

MERCADO VILLAGE PRELIMINARY GRADING AND DRAINAGE PLAN

10301 N. 92ND STREET. SCOTTSDALE, AZ 85258

ENGINEER'S CERTIFICATION:

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS THE CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE AT THE INTERSECTION OF SHEA BOULEVARD AND 92ND STREET HAVING AN ELEVATION OF 1372.19', NAVD 88.

BASIS OF BEARING:

THE NORTH LINE OF NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, SAID LINE BEARS NORTH 89 DEGREES 56 MINUTES 30 SECONDS EAST.

FEMA

MAP NUMBER	COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	FIRM ZONE
04013C1760L	040037/ 040049/ 040051/ 045012	1760 09/18/2020	L	X SHADED

OWNER:

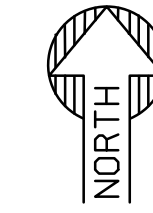
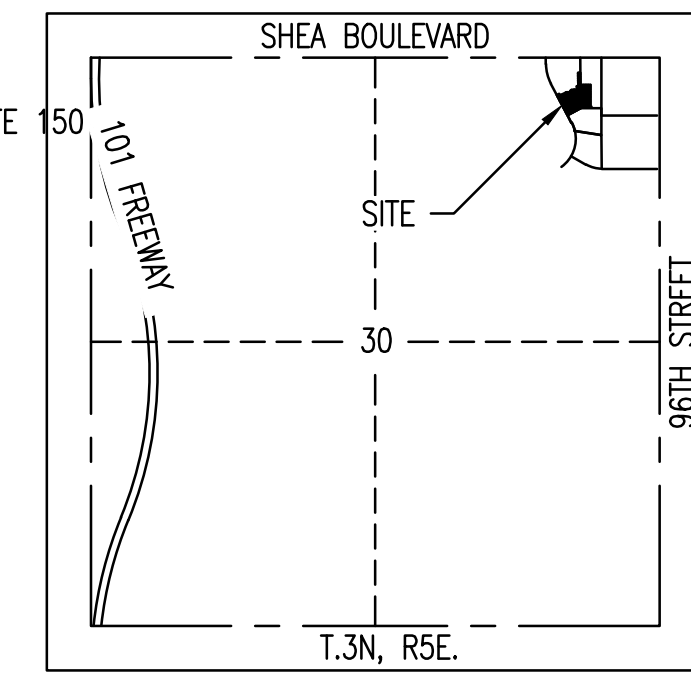
CALIBER
8901 E. MOUNTAIN VIEW ROAD, SUITE
SCOTTSDALE, ARIZONA 85258
PHONE: 480-455-6480
EMAIL: INVEST@CALIBERCO.COM

CIVIL ENGINEER:

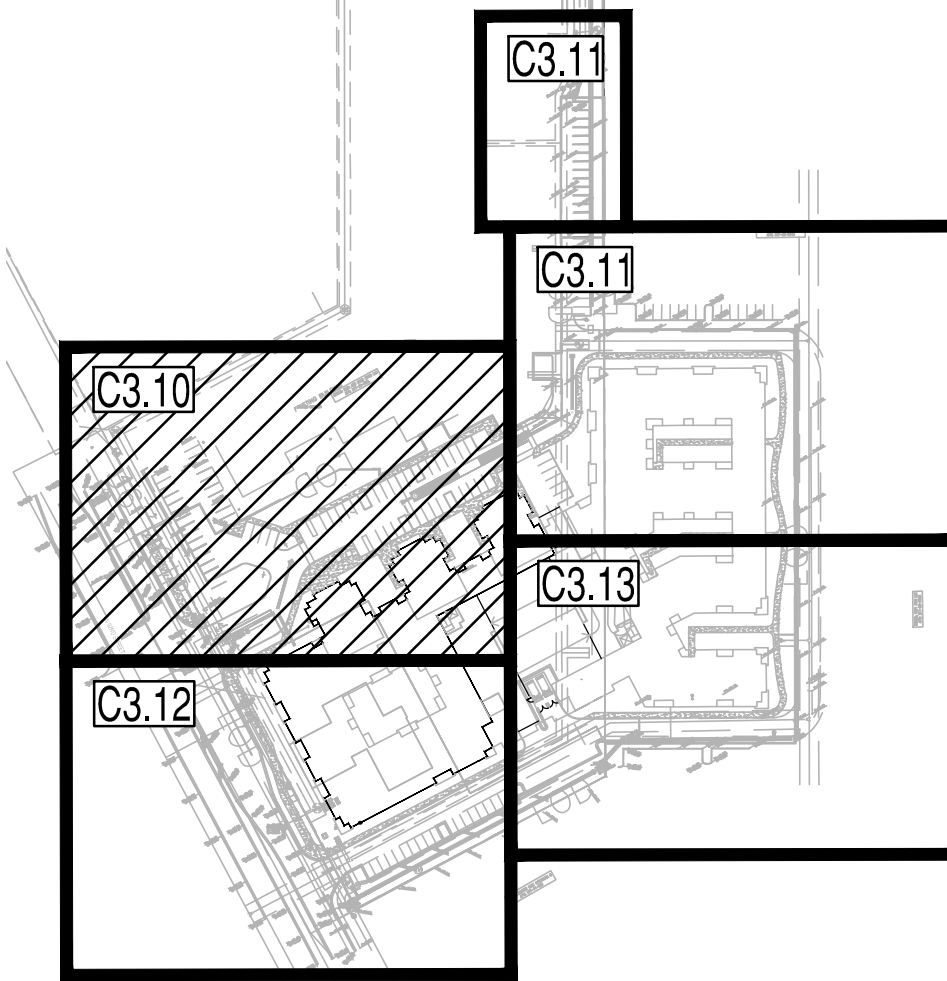
SUSTAINABILITY ENGINEERING GROUP
5240 N. 16TH STREET, SUITE 105
PHOENIX, ARIZONA 85260
PHONE: 480-237-2507
ATTN: ALI FAKIH
EMAIL: ALI@AZSEG.COM

ARCHITECT:

DAVIS GROUP
3033 N. CENTRAL AVENUE, SUITE 800
PHOENIX, ARIZONA 85012
PHONE: 480-638-1100



VICINITY MAP
N.T.S.

