



Development Review (Minor) Staff Approval

331-SA-2022#2
Whole Foods at Miller
Plaza

APPLICATION INFORMATION	
LOCATION:	7628 E Indian School Rd
PARCEL:	173-53-012D
Q.S.:	17-46
ZONING:	C-2
APPLICANT:	Carly Tomko
COMPANY:	Catherine Hayes / Hayes Architecture
ADDRESS:	3824 E Campbell Ave Phoenix, AZ 85018
PHONE:	(602) 840-2553
<u>Request:</u> Request for a revision to 331-SA-2022 (Fry's at Miller Plaza)	

STIPULATIONS

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Hayes, Inc., with a city staff date of 7/1/2024.
2. The location and configuration of all site improvements shall be consistent with the site plan submitted by Metro Architecture LLC, with a city staff date of 7/1/2024 as stipulated.
3. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Harrington Planning + Design, with a city staff date of 7/1/2024 as stipulated.
4. The existing trees along N. Parkway Avenue shall remain in place.
5. The landscape plan shall confirm that all plants are drought-tolerant species consistent with the ADWR list.
6. With final plans submittal, the following requirements shall be updated on the project plans:
 - a. Sewer: project plans shall adhere to SRC 49-94 by demonstrating the following:
 - i. Update plan with sewer service connection.
 - b. Refuse: project proposal shall adhere to DS&PM 2-1.309 by demonstrating the following:
 - i. Backing distance cannot be too long as proposed
 - ii. Multiple obstacles in the drive path need to be relocated
 - iii. Backing path width cannot be too narrow as proposed
 - iv. Submit turning radius for both refuse enclosures
 - c. Sidewalks: project plans shall adhere to DS&PM 2-1.310 by demonstrating the following:
 - i. Update site plan with a 6' width accessible pedestrian route from the main entry of the development to each abutting public street that provides a pedestrian sidewalk. Existing sidewalk along Parkway Ave should not be obstructed, maintain existing width
 - d. Benchmarks: project plans shall adhere to DS&PM 3-1.701 by demonstrating the following:
 - i. Please make sure to use the McDOT benchmark system and in accordance with the FEMA Benchmark Maintenance criteria. Please update submittal accordingly.
 - e. Driveways: project plans shall adhere to DS&PM 5-3.204 by demonstrating the following:

Planning and Development Services

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 ♦ www.ScottsdaleAZ.gov

- i. Update site plan with CL type city driveway on local streets or CH driveways on collector or arterial streets. Refer to city's standard detail drawings (2200 series) for driveway details.
- f. Service Lines: project plans shall adhere to DS&PM 7—1.409 by demonstrating the following:
 - i. Minimum diameters for service lines as follows, applicant to verify and update submittal accordingly:
 - 1. Residential: 4-inch
 - 2. Multi-family: 6-inch
 - 3. Commercial: 6-inch
- g. Existing Lines: project plans shall adhere to DS&PM 6-1.416 by demonstrating the following:
 - i. Existing water and fire lines not used by a development shall be noted on the plans to be abandoned at the main by the contractor as follows:
 - 1. Removal/abandonment of unused fire lines (hydrant or bldg. sprinkler):
 - a. Removal of line back to and including the tee/saddle/or sleeve and installation of spool piece of pipe. City crews will isolate and reinstate the main.
 - 2. Removal/abandonment of unused water service lines:
 - a. Water Resources' crew to full remove the water service back to the main after applicant payment of city water service removal fee. Receipt of payment will be needed to issue associated site/improvement plan permits.


CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit a copy of this approval letter using the **Digital Plan submittals** link here: <https://eservices.scottsdaleaz.gov/bldgresources/plans> including the following submittal types:

- ARCHITECTURAL:
 - Commercial/Multi-family Architectural Plans
 - Landscape Plans *for reference* and no separate permit required
- IMPROVEMENTS:
 - Civil Improvement Plans
 - Landscape Improvement Plans with associated permit required

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature:  Date: 7/1/2024

 Wayland Barton, 480-312-2817



6/25/2024

Carly Tomko
Catherine Hayes
3824 E Campbell Ave
Phoenix, AZ 85018

RE: **331-SA-2022#2**
Whole Foods at Miller Plaza
97L20 (Key Code)

Carly:

Planning & Development Services has completed review of the above referenced development application submitted (payment accepted) on 6/4/24. The following comments represent issues or deficiencies identified by the review team and are intended to provide you with guidance for compliance with city codes, policies, and guidelines.

Significant Zoning Ordinance or Scottsdale Revise Code Issues

The following code and ordinance related issues have been identified and must be addressed with the resubmittal. Addressing these items is critical to determining the application for public hearing and may affect staff's recommendation. Please address the following:

Civil Engineering:

1. SRC 49-94: How is sewer service provided to this development? Update plan with sewer service connection.

there is existing approved sewer plan for this shopping center development. The proposed Whole Foods will utilize the exist sewer connection. - hayes inc.

Significant Policy Issues

The following policy related issues have been identified. Though these issues may not be as critical to determining the application for public hearing, they may affect staff's recommendation and should be addressed with the resubmittal. Please address the following:

Civil Engineering:

2. DSPM 2-1.309: REFUSE
 - a. Current proposal for compactor not approved by Solid Waste Department. Need to revise site plan to address issues with
 - (1) Backing distance too long
 - (2) Multiple obstacles in the drive path need to be relocated
 - (3) Backing path too narrow

Please defer comments to the phase when architects are submitting the construction drawings for plans review for permit. This matter does not relate to the staff administrative design review.

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This matter does not relate to the staff administrative design review.

- b. Submit turning radius for both refuse enclosures
3. DSPM 2-1.310: Update site plan with a 6' width accessible pedestrian route from the main entry of the development to each abutting public street that provides a pedestrian sidewalk. Existing sidewalk along Parkway Ave should not be obstructed, maintain existing width
4. DSPM 3-1.701, I: BENCHMARKS: Please make sure to use the McDOT benchmark system and in accordance with the FEMA Benchmark Maintenance criteria. Please update submittal accordingly.
5. DSPM 5-3.204: Update site plan with CL type city driveway on local streets or CH driveways on collector or arterial streets. Refer to city's standard detail drawings (2200 series) for driveway details.
6. DSPM 7-1.409: Minimum diameters for service lines as follows, applicant to verify and update submittal accordingly:
 - a. Residential: 4-inch
 - b. Multi-family: 6-inch
 - c. Commercial: 6-inch
7. DSPM 6-1.416: Existing water and fire lines not used by a development shall be noted on the plans to be abandoned at the main by the contractor as follows:
 - a. Removal/abandonment of unused fire lines (hydrant or bldg. sprinkler):
 - (1) Removal of line back to and including the tee/saddle/or sleeve and installation of spool piece of pipe. City crews will isolate and reinstate the main.
 - b. Removal/abandonment of unused water service lines
 - (2) Water Resources' crew to full remove the water service back to the main after applicant payment of city water service removal fee. Receipt of payment will be needed to issue associated site/improvement plan permits.

Technical Issues

The following technical corrections have been identified. Though these items may not be critical to scheduling the case for public hearing, they may affect a decision on the construction plan submittal and should be addressed as soon as possible. Please address the following:

Current Planning:

8. The provided site plan does not show the entire project scope. Please revise site plan to show the full scope of the improvements to the exterior of the site. The site plan must capture the apparent parking lot modifications, new shade canopies, hardscape features, etc.
9. The provided site plan indicates: "see floor plans for additional information," or "see civil drawings and utility design drawings," but those referenced plans were provided on the submittal. The submitted plans do not appear to be coordinated closely with the submittal packet.
10. The provided site plan indicates that the existing trees along N. Parkway Avenue are to be removed, however, the landscape plan indicates that the trees will be protected. The submitted plans do not appear to be coordinated closely with the submittal packet. The trees on Parkway Ave. are to remain
11. The proposed groundcover "Coral Fountain" does not appear to be a ADWR approved low-water usage plant. The prior approval (331-SA-2022) proposed Lantanas as groundcover consistent with

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the ADWR list. Please revise consistent with the requirements of Chapter 49 – Article VII Sec. 49-246 and the prior landscaping approval under case #: 331-SA-2022.

12. The canopy lighting fixture specs are missing from the submittal package. Tango 20 Square Pendant Downlights and Sedan 6 Wide Beam Distribution lights were originally approved under case 331-SA-2022. Please provide fixture specifications for proposed lighting under new shade canopies.

hayes inc. will attach approved lights.

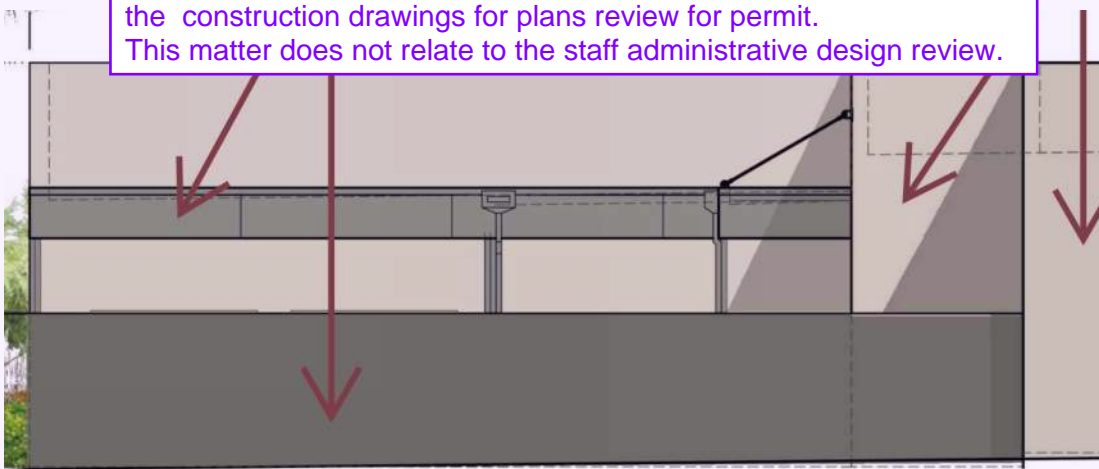
13. All exterior lighting shall have a Kelvin temperature of 3,000 or less. (City of Scottsdale Exterior Lighting Policy). Provided fixture is showing 4,000 K.

hayes inc. will update and send the city

14. Please revise the project plans to provide roof drainage systems that are interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas that are rooftop drainage shall be designed and constructed to minimize erosion or staining of nearby building walls and directs water away from the building foundations. Please refer to Design Standards & Policies Manual, Section 2-1.401.4.



Please defer comments to the phase when architects are submitting the construction drawings for plans review for permit. This matter does not relate to the staff administrative design review.



As of the date of this letter, Green Building staff have not completed their review. Please do not resubmit until all comments have been received and addressed.

Please submit the revised application requirements and supplemental information identified in Attachment A. Once reviewed, staff will determine if the application is ready to be determined for a hearing, or if additional information is needed.

