


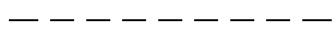

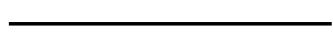
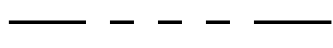
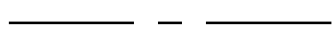

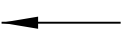
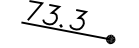
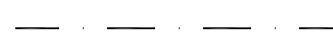



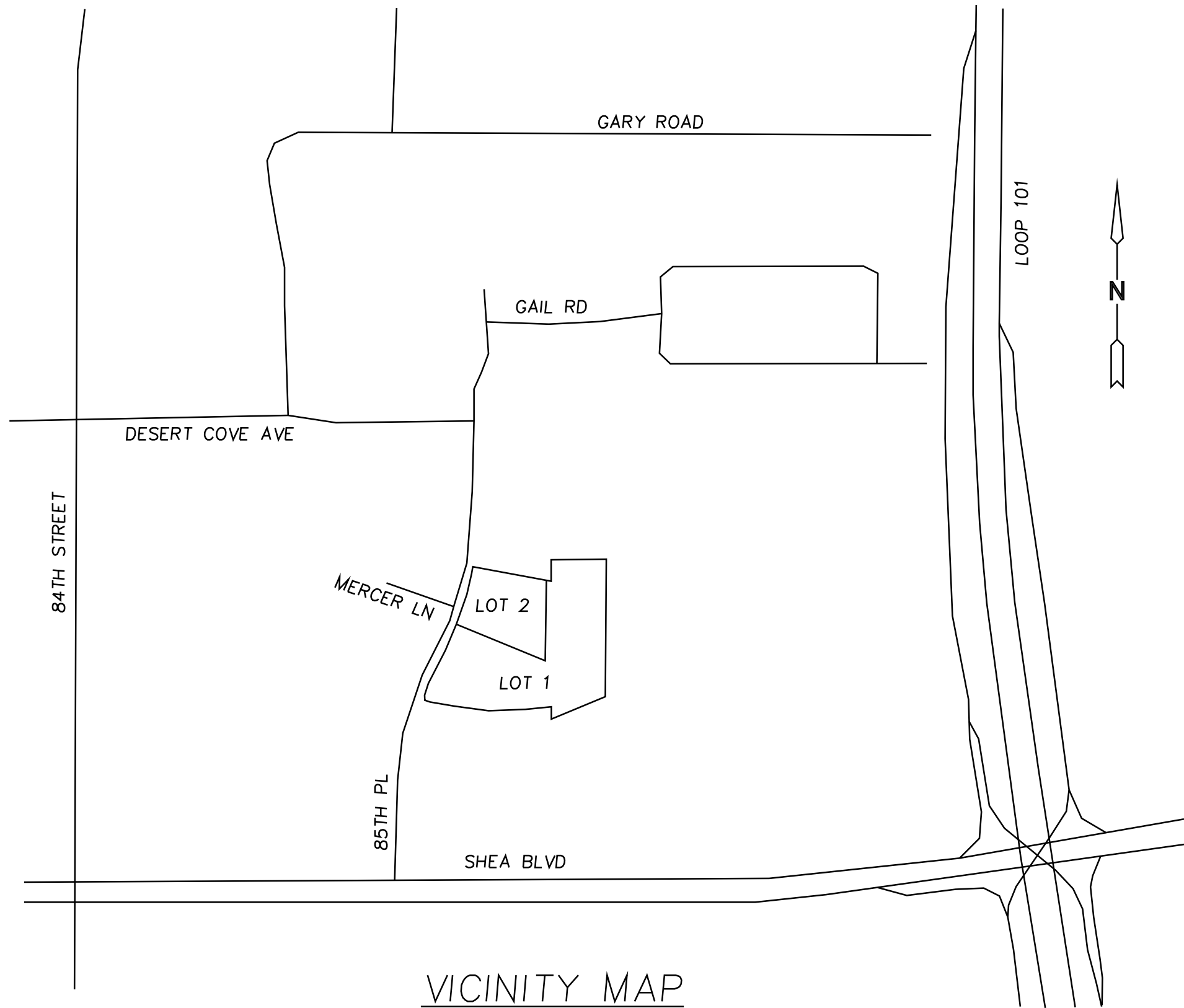
AMES RANCH ESTATES
PRELIMINARY GRADING PLAN
OF
AMES RANCH, LOCATED IN SECTION 24
TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE G.&S.R.B.&M.,
MARICOPA COUNTY, ARIZONA

