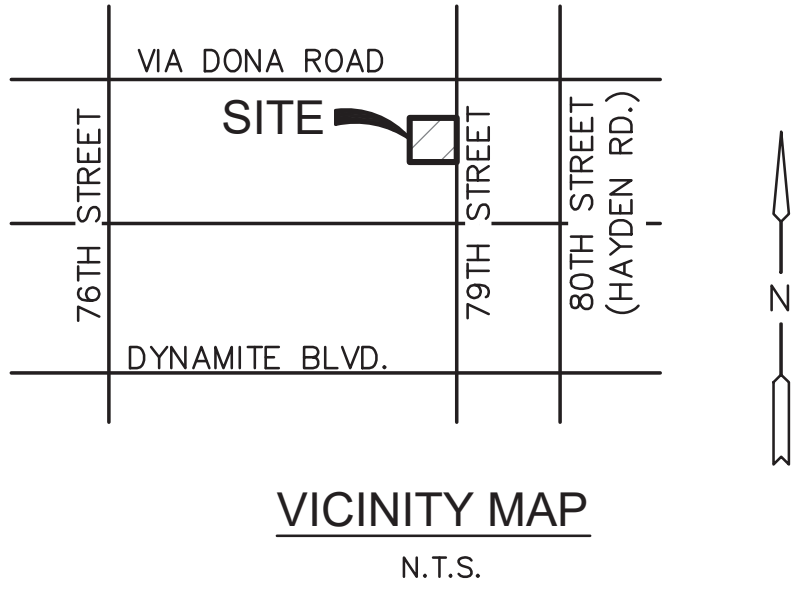


GRADING & DRAINAGE PLAN

FOR
28848 N. 79TH STREET, SCOTTSDALE AZ
APN: 216-69-072

A PORTION OF SECTION 26, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA & SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



SITE PLAN NOTES (CITY OF SCOTTSDALE)

- POOLS REQUIRE SEPARATE APPROVAL AND PERMIT
- POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, ONTO AN ADJACENT LOT. OR TRACT OF LAND. (DS&PM 2–2.501.D.4.C.)
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP. ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.
- A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. (ZO SEC. 5.012.A.6.C. AND SEC. 5.1 02.A.6.C.)
- A GLJESHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOTPRINT SIZE OF THE PRINCIPAL BUILDING. (ZO SEC. 5.012.A.6.B. AND SEC. 5.102.A.6.B.)
- ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL. (ZO SEC. 7.700; DS&PM 1–1.407).

ENGINEERS NOTES TO CONTRACTOR

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF. THIS PLAN IS DESIGNED TO SHOW A SEWER TAP DESIGN ONLY.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUESTAKE @ 602–263–1100.
- THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
- ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN, SURVEYOR'S STAKING AND THE HOUSE PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.

DRAINAGE STATEMENT

CONSTRUCTION OF PROPOSED DETACHED STRUCTURE SHOULD NOT AFFECT HISTORIC DRAINAGE CONDITIONS/PATTERNS, INCREASE FLOOD LEVELS AND WILL NOT INCREASE FLOOD HAZARDS WITHIN, UPSTREAM OR DOWNSTREAM OF THIS PARCEL.

GUEST HOUSE NOTE

GUEST HOUSE SHALL NEVER BE OFFERED FOR RENT. GUEST HOMES ON LOTS UNDER 35,000 SQ. FT. MAY NOT PROVIDE COOKING FACILITIES. A GUEST HOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING.

UTILITIES NOTE

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263–1100.