The Zoning Administrator may consider an application withdrawn if a resubmittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance, contact case reviewer identified below.

Regards,



Wayland Barton
Senior Planner

Engineering:

Jack Pence, 480-312-5771, jpence@scottsdaleaz.gov

Green Building:

Anthony Floyd, 480-312-4202, antf@scottsdaleaz.gov

ATTACHMENT A
Resubmittal Checklist

Submit digitally at: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalLogin>

All files shall be uploaded in PDF format. Application forms and other written documents or reports should be formatted to 8.5 x 11, and plans should be formatted to 11 X 17.

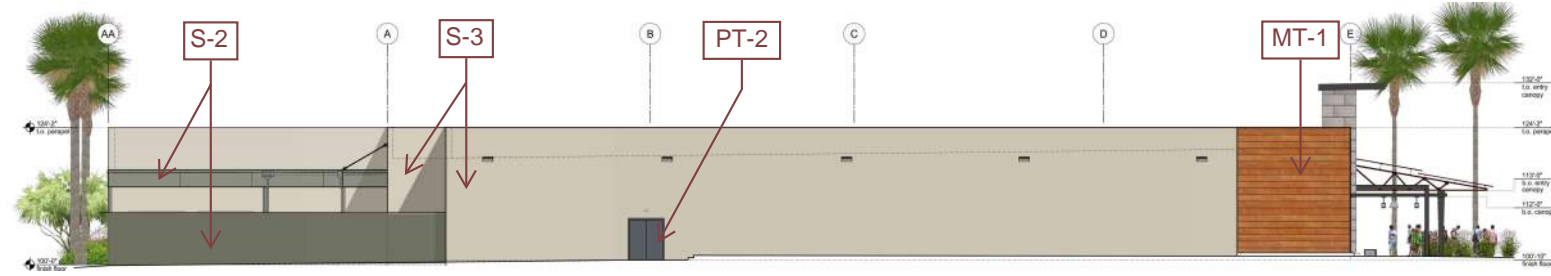
- Comment Response Letter – Provide responses to the issues identified in this letter
- Site Plan
- Refuse Plan
- Utility Plan

DRB NARRATIVE for Miller Plaza May 31, 2024

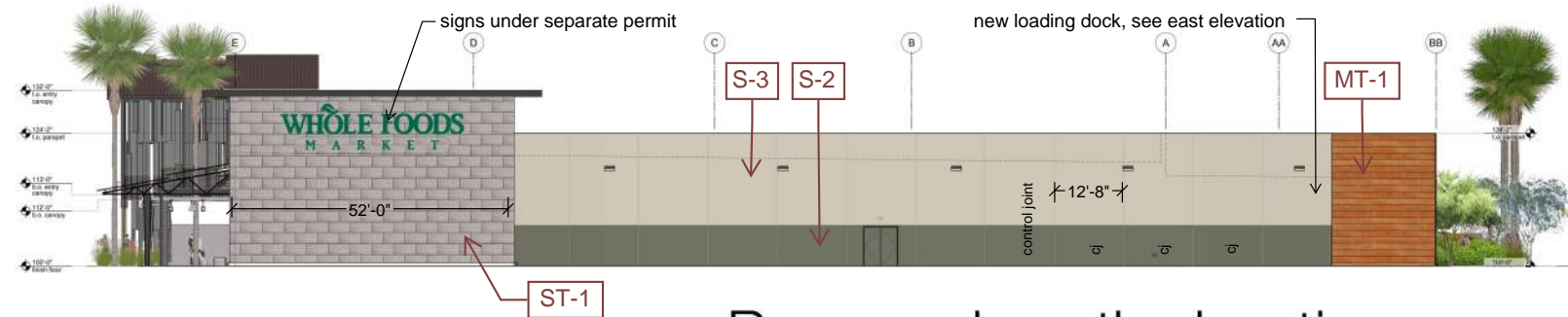
This proposal is to modify the previously approved (331-SA-2022) building elevations and materials depicted in the January 23, 2023 Miller Plaza DRB submittal.

The tenant space Fry's grocery store previously occupied, has been divided wherein 3/4 of the space will be occupied by Whole Foods Market and the remaining 1/4 will have a yet to be determined, tenant.

Whole Foods Market requested their main entrance be located on the SW corner of the existing building. That modification is reflected on the drawings in this submittal. The other modifications shown are the Approved paint colors and materials have shifted to accommodate the corner entrance, shade canopies have been added to the East Elevation over the smaller loading dock, new code-compliant exterior wall lights have been added to the building.



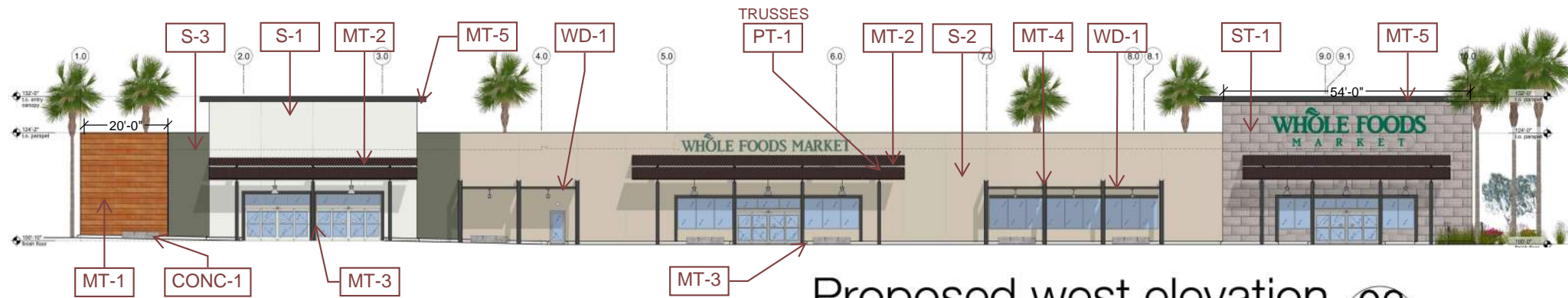
Proposed north elevation 01
1/16" = 1'-0"



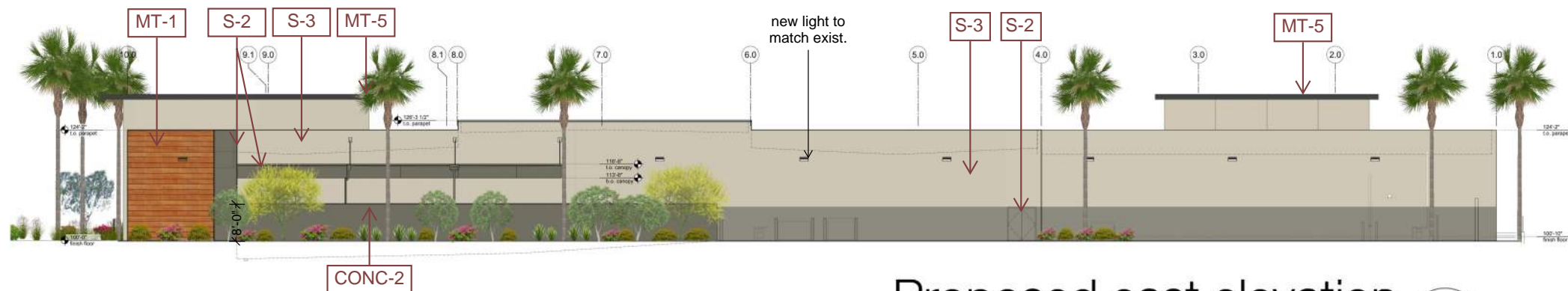
Proposed south elevation 02
1/16" = 1'-0"

**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

07/01/2024
DATE APPROVED BY



Proposed west elevation 03
1/16" = 1'-0"



Proposed east elevation 04
1/16" = 1'-0"

material + color legend

metal	
MT-1	horizontal metal siding: corten finish
MT-2	1 1/4" steel R panel: corten finish
MT-3	aluminum storefront windows and doors: clear anodized finish
MT-4	steel tube columns and I beams painted DE6385 Black Bean, LRV 7
MT-5	composite roofing w/ 8" high break metal fascia painted DE6385 Black Bean
paint on steel	
PT-1	fire retardant painted on trusses in red oxide finish
PT-2	steel doors, painted color: DE6328 Anchor Gray
stone	
ST-1	large format (v.i.f. 12"x36") basalt, chiseled face
stucco with paint color	
S-1	fine sand finish, painted color: DET 649 Carrera
S-2	fine sand finish, painted color: DET 615 Stone Mason
S-3	fine sand finish, painted color: DET 615 Stone Mason at a 75% cut
wood	
WD-1	5/4"x 6" Kayu Golden hardwood siding
concrete	
CONC-1	board-formed concrete bench
CONC-2	stucco over CMU, painted S-2

project description

proposed modifications to previously approved (331-SA-2022) building elevations and materials depicted in the January 23, 2023 Miller Plaza DRB submittal

project summary

property address: 4135 n miller rd
scottsdale, az 85251
apn: 173-53-012D
zoning: C-2
lot size: 344,560 sf

proposed modifications: 05/14/2024
previously approved: 01/23/2023

renovation at miller plaza
4135 N Miller Rd
Scottsdale, AZ 85251

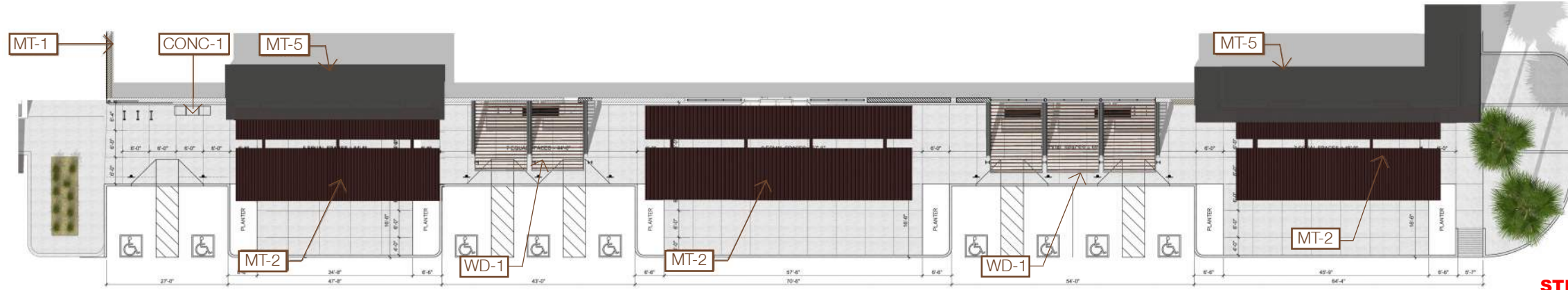


elevations
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Whole Foods renovation within Miller Plaza

