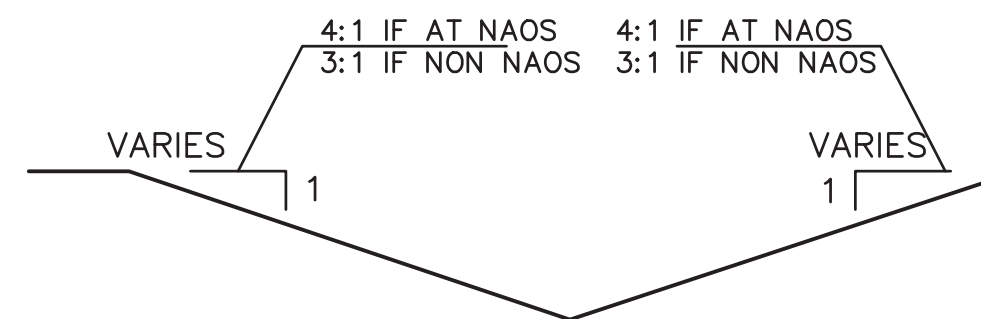
Date 8/19/22

Job No. 385-17

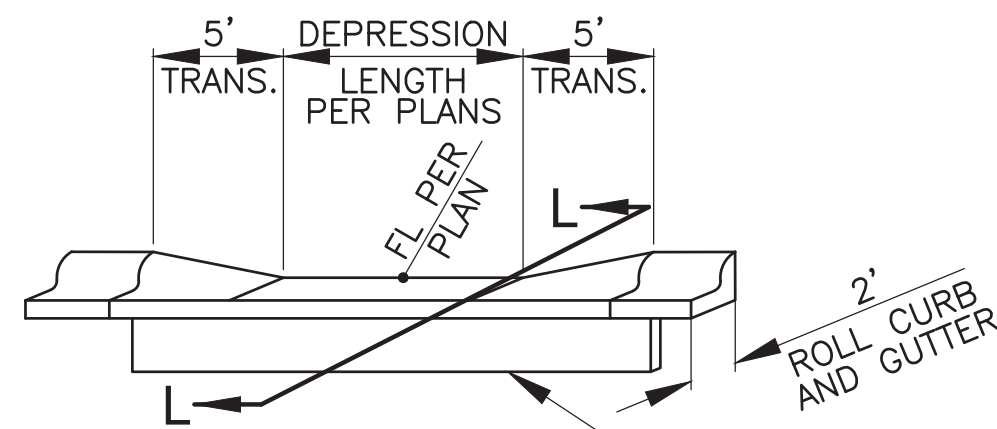
Sheet 8 of 9



LOCAL RESIDENTIAL STREET (ELSO)
LOCAL RESIDENTIAL (PRIVATE)
N.T.S.



SWALE DETAIL
N.T.S.

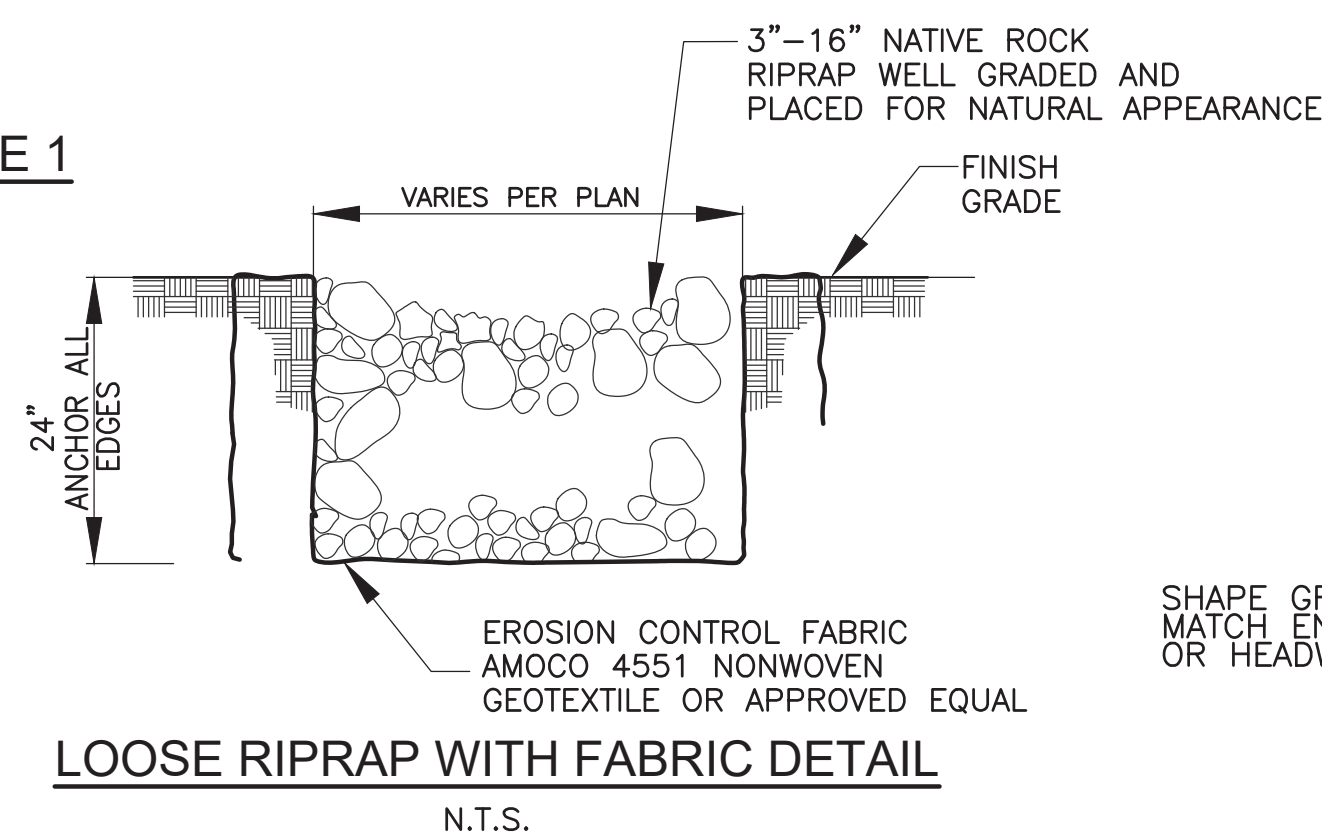


DEPRESSED ROLL CURB DETAIL WITH TURNDOWN
N.T.S.

CUT-OFF WALL PER C.O.S. STD. DET. 2228
CUT-OFF WALL LENGTH= FULL LENGTH OF DEPRESSION AND TRANSITIONS PER PLANS

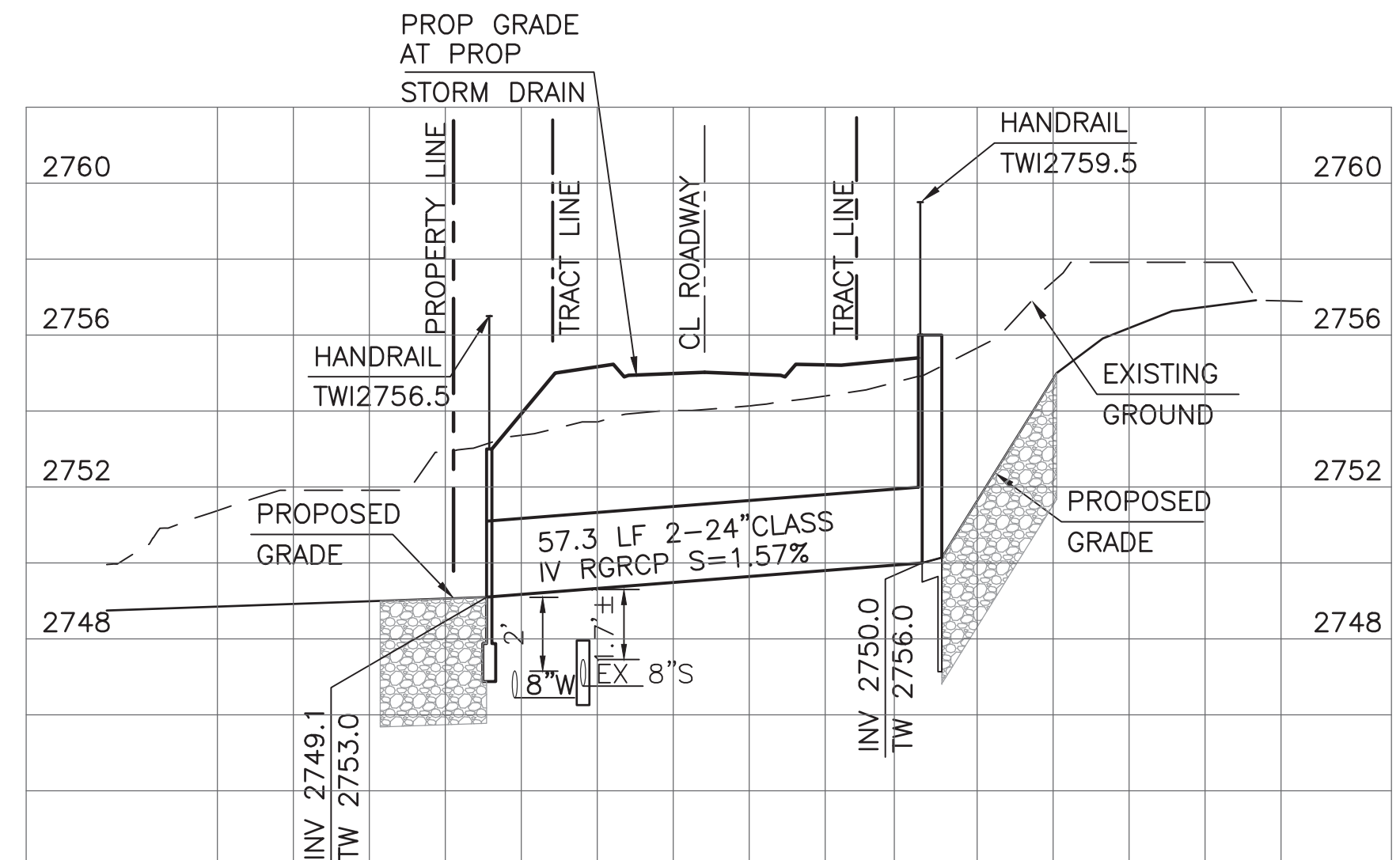
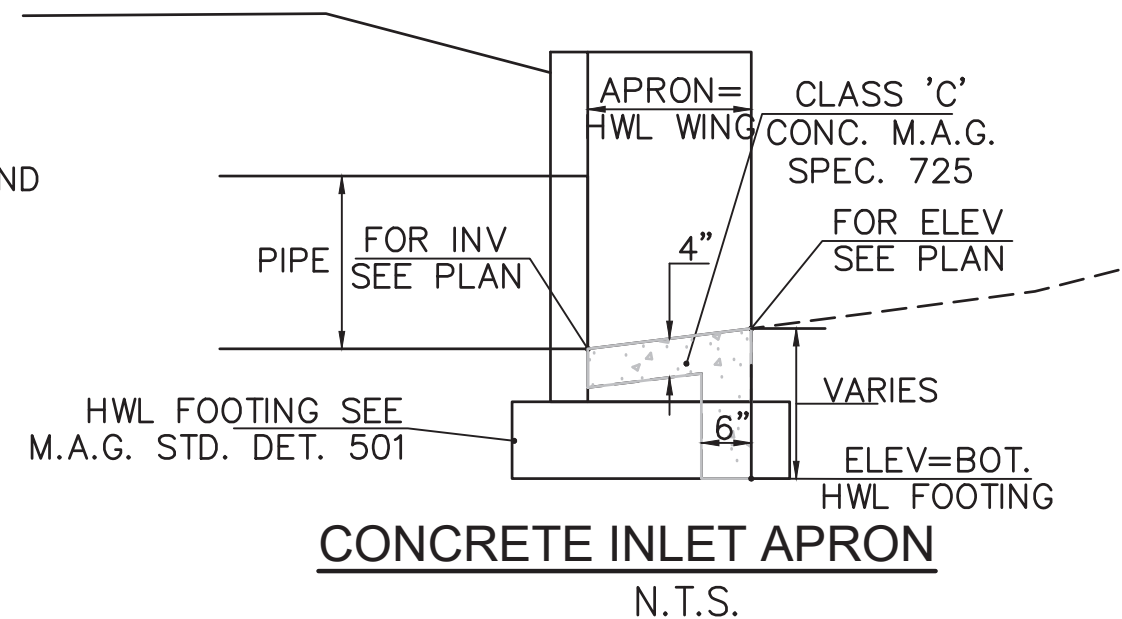
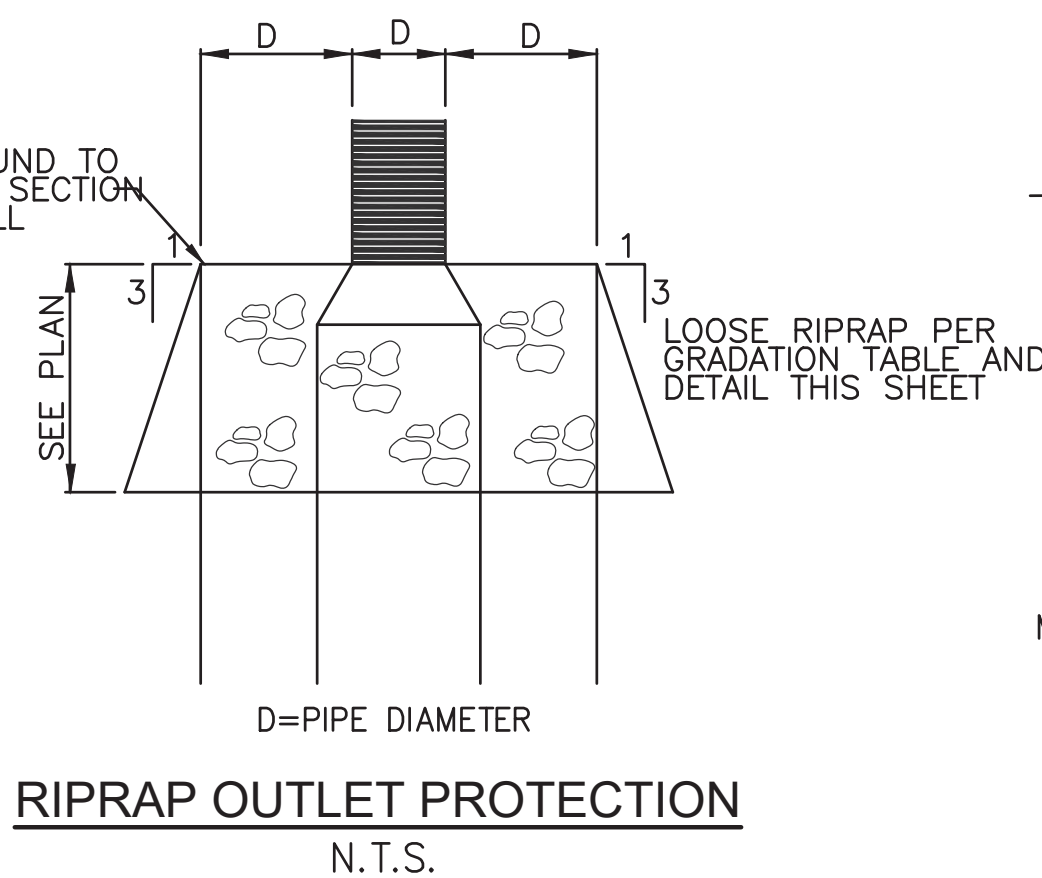
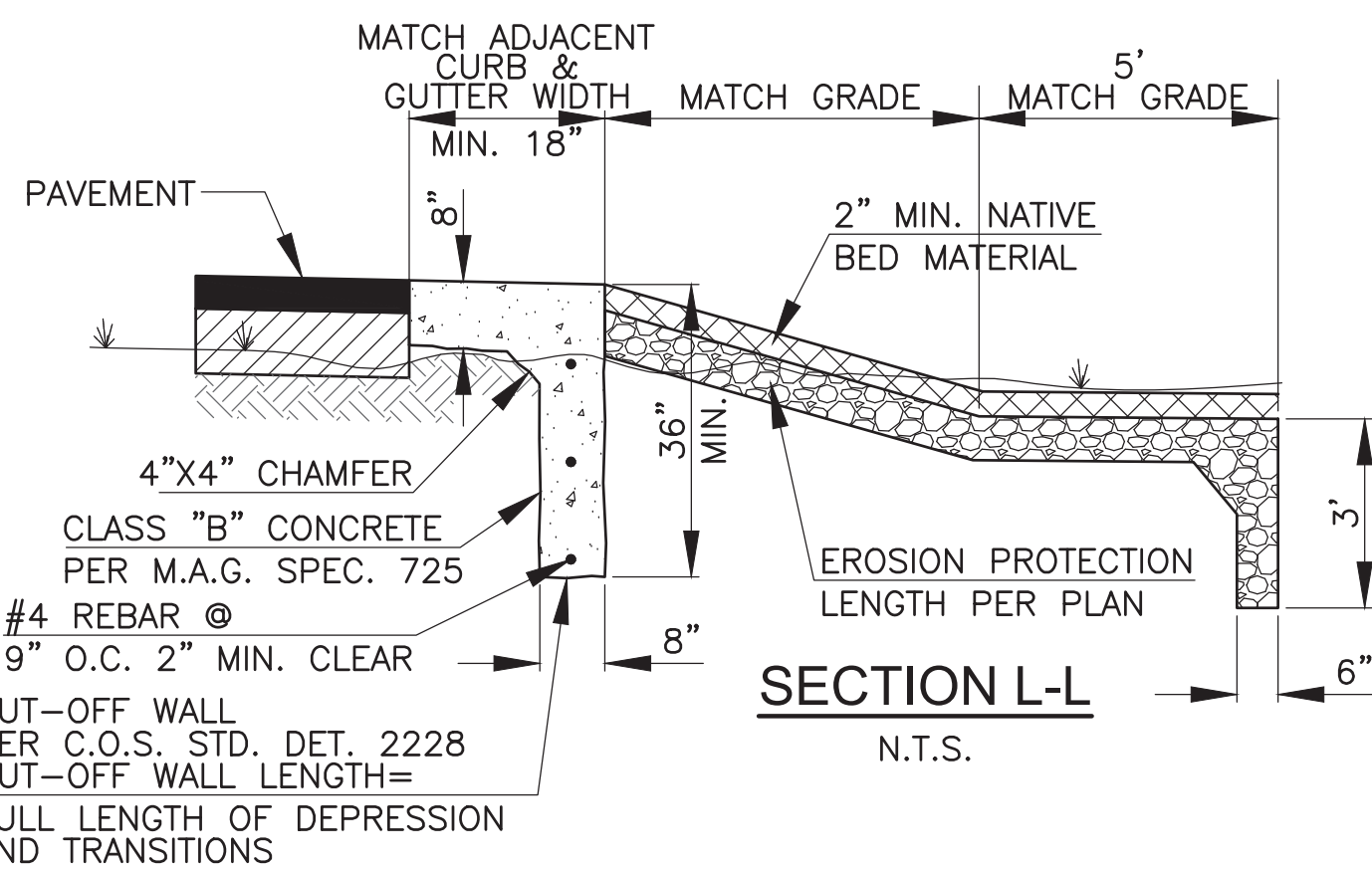
RIPRAP GRADATION TABLE 1