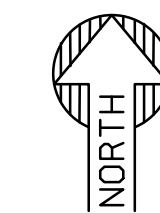


PRELIMINARY GRADING NOTES

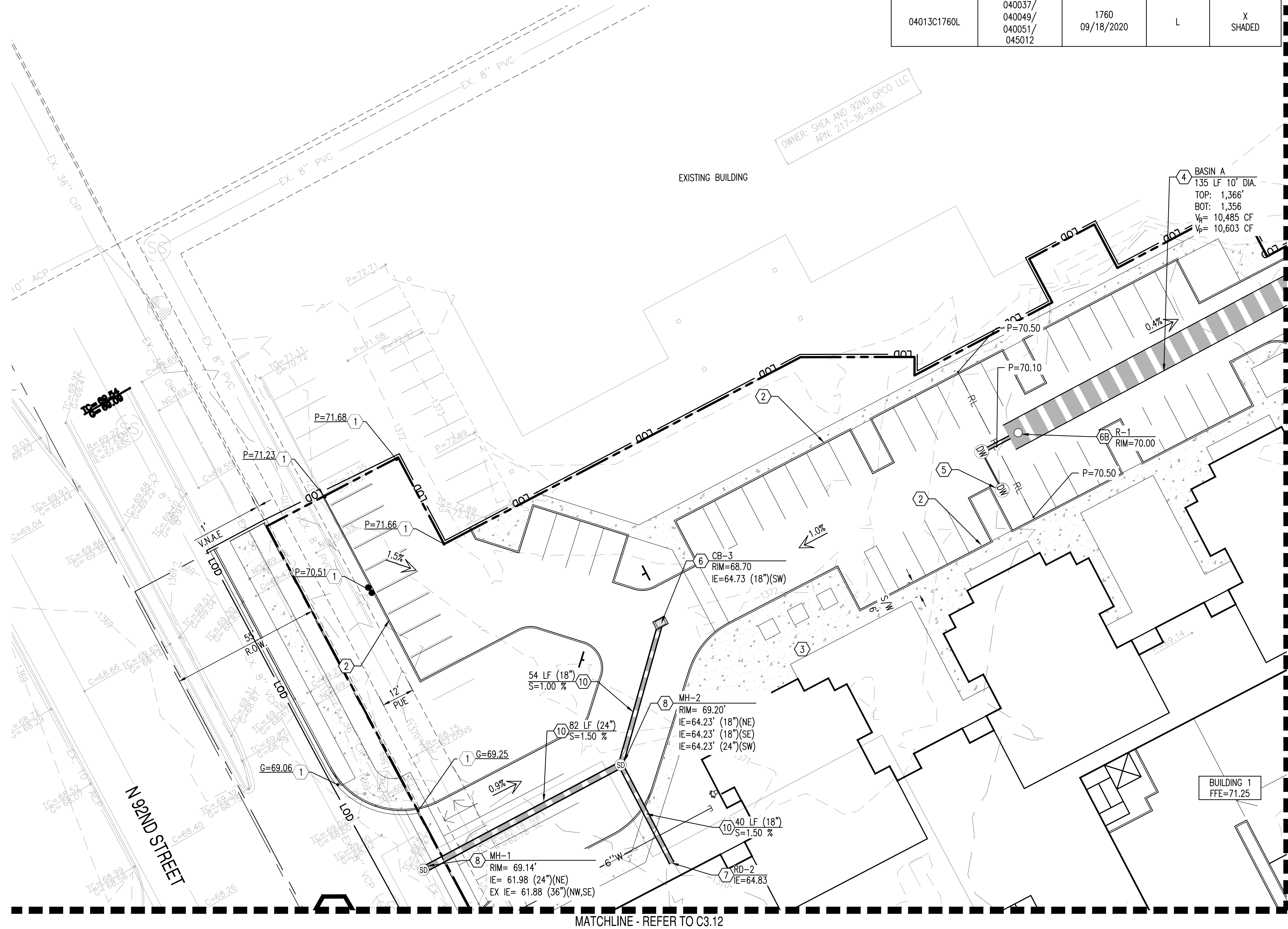
- 1 MATCH EXISTING GRADE.
- 2 6" VERTICAL CURB.
- 3 CONCRETE SIDEWALK.
- 4 UNDERGROUND STORAGE.
- 5 DRYWELL.
- 6 CATCH BASIN.
- 6B 30" CMP RISER WITH STANDARD SOLID LID.
- 7 ROOF DRAIN BUILDING CONNECTION.
- 8 4' DIAMETER STORM MANHOLE STRUCTURE.
- 10 HDPE DOUBLE WALL PIPE. LENGTH, SIZE AND SLOPE PER PLAN.

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NAME	P	PAVEMENT
BOT	BOTTOM	PUE	PUBLIC UTILITY EASEMENT
C	CONCRETE	R	RISER
CB	CATCH BASIN	RD	ROOF DRAIN
C.F.	CUBIC FEET	ROW	RIGHTS-OF-WAY
DE	DRAINAGE EASEMENT	S	SLOPE
DIA	DIAMETER	STA	STATION
EX	EXISTING	S/W	SIDEWALK
FFE	FINISHED FLOOR ELEVATION	TBA	TO BE ABANDONED
FG	FINISHED GRADE	UUE	UNDERGROUND UTILITY EASEMENT
G	GUTTER	VNAE	VEHICULAR NON-ACCESS EASEMENT
HDPE	HIGH DENSITY POLYETHYLENE	VP	VOLUME PROVIDED
IE	INVERT ELEVATION	VR	VOLUME REQUIRED
LF	LINEAR FEET	WE	WATER EASEMENT
MH	MANHOLE		
NG	NATURAL GROUND		



PLAN VIEW



PROPOSED GRADING LEGEND:

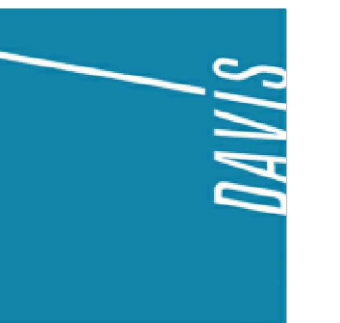
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P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	---	XX	---	MAJOR CONTOUR
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	---	XX	---	MINOR CONTOUR
		---	RL	---	---	---	FLOW ARROW

EXISTING LEGEND:

---	EX. MAJOR CONTOURS	---	EX. S	---	SEWER LINE	---	STORM DRAIN LINE	---	SIGN
---	EX. MINOR CONTOURS	---	S	---	SEWER MANHOLE	---	CB	---	STREET LIGHT
---	EX. SPOT ELEVATION	---	W	---	WATER LINE	---	SM	---	TREE
---	EASEMENT LINE AS NOTED	---	WV	---	WATER VALVE	---	GAS	---	ROAD CENTERLINE
		---	FH	---	FIRE HYDRANT	---	FENCE		

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP



PROJECT	MERCADO VILLAGE	LOCATION	92ND & SHEA, SCOTTSDALE, AZ 85258
DRAWN	JC	DATE	03/18/2024
DESIGNED	JC	DATE	03/18/2024
QC	SC	DATE	01/05/2024
FINAL QC	BC	DATE	03/11/2024
PROJ. MGR.	AF	DATE	03/20/2024