material + color legend



**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

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DATE APPROVED BY

metal	
MT-1	horizontal metal siding: corten finish
MT-2	1 1/4" steel R panel: corten finish
MT-3	aluminum storefront windows and doors: clear anodized finish
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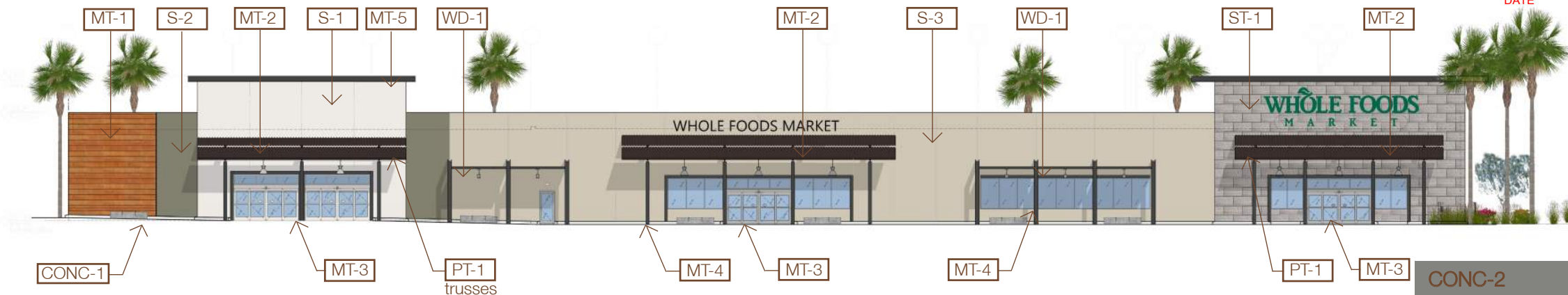
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WD-1	5/4"x 6" Kayu Golden hardwood siding

concrete	
CONC-1	board-formed concrete bench
CONC-2	stucco over CMU, painted S-2

conceptual site plan



conceptual elevation - west

WHOLE FOODS

7628 E. INDIAN SCHOOL ROAD
SCOTTSDALE, ARIZONA 85254

PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ex. Tree / Palm Protect In Place			5
Ex. Saguaro Relocate to new planter	12' Tall 3 Arms		1
Acacia willardiana Palo Blanco	24" Box	*ADWR	3
GROUNDCOVERS			QTY
Russelia equisetiformis Coral Fountain	5 Gallon can full	*ADWR	61
SHRUBS / ACCENTS			QTY
Asclepias subulata Desert Milkweed	5 Gallon can full	*ADWR	10
Bougainvillea gl. v. 'Torch Glow' Torch Glow Bougainvillea	5 Gallon can full	*ADWR	6
Muhlenbergia capillaris Pink Muhly Grass	5 Gallon can full	*ADWR	29

LANDSCAPE MATERIALS			QTY
Decomposed Granite. 3/4" screened, match existing color 2" deep in planting areas per plan.			3,330 s.f.

*ADWR = Arizona Department of Water Resources
Approved Low-Water Use Plant

IRRIGATION LEGEND

SYSTEM DESIGNED USING A RESIDUAL PRESSURE OF 65 PSI

SYMBOL	DESCRIPTION	NOTES
☐	WATER METER	NEW IRRIGATION, METER - REF. CIVIL PLAN LOCATION OUTSIDE LIMITS OF WORK AREA
☐	RPBFA	EX. BACKFLOW PREVENTER ASSEMBLY, LOCATION OUTSIDE LIMITS OF WORK AREA, FIELD VERIFY - PROTECT IN PLACE
△	CONTROLLER	EX. CONTROLLER - LOCATION OUTSIDE LIMITS OF WORK AREA, FIELD VERIFY - PROTECT IN PLACE
⊢	FLUSH CAP	SPEARS FLUSH CAP 1/2" FLUSH VALVE
N/S	EMITTER - SP	BOWSMITH 1.0 GPH (1 PER PLAN)
■	EMITTER - MP	BOWSMITH 1.0 GPH 6 PORT (2 PER TREE)
●	SERVICE POINT	CONNECT TO EXISTING IRRIGATION DRIP SYSTEM

PIPE LEGEND	DESCRIPTION
—	TREE LATERAL PVC SCH. 40 - SIZE PER PLAN
- - - - -	SHRUB LATERAL PVC SCH. 40 - SIZE PER PLAN
	PIPE SLEEVE PVC SCH. 40 - 2 x PIPE SIZE MIN

LANDSCAPE NOTES

- PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
- CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY; REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
- UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
- INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
- QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
- OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
- MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.
- APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
- ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
- ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

IRRIGATION GENERAL NOTES

- IRRIGATION PLAN IS DIAGRAMMATIC. ADJUST LOCATION OF VALVES TO PROVIDE FULL AND ADEQUATE COVERAGE OR ADD EMITTERS AS NECESSARY TO ENSURE 100% COVERAGE OF PLANT MATERIALS. PREVENT OVERSPRAY ON ADJACENT IMPROVEMENTS.
- VERIFY WATER PRESSURE IN FIELD AND NOTIFY OWNER IMMEDIATELY SHOULD A DISCREPANCY EXIST.
- COORDINATE IRRIGATION SLEEVES LOCATION AND SIZE WITH A MINIMUM DIAMETER TWICE THE SIZE OF THE IRRIGATION LINE. EXTEND SLEEVES 12" BEYOND EDGE OF PAVEMENT, WALL, WALKS OR CURB.
- PROGRAM CONTROLLERS TO MAINTAIN SUFFICIENT FLOW RATES THROUGHOUT THE SYSTEM. ADJUST AS REQUIRED FOR SEASON AND PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- LOCATE TAN COLOR (CARSON OR EQUAL) VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, CONTROL WIRE AND OTHERS) IN PLANTER AREAS. DO NOT LOCATE VALVE BOXES IN A LAWN OR HARDSCAPE UNLESS REQUIRED AND APPROVED BY OWNER.
- ALL IRRIGATION EQUIPMENT DESCRIBED IN LEGEND WILL BE ACCEPTED AS APPROVED EQUALS FOR PERFORMANCE. CONTRACTOR MAY SUBMIT FOR REVIEW EQUAL PERFORMANCE EQUIPMENT.
- MAINTAIN OR RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS IMPACTED BY ANY WORK PERFORMED UNDER THIS CONTRACT. RESTORE IRRIGATION TO PROVIDE 100% SERVICE AND COVERAGE.
- CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PIPING NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING, FITTINGS, AND RISERS TO EACH PLANT EMITTER AS SPECIFIED AND AS DETAILED, WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.

CITY OF SCOTTSDALE LANDSCAPE NOTES

- AREAS OF DECOMPOSED GRANITE (IF YOUR IN A ELSO AREA, DELETE THE 'DECOMPOSED GRANITE' AND PUT 'SALVAGED DESERT SURFACE SOIL') WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS:

CITY OF SCOTTSDALE LANDSCAPE PLAN APPROVAL

CASE #:	APPROVED BY:	DATE:

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.

CITY OF SCOTTSDALE SIGNATURE BLOCK

ESTIMATED ANNUAL LANDSCAPE WATER DEMAND	
City Requirements	10.0 ft/ac/year x XX sqft/ac x XX gal/cuft = XX gal/yr max.
Total Landscape Water Usage (within LS Limits)	7,176 gal./year
Water Conservation	XXX gal./year
Total Acre Foot of Water Per Year	0.022 ft/ac/year

SHEET INDEX

SHEET	TITLE
L0.1	LANDSCAPE COVER
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
L4.0	IRRIGATION DETAILS

OWNER CONTACT

MILLER PLAZA LLC
503 22ND STREET, STE 200
NEWPORT BEACH, CA 92663

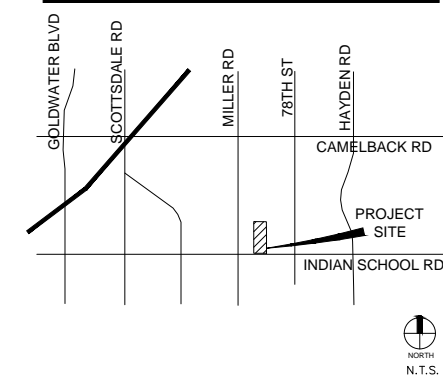
LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
4711 N. FALCON DRIVE, SUITE 222
MESA, ARIZONA 85215
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR, SUITE 101
SCOTTSDALE, AZ 85260
ATTN: ALI FAKIH
PHONE: (480)-588-7226
EMAIL: ALI@SEG.COM

VICINITY MAP



WHOLE FOODS
SITE IMPROVEMENTS

7628 E. Indian School Road
Scottsdale, Arizona 85254



4711 N. Falcon Drive, Suite 222
Mesa, Arizona 85215
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



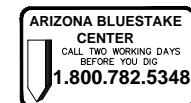
REV.	COMMENT	DATE
Permit Submittal	Revise	05.15.24
Permit Submittal	Revise	02.20.24
Permit Submittal	Revise	12.22.22
Permit Submittal	Issue	11.03.22