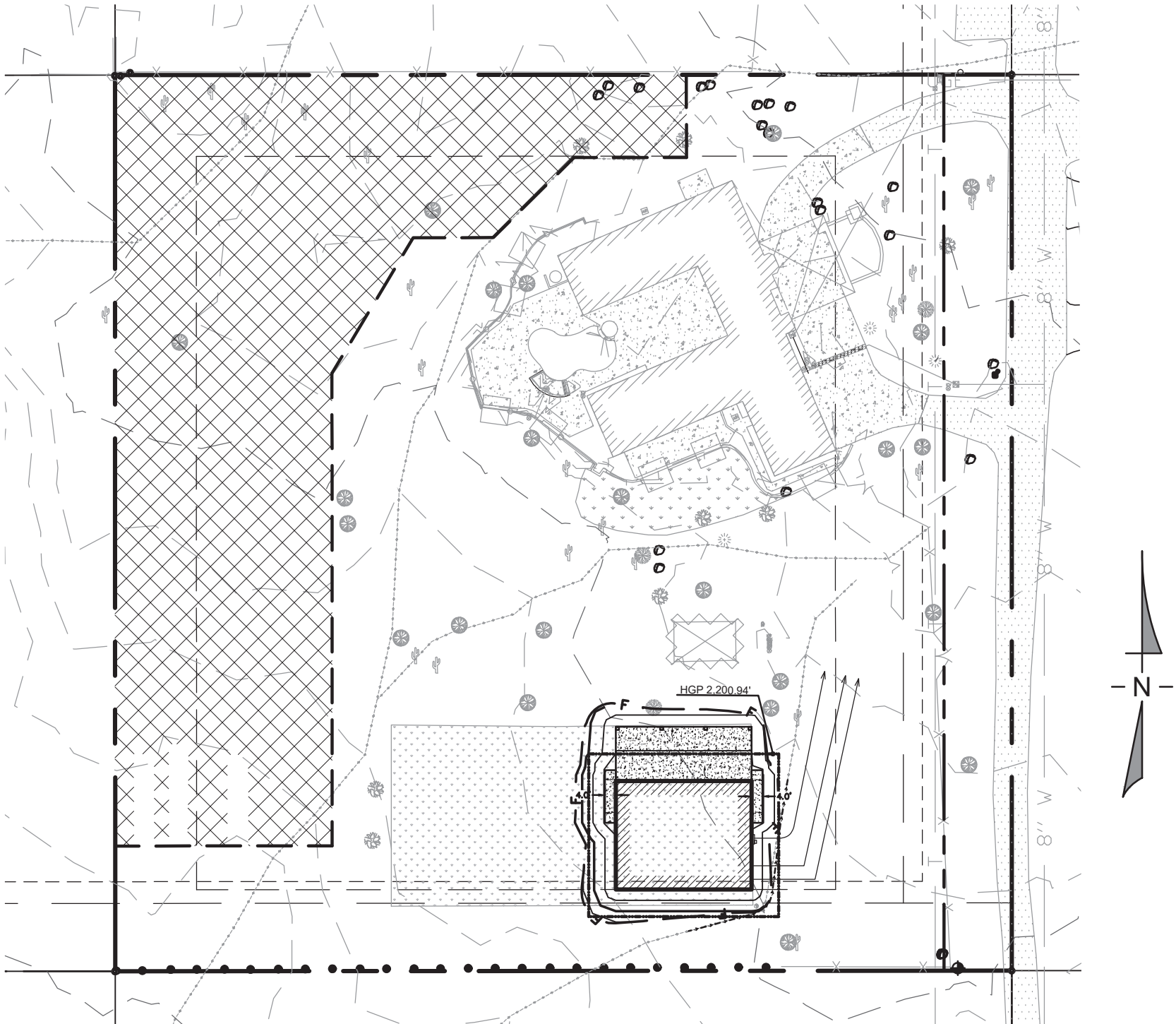
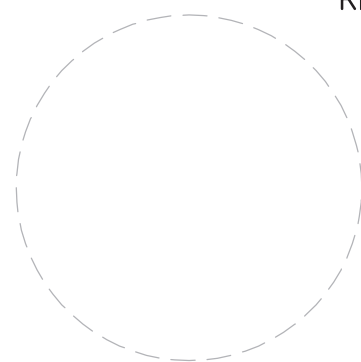
AS BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR

REGISTRATION NUMBER

DATE



PROJECT LAYOUT

SCALE: 1" = 50'

DRAINAGE STATEMENT

THIS SITE IS LOCATED WITHIN FLOODZONE 'X' AND NOT WITHIN A FLOOD HAZARD ZONE. THIS PARCEL HAS AN EXISTING RESIDENTIAL STRUCTURE, WITH ASSOCIATED IMPROVEMENTS, AND IS LOCATED WITHIN AN EXISTING, ESTABLISHED AND FULLY DEVELOPED RESIDENTIAL AREA. THE PARCEL IS RELATIVELY FLAT, SLOPING FROM NORTHEAST TO SOUTHWEST AT AN AVERAGE SLOPE OF 2.5%. THERE ARE 2 DEFINED, MINOR WASHES TRAVERSING THE SITE, AND THERE ARE NO EXISTING RETENTION OR OTHER DRAINAGE STRUCTURES ON THE PARCEL. THIS IS CONSISTENT WITH EXISTING FEATURES OF ADJACENT PARCELS, WHERE STORMWATER IS PASSED THROUGH THE PARCELS ALONG HISTORIC PATHWAYS.

PROPOSED IMPROVEMENTS WILL INSTALL A NEW DETACHED STRUCTURE AT THE SOUTHERN HALF OF THE PARCEL, INCLUDING GRADING AND A COVERED PATIO. IMPROVEMENTS SHOULD ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. HISTORIC STORM WATER PATTERNS SHOULD NOT BE AFFECTED BY PROPOSED IMPROVEMENTS.

EARTHWORK QUANTITIES

THE EARTHWORK QUANTITIES LISTED BELOW ARE APPROXIMATE AND DO NOT INCLUDE A CUT OR FILL ADJUSTMENT FACTOR, NOR ARE ADJUSTMENTS FOR SCARIFICATION, OVER-EXCAVATION, CLEAR/GRUB, ETC. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES SHOWN BELOW AND SHALL BASE HIS BID ON HIS OWN ESTIMATE.