LEGEND	
OP	OPEN SPACE
RW	RIGHT OF WAY
DE	DRAINAGE EASEMENT
PUE	PUBLIC UTILITY EASEMENT
MH	MANHOLE
BC	BACK OF CURB
SDE	SIGHT DISTANCE EASEMENT
BSL	BUILDING SETBACK LINE
	FIRE HYDRANT
	BLOW-OFF VALVE
	WATER VALVE
	EASEMENT LINE
	LOTLINE
	BOUNDARY LINE
	RIGHT OF WAY
	CENTERLINE
	SAGUARO LOCATION
	FLOW DIRECTION
	TOP OF CURB
	PAD LIMITS
LF= 88	FINISHED FLOOR ELEVATION
PAD=	PAD ELEVATION
	ROADWAY CENTERLINE

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	1760	L	7/20/2021	X	N/A
	10/16/13				

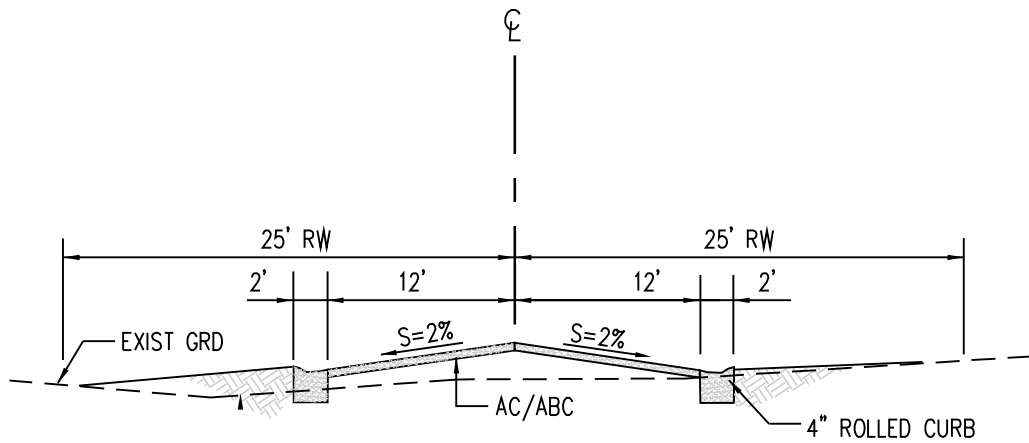
ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - STORMWATER & FLOODPLAIN MANAGEMENT



VICINITY MAP
NTS
SECTION 24 T3N R4E

*NOTES:

- REMOVAL/ABANDONMENT OF UNUSED WATER SERVICES LINES.
- WATER RESOURCES CREW TO FULLY REMOVE WATER SERVICE BACK TO THE MAIN AFTER APPLICANT PAYMENT OF CITY WATER SERVICE REMOVAL FEE. RECEIPT OF PAYMENT WILL BE NEEDED TO ISSUE ASSOCIATED SITE/IMPROVEMENT PLAN PERMITS.
- ALL EXISTING STRUCTURES INCLUDING HOUSES, WALLS, POOLS, FENCES, ACCESSARY STRUCTURES, ETC., SHALL BE COMPLETELY REMOVED PRIOR TO RECORDATION OF THE FINAL PLAT.



STREET SECTION A-A (TYP.)

NTS



LEGAL DESCRIPTION PARENT PARCELS

LOTS 1 & 2 OF AMES RANCH AS RECORDED IN BOOK 719 OF MAPS, PAGE 21, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARENT ASSESSORS PARCEL NUMBER

LOT 1 175-64-018
LOT 2 175-64-019

ZONING

R1-35

PERTINENT INFORMATION AND EASEMENT LIST

- FINAL PLAT FOR AMES RANCH PER BOOK 719, PG 21 M.C.R.
- DKT 04-1461143 MCR
- DKT 92-671893 MCR
- BOOK 72, PAGE 27 MCR

BASIS OF BEARING

BEING A TANGENT LINE BETWEEN 2 FOUND BRASS CAP MONUMENTS FLUSH ON THE CENTERLINE OF 85TH PLACE PER SUNDOWN VISTA

OWNER

LOT 1:
RJA AX PROPERTIES LLC
P.O. BOX 8
JORDAN, MN 55352

LOT 2:
LANDMARK ELITE LLC
20276 DELAWARE AVE
JORDAN, MN 55352

GENERAL NOTES

ALL BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE FROM ACTUAL FIELD MEASUREMENTS UNLESS OTHERWISE STATED.