LANDSCAPE PACKAGE

May 15, 2024
DRAWN BY: REW
CHECK BY: JEH
PROJ. NO.: 2022-074
CASE NO.: TBD

**STIPULATION SET
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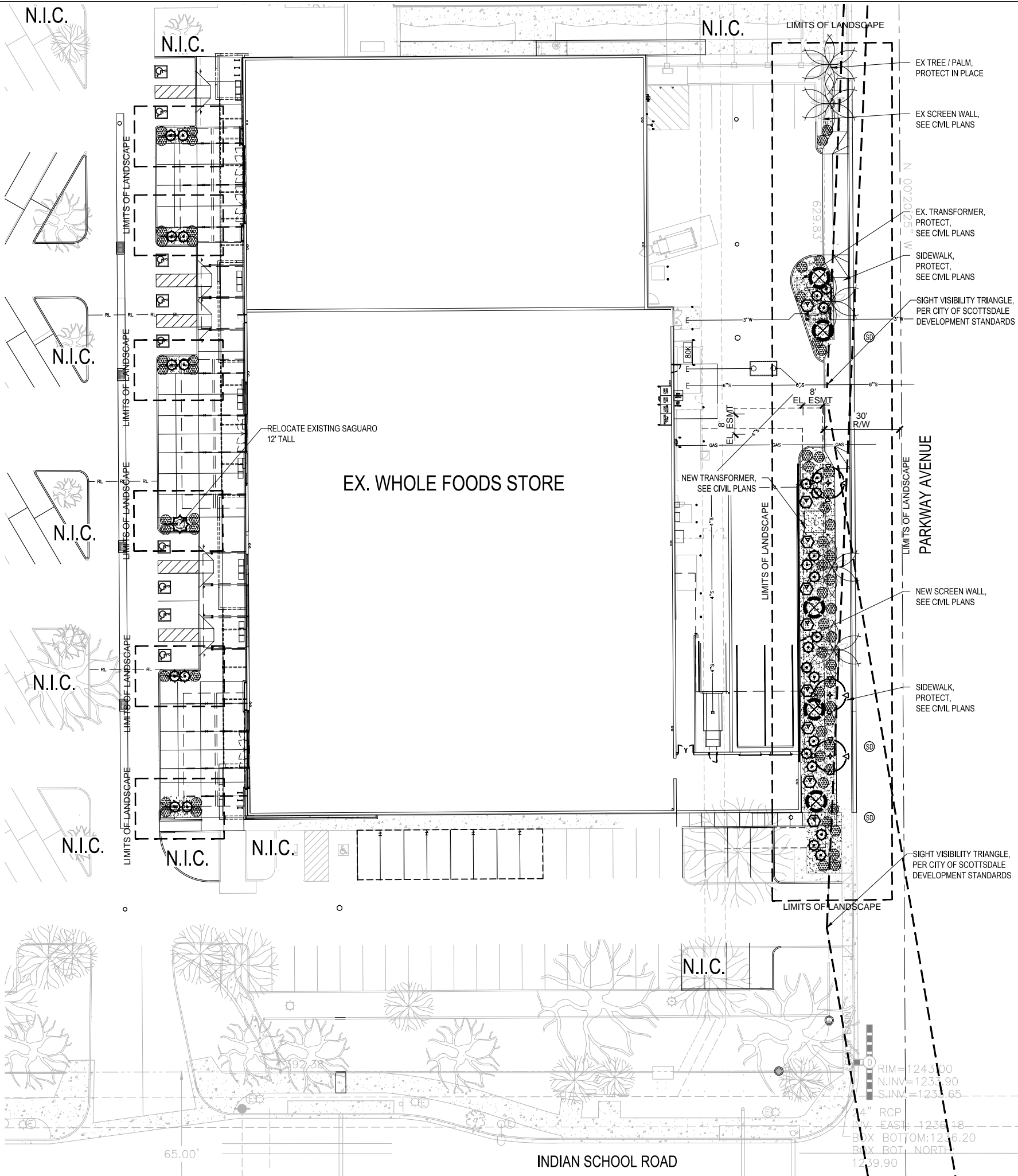
07/01/2024
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LANDSCAPE COVER

L0.1
1 of 5

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PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ex. Tree / Palm Protect In Place			5
Ex. Saguaro Relocate to new planter	12' Tall 3 Arms		1
Acacia willardiana Palo Blanco	24" Box	*ADWR	3
GROUNDCOVERS			QTY
Russelia equisetiformis Coral Fountain	5 Gallon can full	*ADWR	61
SHRUBS / ACCENTS			QTY
Asclepias subulata Desert Milkweed	5 Gallon can full	*ADWR	10
Bougainvillea gl. v. 'Torch Glow' Torch Glow Bougainvillea	5 Gallon can full	*ADWR	6
Muhlenbergia capillaris Pink Muhly Grass	5 Gallon can full	*ADWR	29
LANDSCAPE MATERIALS			QTY
Decomposed Granite. 3/4" screened, match existing color 2" deep in planting areas per plan.			3,330 s.f.

*ADWR = Arizona Department of Water Resources
Approved Low-Water Use Plant

LANDSCAPE SITE NOTES

1. PROTECT ALL EXISTING PLANTS WITHIN LIMITS OF WORK, REPLACE ANY DAMAGED OR DESTROYED MATERIALS IN-KIND.
2. REMOVE AND REPLACE ONSITE DECOMPOSED GRANITE WITHIN LIMITS OF WORK.
3. ENSURE IRRIGATION SYSTEM PROVIDES SERVICE TO EXISTING PLANTS OUTSIDE OF LIMITS OF WORK AREA DURING CONSTRUCTION.



**WHOLE FOODS
SITE IMPROVEMENTS**
7628 E. Indian School Road
Scottsdale, Arizona 85254

REV.	COMMENT	DATE

Permit Submittal	Revise	05.15.24
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Permit Submittal	Revise	12.22.22
Permit Submittal		11.03.22
ISSUE		

LANDSCAPE PACKAGE

May 15, 2024

DRAWN BY:	REW
CHECK BY:	JEH
PROJ. NO.:	2022-074
CASE NO.:	TBD

**STIPULATION SET
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07/01/2024
DATE

[Signature]
APPROVED BY



NORTH

0 10 20 40

LANDSCAPE PLAN

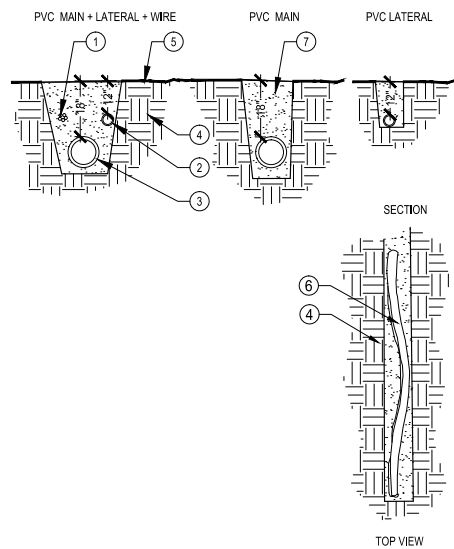
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2 of 5

CASE NO.: TBD

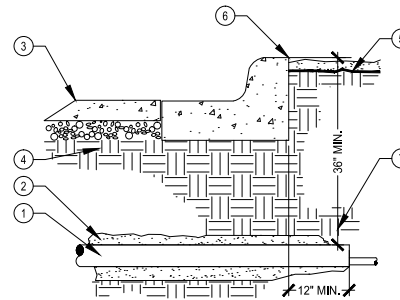
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N.INV=1239.90
S.INV=1239.65
RCP
INV. EAST=1236.18
BOX BOTTOM:1236.20
BOX BOT. NORTH
1239.90

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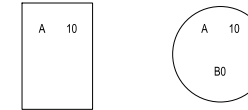
- 1 CONTROL WIRE BUNDLE, TAPE AT 10' INTERVALS.
- 2 PVC LATERAL LINE.
- 3 PVC SCH 40 MAINLINE.
- 4 COMPACT SOIL AROUND CONTROL VALVE PIT ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 SNAKE PVC PIPE IN TRENCHES.
- 7 COMPACT TRENCH BACKFILL IN 6" LIFTS, DENSITY TO MATCH ADJACENT SOIL CONDITIONS.

- NOTES:
1. INSTALL 120 VOLT WIRING IN CONDUIT, PER LOCAL CODES.
 2. SLEEVE LINES UNDER PAVING.
 3. LOOP WIRE BUNDLES (20' MIN.) AT CHANGES IN TRENCH DIRECTION.
 4. PROVIDE PIPE DETECTION TAPE FOR MAINLINE TRENCHES.
 5. MAKE WIRE CONNECTION AND SPLICES WITH WATER PROOF CONNECTORS PER MFG. RECOMMENDATIONS.
 6. BACKFILL OF PIPE TRENCHES SHALL HAVE NO ROCK 1" IN SIZE OR LARGER.
 7. PROVIDE 2" SAND BEDDING ALL AROUND PIPE IF ROCKY SOILS PRESENT.



- 1 SCH. 40 PVC SLEEVE, TWICE DIAMETER OF SERVICE PIPE. SEE SLEEVE/PIPE SCHEDULE.
- 2 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 3 PAVING.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 DISCRETELY PAINT OR MARK EDGE OF PAVING, CURB, OR WALK AT SLEEVE LOCATIONS.
- 7 36" MIN. DEPTH OR PER LOCAL CODE, EXTEND SLEEVES 12" BEYOND EDGES.

- NOTES:
1. CAP SLEEVES UNTIL USE.
 2. MULTIPLE SLEEVES REQUIRE 6" SEPARATION WITHIN SAME SLEEVE TRENCH.
 3. PROVIDE SEPARATE WATER LINE AND WIRE SLEEVES AS REQUIRED. NO WIRES IN WATER SLEEVES.

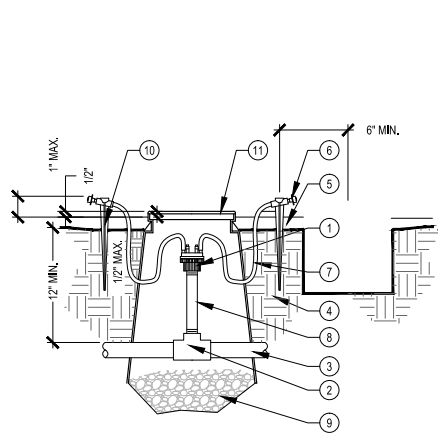


NOTES:

1. DRIP VALVE ASSEMBLY – DV - VALVE # ON LID & INSIDE BOX
2. CONTROL VALVE – CV - VALVE # ON LID & INSIDE BOX
3. MASTER VALVE – MV CENTER ON LID
4. QUICK COUPLER – QC CENTER ON LID
5. WIRE SPLICE – WS CENTER ON LID
6. GATE VALVE – GV CENTER ON LID
7. FLOW SENSOR – FS CENTER ON LID
8. LETTERS MUST BE STRAIGHT AND LEGIBLE. LIDS WITH INCORRECT SPELLING OR INCORRECT PRODUCT LABEL SHALL BE REPLACED AT NO CHARGE BY CONTRACTOR.

1 IRRIGATION TRENCH

SCALE: N.T.S.

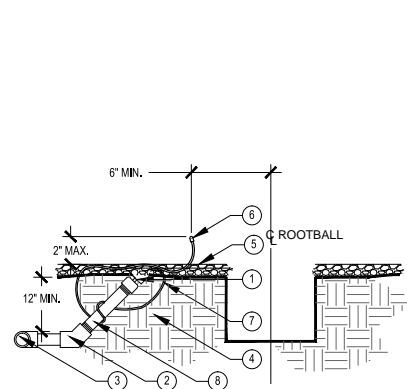


- 1 THREADED PRESSURE COMPENSATING EMITTER, SEE LEGEND FOR SIZE.
- 2 PVC SCH 80 FITTING, ELL OR TEE.
- 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND.
- 4 COMPACT SOIL AROUND EMITTER TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 BUG CAP.
- 7 1/4" DISTRIBUTION TUBING, LOOP FOR A 5 FT, MAXIMUM LENGTH, NO KINKS IN TUBING.
- 8 PVC SCH 80 1/2" NIPPLE RISER, THREADED (LENGTH AS REQUIRED).
- 9 3/8" WASHED PEA GRAVEL SUMP, 1/2 CU. FT MIN.
- 10 1/4" DISTRIBUTION TUBE EMITTER STAKE.
- 11 6" VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL, COLOR TO BE TAN IN DG, GREEN IN TURF.