SIZE	% PASSING
16"	D100
12"	D85
8"	D50
3"	D15

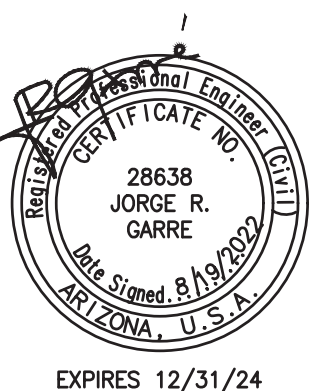


RIPRAP NOTES

- THE STONE SHOULD BE REASONABLY WELL GRADED THROUGHOUT THE IN-PLACE LAYER THICKNESS.
- OVERSIZE STONE, EVEN IN ISOLATED SPOTS, SHOULD BE REMOVED INDIVIDUALLY AND REPLACED WITH PROPER SIZE STONES.
- SIDE SLOPES ON WHICH STONE IS PLACED BY MACHINE OR DUMPED SHOULD NOT BE STEEPER THAN 3:1.
- THE STONE SHALL BE PLACED TO FORM AN INTERLOCKED, DENSE, UNIFORM MASS OF DURABLE STONES.
- MINIMUM SPECIFIC WEIGHT OF STONE SHOULD BE 165 LB/C.F.
- ALL RIPRAP SHALL BE INDIGENOUS TO SITE.



STORM DRAIN PROFILE



ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
28150 N. Alma School Pkwy, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

DETAILS

IMPROVEMENT PLANS
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Date 8/19/22 Job No. 385-17 Sheet 9 of 9

DEVELOPER
TOLL BROTHERS AZ CONSTRUCTION COMPANY
8767 E VIA DE VENTURA, SUITE 390
SCOTTSDALE, ARIZONA 85258
CONTACT: CHAD FISHER (480) 951-0782

ENGINEER
ARGUS CONSULTING, P.C.
28150 N ALMA SCHOOL PKWY, SUITE 103 - #193
SCOTTSDALE, ARIZONA 85262
CONTACT: JORGE GARRE (480) 596-1131

PROJECT INFO
EXISTING ZONING: R1-43 & R1-130
RELATED CASE NO.
19-PP-2013 10-GP-2011 16-ZN-2011 2725-19 272-19-1

BENCHMARK
GDACS POINT 43555-1 (MCDOT)
FD 1" I.P. WITH GLO BRASS CAP UP 1.20' STAMPED
"1/4 CORNER S10/S11 1919"
NAVD88 ELEVATION = 2673.236

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE NORTH AMERICA VERTICAL DATUM 1988 (NAVD 1988) AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

UTILITY PROVIDERS
WATER CITY OF SCOTTSDALE
SEWER CITY OF SCOTTSDALE
ELECTRICITY ARIZONA PUBLIC SERVICE
TELEPHONE CENTURY LINK
GAS SOUTHWEST GAS COMPANY
CABLE TV COX COMMUNICATIONS

SPECIFICATIONS
ALL SITE WORK SHALL CONFORM TO THE LATEST EDITION OF MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS, THE CITY OF SCOTTSDALE SUPPLEMENT TO MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS, AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, AS AMENDED BY PROJECT SPECIFICATIONS, PLANS AND PROJECT GEOTECHNICAL REPORT.

NATIVE PLANT SUBMITTAL
2901-18-2

QUARTER SECTIONS
45-57

ASSESSORS PARCEL NOS.
217-01-520 & 217-01-518

UNDERGROUND UTILITY STATEMENT
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The engineer further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The engineer has not physically located the underground utilities.

NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:

- NO BUILDING, GRADING OR CONSTRUCTION ACTIVITY SHALL ENCR OACH INTO THE AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
- ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO AND DURING CONSTRUCTION BY THE FOLLOWING METHOD:
 - A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTURBANCE BASED ON THIS EXHIBIT.
 - ±3 FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
 - ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN 2 FEET, OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
 - THE STAKING, ROPING, AND FENCING SHALL BE MAINTAINED INTACTED BY THE CONTRACTOR DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATION OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.

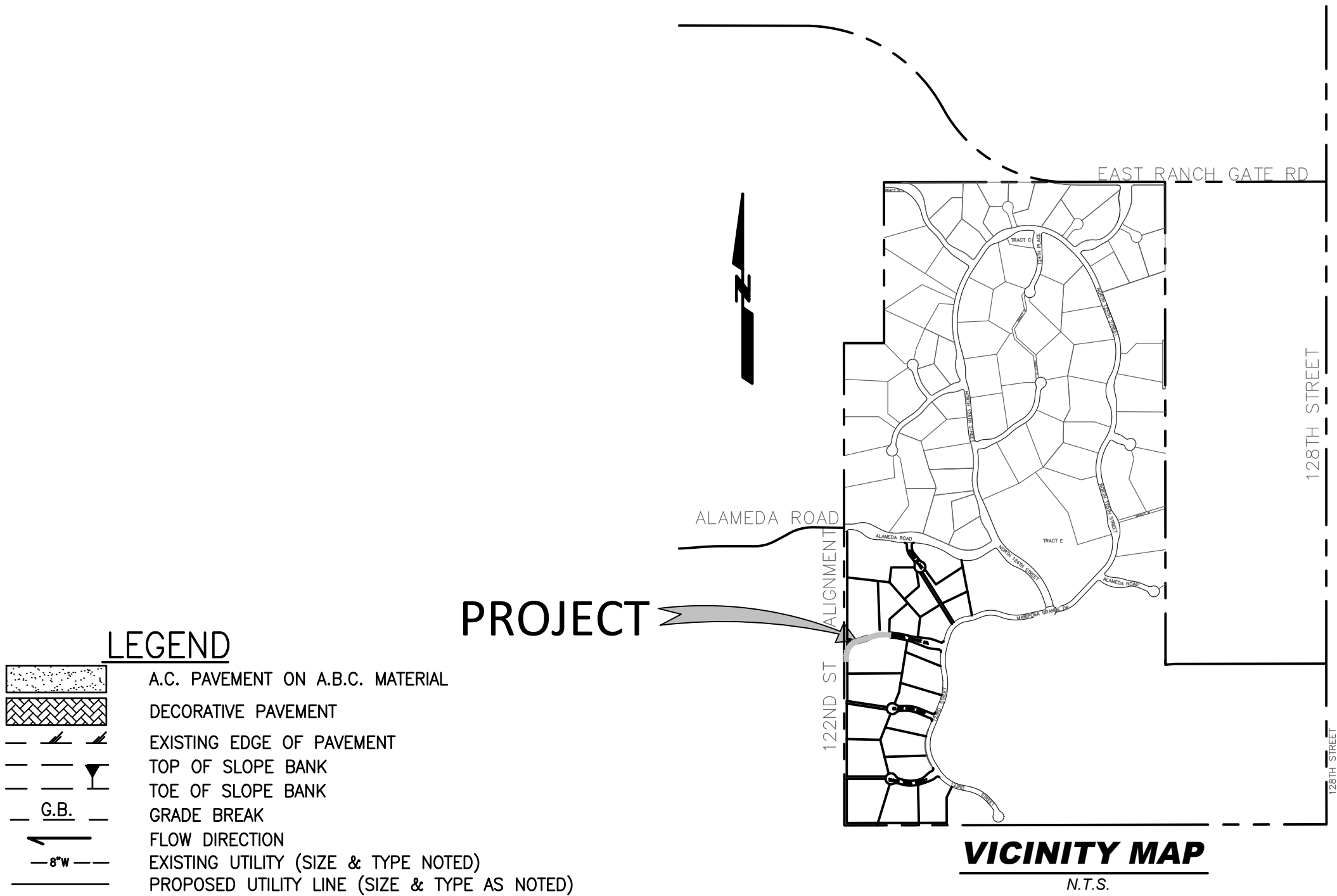
NO CONFLICT SIGNATURE BLOCK					
UTILITY	UTILITY COMPANY	COMPANY REP.	TEL.. NO.	DATE SUBMITTED	DATE RETURNED
ELECTRIC	APS	SCOTT TIMAR	602-493-4421	8-19-22	
TELEPHONE	CENTURY LINK	CHRIS (MARIA) LERIQUE	602-630-0492	8-19-22	
NATURAL GAS	S.W. GAS	GREG COOPER	602-484-5276	8-19-22	
CABLE TV	COX	TRAFFIC MGMT CENTER	623-328-2190	8-19-22	
ELECTRIC					
OTHER					
ENGINEERS CERTIFICATION					
I JORGE GARRE, BEING RESPONSIBLE FOR DESIGNING THE FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL OF THE UTILITY COMPANIES LISTED ABOVE HAVE BEEN CONTACTED, PLANS AND "NO CONFLICT" FORMS HAVE BEEN SUBMITTED FOR REVIEW AND COMMENT BY EACH COMPANY.					
					8-25-21
SIGNATURE					DATE

Lumen Markups

Wire Center: PRVYAZPP

IMPROVEMENT PLANS SERENO CANYON, PHASE 2A MARIPOSA GRANDE EXTENSION

A REPLAT OF LOTS 36A, 37A, 60A, 61A, 62A AND TRACT CC AND TRACT FF OF THE FINAL PLAT FOR SERENO CANYON PHASE 2A REPLAT, RECORDED IN BOOK 1520 OF MAPS, PAGE 10, IN THE RECORDS OF THE MARICOPA COUNTY RECORDER'S OFFICE, COUNTY OF MARICOPA, STATE OF ARIZONA. LOCATED WITHIN THE CITY OF SCOTTSDALE.