CUT: 321 CY
FILL: 4 CY
NET: 317 CY (CUT)

*NOTE: EARTHWORK CALCULATIONS DO NOT CONSIDER LANDSCAPING, RIP–RAP OR OTHER EXCAVATION/SPOILS.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	1306 (7/20/2021)	M	7/20/2021	X	N/A
MAP NUMBER: 04013C1306M					

OWNER

TYLER PENCEK TRUST
28848 N. 79TH STREET
SCOTTSDALE, AZ 85266
CONTACT: TYLER PENCEK
(602) 818–2269

CIVIL ENGINEER

DLK CIVIL, LLC
P.O. BOX 6801
GOODYEAR, AZ 85338
CONTACT: KEITH DRUNASKY, P.E.
PHONE: 623–910–9112
EMAIL: KEITH.DLK@OUTLOOK.COM

SURVEYOR

GLOBAL LAND SURVEY
PEORIA, AZ 85338
CONTACT: BRYAN O'CONNOR, R.L.S.
PHONE: 623–330–6835
DATE OF SURVEY: JULY 2023

SITE DATA

ASSESSOR PARCELS: 216–69–072
PROPERTY ADDRESS: 28848 N. 79TH STREET
SCOTTSDALE, AZ

PROPOSED USE: SINGLE STORY DETACHED STRUCTURE
EXISTING ZONING: R1–70
JURISDICTION: CITY OF SCOTTSDALE, AZ

NET LOT AREA (TOTAL): 109,246 S.F. (PER BOUNDARY RECORDS/SURVEY)
94,871 S.F. (PER MARICOPA COUNTY ASSESSOR)

LEGAL DESCRIPTION

THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 5 NORTH RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

BASIS OF BEARING

N 89°57'51" E (ASSUMED), ALONG THE MONUMENTED NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA AND AS SHOWN HEREON.

PROJECT DATUM & BENCHMARK

FOUND BRASS CAP FLUSH AT THE INTERSECTION OF DYNAMITE BOULEVARD & 76TH STREET, ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, G.D.A.C.S. BENCHMARK NAME 42518–1M.
ELEVATION = 2,137.68' (NAVD88 DATUM)

SITE BENCHMARK

BEING A FOUND 1/2" REBAR WITH ILLEGIBLE CAP, 19.9' WEST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY AND ALSO BEING 1.0' NORTH OF THE SOUTH BOUNDARY LINE.
ELEVATION = 2,200.62' (NAVD88 DATUM)

SURVEY & BOUNDARY NOTE

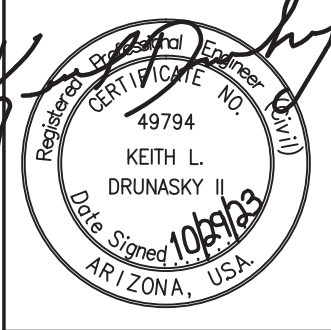
- SURVEY DATA USED FOR DESIGN BASIS WAS PROVIDED BY OWNER. SURVEY WAS NOT PERFORMED UNDER SUPERVISION BY THE ENGINEER.
- PARCEL AND BOUNDARY INFORMATION SHOWN FROM RECORD INFORMATION ONLY.
- BASIS OF BEARING, DATUM & BENCHMARK PROVIDED BY SURVEYOR INDICATED AND IS FOR REFERENCE ONLY. ENGINEER MAKES NO GUARANTEE TO ACCURACY OR COMPLETENESS OF THIS INFORMATION.
- NOTHING IN THESE DOCUMENTS SHALL BE CONSTRUED AS BEING OR BEING PART OF A BOUNDARY SURVEY.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THEREFORE, EASEMENTS, RIGHTS–OF–WAY OR OTHER ENCUMBRANCES MAY EXIST.
- ALL DIMENSIONS RELATED TO PROPERTY LINES, EASEMENTS, RIGHT OF WAY, SECTION, ETC. ARE CALCULATED, UNLESS OTHERWISE NOTED.
- THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL AND ARE NOT SHOWN. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD, WHETHER SHOWN OR NOT.
- NO ATTEMPT WAS MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY, MUNICIPAL OR PUBLIC SERVICE FACILITY, UNLESS OTHERWISE SHOWN.

SHEET INDEX	
SHEET	DESCRIPTION
C1	COVER SHEET, NOTES
C2	GRADING & DRAINAGE PLAN
C3	CROSS SECTIONS & NOTES
C4	SLOPE ANALYSIS