ORIGINAL LOT AREA

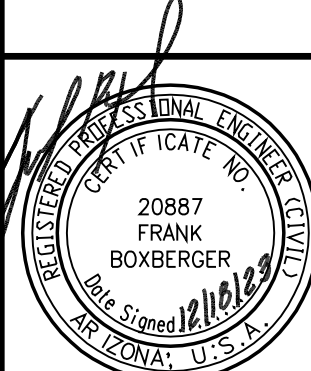

- LOT 1: 126,455 SF (2.90 AC) PER COUNTY RECORDS; 125,899 SF (2.89 AC) CALCULATED PER BOUNDARY
LOT 2: 45,435 SF (1.04 AC) PER COUNTY RECORDS; 45,447 SF (1.04 AC) CALCULATED PER BOUNDARY

PROPOSED LOT AREAS

- LOT 1: 36,684 SQUARE FEET; 0.842 ACRES
LOT 2: 41,554 SQUARE FEET; 0.954 ACRES
LOT 3: 35,632 SQUARE FEET; 0.818 ACRES
LOT 4: 40,257 SQUARE FEET; 0.924 ACRES

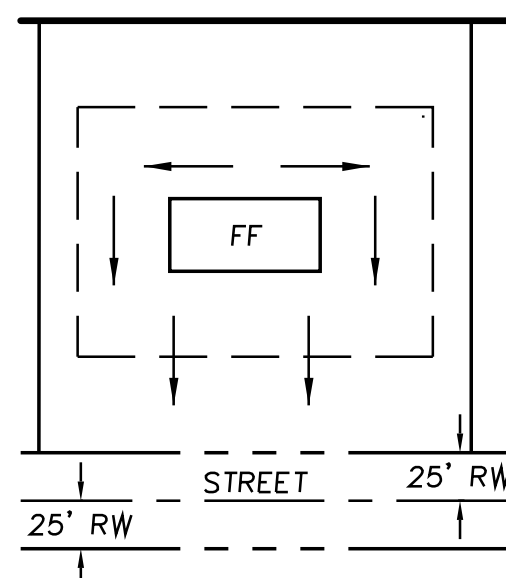
BENCHMARK

MCDOT PT NO. 2655201
Found 3" COS Brass Cap flush, no stamping, at the intersection of Cactus Road and 108th Street. Elevation=1458.392 (NAVD 88).