LEGEND	
	A.C. PAVEMENT ON A.B.C. MATERIAL
	DECORATIVE PAVEMENT
	EXISTING EDGE OF PAVEMENT
	TOP OF SLOPE BANK
	TOE OF SLOPE BANK
	GRADE BREAK
	FLOW DIRECTION
	EXISTING UTILITY (SIZE & TYPE NOTED)
	PROPOSED UTILITY LINE (SIZE & TYPE AS NOTED)
	PROPERTY LINE OR RIGHT OF WAY LINE
	EASEMENT LINE
	NATURAL AREA OPEN SPACE LINE (N.A.O.S.)
	BUILDING SETBACK LINE (BSL)
	STORM DRAIN
	AIR RELEASE VALVE
	PROPOSED GROUND ELEVATION
	PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	GUTTER ELEVATION
	CONCRETE ELEVATION
	FINISH GRADE ELEVATION
	TOP OF BANK ELEVATION
	LIP OF GUTTER
	FLOW LINE ELEVATION
	TOP OF GUNITE
	TOP OF SCOUR
	BOTTOM OF GUNITE
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF FENCE
	TOP OF WALL
	OVER FLOW ELEVATION
	PEDESTRIAN ACCESS EASEMENT
	WATER LINE EASEMENT
	SEWER LINE EASEMENT
	SIGHT DISTANCE EASEMENT
	PUBLIC UTILITY EASEMENT
	SIDEWALK
	POINT OF VERTICAL INTERSECTION
	POINT OF CURVE
	POINT OF COMPOUND CURVE
	POINT OF TANGENCY
	GRADE BREAK
	NATURAL AREA OPEN SPACE
	WATER SURFACE ELEVATION
	EXISTING PUBLIC
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BUILDING SETBACK LINE
	BOULDER EASEMENT
	DRAINAGE FLOOD CONTROL EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	EXISTING PUBLIC DRAINAGE EASEMENT
	EXISTING PUBLIC UTILITY EASEMENT
	EXISTING WALL EASEMENT
	EXISTING SIGHT DISTANCE EASEMENT
	EXISTING BOULDER EASEMENT
	EXISTING VEHICULAR NON-ACCESS EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	EXISTING SIGHT DISTANCE EASEMENT
	EXISTING PUBLIC UTILITY EASEMENT
	RIGHT-OF-WAY
	CUT CONDITION
	FILL CONDITION
	SLOPE EASEMENT
	TEMPORARY CONSTRUCTION EASEMENT
	EXISTING CONDITIONS FLOWS
	FUTURE CONDITIONS FLOWS

SHEET INDEX	
SHEET 01	- COVER SHEET
SHEET 02	- SHEET INDEX MAP & QUANTITIES
SHEET 03-04	- PLAN & PROFILES
SHEET 05-08	- GRADING PLANS
SHEET 09	- DETAILS

- ### GENERAL CONSTRUCTION NOTES FOR PUBLIC WORKS CONSTRUCTION
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENT (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
 - THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS: THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
 - THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF ASSOCIATED PERMIT HAS NOT BEEN ISSUED WITHIN THIS TIME FRAME, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR RE-APPROVAL.
 - A CITY INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE. NOTIFY INSPECTION SERVICES 72 HOURS BEFORE BEGINNING WORK.
 - WHENEVER EXCAVATION IS NECESSARY, CALL BLUE STAKE CENTER, 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS.
 - PERMISSION TO WORK IN THE (PWR) PERMITS ARE REQUIRED FOR ALL WORKS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.

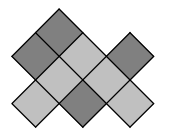
- ### GENERAL NOTES:
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING PAD ELEVATIONS.
 - ANY EXSTING LANDSCAPE WHICH IS DISRTUBED OR DESTROYED AS A RESULT OF CONSTRUCTION SHALL BE RELOCATED OR REPLACED ON THE SITE WITH MATERIAL OF LIKE SIZE, TYPE AND QUANTITY.
 - AREA WITHIN TEH SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT OF 2'-0". PLANT MATERIAL MUST HAVE A CANOPY THAT BEGINS AT 7'-0" UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
 - HAUL ROUTE PERMIT. IF IMPORT OR EXPORT IN EXCESS OF 5,000 CUBIC YARDS IS REQUIRED DURING THE COURSE OF CONSTRUCTION A HAUL ROUTE PERMIT WILL BE OBTAINED FOR THIS WORK.
 - ONSITE DRAINAGE STRUCTURES ARE PRIVATE AND MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
 - CITY OF SCOTTSDALE WATERLINE EASEMENT IS TO BE FREE OF OBSTRUCTIONS AND ACCESSIBLE TO CITY FORCES AT ALL TIMES.
 - IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-213 ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER, SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 60 AND 61.
 - ALL WASH CROSSINGS SHALL BE DESIGNED FOR A MIN. 100-YEAR STORM ACCESS AND TO A MIN. LOADING DESIGN OF 83,000 POUNDS G.V.W.
 - ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH STIPULATIONS FOR ATALON APPROVED UNDER CASE 22-PP-2011.
 - ALL STREETS AND PRIVATE DRIVEWAYS SHALL BE DESIGNED FOR A MIN. 100-YEAR STORM AND EMERGENCY ACCESS.
 - ALL RIP-RAP SHALL BE INDIGENOUS/NATIVE STONE.
 - WATER METER BOXES MAY NOT BE LOCATED WITHIN DRIVEWAYS.
 - ALL DRAINAGE STRUCTURES SHALL BE INTEGRALLY COLORED.
 - IN ACCORDANCE WITH NOTE 1 OF CITY OF SCOTTSDALE GENERAL CONSTRUCTION NOTES FOR PUBLIC WORKS CONSTRUCTION ABOVE. ALL WATER AND SEWER LINE, CONSTRUCTION, TESTING, AND DISINFECTION MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE (COS) SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS AND CITY OF SCOTTSDALE'S DESIGN STANDARDS & POLICIES MANUAL (DS&PM).
 - IN ACCORDANCE WITH CHAPTER 6-1.407 OF THE CITY OF SCOTTSDALE DS&PM ALL METERED SERVICES ARE TO HAVE A PRESSURE REGULATING VALVE INSTALLED ON THE PRIVATE SERVICE LINE.
 - ALL HEADWALLS AND DRAINAGE STRUCTURES SHALL BE INTEGRALLY COLORED CONCRETE TO BLEND WITH THE COLOR OF THE SURROUNDING NATURAL DESERT. SIDEWALK SHALL BE SAN DIEGO BUFF COLORED CONCRETE.

- ### ADDITIONAL REQUIREMENTS TO M.A.G. SPECIFICATIONS
- M.A.G. SECTION 301 - SUB GRADE PREPARATION**
- 301.3 RELATIVE COMPACTION
- SPECIFIED DENSITY SHALL BE ACHIEVED IMMEDIATELY PRIOR TO PLACEMENT OF BASE MATERIAL. MOISTURE CONTENT SHALL BE WITHIN ±2% OF OPTIMUM MOISTURE CONTENT DURING COMPACTION.
- M.A.G. SECTION 321 - ASPHALT CONCRETE**
- 321.5.5 PRESERVATIVE SEAL
- PRESERVATIVE SEAL SHALL NOT BE APPLIED.
- M.A.G. SECTION 710 - ASPHALT CONCRETE**
- THE USE OF RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE IN ACCORDANCE WITH SECTION 409 OF THE M.A.G. SPECIFICATIONS. IN NO CASE WILL THE PERCENTAGE OF RAP BE ALLOWED TO EXCEED 15 PERCENT OF THE TOTAL WEIGHT OF THE TOTAL MIX.
 - ASPHALT CEMENT SHALL BE PG70-10 ACCORDING TO THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS MP1-93, SPECIFICATION FOR PERFORMANCE GRADED ASPHALT BINDER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING THE MIX DESIGN. OWNER SHALL APPROVE TESTING LABORATORY SELECTED BY CONTRACTOR. THE ASPHALT MIX DESIGN SHALL FOLLOW PROCEDURES FOR (LOW) TRAFFIC VOLUME. ASPHALT CONCRETE MIX DESIGNS FOR LOW VOLUME TRAFFIC SHALL BE PERFORMED ACCORDING TO THE MARSHALL METHOD AND SHALL HAVE GRADATION ABOVE THE RESTRICTED ZONE. ASPHALT CONCRETE MIX DESIGNS FOR MEDIUM OR HIGH VOLUME TRAFFIC SHALL BE PERFORMED ACCORDING TO THE SUPERPAVE (TM) METHOD AND SHALL HAVE GRADATION BELOW THE RESTRICTED ZONE.
 - ALL ASPHALT MIXES SHALL CONTAIN A MINIMUM 0.75 PERCENT HYDRATED LIME OR 1.00 PERCENT PORTLAND CEMENT AS ANTI STRIPPING AGENT.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zone, Use Depth)
045012	04013C1330 10/16/13	L	7/20/21	X	N/A

ENGINEER'S CERTIFICATION: The lowest floor elevation(s) and/or flood proofing elevation(s) on this plan are sufficiently high to provide protection from flooding caused by a one-hundred year flood, and are in accordance with City of Scottsdale Revised Code, Chapter 37- Floodways & Flood plains Ordinance.



CITY OF SCOTTSDALE REVIEW & RECOMMENDED APPROVAL BY:				 ARGUS CONSULTING A CIVIL ENGINEERING COMPANY, P.C. 28150 N. Alma School Pkwy, Suite 103 - #193 Scottsdale, Arizona 85262 480-596-1131		
PAVING		TRAFFIC		COVER SHEET IMPROVEMENT PLANS MARIPOSA GRANDE EXTENSION SCOTTSDALE - ARIZONA		
G & D		PLANNING				
W & S		FIRE				
RET. WALLS						
ENGINEERNG COORDINATION MANAGER (OR DESIGNEE)				DATE	Date 8/19/22	Job No. 385-17 Sheet 1 of 9

NOTES

1. THE QUANTITIES LISTED ARE APPROXIMATE. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES AND BASE HIS BID ON HIS ESTIMATES.
2. TRAFFIC ACCESS TO FUTURE PHASES SHALL BE PROPERLY BARRICADED.
3. DISTURBED AREAS OF FUTURE PHASES SHALL BE WATERED AS NECESSARY FOR DUST CONTROL.
4. LANDSCAPING AND IRRIGATION SHALL BE COMPLETED WITH PAVING IMPROVEMENTS.
5. STORM DRAIN MATERIAL MAY BE REINFORCED CONCRETE, CAST IN PLACE CONCRETE, OR HIGH DENSITY POLYETHYLENE (H.D.P.E.).

N.T.S.

