



11/17/2023

Michele Hammond
6750 E. Camelback Rd Suite 100
Scottsdale, AZ 85251

RE: **6-ZN-2023 and 2-GP-2023**
Sundown Commons
6C395 and 95S87

Dear Michele Hammond,

Planning & Development Services has completed review of the above referenced development application. The following comments represent issues or deficiencies identified by the review team and are intended to provide you with guidance for compliance with city codes, policies, and guidelines.

Significant Zoning Ordinance or Scottsdale Revise Code Issues

The following code and ordinance related issues have been identified and must be addressed with the resubmittal. Addressing these items is critical to determining the application for public hearing and may affect staff's recommendation. Please address the following:

Long Range Planning, Ben Moriarity, 480-312-2636, bmoriarity@scottsdaleaz.gov:

1. While the proposed height does not exceed the PUD Zoning maximum permitted development standard of 48', please note Planning Commission and City Council have had recent dialogue concerning precedent setting four story buildings along Shea Blvd. and have expressed concern with any proposal that might seek additional height in the general area of the proposed development (SEE 10/26/2022 Planning Commission meeting). The General Plan (Goal GA 1.5) encourages the incorporation of context-appropriate transitions between higher-intensity development and adjacent neighborhoods in order to minimize impacts. With a resubmittal, please consider integrating upper-level building setbacks to reduce building height, massing, and to further transition away from East Shea Blvd. and to match existing development patterns.
Staff sees this has been partially addressed per the resubmittal, but keep in mind PC and CC have voiced concerns in the past. It may be helpful to prepare a height exhibit of neighboring buildings as it may come up through the public hearing process.

Current Planning, Katie Posler, 480-312-2703, kposler@scottsdaleaz.gov:

2. Please remove the two southeast parcels from the project scope and improvements as those parcels are owned by the City. The applicant will need to purchase these properties (and include them in the General Plan and Zoning case boundaries) or remove from the scope of the applications.

If the applicant wishes to pursue purchasing the properties, please work with the Real Estate department and update all submittal documents to list the true scope of the cases – boundaries, net lot area, gross lot area, APNs, addresses, vicinity maps, parking, etc.

If the subject parcels are purchased, strongly consider revising the site plan to relocate the pickleball courts to be in a more internal location to the site, as opposed to abutting E. Shea Boulevard, a major arterial street (or swap the pickleball and dog run locations). The pickleball courts are surrounded by hardscape and there may be a more appropriate landscaped setting elsewhere on site.

Per direction from Zoning Administrator, Erin Perrault, the pickleball court and dog park need to be removed from this area. This area (the two city parcels) should only be used for excess parking and passive open space (no fencing permitted). Please update the plans accordingly and work with the Real Estate Department on updating/revising current lease agreements (1994/741748) to account for the revisions. The Real Estate reviewer is Wendy Hardy for this case. Thank you.

3. Within the development plan, please explain the PSD zoning request. Was this to cover the standards shared over the city parcels? Are there plans to split the larger subject parcel further? Please submit the required PSD materials (Development Agreement, Plat, etc) and explain the request. Staff can provide the appropriate checklists if not provided already.

Applicant still needs to submit PSD zoning request, Proposed Plat, and Development Agreement if there is a proposal to split the parcel and share development standards.

4. Please revise the building elevations to reduce the height of the mansard roof element to comply with the 48' height limit per code (this will mean reducing the overall building height and potentially unit count). This roof element wraps the entire building façade and encloses 100% of the roof area behind it, exceeding the maximum 30% roof coverage allowed by the PUD zoning district.

On the revised color elevations, due to the above comment, please identify projections beyond the allowed building height with labels and code sections.

Building height has been revised. The math on the roof plan is a little confusing. The total roof area is listed as 66,516 SF. The two roof categories added together (57,546 SF + 19,515 SF) equal 77,061 SF. Please clarify the math on this sheet.

SUMMARY

TOTAL ROOF SF AREA - 4 STORY (MAX HEIGHT 48'-0" AND BELOW 48'-0")		
• MAIN ROOF (LEVEL 3)	23,443 SF	35.24%
• MAIN ROOF (LEVEL 4)	<u>34,103 SF</u>	<u>51.27%</u>
TOTAL	57,546 SF	86.51%
ROOF SF AREA ABOVE 48'-0" AND BELOW 58'-0"		
• ELEVATOR PENTHOUSE 1	203 SF	0.30%
• ELEVATOR PENTHOUSE 2	98 SF	0.15%
• TRASH CHUTE VENTS	45 SF	0.07%
• MECHANICAL EQUIPMENT SCREENING	<u>19,169 SF</u>	<u>28.82%</u>
TOTAL	19,515 SF	29.34%