- NOTES:
1. MULTI PORT EMITTER FOR TREES AND MASSES PLANTS ONLY.
 2. TEFLON SEAL ALL THREAD JOINTS.
 3. ON SLOPE CONDITIONS, PLACE EMITTER ON UPHILL SIDE OF PLANT.
 4. DO NOT DISTURB ROOTBALL WITH PVC PIPE.
 5. SPACE EMITTER TUBING EQUALLY AROUND DRIP LINE OF TREE.
 6. INSTALL EMITTERS ONLY AFTER SYSTEM FLUSH OF
 7. LATERALS.
 8. PROVIDE SUPPORT BRICKS TO VALVE BOX AS NECESSARY.
 9. PROVIDE STAINLESS STEEL FASTENERS FOR LOCKING COVER.

4 MULTI-PORT EMITTER WITH DISTRIBUTION TUBING

SCALE: N.T.S.

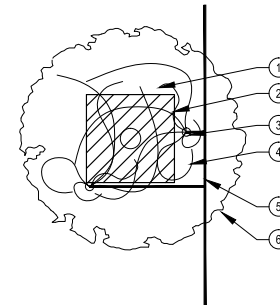


- 1 PRESSURE COMPENSATING EMITTER, THREADED, SEE LEGEND FOR SIZE
- 2 PVC SCH 80 FITTING, ELL OR TEE
- 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND
- 4 COMPACT SOIL AROUND EMITTER TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL
- 5 FINISH GRADE / TOP OF DG
- 6 BUG CAP
- 7 DISTRIBUTION TUBING, LOOP AROUND PVC FOR A 5 FT MAXIMUM LENGTH, DO NOT KINK TUBING
- 8 PVC SCH 80 1/2" NIPPLE RISER, THREADED (LENGTH AS REQUIRED)

- NOTES:
1. SINGLE PORT EMITTER FOR SHRUBS, ACCENTS, AND GROUND COVERS ONLY.
 2. SEAL THREAD JOINTS WITH TEFLON.
 3. SLOPE CONDITIONS: PLACE EMITTER ON UPHILL SIDE OF PLANT.
 4. DO NOT DISTURB ROOTBALL WITH PVC PIPE.
 5. INSTALL EMITTERS ONLY AFTER SYSTEM FLUSH OF
 6. LATERALS.

2 IRRIGATION SLEEVE

SCALE: N.T.S.

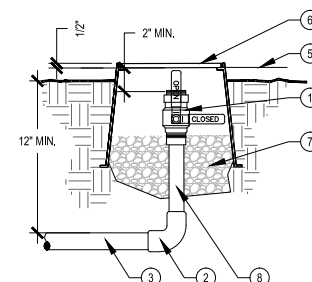


- 1 EMISSION POINT (TYP.)
- 2 PLANT ROOTBALL (TYP.)
- 3 MULTI-PORT EMITTER, SEE EMITTER DETAIL.
- 4 DISTRIBUTION TUBE, MAXIMUM LENGTH 5 FT. (TYP.) DO NOT KINK TUBING
- 5 LATERAL PIPE, SCH 40 PVC OR PER IRRIGATION LEGEND
- 6 TREE CANOPY

- NOTES:
1. MAXIMUM LENGTH OF DISTRIBUTION TUBING SHALL BE 5 FEET.
 2. PLACE EMISSION POINT AT EDGE OF ROOTBALL ON UPHILL SIDE OF PLANT.
 3. ADJUST EMITTER LOCATIONS AS DRIPLINE OF TREE INCREASES WITH GROWTH.
 4. PLACE 50% OF DISTRIBUTION TUBES OUTSIDE OF TREE ROOTBALL DURING INSTALL FOR FUTURE GROWTH.

5 EMITTER LOCATIONS - TREES

SCALE: N.T.S.

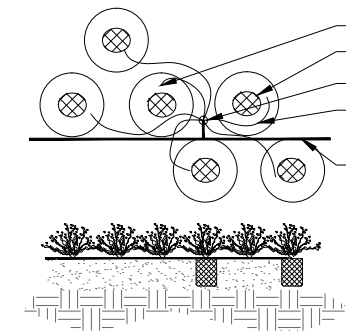


- 1 BRONZE 3/8" THREADED FULL-PORT BALL VALVE
- 2 PVC SCH 80 FITTINGS
- 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND
- 4 COMPACT SOIL AROUND FLUSH CAP ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL
- 5 FINISH GRADE / TOP OF DG.
- 6 VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL, 10" MIN. SIZE, COLOR TO BE TAN IN DG, GREEN IN TURF
- 7 3/8" WASHED PEA GRAVEL SUMP, 1 CU. FT MIN.
- 8 PVC SCH 80 1/2" NIPPLE RISER (LENGTH AS REQUIRED)

- NOTES:
1. SET VALVE BOX PARALLEL W/ GRADE.
 2. SEAL THREADED JOINTS WITH TEFLON.
 3. DO NOT REST VALVE BOX ON MAIN LINE.
 4. LOCATE ONLY ONE FLUSH CAP PER VALVE BOX.
 5. PROVIDE SUPPORT BRICKS TO VALVE BOX AS NECESSARY.
 6. PROVIDE STAINLESS STEEL FASTENERS FOR LOCKING COVER.

3 VALVE BOX BRANDING

SCALE: N.T.S.



- 1 EMISSION POINT (TYP.)
- 2 PLANT ROOTBALL (TYP.)
- 3 MULTI-PORT EMITTER, SEE EMITTER DETAIL.
- 4 DISTRIBUTION TUBE, MAXIMUM LENGTH 5 FT. (TYP.) DO NOT KINK TUBING.
- 5 LATERAL PIPE, SCH 40 PVC OR PER IRRIGATION LEGEND.

- NOTES:
1. MORE THAN ONE SHRUB MAY BE WATERED FROM A SINGLE MULTI-PORT EMITTER.
 2. MAXIMUM LENGTH OF DISTRIBUTION TUBING SHALL BE 5 FEET.
 3. IF MORE THAN ONE DISTRIBUTION TUBE USED PER SHRUB, EQUALLY SPACE AROUND PLANT ROOTBALL.
 4. PLACE EMISSION POINT AT EDGE OF ROOTBALL ON UPHILL SIDE OF PLANT.

6 EMITTER LOCATIONS - SHRUBS

SCALE: N.T.S.

7 SINGLE PORT EMITTER W/ DISTRIBUTION TUBING

SCALE: N.T.S.

8 DRIP BALL VALVE FLUSH CAP

SCALE: N.T.S.

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SITE IMPROVEMENTS**

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Scottsdale, Arizona 85254



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Mesa, Arizona 85215
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



REV.	COMMENT	DATE

Permit Submittal Revise	05.15.24
Permit Submittal Revise	02.20.24
Permit Submittal Revise	12.22.22
Permit Submittal	11.03.22
ISSUE	DATE

LANDSCAPE PACKAGE

May 15, 2024
DRAWN BY: REW
CHECK BY: JEH
PROJ. NO.: 2022-074
CASE NO.: TBD

**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

07/01/2024 DATE APPROVED BY *[Signature]*



**IRRIGATION
DETAILS**

L4.0
5 of 5

CASE NO.: TBD



D-Series Size 2 LED Wall Luminaire



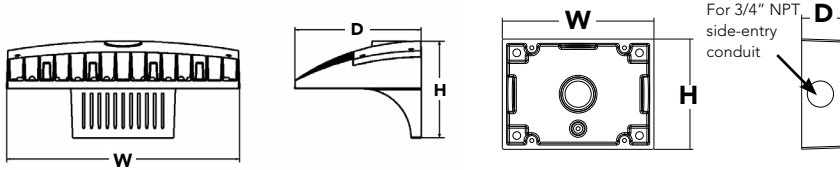
d⁺series

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)
Depth: 10" (25.4 cm)
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)
Depth: 1-1/2" (3.8 cm)
Height: 4" (10.2 cm)



**STIPULATION SET
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07/01/2024 DATE APPROVED BY

A+ Capable options indicated by this color background.

Catalog Number

Notes

Type 'SA'

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DBBTD

DSXW2 LED										
Series	LEDs	Drive Current		Color temperature		Distribution	Voltage	Mounting	Control Options	
DSXW2 LED	20C 20 LEDs (two engines)	350	350 mA	30K	3000 K	T2S	Type II Short	MVOLT ³	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁷
		530	530 mA	40K	4000 K	T2M	Type II Medium			
	30C 30 LEDs (three engines)	700	700 mA	50K	5000 K	T3S	Type III Short			
	1000	1000 mA ¹ (1 A)	AMBPC	Amber phosphor converted ²	T3M	Type III Medium				
						T4M	Type IV Medium		Shipped separately ⁶	PER ⁸ NEMA twist-lock receptacle only (control ordered separately) ⁸
						TFTM	Forward Throw Medium		BBW Surface-mounted back box (for conduit entry)	PER5 Five-wire receptacle only (control ordered separately) ^{8,9}
										PER7 Seven-wire receptacle only (control ordered separately) ^{8,9}
										DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)
										PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11}
										PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11}
										PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12}
										PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}

Other Options

Finish (required)

Shipped installed

SF Single fuse (120, 277, 347V)³
 DF Double fuse (208, 240, 480V)³
 HS House-side shield⁴
 SPD Separate surge protection¹³

Shipped separately¹³

BSW Bird-deterrent spikes
 VG Vandal guard

DDBXD Dark bronze
 DBLXD Black
 DNAXD Natural aluminum
 DWHXD White
 DSSXD Sandstone
 DDBTXD Textured dark bronze
 DBLBXD Textured black
 DNATXD Textured natural aluminum

DWHGXD Textured white
 DSSTXD Textured sandstone



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW	Back box accessory
DBXD U	(specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data


Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119
	530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
			T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
			T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
			T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
			T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117
	1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105	7,723	1	0	1	104
			T2M	6,954	2	0	2	95	7,467	2	0	2	102	7,514	2	0	2	103
			T3S	7,057	1	0	2	97	7,579	1	0	2	104	7,627	1	0	2	104
			T3M	7,172	2	0	3	98	7,702	2	0	3	106	7,751	2	0	3	106
			T4M	7,076	1	0	2	97	7,599	1	0	2	104	7,646	1	0	2	105
			TFTM	7,071	1	0	2	97	7,594	1	0	2	104	7,641	1	0	2	105
(30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
	530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115
	1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103	11,311	2	0	2	104
			T2M	10,184	2	0	3	93	10,936	2	0	3	100	11,005	2	0	3	101
			T3S	10,335	2	0	2	95	11,099	2	0	2	102	11,169	2	0	2	102
			T3M	10,505	2	0	3	96	11,280	2	0	3	103	11,351	2	0	3	104
			T4M	10,365	2	0	2	95	11,129	2	0	2	102	11,198	2	0	2	103
			TFTM	10,356	2	0	2	95	11,121	2	0	3	102	11,190	2	0	3	103

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control


PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

- ✓ Recommended
- ⊘ Will not work
- ⚠ Alternate

*Futureproof means: Ability to change controls in the future.