ISSUED FOR: ZONING

REVISION NO.	DATE

JOB NO.: 210414

SHEET TITLE:
**PRELIMINARY
GRADING &
DRAINAGE PLAN**

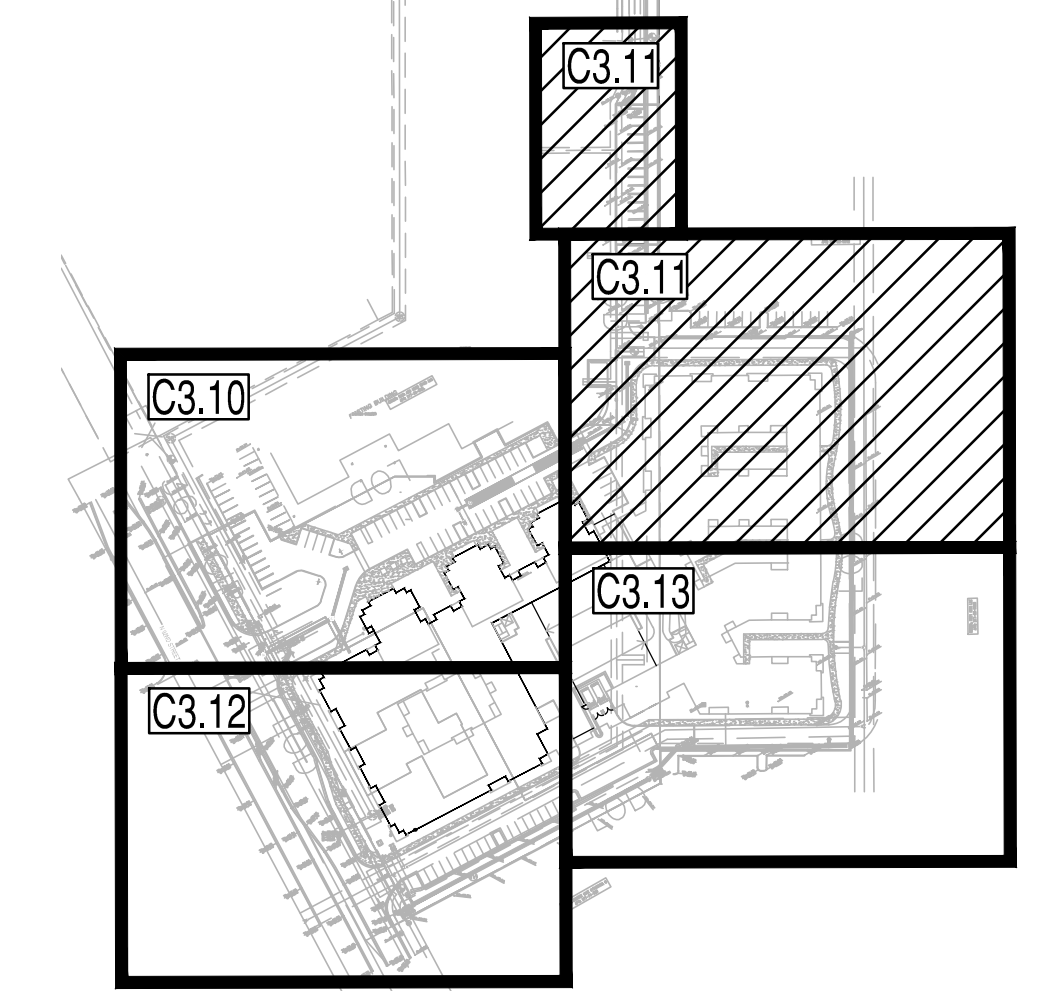
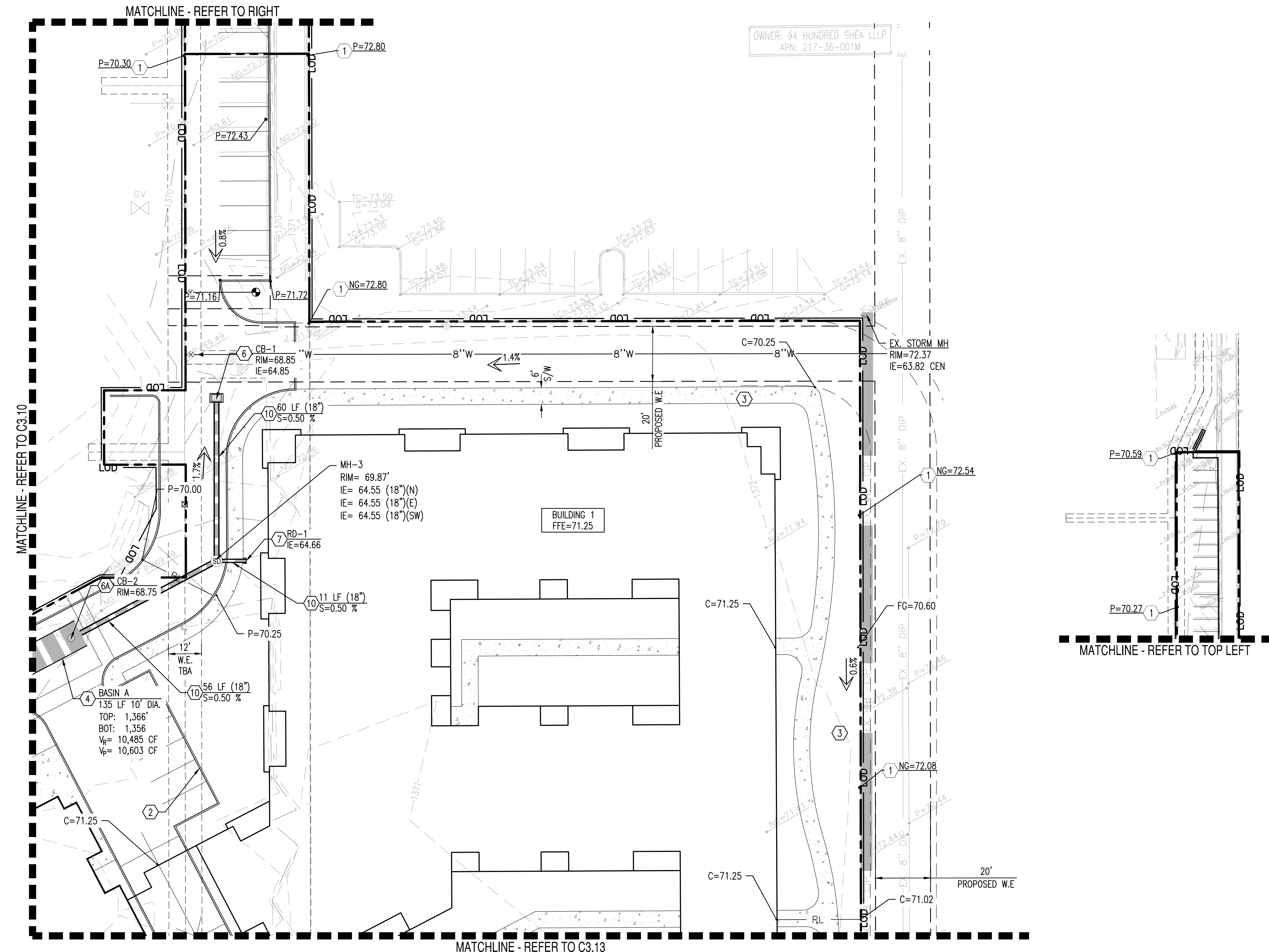
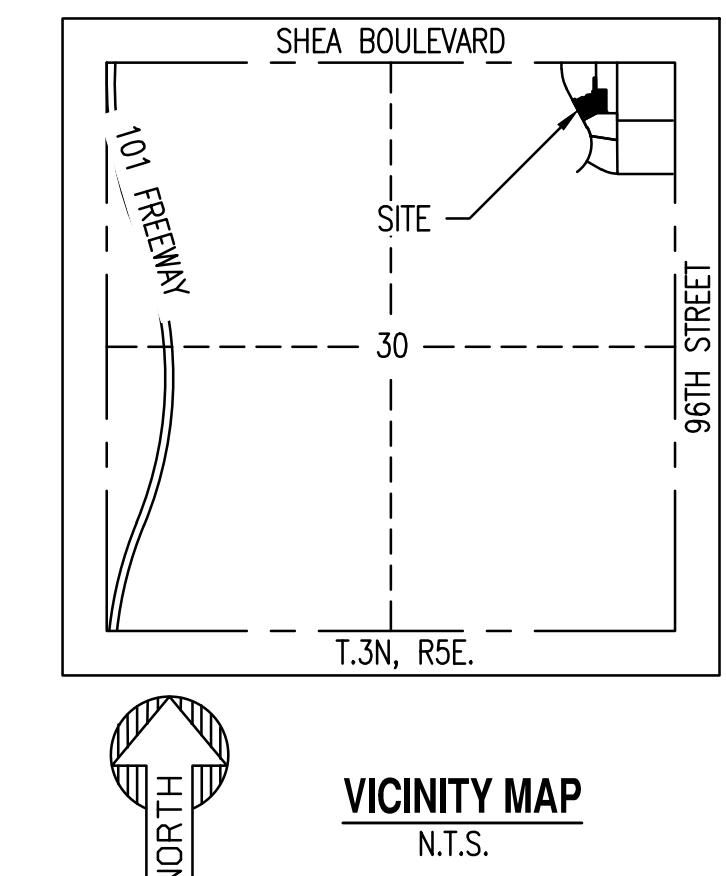
PAGE NO.: 1 OF 5
SHEET NO.: C3.10