NO	DATE	REVISION DESCRIPTION

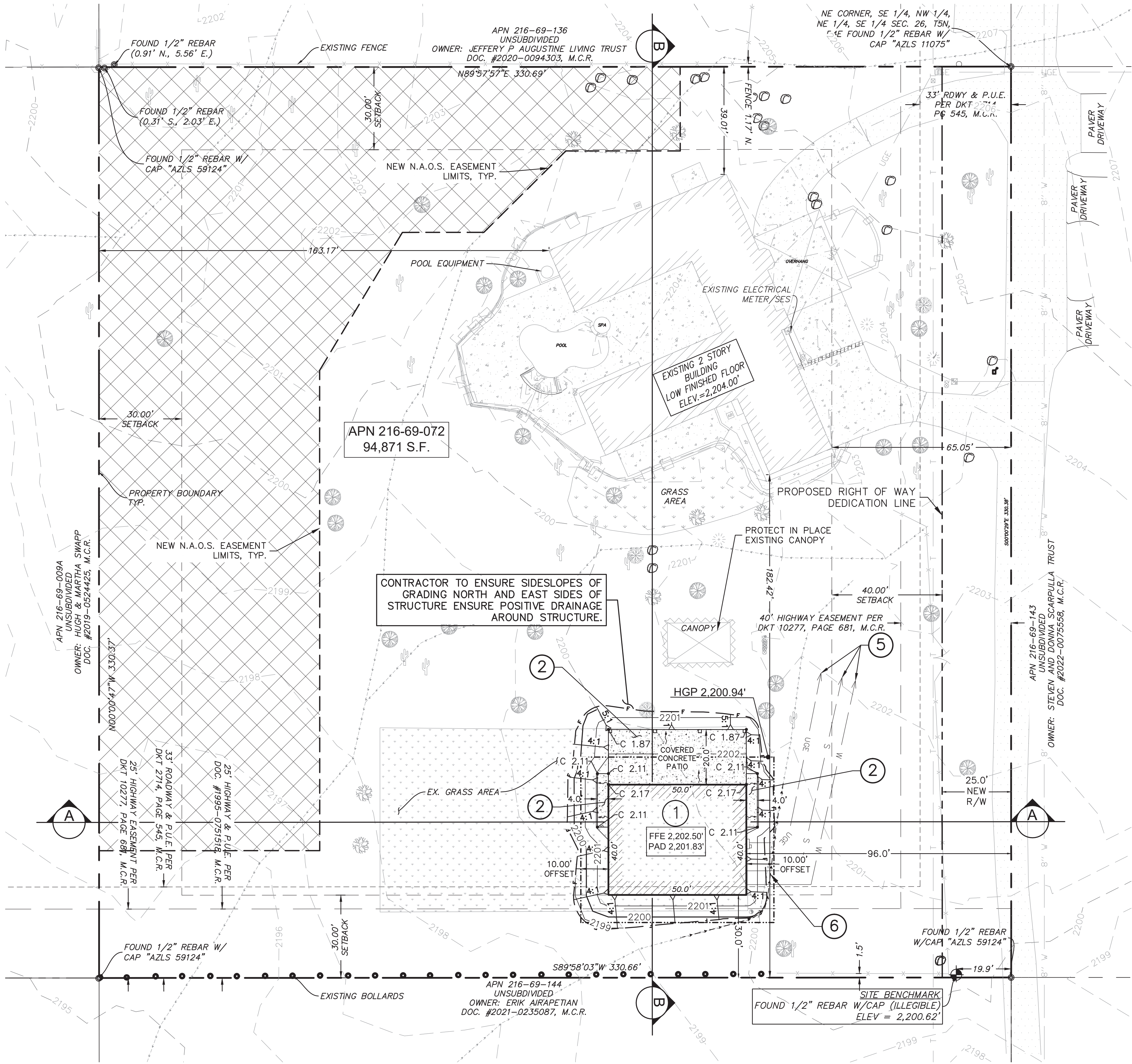
DLK CIVIL
PO BOX 6801
GOODYEAR, AZ 85338



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**GRADING & DRAINAGE
COVER SHEET**
APN 216-69-072
28848 N. 79TH STREET, SCOTTSDALE, AZ

CHECKED BY:	KD
DESIGNED BY:	MD
DRAWN BY:	KD
SURVEYED BY:	–
DATE:	10/2023
SHEET NUMBER:	
C1 OF C4	
JOB NO.:	2320

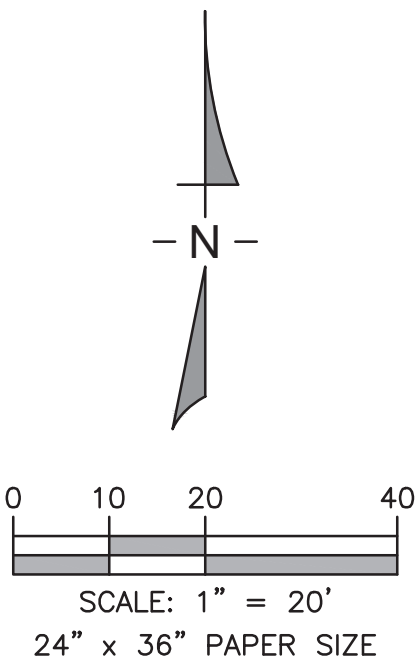


GRADING & DRAINAGE CONSTRUCTION NOTES:

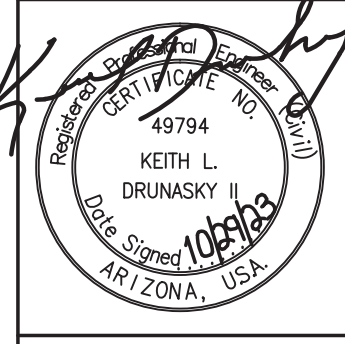
- 1 NEW DETACHED STRUCTURE BUILDING PAD — FOUNDATION ANTICIPATED TO BE SLAB ON GRADE W/FOOTER (SEE BUILDING PLANS FOR DETAILS — ASSUMED 4 INCH THICK CONCRETE SLAB OVER 4 INCH THICK COMPACTED AGGREGATE BASE COURSE). FINISHED GRADE AT BUILDING FOOTPRINT BEGINS AT 6" (SOIL/LANDSCAPING) OR 4" (CONCRETE/PAVERS/PATIO) BELOW FINISHED FLOOR.
- 2 CONCRETE PAD (SEE BUILDING PLANS FOR DETAILS). GRADES PER PLAN (MAX 2% IN ANY DIRECTION). ASSUME 4" GRADE DROP FROM FINISHED FLOOR WHERE JOINED.
- 3 DRAINAGE SWALE — 12" MAX. DEPTH; 4:1 SIDESLOPES, EACH SIDE. GRADE TO DRAIN PER PLAN.
- 4 REMOVE EXISTING IMPROVEMENTS AS NECESSARY.
- 5 PRIVATE POTABLE WATER, WASTEWATER & ELECTRIC SERVICE CONNECTIONS. PRIVATE SIDE SERVICE LINES SHALL COMPLY WITH BUILDING CODE. LOCATION SHOWN AS APPROXIMATE (FINAL ALIGNMENT SHALL BE CHOSEN BY PROPERTY OWNER).
- 6 CONTRACTOR TO ROUTE MINOR WASH AROUND NEW STRUCTURE GRADING AT MATCH POINT OF FILL LINES, AS SHOWN. MATCH APPROXIMATE DEPTH AND WIDTH OF EXISTING WASH.

LEGEND & ABBREV.

- EASEMENT OR SETBACK
- PROPERTY BOUNDARY LINE
- SECTION LINE
- EXISTING FENCE
- GRADING CUT LIMIT
- GRADING FILL LIMIT
- EXISTING SEWER MAIN/SERVICE
- NEW SEWER MAIN/SERVICE
- EXISTING WATER MAIN/SERVICE
- NEW WATER MAIN/SERVICE
- NEW CONTOUR/ELEVATION
- EXISTING CONTOUR/ELEVATION
- SWALE FLOWLINE
- FOUND PROPERTY CORNER OR BENCHMARK LOCATION
- SURVEYOR CALC'D PROPERTY CORNER OR BENCHMARK LOC.
- NEW STRUCTURE
- EXISTING STRUCTURE
- EXISTING CONCRETE/PAVER DRIVEWAY OR PATIO
- NEW CONCRETE/PAVER DRIVEWAY OR PATIO
- NEW N.A.O.S. EASEMENT
- FLOW DIRECTION ARROW
- HGP XXXXXX HIGHEST GRADE POINT AT 10' OFFSET TO BUILDING PAD
- FG 98.20 NEW GRADE LABEL
- EG 68.20 EXISTING GRADE LABEL



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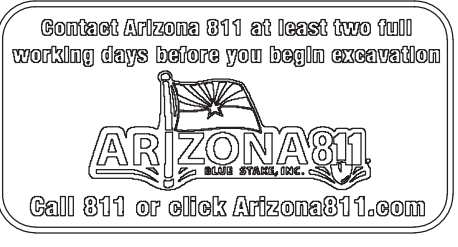


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GRADING & DRAINAGE
GRADING & DRAINAGE PLAN