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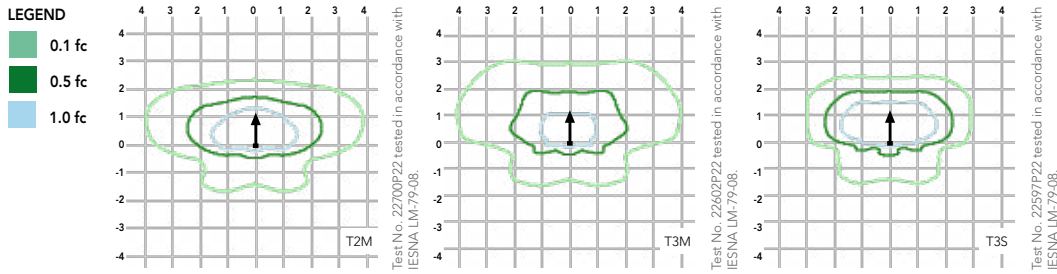


COMMERCIAL OUTDOOR

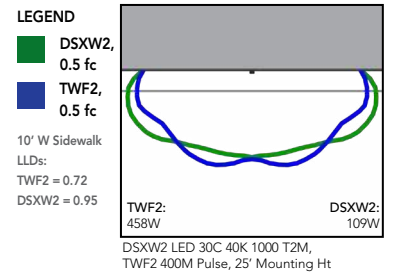
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSXW2-LED
Rev. 03/26/24
Page 3 of 4

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



Distribution overlay comparison to 400W metal halide.



DSXW2 LED 30C 40K 1000 T2M, TWF2 400M Pulse, 25' Mounting Ht

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FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



IP65 : Suitable for Wet Locations
IK10 : Impact Resistant (Vandal Resistant)



LUMINAIRE SPECIFICATION UTA-95191

Tango 20 square pendant downlight

A range of square pendant mounted exterior down-light luminaires. Developed for all areas of interior and exterior lighting using a variety of different lamp options. These include energy saving compact fluorescent and metal halide lamps with electronic ballasts. Low copper content die-cast aluminum housing and aluminum bottom frame with integral anti-glare baffles. Stainless steel screws and suspension kit. Durable silicone rubber gasket and clear toughened glass. Single cable entry. Housing is treated with a chemical chromated protection before powder coating, ensuring high corrosion resistance. Integral control gear. Anodized high purity aluminum reflector.

Physical Data

Length: 7.32"
Height: 9.56"
Weight: 8.1 lbs

Lamp

CFQ 26w/CFTR 32/42w

(For More Lamp options including LED, please Consult the Catalogue, Website or Contact The Ligman Lighting Factory)

Voltage (Please Specify)

120V
 277V
 Other _____

Options (Please Specify)

Color (Please Specify)

01-Black - RAL 9011 02- Dark Grey - RAL 7043
 03-White - RAL 9003 04 - Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006 07- Custom - RAL _____
 06-Bronze - RAL 6014

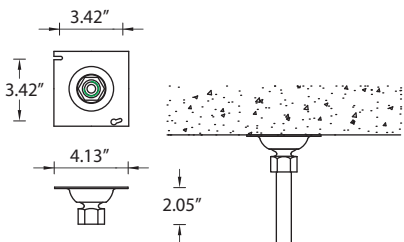
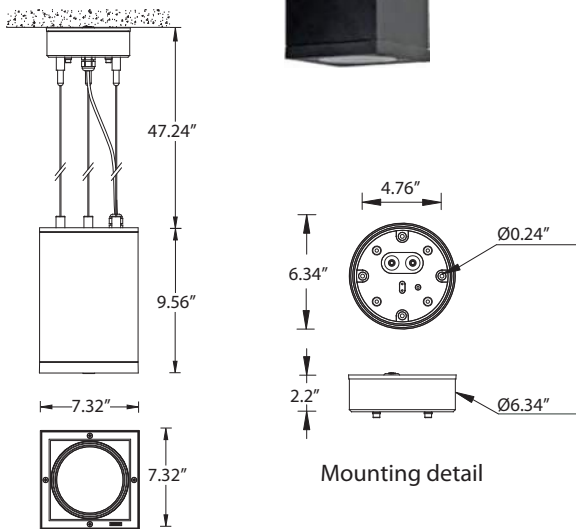
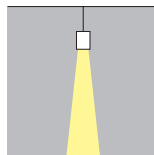


F - Frosted Lens C - Clear Lens

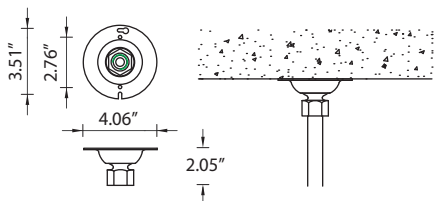
AC- Custom aircraft cable length _____ ft

RPS- Rigid stem pendant with swivel mount for 4" square junction box mounting. Specify stem length _____ ft

RPR- Rigid stem pendant with swivel mount for 4" round junction box mounting. Specify stem length _____ ft



Swivel Canopy Pendant Square- A90321



Swivel Canopy Pendant Round - A90421

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Ordering Example : UTA - 95191 - CFQ- 26w - 120v - Options

PROJECT: MILLER PLAZA SHOPS DATE: _____

TYPE: B QUANTITY: _____ NOTE: _____

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



Rev: 11/13





IP65 : Suitable for Wet Locations

IK10 : Impact Resistant (Vandal Resistant)



LUMINAIRE SPECIFICATION UTA-95191-120V-020C

Tango 20 square pendant downlight

A range of square pendant mounted exterior down-light luminaires. Developed for all areas of interior and exterior lighting using a variety of different lamp options. These include energy saving compact fluorescent and metal halide lamps with electronic ballasts. Low copper content die-cast aluminum housing and aluminum bottom frame with integral anti-glare baffles. Stainless steel screws and suspension kit. Durable silicone rubber gasket and clear toughened glass. Single cable entry. Housing is treated with a chemical chromated protection before powder coating, ensuring high corrosion resistance. Integral control gear. Anodized high purity aluminum reflector.

Physical Data

Length: 7.32"

Height: 9.56"

Weight: 8.1 lbs

Lamp

CFQ 26w/CFTR 32/42w

(For More Lamp options including LED, please Consult the Catalogue, Website or Contact The Ligman Lighting Factory)

Voltage (Please Specify)

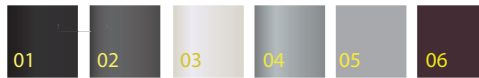
- 120V
- 277V
- Other _____

Options (Please Specify)

Color (Please Specify)

EMG = Emergence W/18" H housing

- 01-Black - RAL 9011
- 02- **Dark Grey - RAL 7043**
- 03-White - RAL 9003
- 04 - Metallic Silver - RAL 9006
- 05-Matt Silver - RAL 9006
- 06-Bronze - RAL 6014
- 07- Custom - RAL _____

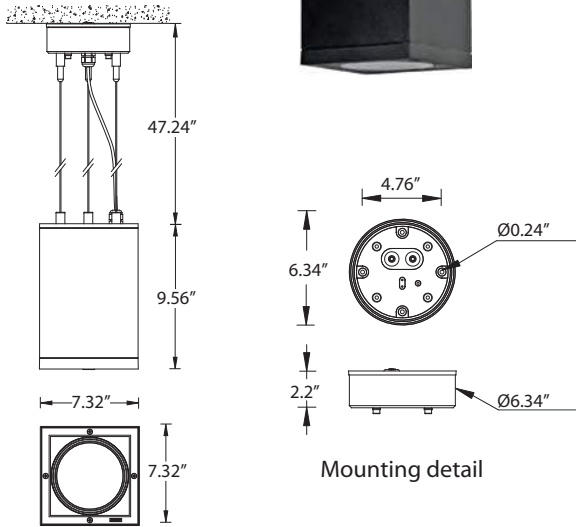
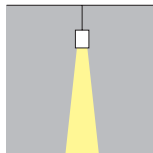


F - Frosted Lens **C - Clear Lens**

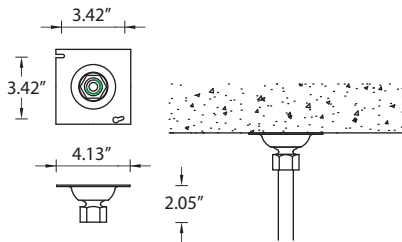
AC- Custom aircraft cable length _____ ft

RPS- Rigid stem pendant with swivel mount for 4" square junction box mounting. Specify stem length _____ ft

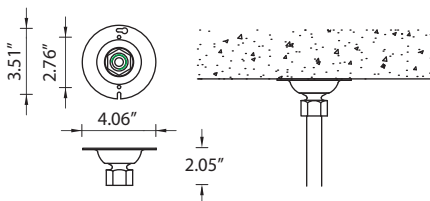
RPR- Rigid stem pendant with swivel mount for 4" round junction box mounting. Specify stem length _____ ft



Mounting detail



Swivel Canopy Pendant Square- A90321



Swivel Canopy Pendant Round - A90421

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Ordering Example : UTA - 95191 - CFQ - 26w - 120v - Options

PROJECT: MILLER PLAZA SHOPS DATE: _____

TYPE: B QUANTITY: _____ NOTE: _____

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



Rev: 11/13





IP65 : Suitable for Wet Locations

LUMINAIRE SPECIFICATION FS-U98062-CFL

Sedan 6 wide beam distribution

Product Type

Sedan 4, 5 and 6 outdoor high-bay luminaire produces symmetrical narrow and wide beam distributions for metal halide and high pressure sodium lamps. This product offers high performance and easy installation features, with choice of anodized precision spun aluminum narrow and wide beam reflectors and hinged front glass lens. Its design simplifies installation and reduces cost of ownership including maintenance costs. One-man installation and maintenance, body housing hinges down from a suspension hook. Designed for stores, supermarkets, manufacturing, refrigeration and storage facilities.

Low copper content die-cast aluminum body with high corrosion resistance. Power is provided through two PG13 watertight cable glands for through wiring. Mounting hardware consists of stainless steel screws. Durable silicone rubber gasket and clear toughened glass. Housing is treated with a chemical chromated protection before powder coating, ensuring high corrosion resistance. Anodized high purity spun aluminum reflector. Front cover protection grills are optional and must be ordered separately.