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MERCADO VILLAGE PRELIMINARY GRADING AND DRAINAGE PLAN

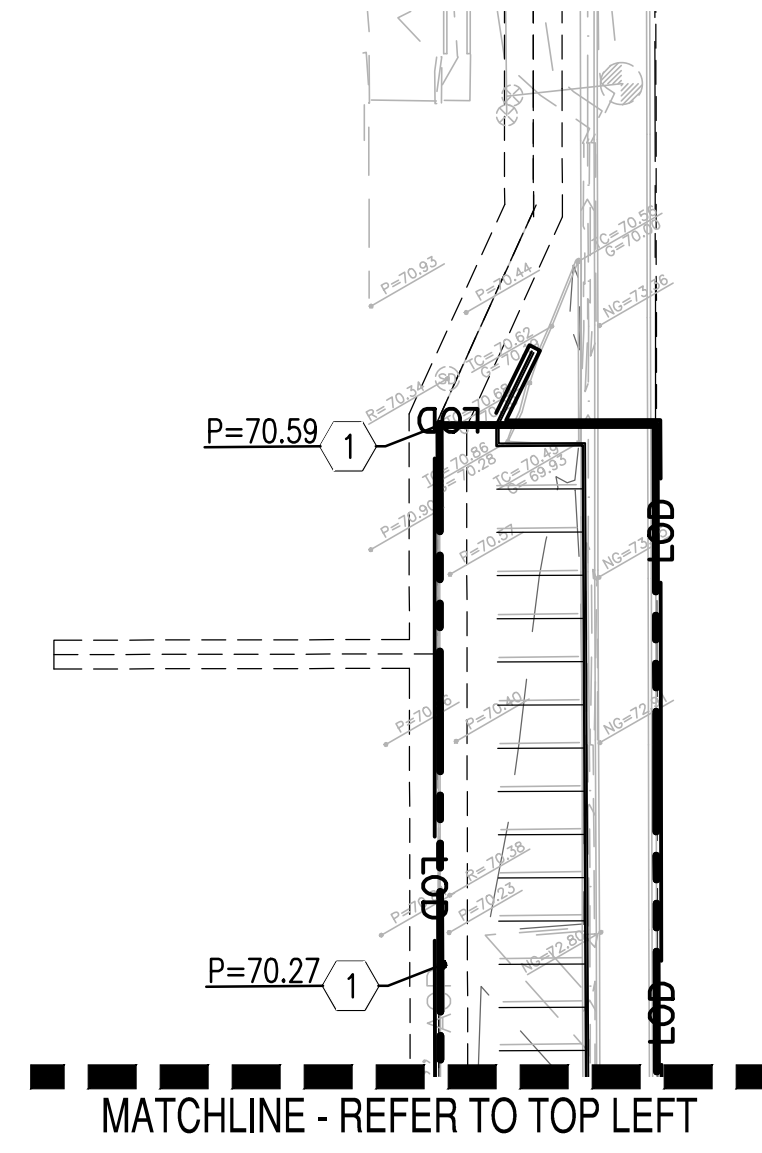
10301 N. 92ND STREET, SCOTTSDALE, AZ 85258

OWNER: 94 HUNDRED SHEA L.L.P.
APN: 217-36-001M



PRELIMINARY GRADING NOTES

- ① MATCH EXISTING GRADE.
- ② 6" VERTICAL CURB.
- ③ CONCRETE SIDEWALK.
- ④ UNDERGROUND STORAGE.
- ⑥ CATCH BASIN.
- ⑥A 30" CMP RISER WITH STANDARD GRATED LID.
- ⑦ ROOF DRAIN BUILDING CONNECTION.
- ⑩ HDPE DOUBLE WALL PIPE. LENGTH, SIZE AND SLOPE PER PLAN.

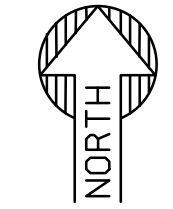


PROPOSED GRADING LEGEND:

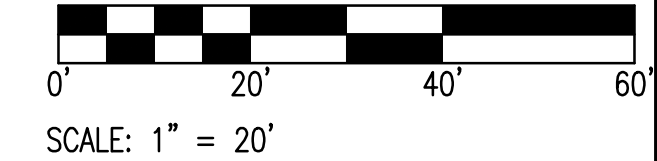
- G=XX.XX GUTTER ELEVATION, TC = G+0.5'
- P=XX.XX PAVEMENT ELEVATION
- C=XX.XX CONCRETE ELEVATION
- PROPERTY LINE
- LOC LIMIT OF ONSITE CONSTRUCTION
- XX MAJOR CONTOUR
- XX MINOR CONTOUR
- RL RIDGELINE
- CATCH BASIN
- STORM PIPE
- END SECTION
- STORM MANHOLE
- DRYWELL
- WATER METER
- GATE VALVE
- FIRE HYDRANT
- RIP-RAP
- CONCRETE PAVEMENT
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- FLOW ARROW

EXISTING LEGEND:

- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- EX. SPOT ELEVATION
- EASEMENT LINE AS NOTED
- EX. S SEWER LINE
- EX. W WATER LINE
- EX. GAS GAS LINE
- EX. FIRE HYDRANT
- CB STORM CATCH BASIN
- STORM MANHOLE
- GAS LINE
- FENCE
- SIGN
- STREET LIGHT
- TREE
- ROAD CENTERLINE