ESTIMATED PAVING QUANTITIES

PAVING, ASPHALT CONCRETE	1327 SY
24" ROLL CURB & GUTTER	1194 LF
CURB TRANSITIONS	30 LF
BARRICADE	24 LF
SURVEY MARKER	4 EA
ADJUST VALVE BOX TO GRADE	1 EA
ADJUST MANHOLE FRAME TO GRADE	2 EA
4" COMPACTED GRANITE PATH RE-ALIGNMENT	230 SY
CONCRETE CURB REMOVAL	394 LF
A.C. PAVEMENT REMOVAL	518 SY
SURVEY MARKER REMOVAL	1 EA

ESTIMATED EARTHWORK QUANTITIES

CUT (RAW)	1,400 CY
FILL (RAW)	2,582 CY

ESTIMATED STORM DRAIN QUANTITIES

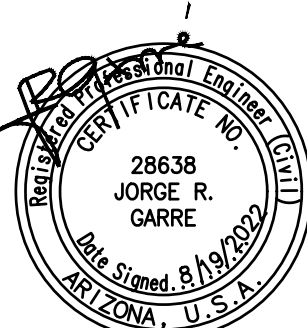
U-SHAPE HEADWALL 2-24" PIPE	2 EA
24" CLASS IV RGRCP STORM DRAIN	114 LF
RIP-RAP EROSION PROTECTION	130 SY

ESTIMATED WATER QUANTITIES

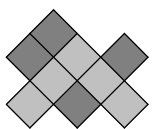
8" D.I.P. WATER LINE	144 LF
8" VERTICAL REALIGNMENT	1 EA
8" G.V.B. & C.	3 EA
2" AIR RELEASE VALVE	2 EA
CONNECT TO EXIST WATER LINE	2 EA
2" CURB STOP WITH FLUSHING PIPE	1 EA
REMOVE EXISTING WATER LINE	144 EA

ESTIMATED SEWER QUANTITIES

CONCRETE SEWER LINE ENCASEMENT	20 LF
--------------------------------	-------



EXPIRES 12/31/24



ARGUS CONSULTING
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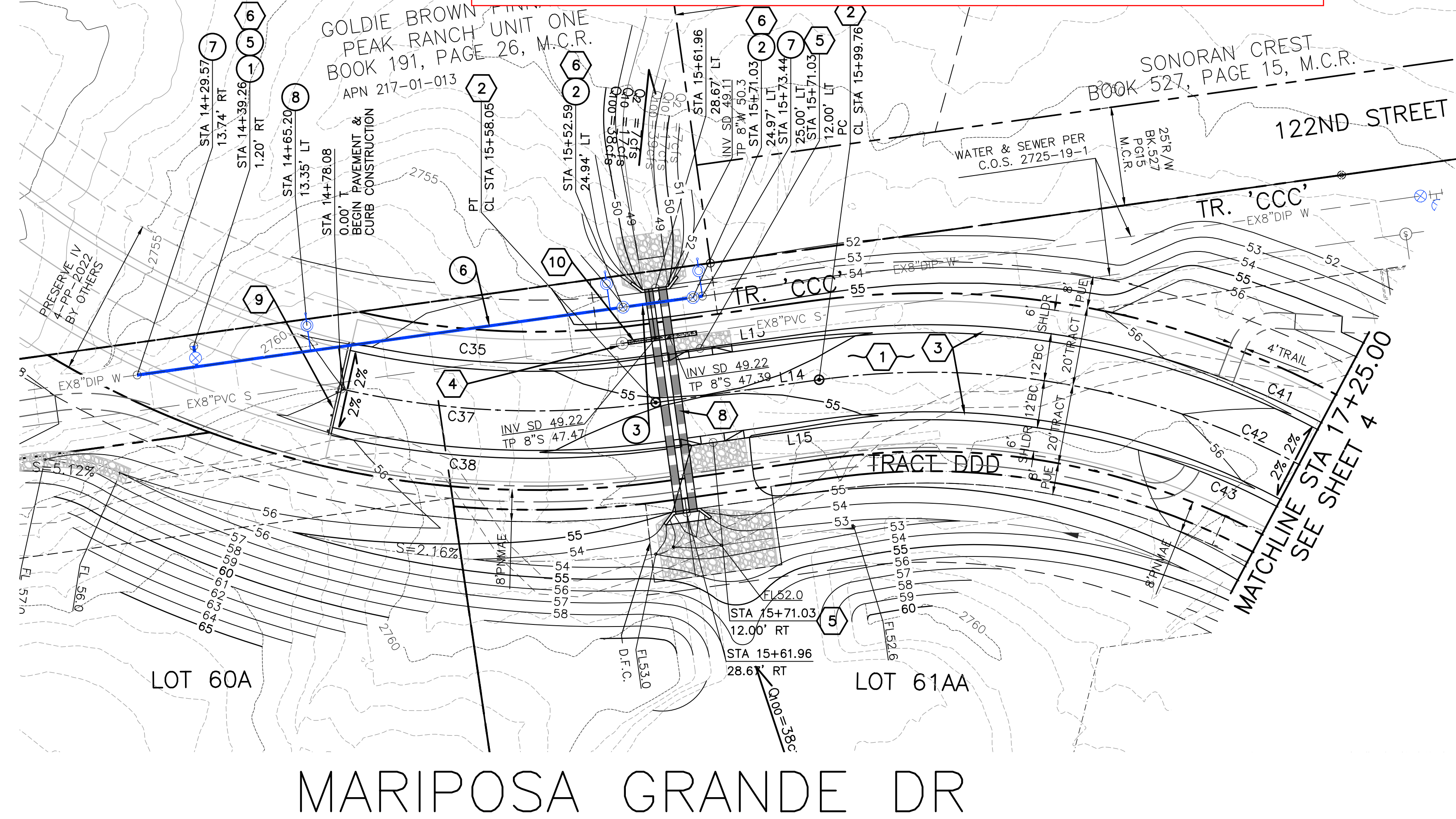
28150 N. Alma School Pkwy, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

SHEET INDEX AND QUANTITIES

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA



Lumen has no local network facilities in the area



Parcel Line Table		
Line #	Length	Direction
L14	41.71	N0° 03' 44.55"W
L15	41.71	S0° 03' 44.55"E
L13	41.71	S0° 03' 44.55"E

Curve Table			
Curve #	Length	Radius	Delta
C37	79.97	220.00	20.83
C42	254.89	200.00	73.02
C38	84.33	232.00	20.83
C43	239.60	188.00	73.02
C35	75.61	208.00	20.83
C41	270.18	212.00	73.02

CONSTRUCTION NOTES:

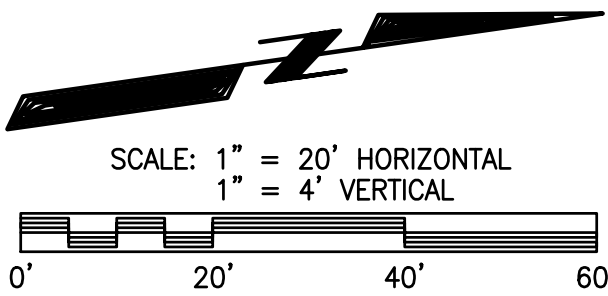
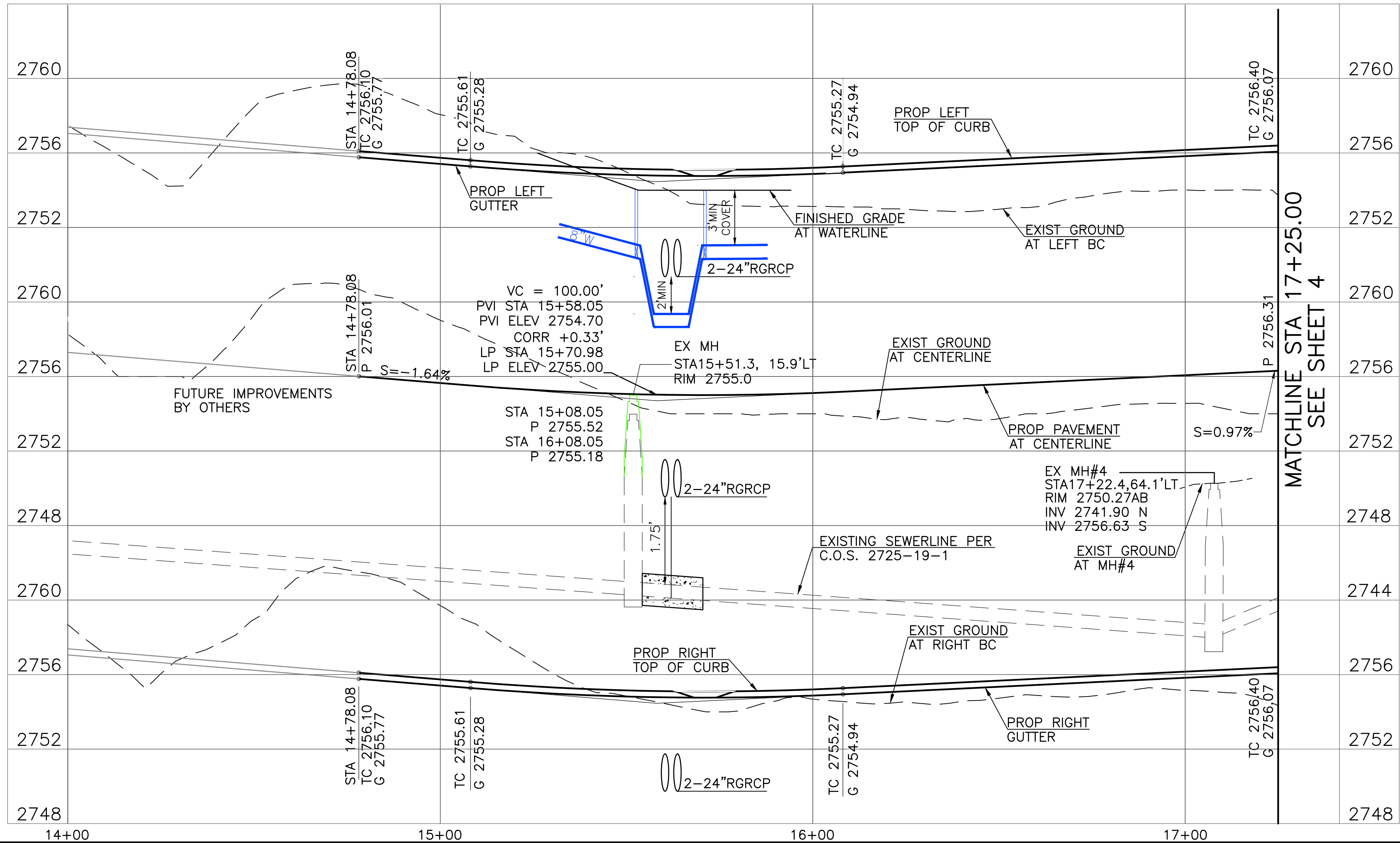
PAVING

- 1 CONSTRUCT 3" OF R-19 MM A.C. OVER 6" ABC ON 95% COMPACTED SUBGRADE PER M.A.G. SPEC. 301, 310 & 321 & PER ROADWAY SECTION ON SHT 9.
- 2 INSTALL SURVEY MONUMENT TYPE 'B' PER M.A.G. STD. DETAIL 120.
- 3 CONSTRUCT TYPE 'C' ROLL CURB & GUTTER PER M.A.G. STD. DETAIL 220-1.
- 4 ADJUST FRAME AND COVER TO GRADE PER M.A.G. STD. DETAIL 422.
- 5 CONSTRUCT DEPRESSED CURB OPENING, L=8' WITH RIP-RAP EROSION PROTECTION, PER DETAILS ON SHEET 9.
- 6 ADJUST FRAME AND COVER TO GRADE PER M.A.G. STD. DETAIL 270.
- 8 2-30" CLASS V RGRCP STORM DRAIN PIPE, TYPE "U" HEADWALLS AND HANDRAILS. SEE SHEET 9 FOR CONSTRUCTION.
- 9 INSTALL BARRICADE PER M.A.G. STD. DETAIL 130.
- 10 CONSTRUCT 17.5 L.F. OF CONCRETE SEWER LINE ENCASEMENT PER M.A.G. STD. DETAIL 404-2 AND 404-3.

WATER

- 1 INSTALL CURB STOP WITH FLUSHING PIPE PER M.A.G. STD. DETAIL 390-B.
- 2 INSTALL 8" GATE VALVE BOX AND COVER PER M.A.G. STD. 391-1 TYPE 'C'.
- 3 INSTALL VERTICAL REALIGNMENT OF 8" WATER LINE PER C.O.S. STD. DETAIL 2370, WITH 2-8" VALVES & AIR RELEASE ASSEMBLY DETAIL 2348.
- 4 INSTALL AIR RELEASE VALVE PER C.O.S. STD. DETAIL 2348.
- 5 INSTALL BEND, TEE, CROSS OR REDUCER WITH ELECTRONIC MARKER PER C.O.S. SUPPLEMENTAL SPEC. 610. JOINT RESTRAINTS PER & M.A.G. STD. DETAILS 303-1 & 303-2.
- 6 REMOVE EXISTING AND INSTALL 8" D.I.P. CLASS 350, POLYETHYLENE WRAPPED WATER PIPE PER M.A.G. SPEC. 750.2 AND 610.6. WITH 3' MIN. COVER BELOW FINISHED GRADE.
- 7 CONNECT TO EXISTING WATERLINE. CONTRACTOR TO VERIFY EXISTING LOCATION.
- 8 REMOVE AND SALVAGE EXISTING 2" ARV.