Physical Data

Height: 1'-8.3"
Diameter: 1'-7.2"
Weight: 26.4 lbs

Lamp

CFQ 26w/CFTR 32/42w

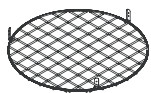
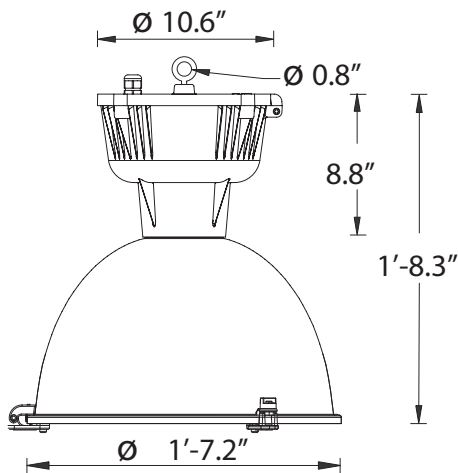
(For More Lamp options please Consult the Catalogue, Website or Contact The Ligman Lighting Factory)

Voltage (Please Specify)

120V
 277V
 Other _____

Color (Please Specify)


01-Black - RAL 9011 02- Dark Grey - RAL 7043
 03-White - RAL 9003 04 - Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006 07- Custom - RAL _____
 06-Bronze -RAL 6014



Protection grill
A90221



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Head Office:
3302 NW 21 1th Terrace
Hillsboro,
Oregon
97125
USA

Tel: 503-645-0500
Fax: 503-645-8100
Email: info@ligmanlightinusa.com
Website: www.ligmanlightingusa.com



light fixture BE: under existing wood plank shade structure

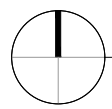


light fixture E: under existing steel ribbed shed roof- being placed at Fry's entrances



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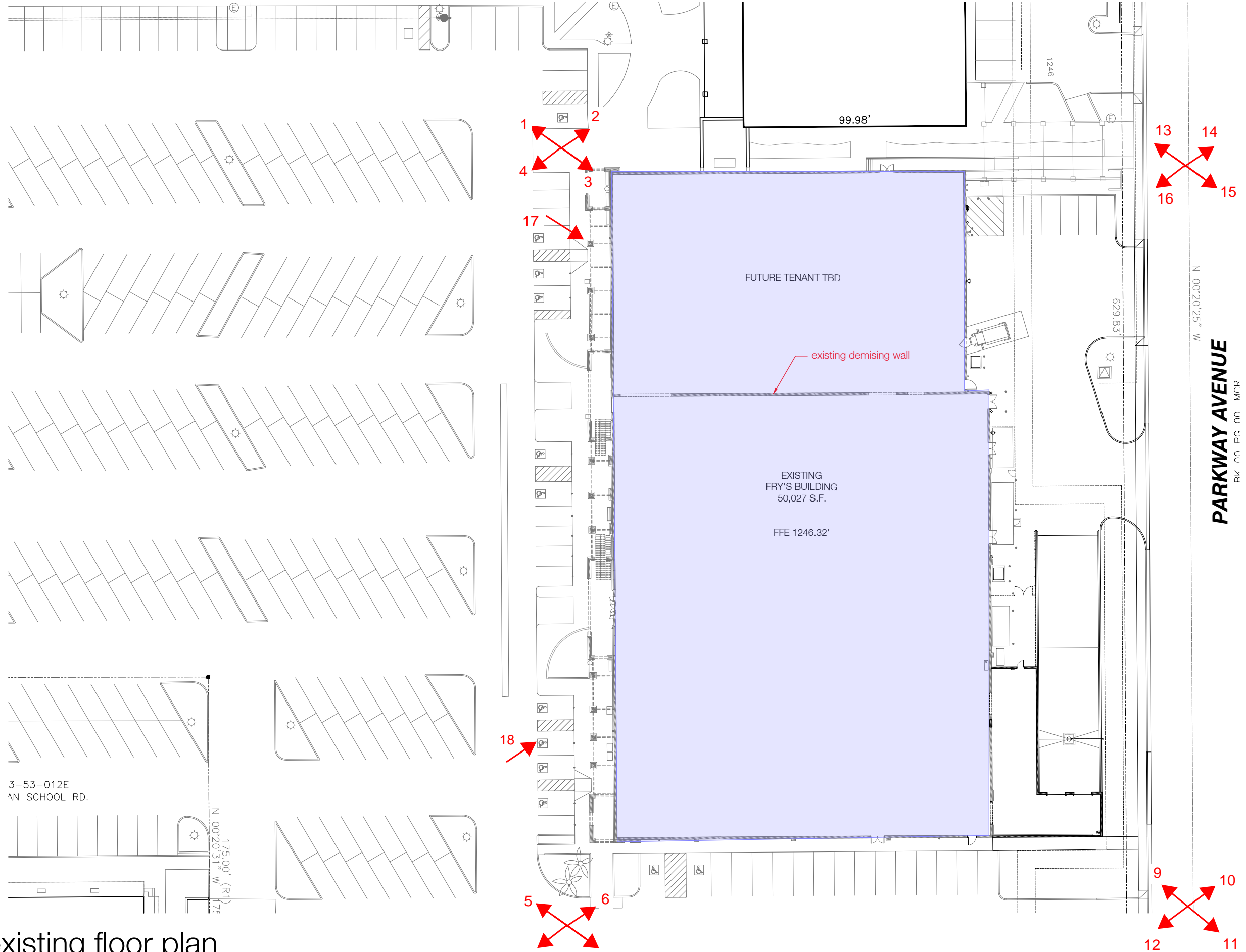
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existing floor plan

5/31/24

1" = 20'-0"



renovation at miller plaza

4135 N Miller Rd
Scottsdale, AZ 85251



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EXISTING SHADE STRUCTURES AT MILLER PLAZA TO BE BUILT ON FRY'S WEST ELEVATION



Development Review Minor (SA)

Administrative Staff Approval

Development Application Checklist



City Staff Contact: Wayland Barton
Phone: 480-312-2817

Staff Signature: _____
Email: wbarton@scottsdaleaz.gov

<input checked="" type="checkbox"/> Completed Application (this form) and Application Fee – \$ <u>115.00</u> (fee subject to change every July)	<input checked="" type="checkbox"/> Landscape Plan (___ copy(ies) – indicate location of existing and new plants, location and dimension of paving, a plant palette with names, symbols, sizes, spacing & quantities, and open space/landscaping calculations.
<input checked="" type="checkbox"/> Affidavit of Authority to Act for Property Owner, letter of authorization, or signature below	
<input type="checkbox"/> Request to Submit Concurrent Development Applications	<input type="checkbox"/> Cross Sections – for all cuts and fills applications
<input checked="" type="checkbox"/> Signed Owner Certification Acknowledging Receipt of Notice of Right to Appeal Exactions and Dedications	<input type="checkbox"/> Conceptual Grading & Drainage Plan – show existing, proposed drainage flows, channels, retention, etc.
<input checked="" type="checkbox"/> Request for Site Visits and/or Inspections form	<input type="checkbox"/> Copy of Liquor License Application (for all bars or restaurants patio applications)
<input checked="" type="checkbox"/> Narrative – describing nature of request	
<input type="checkbox"/> Homeowners or Property Owners Association Approval	<input type="checkbox"/> Airport Vicinity Development Checklist
<input checked="" type="checkbox"/> Color photographs of site – include area of request	
<input checked="" type="checkbox"/> Site plan (___ copy(ies) indicate the extent and location of additions, buildings and other structures, dimensions of existing and proposed structures, sidewalks, and/or driveways as well as any required setbacks.	<input checked="" type="checkbox"/> Floor Plan(s) – show additions, alterations, or new structures. The floor plan shall be dimensioned and clearly delineate existing and proposed construction.
<input checked="" type="checkbox"/> Material Samples – color chips, awning fabric, glazing, etc.	<input checked="" type="checkbox"/> Exterior Lighting – provide cut sheets, details and photometrics for any proposed lighting.
<input checked="" type="checkbox"/> Elevation Drawings or Color Photo simulations (___ copy(ies) – of additions, buildings, or other changes with materials and colors noted and keyed	<input checked="" type="checkbox"/> Other: <u>Refuse Plan & Details, Site Details</u>

USE THE FOLLOWING PROJECT NUMBER AND KEYCODE TO DIGITALLY SUBMIT USING THE LINK BELOW
Please submit materials requested below. **All digital files must be uploaded in PDF format.**
Project No.: 455 -PA- 2024 Key Code: 8B215
TO SUBMIT, PLEASE GO HERE: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalMenu>

Project Name: Whole Foods Market @ Miller Plaza	
Property's Address: 7628 E. Indian School Rd., Scottsdale, AZ 85251	A.P.N.: 173-53-012D
Property's Zoning District Designation: C-2	
Application Request: DRB Formal Application Review	
Owner: Jack Jakosky	Applicant: Catherine Hyaes
Company: Miller Plaza LLC	Company: hayes architecture/ interiors inc.
Address: 3101 W. Coast Hwy., ste 100 Newport B	Address: 3824 E. Campbell Ave. Phoenix, AZ 85018
Phone: (602) 840-2553 Fax:	Phone: (602) 840-2553 Fax:
E-mail:	E-mail: carly@hayesstudio.com

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2):

Enhanced Application Review: I hereby authorize the city of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

Standard Application Review: I hereby authorize the city of Scottsdale to review this application utilizing the Standard Application Review methodology.

_____ OWNER'S SIGNATURE	 _____ APPLICANT'S SIGNATURE
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Development Application



Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Land Divisions
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Subdivision (PP)
<input type="checkbox"/> In-fill Incentive (II)	<input checked="" type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Subdivision (Minor) (MD)
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Wash Modification (WM)	<input type="checkbox"/> Land Assemblage
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Historic Property (HP)	Other
<input type="checkbox"/> Development Agreement (DA)	Wireless Communication Facilities	<input type="checkbox"/> Annexation/De-annexation (AN)
Exceptions to the Zoning Ordinance	<input type="checkbox"/> Small Wireless Facilities (SW)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Minor Amendment (MN)	<input type="checkbox"/> Type 2 WCF DR Review Minor (SA)	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Hardship Exemption (HE)	Signs	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance/Accommodation/Appeal (BA)	<input type="checkbox"/> Master Sign Program (MS)	Other Application Type Not Listed
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Community Sign District (MS)	<input type="checkbox"/> Other:

Project Name: Whole Foods Market @ Miller Plaza

Project Address: 7628 E. Indian School Rd., Scottsdale, AZ 85251

Property's Current Zoning District Designation: C-2

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the city regarding this Development Application. The agent/applicant shall be responsible for communicating all city information to the owner and the owner application team.

Owner: Jack Jakosky		Agent/Applicant: Catherine Hyaes	
Company: Miller Plaza LLC		Company: hayes architecture/ interiors inc.	
Address: 3101 W. Coast Hwy., ste 100 Newport Beach, CA 92660		Address: 3824 E. Campbell Ave. Phoenix, AZ 85018	
Phone: (602) 840-2553	Fax:	Phone: (602) 840-2553	Fax:
E-mail:		E-mail: carly@hayesstudio.com	
Designer:		Engineer:	
Company:		Company:	
Address:		Address:	
Phone:	Fax:	Phone:	Fax:
E-mail:		E-mail:	

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications¹ will be reviewed in a format similar to the Enhanced Application Review methodology.*

Enhanced Application Review: I hereby authorize the city of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

Standard Application Review: I hereby authorize the city of Scottsdale to review this application utilizing the Standard Application Review methodology.