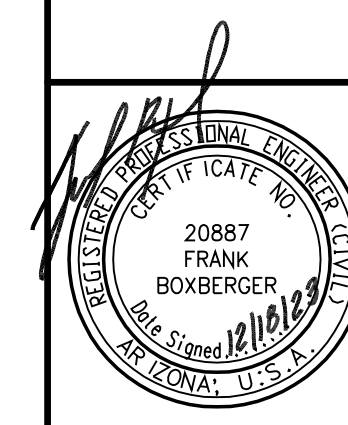
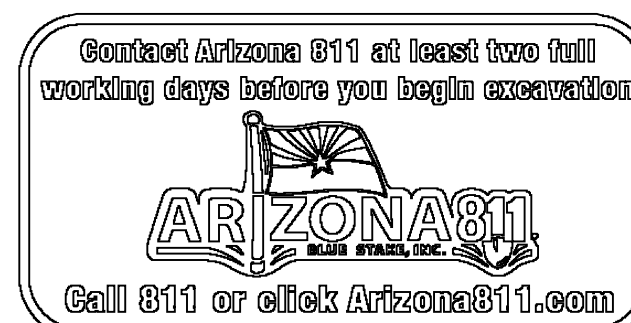
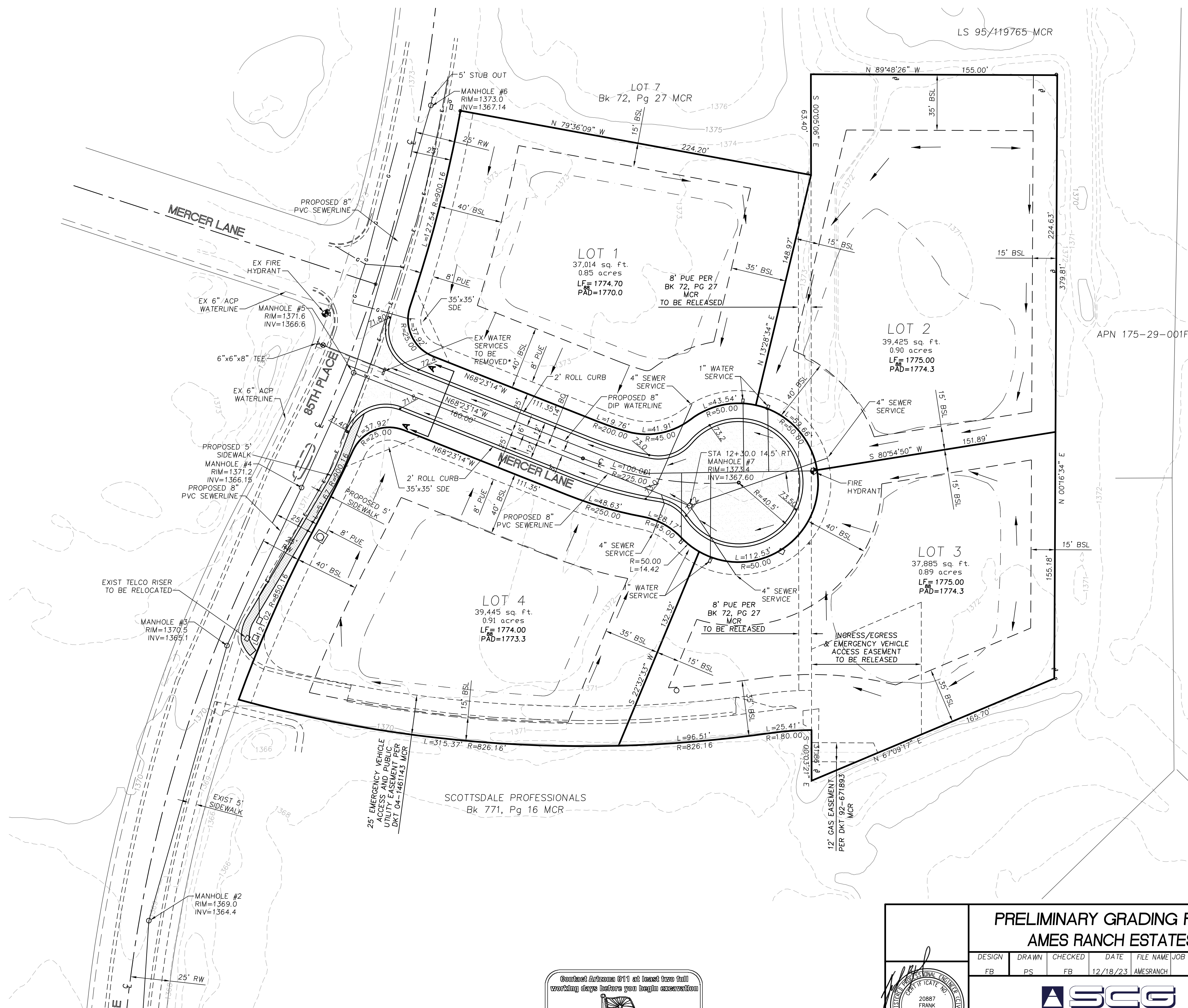
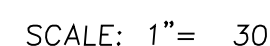
	PRELIMINARY GRADING PLAN AMES RANCH ESTATES					
	DESIGN	DRAWN	CHECKED	DATE	FILE NAME	JOB NUMBER
	FB	PS	FB	12/18/23	AMESRANCH	AMESRANCH
 8707 EAST VISTA BONITA SUITE 145 SCOTTSDALE, ARIZONA 85255 (602) 725-0372						
SHEET 1 OF 2						

3. ALL EXISTING STRUCTURES INCLUDING HOUSES, WALLS, POOLS, FENCES, ACCESSARY STRUCTURES, ETC, SHALL BE COMPLETELY REMOVED PRIOR TO RECORDATION OF THE FINAL PLAT.

ALL BASINS ALSO MUST BE DESIGNED TO MEET CITY OF SCOTTSDALE DESIGN STANDARDS AND BE FULLY DISSIPATED WITHIN 36 HOURS.



SCALE: 1" = 100'



8707 EAST VISTA BONITA SUITE 145
SCOTTSDALE, ARIZONA 85255
(602) 725-0372

SHEET
2 OF 2