MARIPOSA GRANDE AND
PARCEL 2A PLANS
PER C.O.S. 2725-19-1



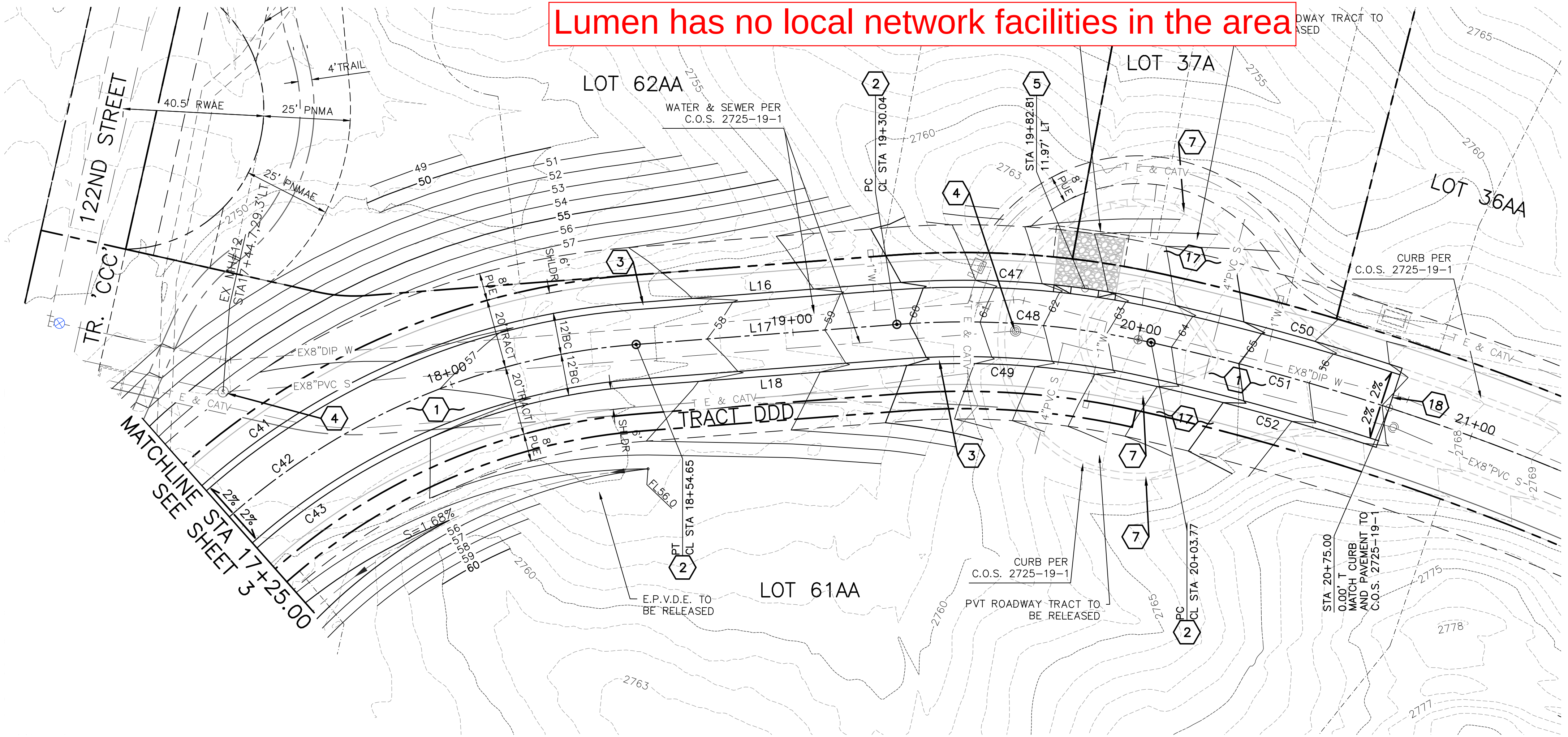
ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
28150 N. Alma School Pkwy, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

PAVING & UTILITIES

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA



Lumen has no local network facilities in the area



Curve Table			
Curve #	Length	Radius	Delta
C42	254.89	200.00	73.02
C48	73.73	250.00	16.90
C51	71.23	725.00	5.63
C43	239.60	188.00	73.02
C49	70.19	238.00	16.90
C52	70.05	713.00	5.63
C41	270.18	212.00	73.02
C47	77.27	262.00	16.90
C50	72.41	737.00	5.63

Parcel Line Table		
Line #	Length	Direction
L17	75.40	N72° 57' 29.92"E
L18	75.40	S72° 57' 29.92"W
L16	75.40	S72° 57' 29.92"W

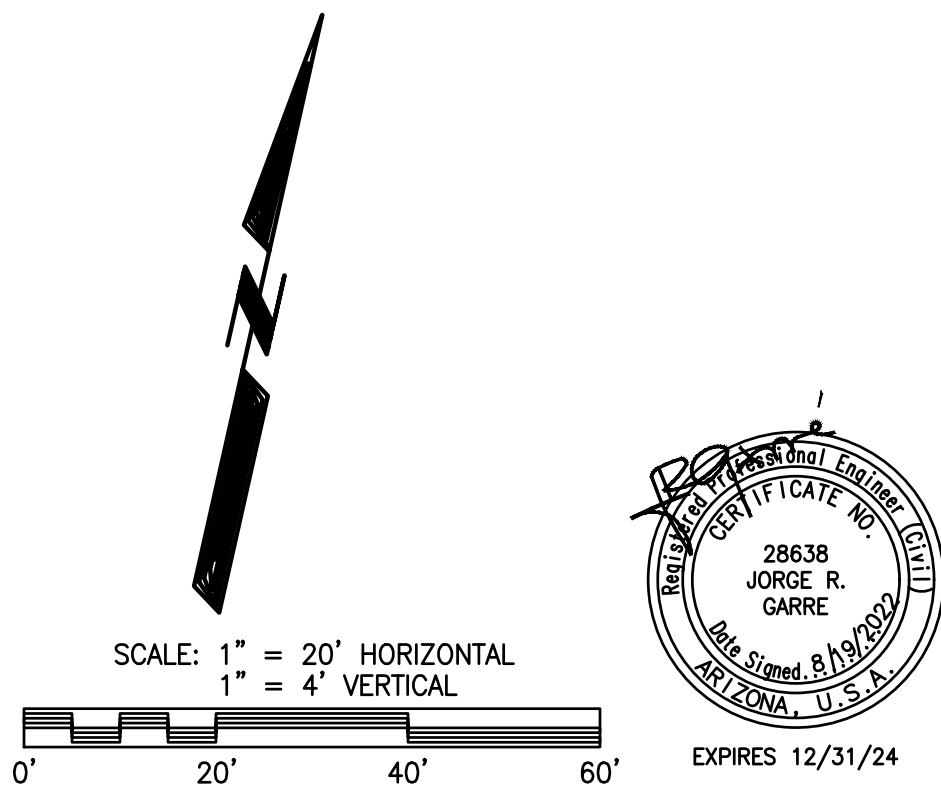
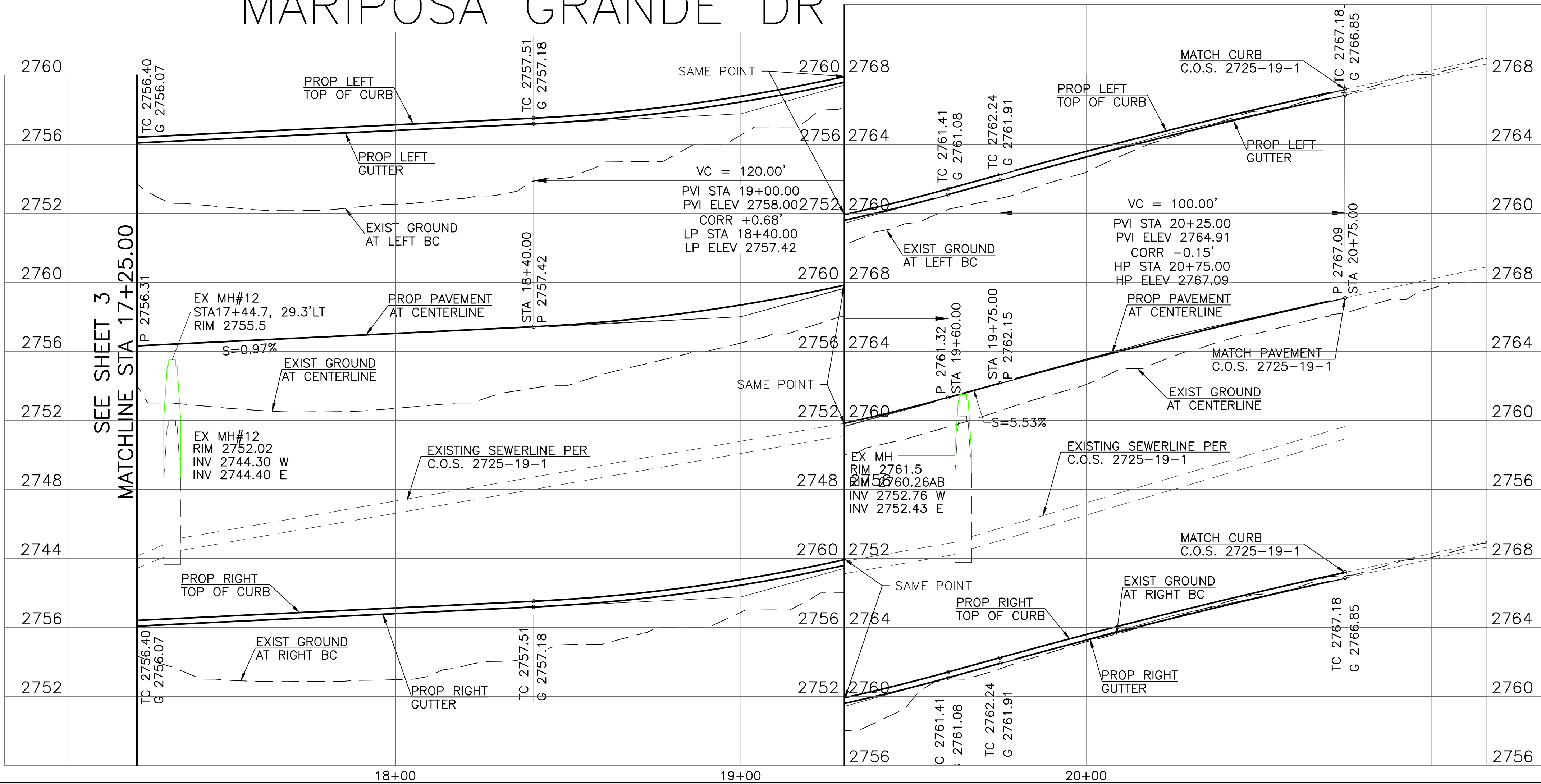
CONSTRUCTION NOTES:

PAVING

- 1 CONSTRUCT 3" OF R-19 MM A.C. OVER 6" ABC ON 95% COMPACTED SUBGRADE PER M.A.G. SPEC. 301, 310 & 321 & PER ROADWAY SECTION ON SHT 9.
- 2 INSTALL SURVEY MONUMENT TYPE 'B' PER M.A.G. STD. DETAIL 120.
- 3 CONSTRUCT TYPE 'C' ROLL CURB & GUTTER PER M.A.G. STD. DETAIL 220-1.
- 4 ADJUST FRAME AND COVER TO GRADE PER M.A.G. STD. DETAIL 422.
- 5 CONSTRUCT DEPRESSED CURB OPENING, L=8' WITH RIP-RAP EROSION PROTECTION, PER DETAILS ON SHEET 9.
- 7 REMOVE EXISTING CURB.
- 17 REMOVE EXISTING AC PAVEMENT.
- 18 SAWCUT EXISTING AC PAVEMENT TO NEAT EDGE FOR PAVEMENT MATCHING.
- 19 REMOVE EXISTING SURVEY MARKER.

MARIPOSA GRANDE AND
PARCEL 2A PLANS
PER C.O.S. 2725-19-1

MARIPOSA GRANDE DR



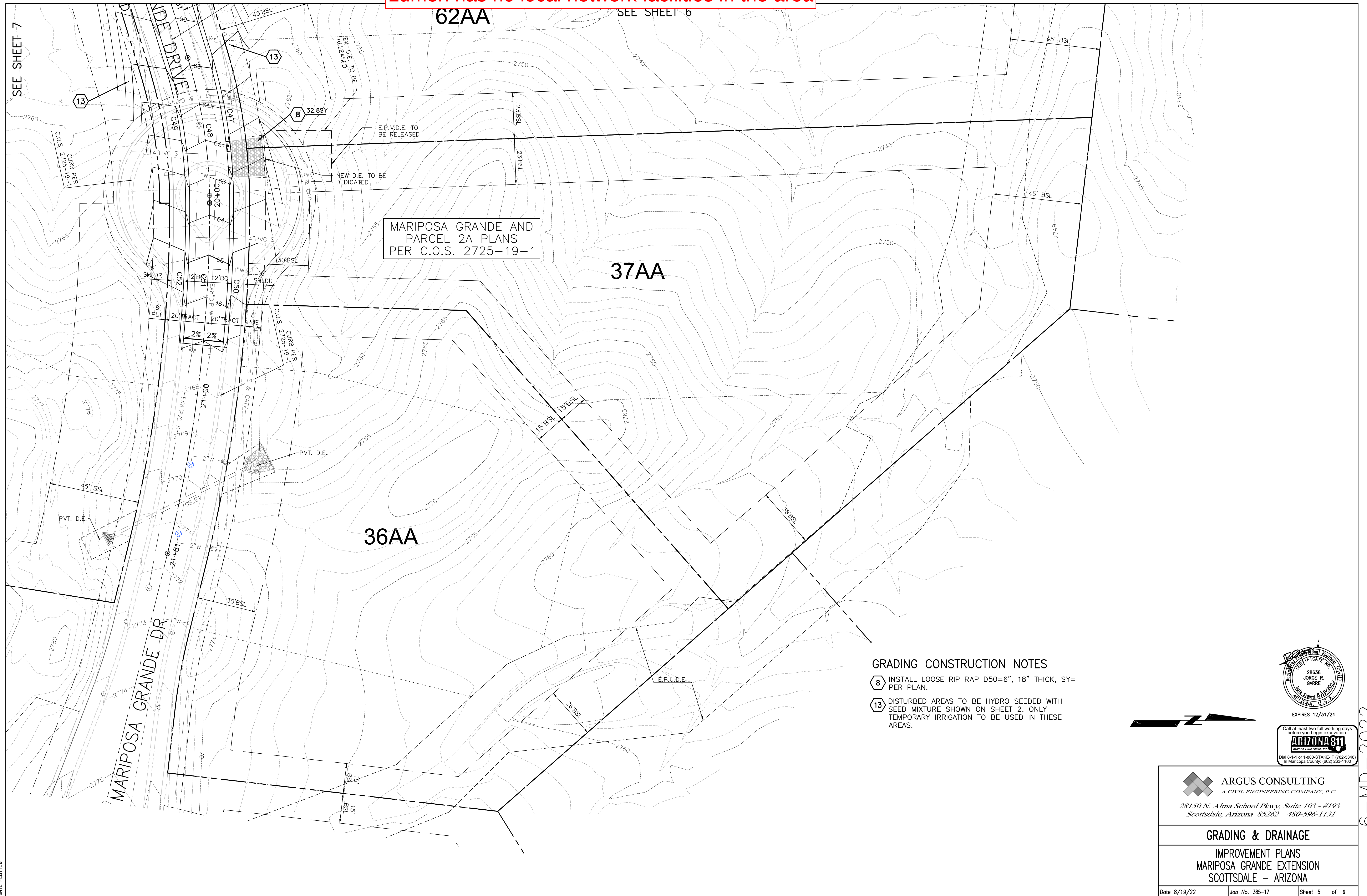
ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
28150 N. Alma School Pkwy, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

PAVING & UTILITIES

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA



Lumen has no local network facilities in the area.