PLAN VIEW



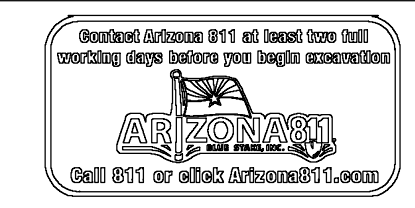
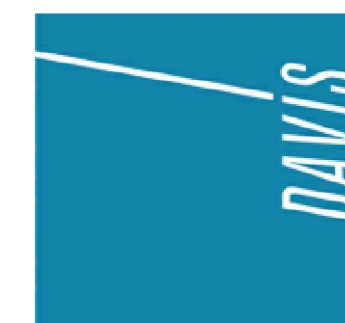
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ENGINEERING
GROUP

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5240 N. 16TH STREET SUITE 105, PHOENIX, ARIZONA 85016
WWW.AZSEG.COM TEL: 480.586.7226 FAX: 480.259.3534



PROJECT	MERCADO VILLAGE	LOCATION	92ND & SHEA, SCOTTSDALE, AZ 85258
DRAWN	JC	DATE	03/18/2024
DESIGNED	JC	DATE	03/18/2024
QC	SC	DATE	01/05/2024
FINAL QC	BC	DATE	03/11/2024
PROJ. MGR.	AF	DATE	03/20/2024

DATE: 03/20/2024
ISSUED FOR: ZONING

REVISION NO.	DATE

JOB NO.: 210414

PRELIMINARY GRADING & DRAINAGE PLAN

PAGE NO.: 2 OF 5
SHEET NO.: C3.11

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MERCADO VILLAGE PRELIMINARY GRADING AND DRAINAGE PLAN

10301 N. 92ND STREET. SCOTTSDALE, AZ 85258

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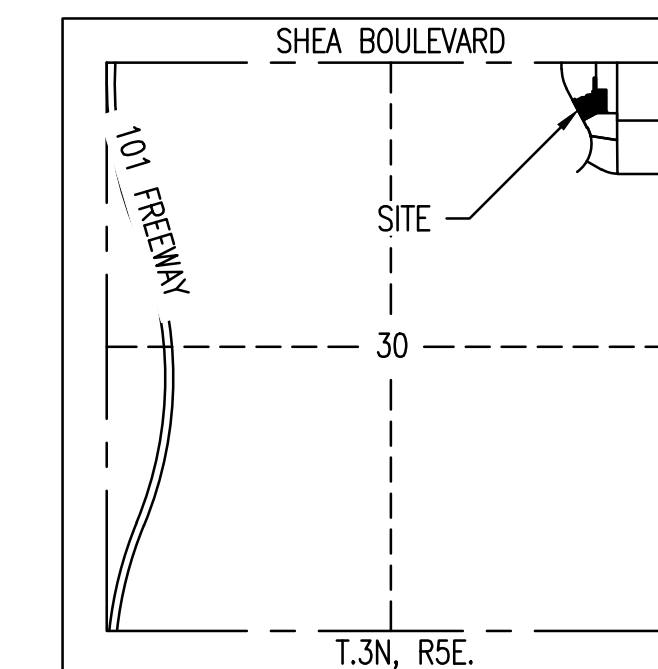
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ENGINEERING
GROUP

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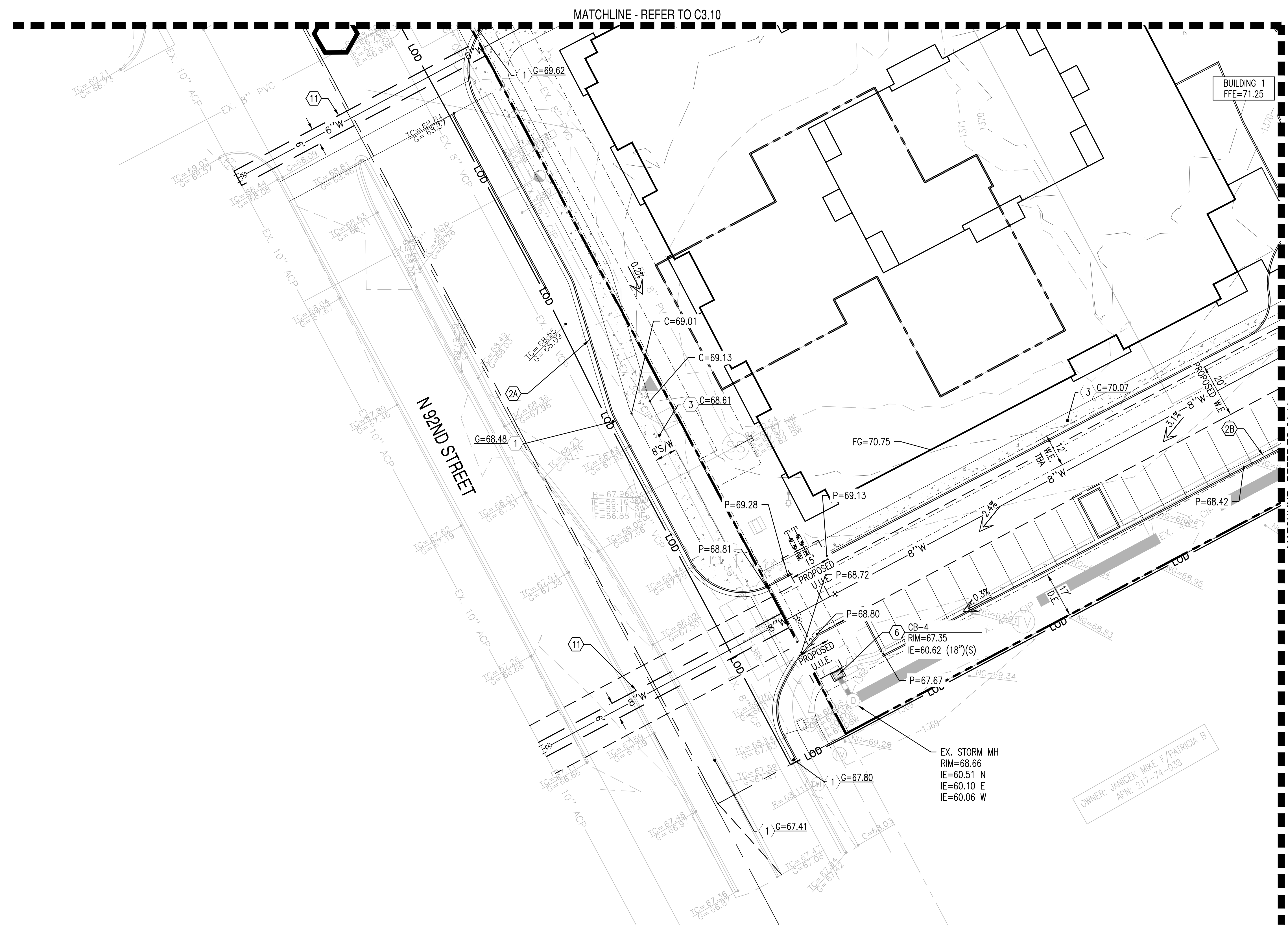
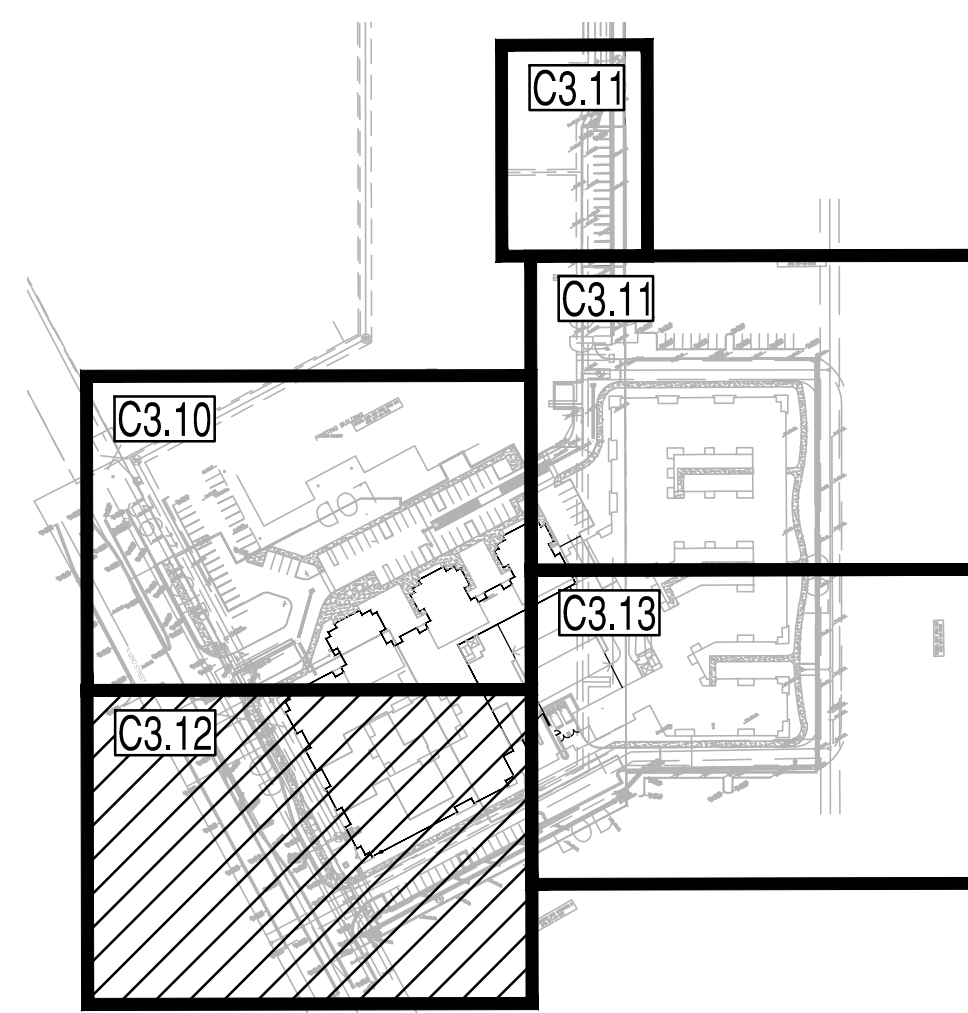