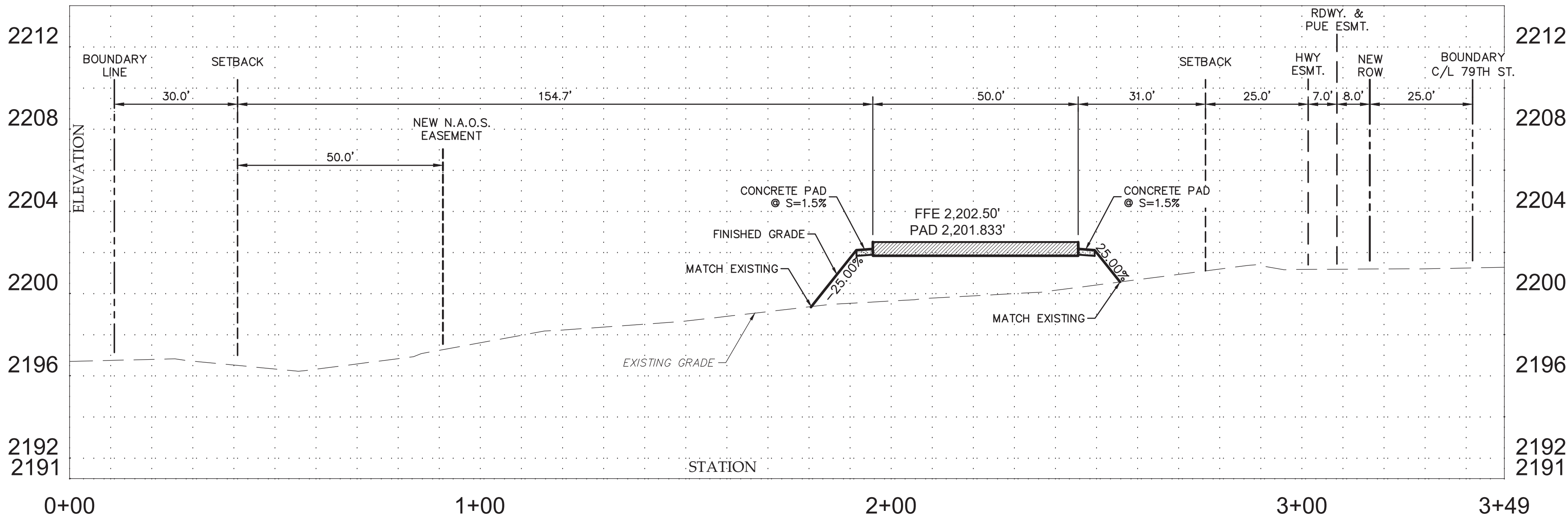
CHECKED BY: KD
DESIGNED BY: MD
DRAWN BY: KD
SURVEYED BY: —
DATE: 10/2023
SHEET NUMBER:

C2 OF C4
JOB NO.: 2320

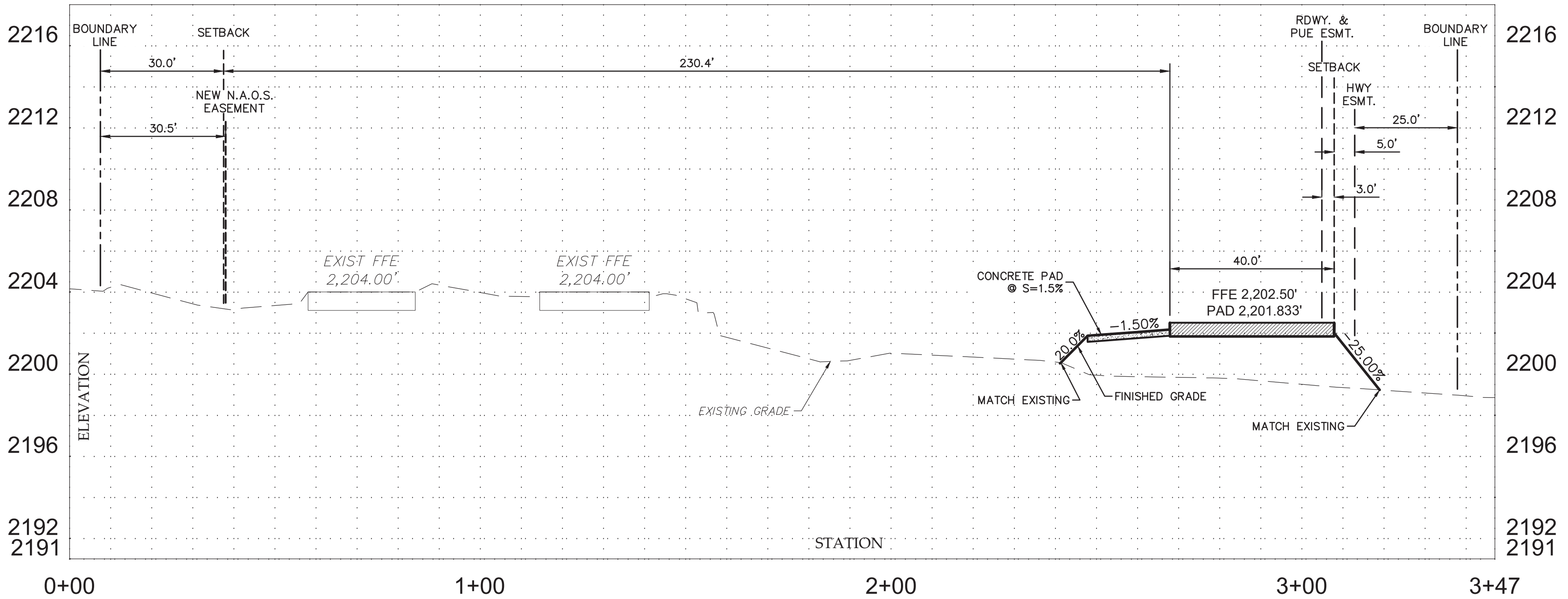


ENGINEERS NOTES

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
- THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE.
- ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. NO SOILS REPORT HAS BEEN PREPARED FOR THIS SITE.
- PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
- THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER, ENGINEER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE SURVEYOR UNLESS ALL SURVEY STAKES SET BY THE ENGINEER ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF, IN THE OPINION OF THE SURVEYOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OF IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
- THE OWNERS/CONTRACTORS SURVEYOR WILL MAKE FIELD AS-BUILT MEASUREMENTS OF THE WORK UPON NOTIFICATION BY THE CLIENT OR HIS REPRESENTATIVE THAT THE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. CALL BLUE STAKE FOR FIELD LOCATION AT (602) 263-1100. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
- THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
- ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES, STORM WATER RETENTION PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. THE DEPTH OF COVER ON THE STORM DRAIN PIPE IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE PIPES.
- IF PAD CERTIFICATIONS ARE PERFORMED, IT IS UNDERSTOOD THAT THE CERTIFICATION PROVIDES ONLY A REPRESENTATIVE ELEVATION OF THE AVERAGE GRADE OF BUILDINGS OR UNIT PAD, AND SHALL NOT BE CONSTRUED TO INCLUDE YARD AND STREET SUB-GRADE CERTIFICATION OR CERTIFICATION THAT THE ENTIRE PAD IS LEVEL, THAT IT WAS CONSTRUCTED IN THE DESIGNED LOCATION OR WAS GRADED TO THE CROSS-SECTION SET FORTH ON THE PLANS OR AS DESIGNATED IN THE SOILS REPORT.
- FINISH GRADES SHOWN ON THESE PLANS ARE THE FINAL FINISH GRADES. CONTRACTOR IS RESPONSIBLE FOR OVER-EXCAVATING AREAS UNDER BUILDING AND OTHER STRUCTURE PADS, AND TO ALLOW FOR PLANTING AND UTILITY TRENCHING SPOILS AND FOR ANY FINAL LANDSCAPE TREATMENTS (DECOMPOSED GRANITE, LAWN, ETC.).
- CONTRACTOR IS REQUIRED TO ATTAIN MINIMUM COMPACTION REQUIREMENTS UNDER BUILDING PADS, PER BUILDING CODE OR OTHER GOVERNING MUNICIPAL STANDARDS.



CROSS SECTION A-A
SCALE: HORZ 1"=20'
VERT 1"=4'



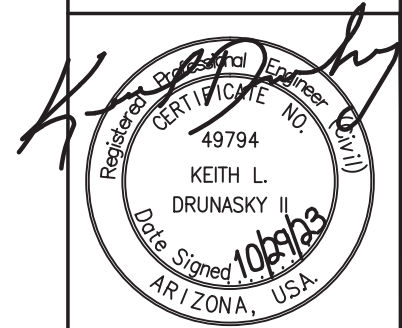
CROSS SECTION B-B
SCALE: HORZ 1"=20'
VERT 1"=4'

REVISION DESCRIPTION	DATE	NO

DLK CIVIL

PO BOX 6801

GOODYEAR, AZ 85338



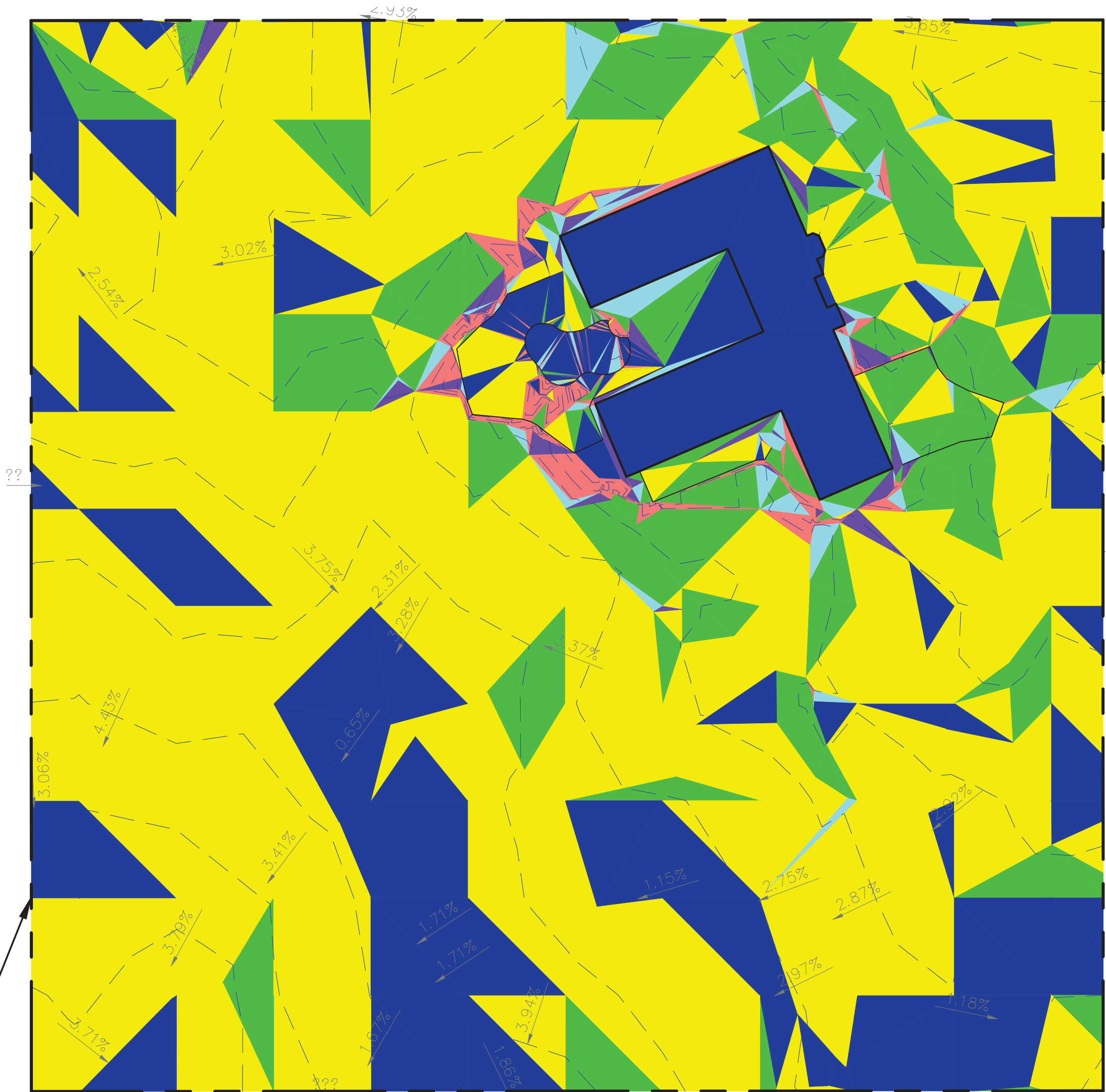
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GRADING & DRAINAGE
CROSS SECTIONS & NOTES