FILE NAME:
DATE PLOTTED:

Lumen has no local network facilities in the area

P/G15
M.C.R.

TR. 'CCC

TRAIL & UTILITY
ACCESS PER
2725-19-1

$$\begin{array}{r} Q_2 = 4cfs \\ Q_{10} = 8cfs \\ Q_{100} = 14cfs \end{array}$$

12

CONNECT TO
EXISTING TRAIL
2725-18-1

P.N.M.A.E.

P.N.M.A.E.

WATER & SEWER PER-
C.O.S. 2725-19-1

13

62AA

E.P.V.D.E.

E.P.U.D.

45' BSL

GRADING CONSTRUCTION NOTES

8 INSTALL LOOSE RIP RAP D50=6", 18" THICK, SY= PER PLAN.

13 DISTURBED AREAS TO BE HYDRO SEEDING WITH SEED MIXTURE SHOWN ON SHEET 2. ONLY TEMPORARY IRRIGATION TO BE USED IN THESE AREAS.

14 RELOCATE 4' TRAIL AS SHOWN & PER DETAIL ON SHEET 7.

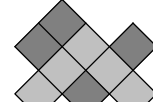
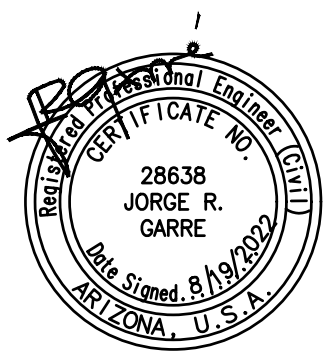
SEE SHEET 7

E.P.V.D.E. TO
BE RELEASED

NEW D.E.
DEDICATED

MARIPOSA GRANDE AND
PARCEL 2A PLANS
PER C.O.S. 2725-19-1

37AA



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GRADING & DRAINAGE

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA

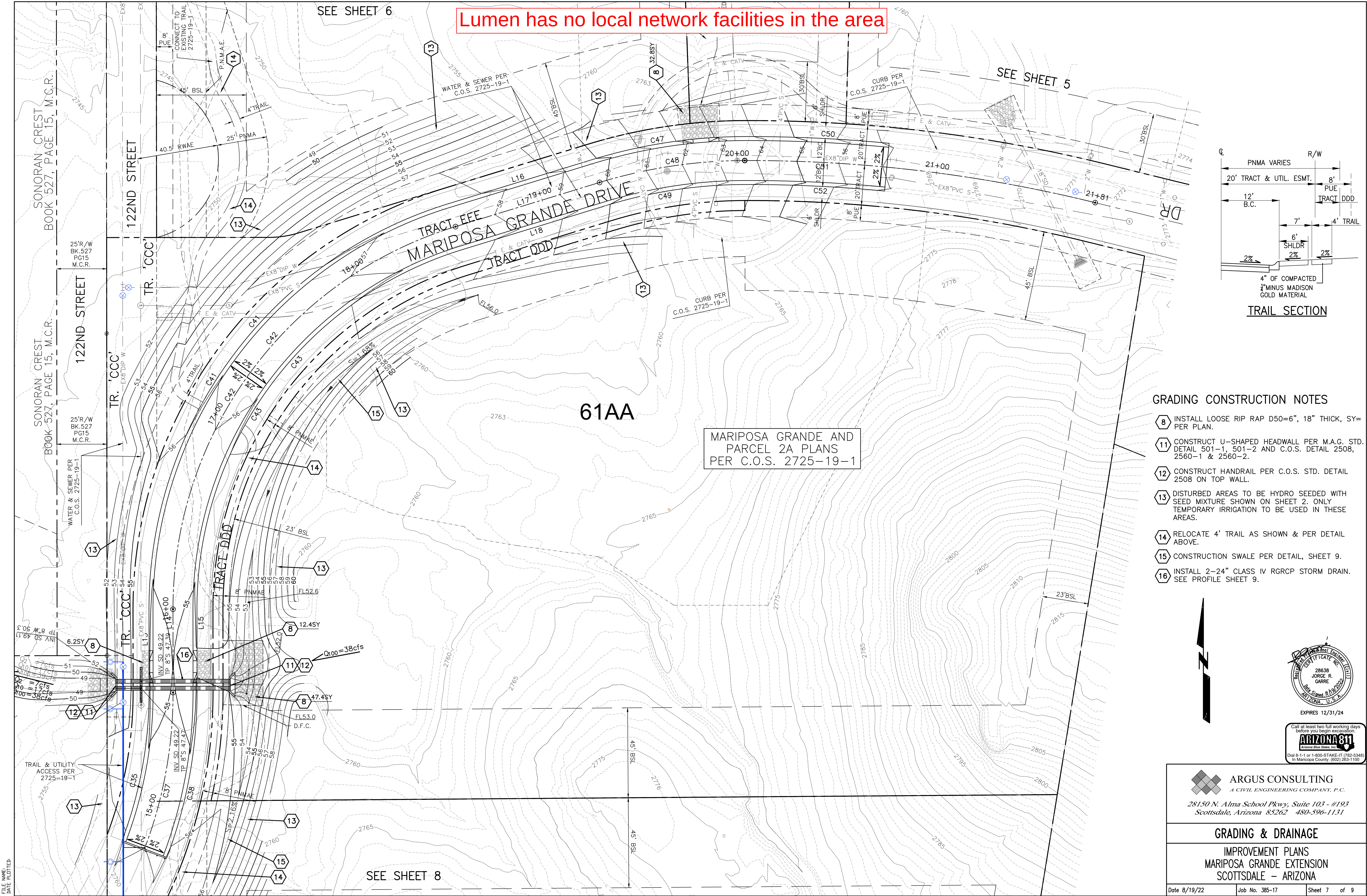
Date 8/19/22

Job No. 385-17

Sheet 6 of 9

FILE NAME:
DATE PLOTTED:

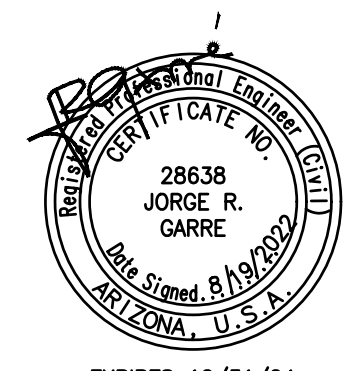
6-MD-2022

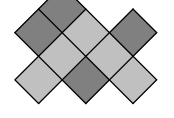


Lumen has no local network facilities in the area

GRADING CONSTRUCTION NOTES

- 8 INSTALL LOOSE RIP RAP D50=6", 18" THICK, SY= PER PLAN.
- 11 CONSTRUCT U-SHAPED HEADWALL PER M.A.G. STD. DETAIL 501-1, 501-2 AND C.O.S. DETAIL 2508, 2560-1 & 2560-2.
- 12 CONSTRUCT HANDRAIL PER C.O.S. STD. DETAIL 2508 ON TOP WALL.
- 13 DISTURBED AREAS TO BE HYDRO SEEDING WITH SEED MIXTURE SHOWN ON SHEET 2. ONLY TEMPORARY IRRIGATION TO BE USED IN THESE AREAS.
- 14 RELOCATE 4' TRAIL AS SHOWN & PER DETAIL ABOVE.
- 15 CONSTRUCTION SWALE PER DETAIL, SHEET 9.
- 16 INSTALL 2-24" CLASS IV RGRCP STORM DRAIN. SEE PROFILE SHEET 9.





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GRADING & DRAINAGE

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA

Date 8/19/22 Job No. 385-17 Sheet 7 of 9

6-MD-2022

Lumen has no local network facilities in the area

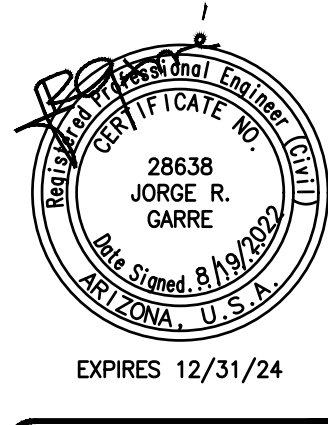
GRADING CONSTRUCTION NOTES

- 8 INSTALL LOOSE RIP RAP D50=6", 18" THICK, SY= PER PLAN.
- 13 DISTURBED AREAS TO BE HYDRO SEEDING WITH SEED MIXTURE SHOWN ON SHEET 2. ONLY TEMPORARY IRRIGATION TO BE USED IN THESE AREAS.
- 14 RELOCATE 4' TRAIL AS SHOWN & PER DETAIL ON SHEET 7.
- 15 CONSTRUCT SWALE PER DETAIL, SHEET 9.

SEE SHEET 7

MARIPOSA GRANDE AND
PARCEL 2A PLANS
PER C.O.S. 2725-19-1

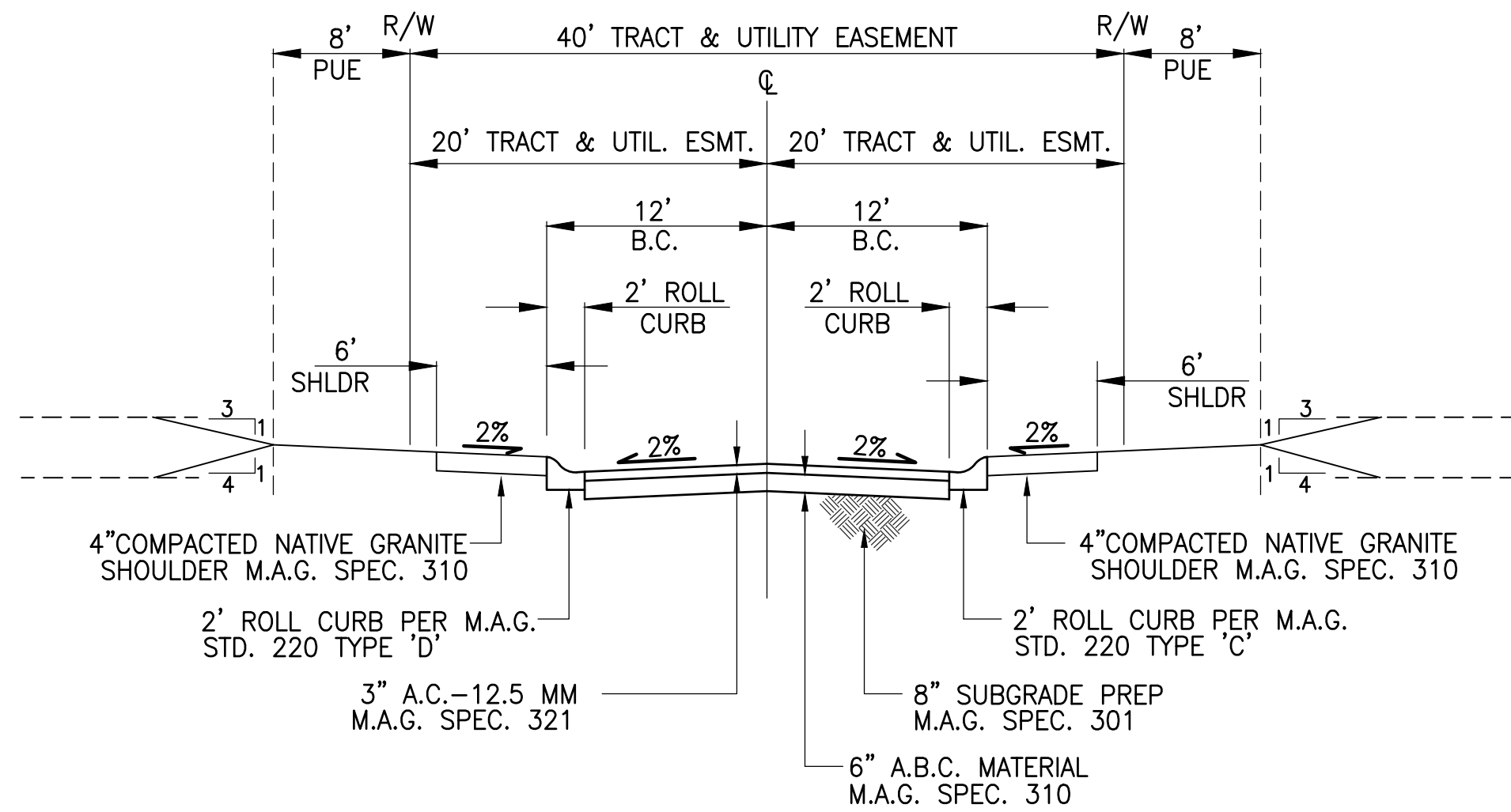
60A



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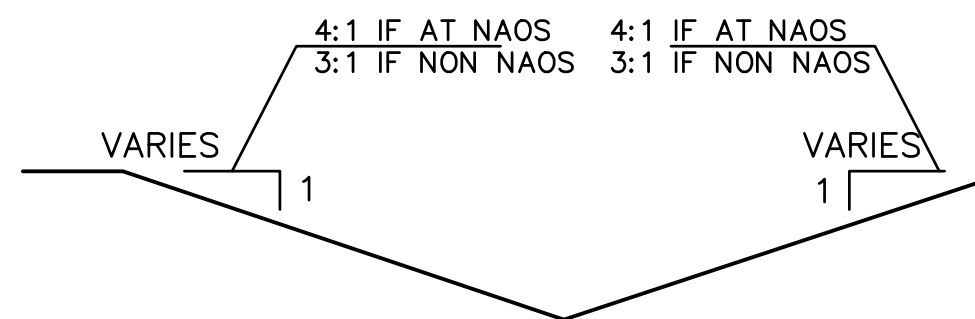
GRADING & DRAINAGE		
IMPROVEMENT PLANS MARIPOSA GRANDE EXTENSION SCOTTSDALE - ARIZONA		
Date 8/19/22	Job No. 385-17	Sheet 8 of 9