TOTAL AREA OF ROOF:	66,516 SF
TOTAL AREA OF ROOF ABOVE 48'-0":	19,515 SF (29.34%)

5. Please revise the project narrative to address each of the 4 Development Review Board considerations separately (as opposed to one large paragraph response):

- (1) *The design contained in the DP is compatible with development in the area that it may directly affect and the DP provides a benefit to the city and adjacent neighborhoods.*

Staff acknowledges that in the response letter the applicant is electing to not underground existing adjacent adpowerlines or upgrade the existing sidewalks along N. 70th Street and E. Sahuaro Drive based on site constraints. These type of improvements are typically completed with zoning cases to provide a public benefit. Please explain how the application is still meeting consideration #1 and if another other public benefits to the city or adjacent neighborhoods can be accomplished via this case. Newer staff reports now also include a public benefit portion that further elobrates on the topic.

- (2) *The DP is environmentally responsive, incorporates green building principles, contributes to the city's design guidelines and design objectives, and that any deviations from the design guidelines must be justified by compensating benefits of the DP.*
- (3) *The DP will not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing zoning district.*
- (4) *The DP promotes connectivity between adjacent and abutting parcels, and provides open spaces that are visible at the public right-of-way and useful to the development.*

Staff acknowledges and appreciates that additional pedestrian connections and associated ramadas were added to the project to help with connectivity. Tying the new residential component and existing commercial shops together will be a key piece of this development plan to meet the intention of PUD zoning. Please consider if other amenity upgrades are feasible.

6. The two city owned parcels should not be used to help the proposed project meet any zoning requirements since it is not a part of the zoning case or being rezoned. Please remove the contributing parking lot open space from the open space plan on the city parcels. Please revise the project plans so that the total count of provided parking stalls is from the subject lot only and not from the city parcels. Parking on the city parcels should be excess parking beyond the requirement and the current drainage and parking agreement may need to be updated to reflect the new drainage and parking improvements. Additionally, please remove the required/provided bicycle parking spaces from the City parcels and relocate them on the subject site. The project site (the parcel being rezoned) must be able to meet zoning requirements on its own. Thank you.

Transportation, Phil Kercher, 480-312-7645, pkcher@scottsdaleaz.gov:

7. Please dedicate 45 feet of fee title right-of-way along **70th Street**. ALTA shows a portion of this as easement. Scottsdale Revised Code Sec. 47-10.

Not addressed, please address.

8. Please dedicate existing roadway easement over the right-turn deceleration lane along **70th Street** as fee title right-of-way. Scottsdale Revised Code Sec. 47-10

Not addressed, please address.

Real Estate, Wendy Hardy, 480-312-7066, whardy@scottsdaleaz.gov:

9. Proposed site plan appears to show improvements, including a sports court, parking and landscaping, being made off site. Applicant shall request their title company to provide a chain of

title and document title history for parcels 175-42-136F and 175-42-136R. Chain of title search should go back a minimum of 50 years.

Not addressed, please address.

Land Division, Bob Dalton, 480-312-2723, (480) 312-2723:

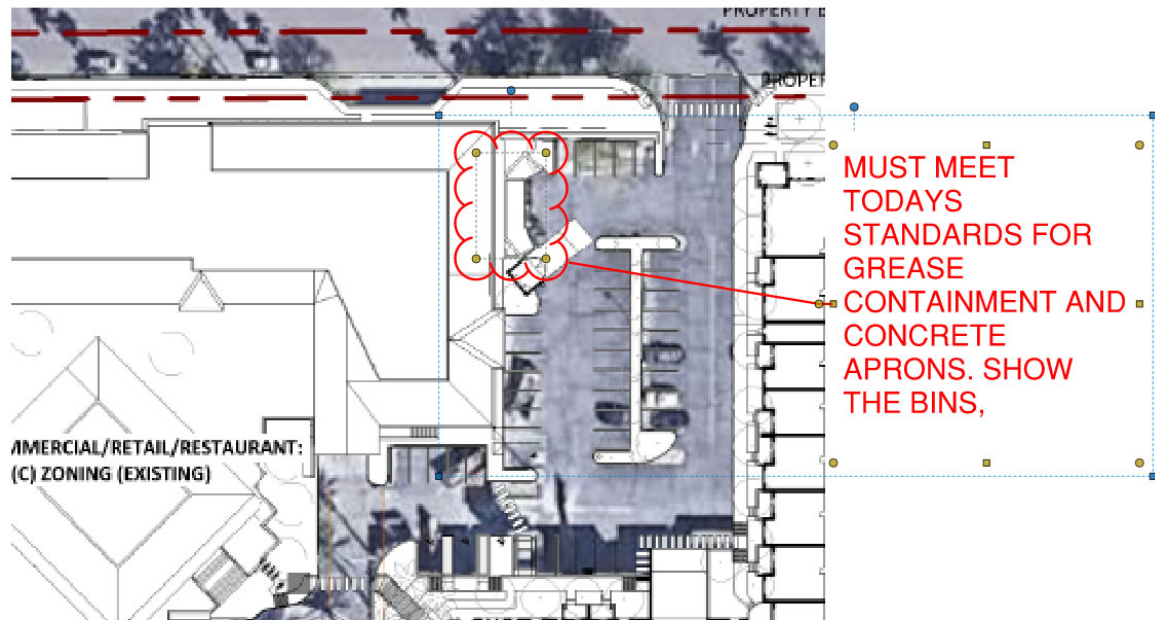
10. Revise plans to remove the sport court and dog park from City parcels. Verify with COS Real Estate Department whether proposed uses of City owned property is allowed with existing agreement or if a new agreement needs to be completed.
11. SRC 48-3 + 4 Easements in conflict with proposed development or easements no longer required will need to be abandoned via MOR. Applicant to acknowledge accordingly.