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VICINITY MAP
N.T.S.



PRELIMINARY GRADING NOTES

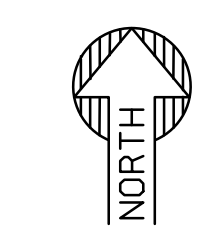
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- ⑪ SAWCUT EXISTING PAVEMENT TO PROVIDE STRAIGHT VERTICAL EDGES, FREE FROM IRREGULARITIES.

PROPOSED GRADING LEGEND:

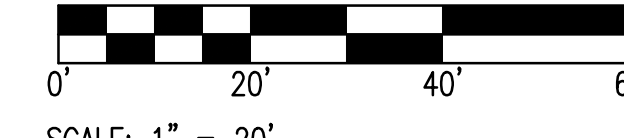
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- EX. FENCE
- CB STORM CATCH BASIN
- STORM MANHOLE
- SIGN
- STREET LIGHT
- TREE
- ROAD CENTERLINE



PLAN VIEW



SCALE: 1" = 20'

OWNER: JANICE MIKE F/PATRICIA B
APN: 217-74-038

PROJECT: MERCADO VILLAGE
LOCATION: 92ND & SHEA, SCOTTSDALE, AZ 85258

DRAWN: JC 03/18/2024
DESIGNED: JC 03/18/2024
QC: SC 01/05/2024
FINAL QC: BC 03/11/2024
PROJ. MGR.: AF 03/20/2024

DATE: 03/20/2024
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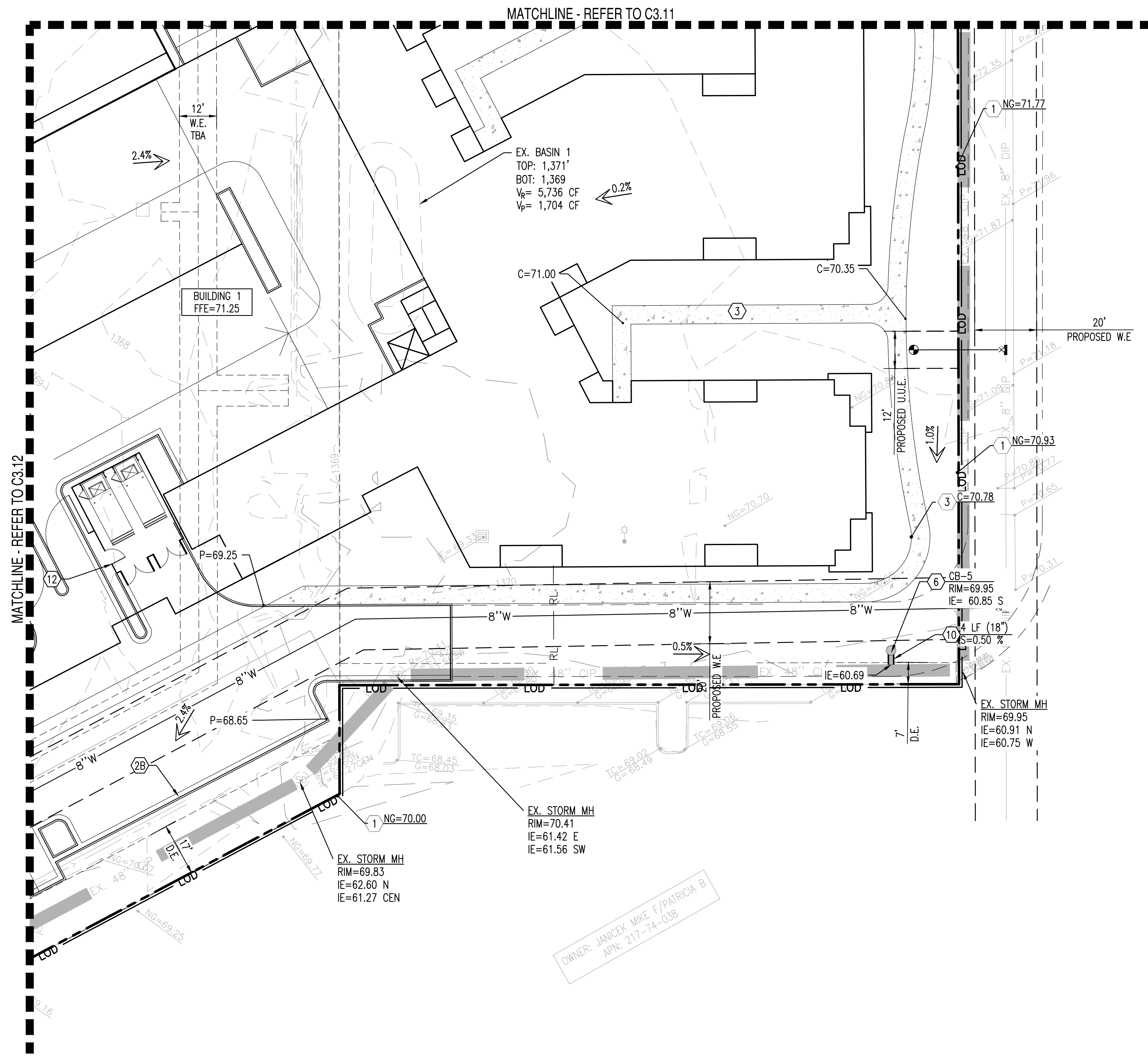
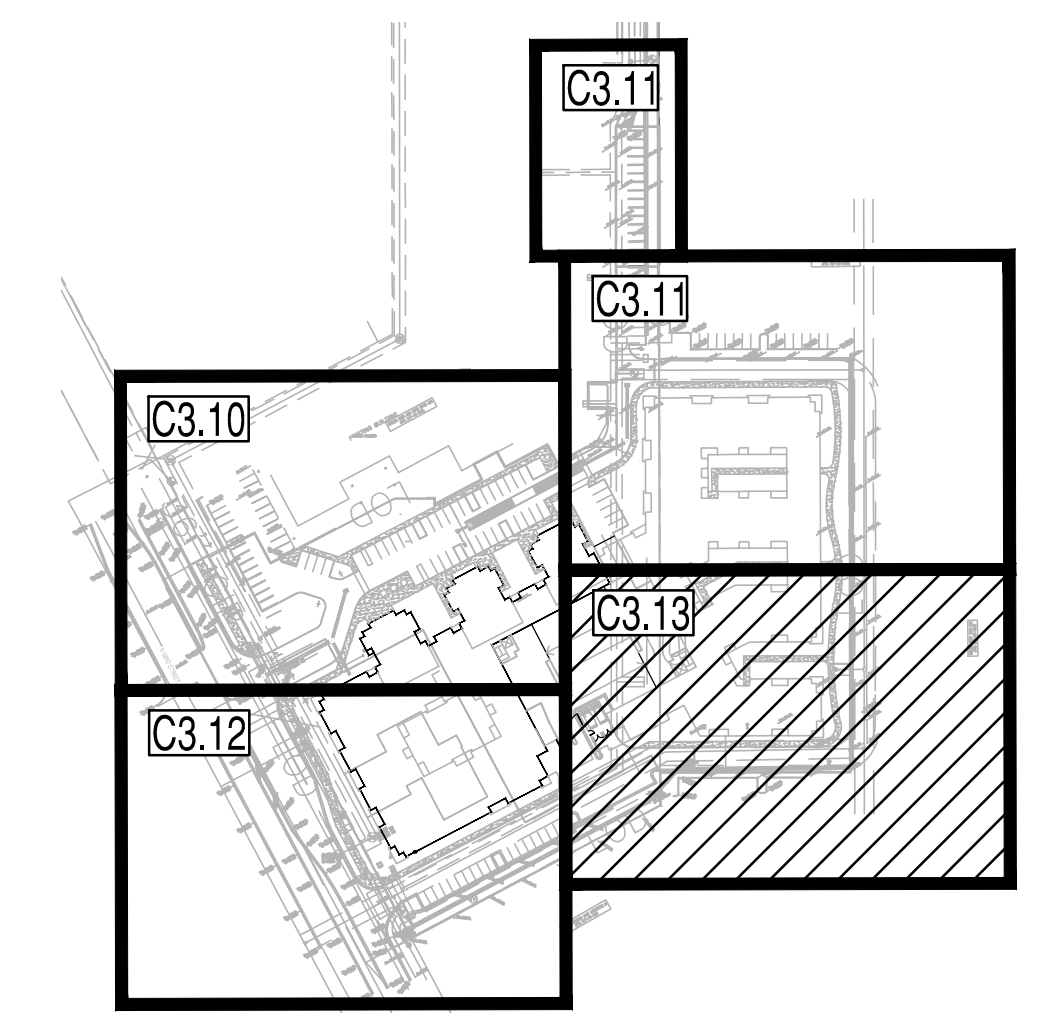
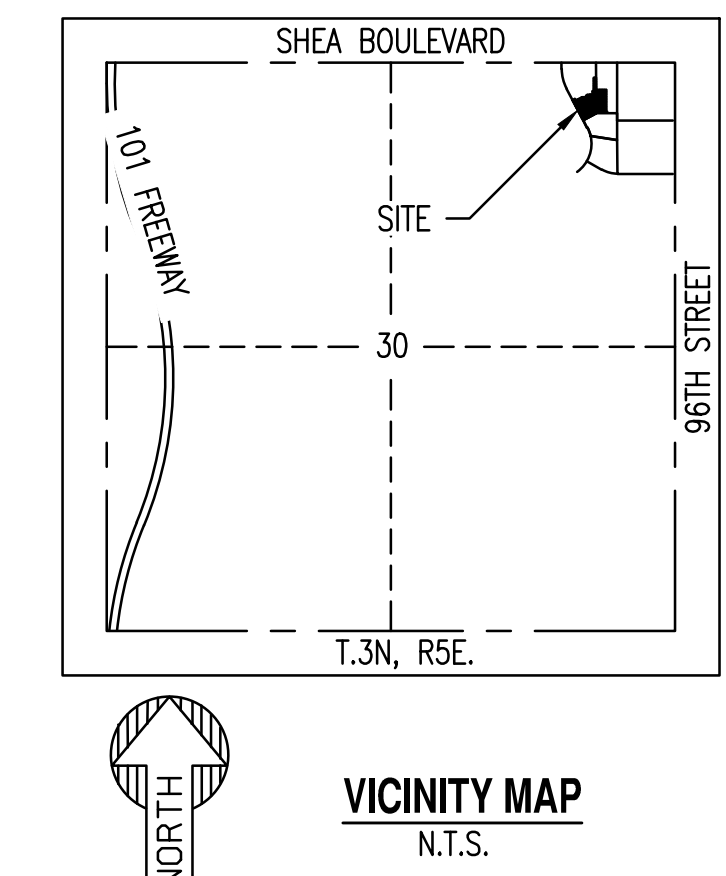
JOB NO.: 210414