6-MD-2022



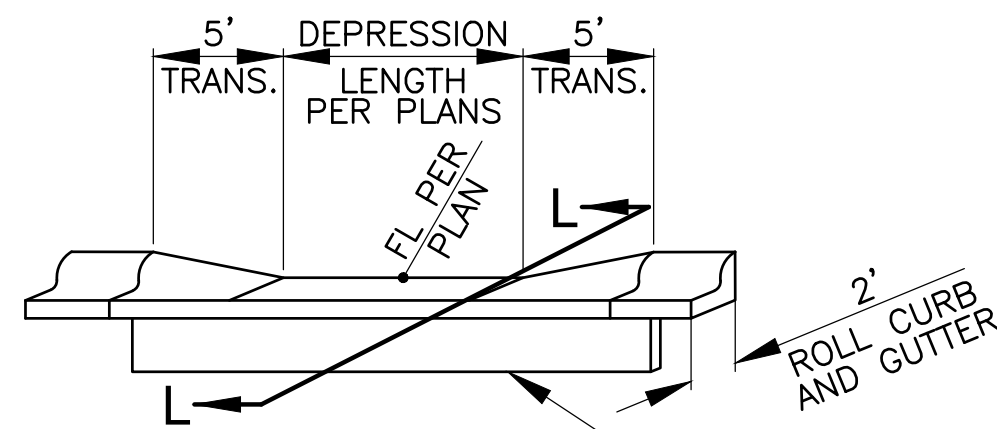
LOCAL RESIDENTIAL STREET (ELSO)

LOCAL RESIDENTIAL (PRIVATE)
N.T.S.



SWALE DETAIL

N.T.S.



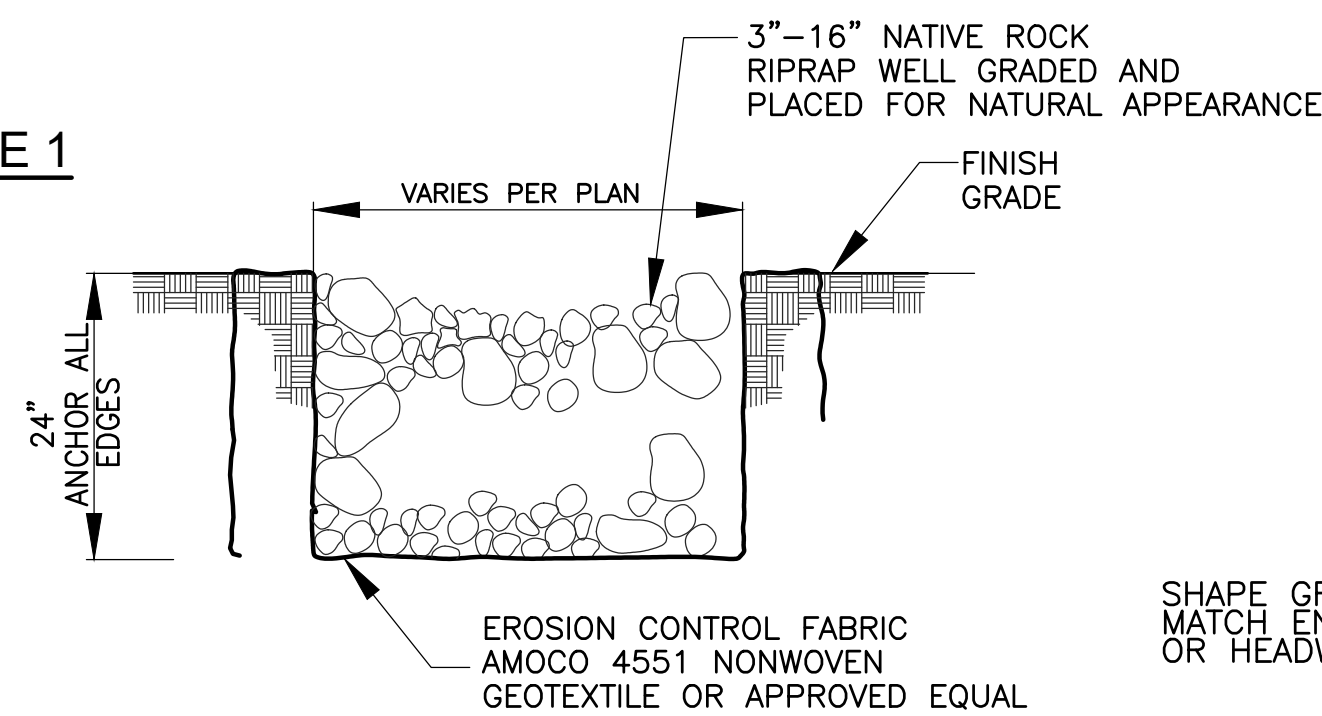
DEPRESSED ROLL CURB DETAIL WITH TURNDOWN

N.T.S.

CUT-OFF WALL PER
C.O.S. STD. DET. 2228
CUT-OFF WALL LENGTH=
FULL LENGTH OF DEPRESSION
AND TRANSITIONS PER PLANS

RIPRAP GRADATION TABLE 1

SIZE	% PASSING
16"	D100
12"	D85
8"	D50
3"	D15

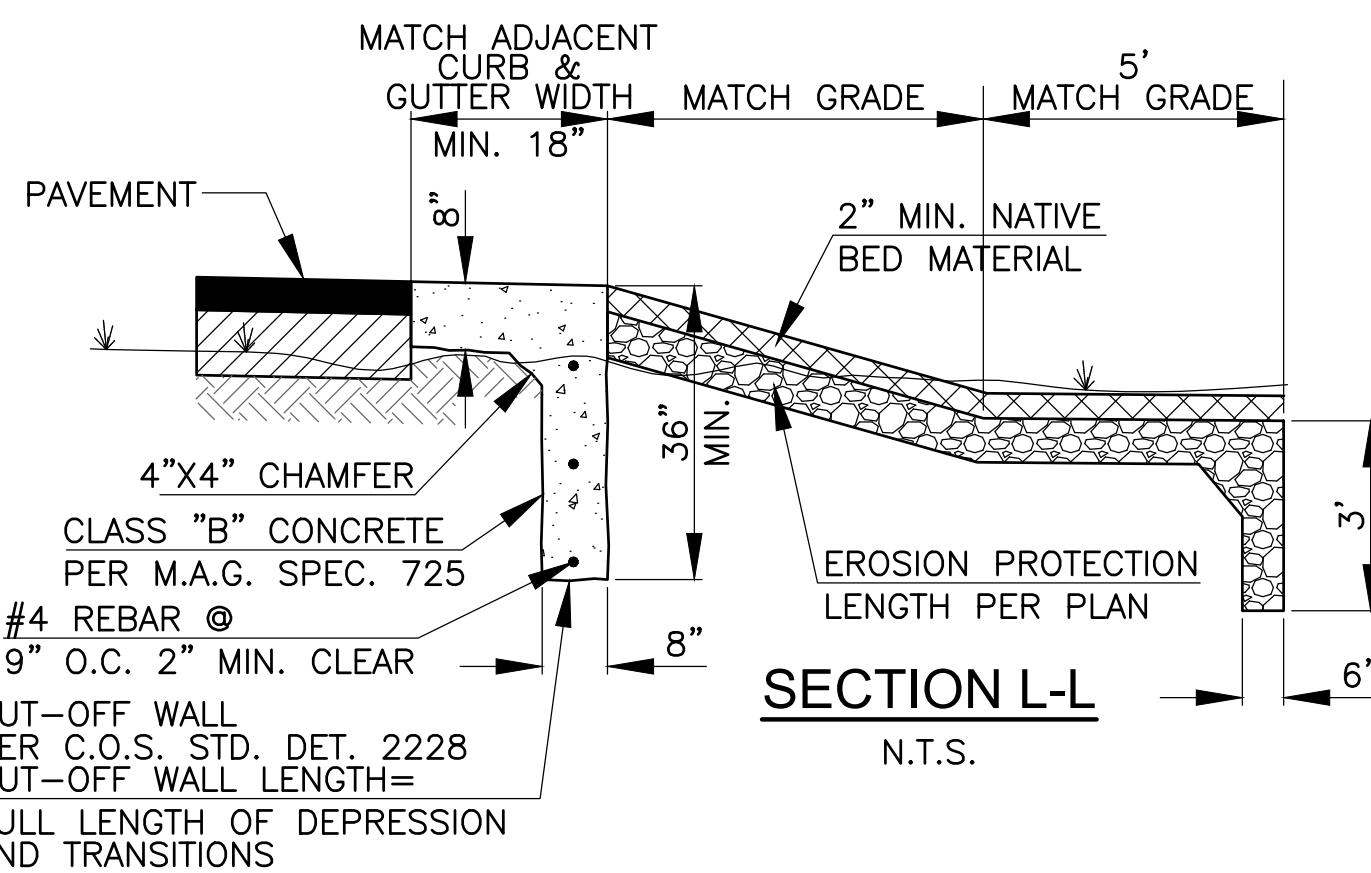


LOOSE RIPRAP WITH FABRIC DETAIL

N.T.S.

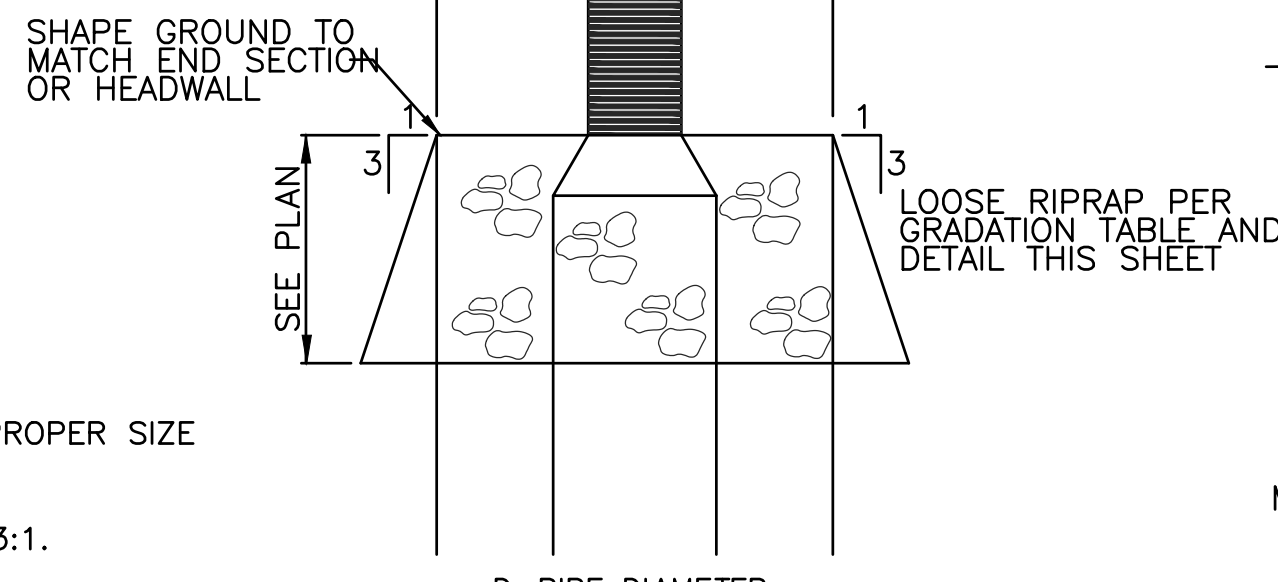
RIPRAP NOTES

1. THE STONE SHOULD BE REASONABLY WELL GRADED THROUGHOUT THE IN-PLACE LAYER THICKNESS.
2. OVERSIZE STONE, EVEN IN ISOLATED SPOTS, SHOULD BE REMOVED INDIVIDUALLY AND REPLACED WITH PROPER SIZE STONES.
3. SIDE SLOPES ON WHICH STONE IS PLACED BY MACHINE OR DUMPED SHOULD NOT BE STEEPER THAN 3:1.
4. THE STONE SHALL BE PLACED TO FORM AN INTERLOCKED, DENSE, UNIFORM MASS OF DURABLE STONES.
5. MINIMUM SPECIFIC WEIGHT OF STONE SHOULD BE 165 LB/C.F.
6. ALL RIPRAP SHALL BE INDIGENOUS TO SITE.