CHECKED BY:	KD
DESIGNED BY:	MD
DRAWN BY:	KD
SURVEYED BY:	-
DATE:	10/2023
SHEET NUMBER:	



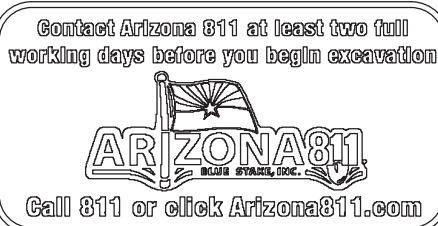
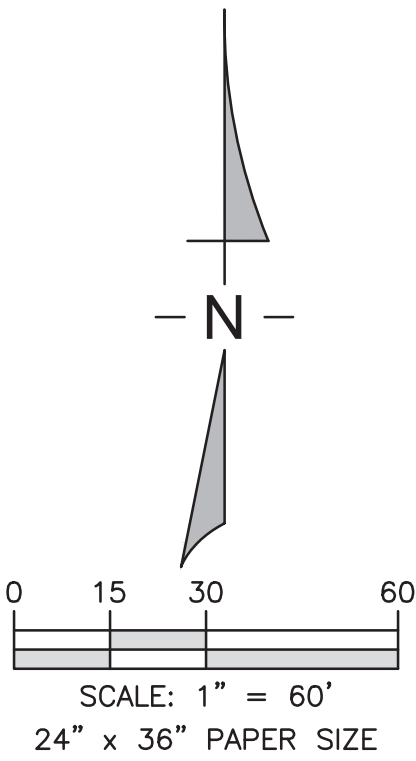
PARCEL BOUNDARY
TYP.



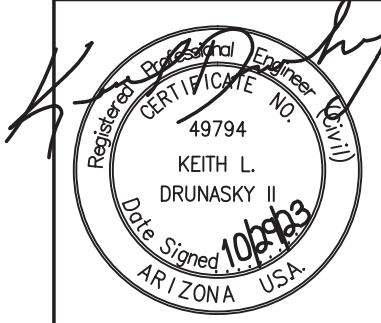
SLOPE RANGE	AREA (S.F.)	FACTOR*	NAOS AREA (S.F.)
0 - 2%	24,992.98	0.25	6,248.25
2 - 5%	64,549.27	0.25	16,137.32
5 - 10%	15,599.43	0.35	5,459.80
10 - 15%	1,674.89	0.45	753.70
15 - 25%	856.09	0.45	385.24
25% +	1,572.87	0.40	629.15
TOTALS	109,245.53		29,613.45

* DENOTES "UPPER DESERT" LANDFORM FACTORS USED

NAOS ANALYSIS			
LOT AREA	109,246.0	S.F.	COVERAGE
NAOS REQUIRED	29,613.5	S.F.	27.1%
NAOS PROVIDED	29,670.0	S.F.	27.2%



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PO BOX 6801
GOODYEAR, AZ 85338



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GRADING & DRAINAGE
SLOPE ANALYSIS

APN 216-69-072
28848 N. 79TH STREET, SCOTTSDALE, AZ

CHECKED BY:	KD
DESIGNED BY:	MD
DRAWN BY:	KD
SURVEYED BY:	-
DATE:	10/2023
SHEET NUMBER:	

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JOB NO.: 2320