SHEET TITLE:
PRELIMINARY GRADING & DRAINAGE PLAN

PAGE NO.: **3 OF 5**
SHEET NO.: **C3.12**

MERCADO VILLAGE PRELIMINARY GRADING AND DRAINAGE PLAN

10301 N. 92ND STREET. SCOTTSDALE, AZ 85258



PRELIMINARY GRADING NOTES

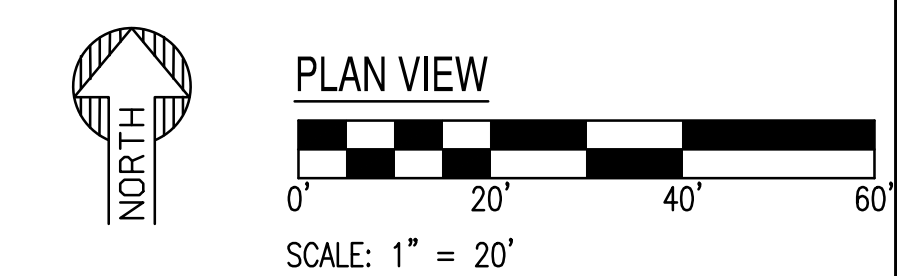
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- ⑩ HDPE DOUBLE WALL PIPE. LENGTH, SIZE AND SLOPE PER PLAN.
- ⑪ SAWCUT EXISTING PAVEMENT TO PROVIDE STRAIGHT VERTICAL EDGES, FREE FROM IRREGULARITIES.
- ⑫ TRASH ENCLOSURE

PROPOSED GRADING LEGEND:

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- C=XX.XX CONCRETE ELEVATION
- PROPERTY LINE
- CURB AND GUTTER
- VERTICAL CURB
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- LOC LIMIT OF ONSITE CONSTRUCTION
- XX MAJOR CONTOUR
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- CB STORM CATCH BASIN
- STORM MANHOLE
- GAS GAS LINE
- FENCE
- SIGN
- STREET LIGHT
- TREE
- ROAD CENTERLINE



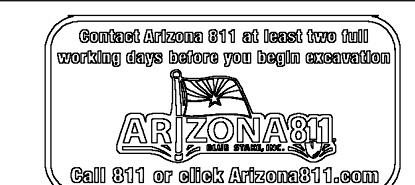
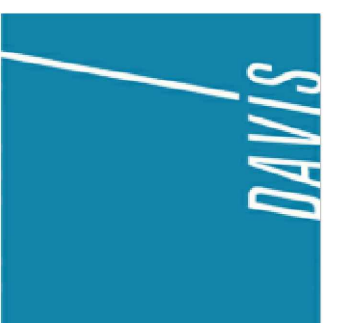
OWNER: JANICEK MKE F/PATRICIA B
APN: 217-74-038

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SUSTAINABILITY
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5240 N. 16TH STREET SUITE 105 PHOENIX, ARIZONA 85016
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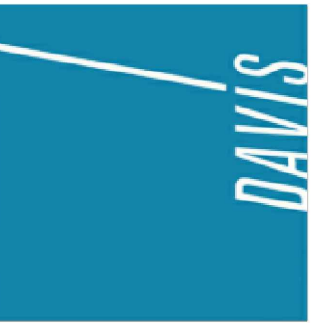
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PROJECT: MERCADO VILLAGE
LOCATION: 92ND & SHEA, SCOTTSDALE, AZ 85258

DRAWN: JC 03/18/2024
DESIGNED: JC 03/18/2024
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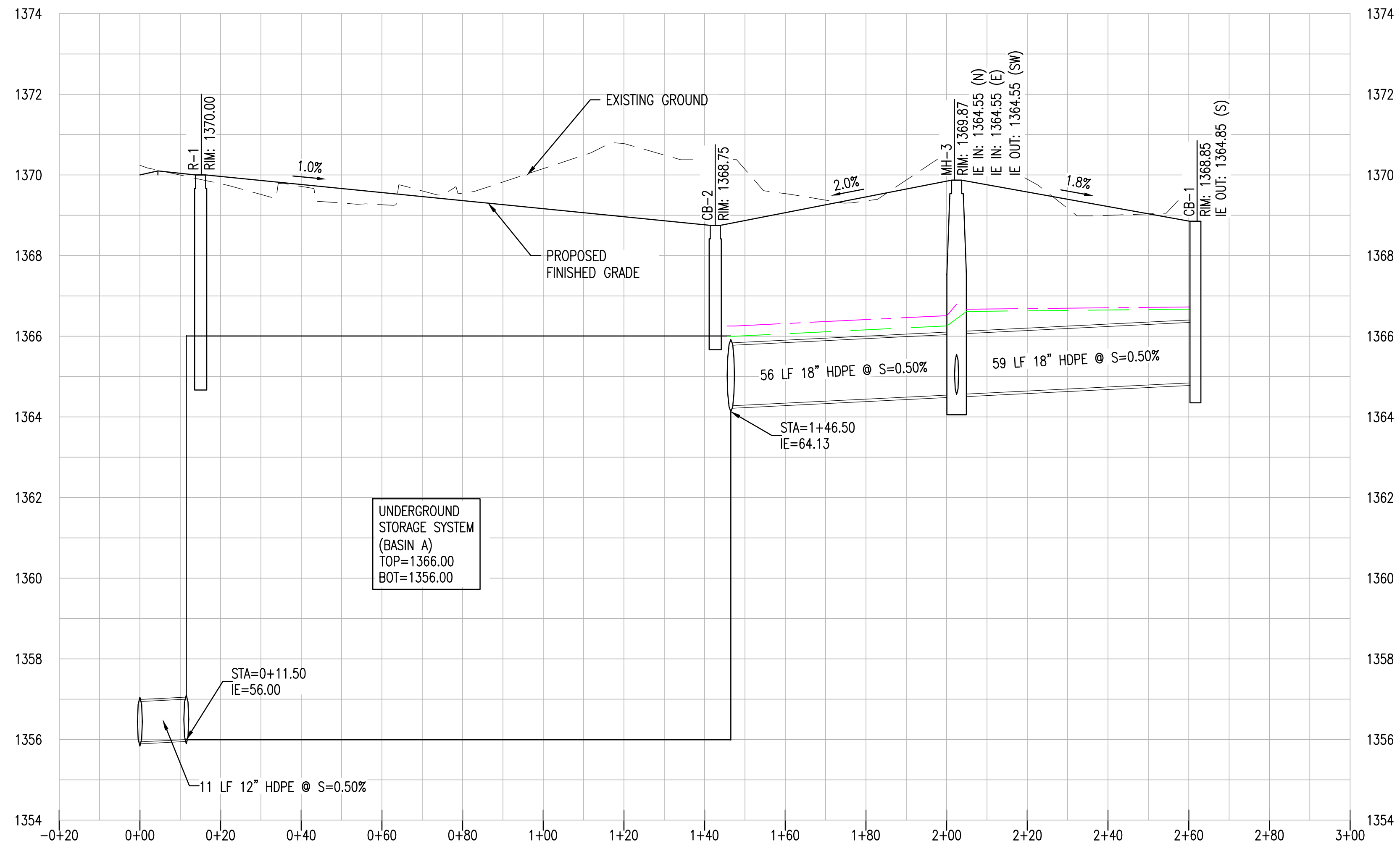
REVISION NO.: DATE:

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JOB NO.: 210414

SHEET TITLE:
**PRELIMINARY GRADING
& DRAINAGE CROSS
SECTIONS**

PAGE NO.: **5 OF 5**
SHEET NO.: **C3.20**



CB-1 TO BASIN A

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

----- ENERGY GRADE LINE
----- HYDRAULIC GRADE LINE

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