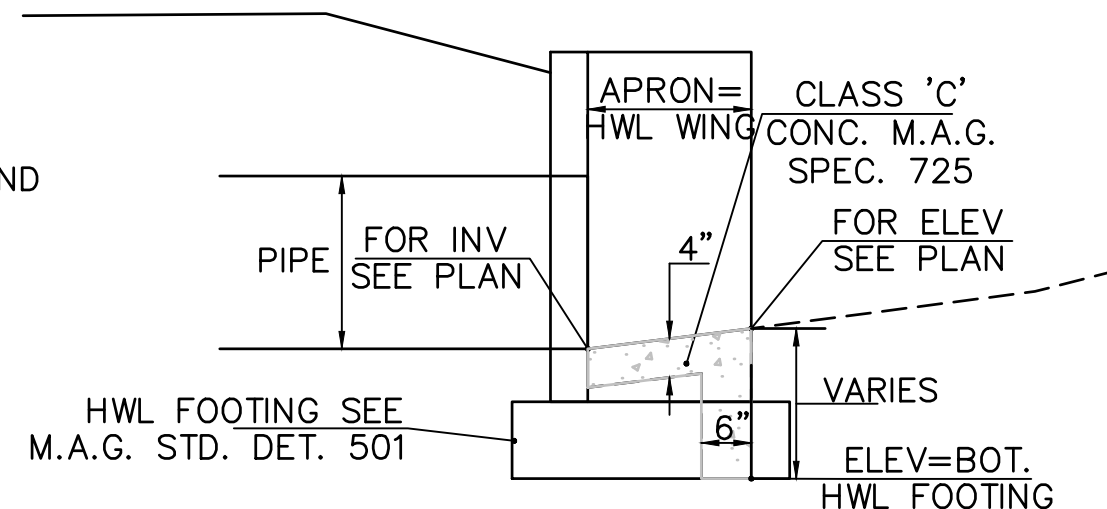
SECTION L-L

N.T.S.



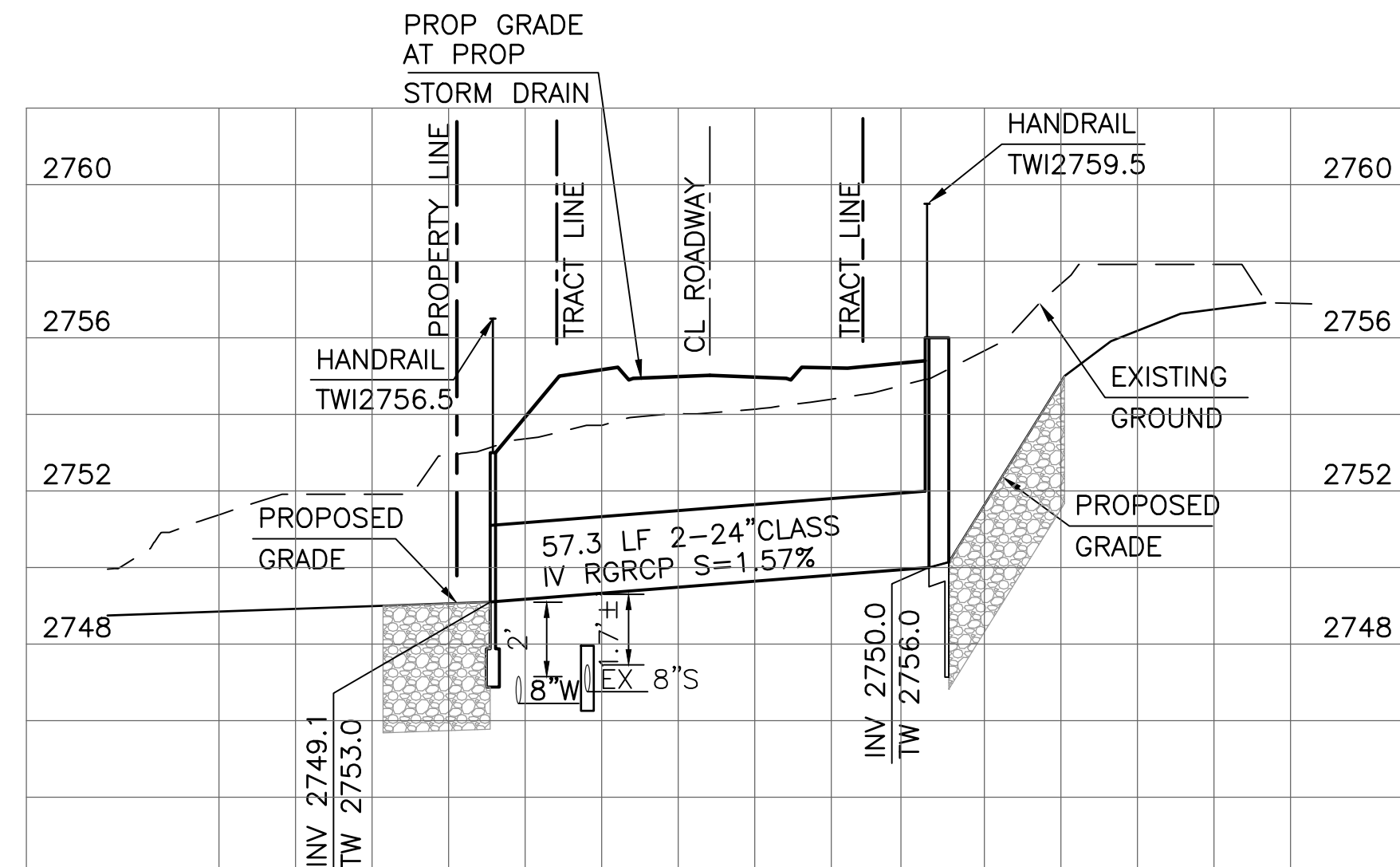
RIPRAP OUTLET PROTECTION

N.T.S.

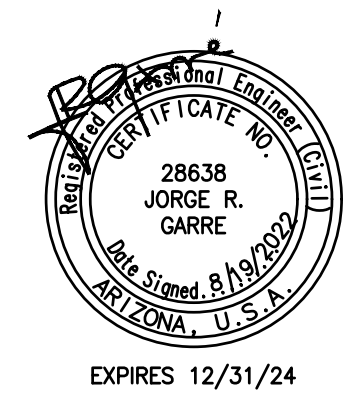


CONCRETE INLET APRON

N.T.S.



STORM DRAIN PROFILE



ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.

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DETAILS

IMPROVEMENT PLANS
MARIPOSA GRANDE EXTENSION
SCOTTSDALE - ARIZONA



Date 8/19/22 Job No. 385-17 Sheet 9 of 9



Lumen Conflict Memorandum

Date: September 21, 2022

To: Gretchen Laird (Argus Consulting)
gretchenlaird@gmail.com

From: Kevin Wagner, Terra Technologies LLC

Subject: Lumen – Conflict Memo – Project No. 385-17 – Sereno Canyon Phase 2A, Scottsdale

Lumen Project No. P-362983 AZ

Terra Technologies is in receipt of the plans and a letter. Below you will see an overview of Lumen facilities within the project limits, and a brief project overview along with comments regarding any Lumen facilities with respect to the proposed project.

Inventory of Lumen Facilities

Lumen has no local network facilities within the project limits. Plan markups have been attached with comments.

Project Overview

The design intent of this project appears to be developing a vacant parcel of land for a residential subdivision.

Facility Locations and Impacts

Plans have been reviewed for conflicts with Lumen facilities based on NDS mapping which show a general location of utility locations. Neither Terra Technologies LLC nor Lumen makes any representation regarding the completeness or accuracy of vertical and horizontal utility information used to determine conflicts or no conflicts.

Based on CenturyLink™ mapping and the construction drawings provided there appear to be **no conflicts**.

Utility conflicts with this private development project will be 100% reimbursable. Payment for design and mitigation of conflicts is to be coordinated prior to work commencing.



Lumen Conflict Memorandum

In accordance with state law, Blue Staking for location of Lumen facilities must be completed prior to any construction. When crossing Lumen facilities, you will be required to pothole to determine depth and maintain a minimum of 12 inch vertical and horizontal separation from facilities.

Pursuant to state law, support and protection is required for all Lumen facilities during construction.

Should the Contractor locate or expose an unknown Lumen facility, please contact Lumen as soon as possible.

In the event Lumen facilities need to be removed/relocated, some or all cost may be at the expense of the sponsoring agency.

If you have any questions or concerns regarding this review, feel free to contact me immediately, either by phone or email at the number/address provided below. The contractor is also responsible for contacting Lumen prior to construction around the Lumen facilities.

Notification List

Terra Technologies LLC Kevin Wagner, Project Manager kwagner@terratechllc.net 815-245-9640	Lumen (Network Engineer II) William Kraemer William.Kraemer@lumen.com 5025 N Black Canyon Hwy Phoenix, AZ 85015 Work: 602-630-5476
Lumen Fiber (SR Network Program Manager) Lance Holje William.Holje@lumen.com 5025 N Black Canyon Hwy Phoenix, AZ 85015 Work: 602-630-2788	Lumen (SR Account Mgr – BDP/MDU-GF) John West John.West1@lumen.com Work: 480-423-4737



Gretchen Laird <gretchenlaird@gmail.com>

No Facilities: Conflict Review - Sereno Canyon Parcel 2A, Mariposa Grande Extension

Gaard, Jordan <Jordan.Gaard@lumen.com>
To: "gretchenlaird@gmail.com" <gretchenlaird@gmail.com>

Wed, Sep 7, 2022 at 1:48 PM



Gretchen,

Thank you for your project notification. LUMEN has reviewed your utility notice dated 09/07/2022 regarding the P-362983 AZ | Sereno Canyon Parcel 2A, Mariposa Grande Extension ("Project"). In response to your inquiry please find the enclosed drawings indicating the approximate location of the LUMEN facilities (the "Facilities").

 X **LUMEN Local/National** does not have facilities within your proposed construction area.

 LUMEN Local/National has facilities within your proposed construction area. Please find the enclosed drawings indicating the location of the LUMEN facilities. Once you have completed your review, please respond back if LUMEN facilities appear to be in conflict. A LUMEN engineer will be assigned when engineering plans are ready for review.

 LUMEN Local/National facilities are under review by our LUMEN Field Engineer(s) listed below. For questions concerning the details of this review, please contact them directly. Currently, the estimated completion date of review is [FCD].

 LUMEN Local/National is leasing facilities within your proposed construction Zone, which may have potential conflicts. Please verify that you have contacted all communications providers listed on your One Call Ticket.

 LUMEN Local/National - The information provided in your initial request is insufficient to determine if the location of your proposed construction will conflict with LUMEN facilities. Please provide additional detailed location maps, drawings (PDF preferred), and description for further conflict review.

 LUMEN Local/National has facilities within your proposed construction zone, but it has been determined that no relocation will be necessary. However, due to the proximity of your project to our facilities, a LUMEN representative will be required on-site when construction begins.

Please contact your [State One Call](#) prior to construction service (click link for state specific requirements).

Any changes or additions to the project plans or parameters should be submitted to [Network Relocations](#) for review of potential new impacts to the LUMEN facilities. **Note:** the location(s) of facilities shown on these drawings you receive from us, are only approximate. LUMEN hereby disclaims any responsibility for the accuracy of this information. Please contact [Network Relocations](#) regarding the above mentioned project if you should have any questions. Please reference the file number **P-362983 AZ** with any future communications.

Thank you for your cooperation!

Jordan Gaard

Business Analyst

Network Relocations

****We have combined!!** To better serve everyone, there is now a single email inbox for LUMEN. One team is monitoring both national and local network relocations & road moves. Please add relocations@lumen.com to your contacts list for inquiries, updates, and use it for all future notifications.**

LUMEN

E-mail: relocations@lumen.com

From: Wagner, Kevin <kwagner@terratechllc.net>
Sent: Wednesday, September 7, 2022 1:11 PM
To: relocations <relocations@centurylink.com>
Subject: Fw: Conflict Review - Sereno Canyon Parcel 2A, Mariposa Grande Extension

From: owner-azreview@lxdnp32k.corp.intranet <owner-azreview@lxdnp32k.corp.intranet> on behalf of Gretchen Laird <gretchenlaird@gmail.com>
Sent: Wednesday, September 7, 2022 11:06 AM
To: ccecontroldesk@apsc.com <ccecontroldesk@apsc.com>; CazEastReviews@swgas.com <CazEastReviews@swgas.com>; phx.tmc@cox.com <phx.tmc@cox.com>; azreview@centurylink.com <azreview@centurylink.com>
Subject: Conflict Review - Sereno Canyon Parcel 2A, Mariposa Grande Extension

Dear sir or madam,

Please find the attached set of improvement plans for Sereno Canyon Parcel 2A, Mariposa Grande Extension, and a City of Scottsdale "No Conflict" form.

Please complete a conflict review and return a response with the completed City of Scottsdale form to me at your earliest convenience.

Also, please confirm receipt of these documents.

Thank you for your time,

Gretchen Laird

Argus Consulting, PC

28150 N Alma School Pkwy

Suite 103-#193

Scottsdale, AZ 85262

602-570-3576

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Utility Map.pdf
528K