OWNER'S SIGNATURE

APPLICANT'S SIGNATURE

Cathy Hayes

Official Use Only: Submittal Date: _____

Development Application No.: _____

Planning and Development Services

7447 E. Indian School Road, Suite #105, Scottsdale, AZ 85251 • www.ScottsdaleAZ.gov

Affidavit of Authorization to Act for Property Owner



1. This affidavit concerns the following parcel of land:

a. Street Address: 7628 E. Indian School Rd., Scottsdale, AZ 85251

b. County Tax Assessor's Parcel Number: 173-53-012D

c. General Location: Miller Rd. & Indian School

d. Parcel Size: 344,560 sqft

e. Legal Description: _____

(If the land is a platted lot, then write the lot number, subdivision name, and the plat's recording number and date. Otherwise, write "see attached legal description" and attach a legal description.)

2. I am the owner of the land or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this affidavit on the owner's behalf. If the land has more than one owner, then I am the agent for all of the owners, and the word "owner" in this affidavit refers to all of them.
3. I have authority from the owner to act for the owner before the City of Scottsdale with regard to any and all reviews, zoning map amendments, general plan amendments, development variances, abandonments, plats, lot splits, lot ties, use permits, building permits and other land use regulatory or related matters of every description involving the land, or involving adjacent or nearby lands in which the owner has (or may acquire) an interest, and all applications, dedications, payments, assurances, decisions, agreements, legal documents, commitments, waivers and other matters relating to any of them.
4. The City of Scottsdale is authorized to rely on my authority as described in this affidavit until three work days after the day the owner delivers to the Director of the Scottsdale Planning & Development Services Department a written statement revoking my authority.
5. I will immediately deliver to the Director of the City of Scottsdale Planning & Development Services Department written notice of any change in the ownership of the land or in my authority to act for the owner.
6. If more than one person signs this affidavit, each of them, acting alone, shall have the authority described in this affidavit, and each of them warrant to the City of Scottsdale the authority of the others.
7. Under penalty of perjury, I warrant and represent to the City of Scottsdale that this affidavit is true and complete. I understand that any error or incomplete information in this affidavit or any applications may invalidate approvals or other actions taken by the City of Scottsdale, may otherwise delay or prevent development of the land, and may expose me and the owner to other liability. I understand that people who have not signed this form may be prohibited from speaking for the owner at public meetings or in other city processes.

Name (printed)	Date	Signature
<u>Cathy Hayes</u>	<u>5/31</u> , 20 <u>24</u>	<u>Cathy Hayes</u>
_____	_____, 20__	_____
_____	_____, 20__	_____
_____	_____, 20__	_____

Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov

Appeals of Dedication, Exactions or Zoning Regulations



Rights of Property Owner

In addition to the other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) when an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violation of Arizona and federal court decision.

Appeal Procedure

The appeal must be in writing and specify the City action appealed and the date final action was taken, and must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken

- No fee will be charged for filing
- The city Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply
- Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- The City will submit a takings impact report to the hearing officer.
- In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does not create a taking of property in violation of Arizona and federal court cases.
- The hearing officer must render his decision within five working days after the appeal is heard.
- The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial *nevo* with the Superior Court within 30 days of the hearing officer's decision.

For questions, you may contact:

City's Attorney's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
480-312-2405

Address your appeal to:

Hearing Officer, C/O City Clerk
3939 Drinkwater Blvd
Scottsdale, AZ 85251

Please be aware that City Staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.

Planning and Development Services

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov

OWNER TO COMPLETE THIS FORM AND SIGN

**Owner Certification
Acknowledging Receipt
Of
Notice Of Right To Appeal
Exactions And Dedications**

I hereby certify that I am the owner of property located at:

(address where development approval, building permits, or city required improvements and dedications are being required)

and hereby certify that I have received a notice that explains my right to appeal all exactions and/or dedications required by the City of Scottsdale as part of my property development on the parcel listed in the above address.

Signature of Property Owner

Date

Request for Site Visits and/or Inspections Construction Document Application



This request concerns all property identified in the construction document (plan review) application.

Project Name: Whole Foods Market @ Miller Plaza

Project Address: 7628A E. Indian School Rd., Scottsdale, AZ 85251

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent: Cathy Hayes Print Name

Cathy Hayes Signature

City Use Only:

Submittal Date: _____ Plan review number: _____

Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov

OWNER/OWNER'S AGENT TO COMPLETE THIS FORM AND SIGN



Current Planning Services
Long Range Planning Services

**NOTICE OF INSPECTION RIGHTS
A.R.S. § 9-833**

You have the right to:

- Have the City staff member present a photo ID.
- Have the City staff member state the purpose for the planning inspection and legal authority to conduct it.
- Know the amount of inspection fees if applicable.
- An on-site representative may accompany the City staff member during the inspection except during confidential interviews and may:
 - Receive copies of any documents taken during the inspection.
 - Receive a split of any samples taken during the inspection.
 - Receive copies of any analysis of the samples taken when available.
- Be informed if statements are being recorded.
- Be given notice that any statements may be used in an inspection report.
- Be presented with a copy of your inspection rights.
- Be notified of the due process rights pertaining to an appeal

You are hereby notified and informed of the following:

- The inspection is conducted pursuant to the authority of A.R.S § 9-462.05. and/or Scottsdale Revised Code, Appendix B, Article I. Section 1.203.
- Any statements made by anyone interviewed during this inspection may be included in the inspection report.
- Information on appeal rights related to this inspection is found under Scottsdale Revised Code, Appendix B, Article I. Section 1.801.
- There is no inspection fee associated with this inspection.

I acknowledge I have been informed of my inspection rights. If I decline to sign this form, the inspector(s) may still proceed with the inspection.

If I have any questions, I may contact the City staff member, WAYLAND BARTON

at the following number 480-312-2817

Signature: <u>Cathy Hayes</u>	Date: <u>5/31/24</u>
Printed Name: <u>Cathy Hayes</u>	

A.R.S § 9-833. Inspections; applicability

- A. A municipal inspector or regulator who enters any premises of a regulated person for the purpose of conducting an inspection shall:
1. Present photo identification on entry of the premises.
 2. On initiation of the inspection, state the purpose of the inspection and the legal authority for conducting the inspection.
 3. Disclose any applicable inspection fees.
 4. Except for a food and swimming pool inspection, afford an opportunity to have an authorized on-site representative of the regulated person accompany the municipal inspector or regulator on the premises, except during confidential interviews.
 5. Provide notice of the right to have:
 - (a) Copies of any original documents taken from the premises by the municipality during the inspection if the municipality is permitted by law to take original documents.
 - (b) A split or duplicate of any samples taken during the inspection if the split or duplicate of any samples, where appropriate, would not prohibit an analysis from being conducted or render an analysis inconclusive.
 - (c) Copies of any analysis performed on samples taken during the inspection.
 6. Inform each person whose conversation with the municipal inspector or regulator during the inspection is tape recorded that the conversation is being tape recorded.
 7. Inform each person interviewed during the inspection that statements made by the person may be included in the inspection report.
- B. On initiation of, or two working days before, an inspection of any premises of a regulated person, except for a food and swimming pool inspection that has up to one working day after an inspection, a municipal inspector or regulator shall provide the following in writing or electronically:
1. The rights described in subsection A of this section.
 2. The name and telephone number of a municipal contact person available to answer questions regarding the inspection.
 3. The due process rights relating to an appeal of a final decision of a municipality based on the results of the inspection, including the name and telephone number of a person to contact within the municipality and any appropriate municipality, county or state government ombudsman.
- C. A municipal inspector or regulator shall obtain the signature of the regulated person or on-site representative of the regulated person on the writing prescribed in subsection B of this section indicating that the regulated person or on-site representative of the regulated person has read the writing prescribed in subsection B of this section and is notified of the regulated person's or on-site representative of the regulated person's inspection and due process rights. The municipality shall maintain a copy of this signature with the inspection report. Unless the regulated person at the time of the inspection is informed how the report can be located electronically, the municipality shall leave a copy with the regulated person or on-site representative of the regulated person. If a regulated person or on-site representative of the regulated person is not at the site or refuses to sign the writing prescribed in subsection B of this section, the municipal inspector or regulator shall note that fact on the writing prescribed in subsection B of this section.
- D. A municipality that conducts an inspection shall give a copy of, or provide electronic access to, the inspection report to the regulated person or on-site representative of the regulated person either:
1. At the time of the inspection.
 2. Notwithstanding any other state law, within thirty working days after the inspection.
 3. As otherwise required by federal law.

- E. The inspection report shall contain deficiencies identified during an inspection. Unless otherwise provided by law, the municipality may provide the regulated person an opportunity to correct the deficiencies unless the municipality determines that the deficiencies are:
 - 1. Committed intentionally.
 - 2. Not correctable within a reasonable period of time as determined by the municipality.
 - 3. Evidence of a pattern of noncompliance.
 - 4. A risk to any person, the public health, safety or welfare or the environment.
- F. If the municipality allows the regulated person an opportunity to correct the deficiencies pursuant to subsection E of this section, the regulated person shall notify the municipality when the deficiencies have been corrected. Within thirty working days of receipt of notification from the regulated person that the deficiencies have been corrected, the municipality shall determine if the regulated person is in substantial compliance and notify the regulated person whether or not the regulated person is in substantial compliance, unless the determination is not possible due to conditions of normal operations at the premises. If the regulated person fails to correct the deficiencies or the municipality determines the deficiencies have not been corrected within a reasonable period of time, the municipality may take any enforcement action authorized by law for the deficiencies.
- G. A municipality's decision pursuant to subsection E or F of this section is not an appealable municipal action.
- H. At least once every month after the commencement of the inspection, a municipality shall provide the regulated person with an update, in writing or electronically, on the status of any municipal action resulting from an inspection of the regulated person. A municipality is not required to provide an update after the regulated person is notified that no municipal action will result from the municipality's inspection or after the completion of municipal action resulting from the municipality's inspection.
- I. This section does not authorize an inspection or any other act that is not otherwise authorized by law.
- J. This section applies only to inspections necessary for the issuance of a license or to determine compliance with licensure requirements. This section does not apply:
 - 1. To criminal investigations and undercover investigations that are generally or specifically authorized by law.
 - 2. If the municipal inspector or regulator has reasonable suspicion to believe that the regulated person may be or has been engaged in criminal activity.
 - 3. Inspections by a county board of health or a local health department pursuant to section 36-603.
- K. If a municipal inspector or regulator gathers evidence in violation of this section, the violation shall not be a basis to exclude the evidence in a civil or administrative proceeding, if the penalty sought is the denial, suspension or revocation of the regulated person's license or a civil penalty of more than one thousand dollars.
- L. Failure of a municipal employee to comply with this section:
 - 1. Constitutes cause for disciplinary action or dismissal pursuant to adopted municipal personnel policy.
 - 2. Shall be considered by the judge and administrative law judge as grounds for reduction of any fine or civil penalty.
- M. A municipality may adopt rules or ordinances to implement this section.
- N. This section:
 - 1. Shall not be used to exclude evidence in a criminal proceeding.
 - 2. Does not apply to a municipal inspection that is requested by the regulated person.