Significant Policy Issues

The following policy related issues have been identified. Though these issues may not be as critical to determining the application for public hearing, they may affect staff's recommendation and should be addressed with the resubmittal. Please address the following:

Engineering, David Gue, 480-312-2540, dgue@scottsdaleaz.gov:

12. Please see the attached correction sets from Engineering and address corrections accordingly, thank you.
13. Per DSPM Chapter 2: Provide a refuse plan for the entire site. Provide square footages for all existing and proposed buildings, show the location and size of all refuse enclosures, existing and proposed. Show the buildings remaining have adequate refuse capacity on site. Include all buildings except the Black Rock Coffee site. The original site included Shea Blvd., 70th Street, Saguario Drive and the alleyway to the east. Black Rock Coffee has been removed because it is now a standalone site. **The existing refuse north east of the building to remain must be brought up to today's standards. The refuse enclosure must show the required number of bins and grease containment areas, must show the 30 concrete aprons, and must meet the truck turning movements.**



MULTI-FAMILY OFF-STREET LOADING & UNLOADING AREAS	
NO. OF DWELLING UNITS	NO. OF LOADING & UNLOADING AREAS
0 -50	1*
51 - 150	1
151 - 450	2
OVER 450	3**
* The DRB may approve designating one on-lot parking space for loading and unloading that is 10 feet wide by 18 feet long. Designated spaces shall be signed and striped as loading and unloading areas.	
** Plus, any additional loading areas required by the DRB.	

Land Division, Bob Dalton, 480-312-2723, (480) 312-2723:

14. Applicant will need to dedicate additional 4' of right-of-way on west side of alley to bring it to a total of 24'. Please show on site plan.
15. Applicant will need to dedicate Emergency and Service Vehicle Access (ESA) and Public Motorized Access (PMA) easements over the shared drive aisles coming from the driveways on 70th Street and Shea Blvd. Please show on site plan.

Technical Issues

The following technical corrections have been identified. Though these items may not be critical to scheduling the case for public hearing, they may affect a decision on the construction plan submittal and should be addressed as soon as possible. Please address the following:

Design Review, Brad Carr, 480-312-7713, bcarr@scottsdaleaz.gov:

16. Site cross-section for east side of site does not appear to show alley, property boundary, building setback, and building stepback requirements accurately. Please revise graphics.

Graphic still incorrectly shows the building stepback requirement on the east side. The building stepback should be measured from the setback line, which is the property line on the east side.

Current Planning, Katie Posler, 480-312-2703, kposler@scottsdaleaz.gov:

17. Please bold the net lot area and gross lot area boundary on plans.

Please see the attached redlined boundary plan for the information I am looking for. My measurements indicate that the gross lot area (without city parcels) is 374,942 SF and the gross lot area (with city parcels) is 397,685 SF. These are different numbers than what the technical site plan is showing. Please review and update plans to show accurate information, thank you. It needs to be clear throughout the project set (plan sheets and Development Plan) that the proposed zoning scope does not include the two city parcels. This is somewhat unclear based on the two sets of brown boundary lines shown.

18. Please accurately identify the net and gross boundary on the color site plan.

Please see the attached redlined boundary plan for the information I am looking for, thank you.

19. Please revise all project plans to call out the half street dimensions of ROW along all street and alley frontages.

Not addressed on technical requirements site plan, please address.

20. Please remove the required/provided bicycle parking location from the city parcel and relocate it on the subject site.
21. Please clearly label the SES room location on the site plan and floor plan. (East elevation on level 1 per response letter, but isn't labeled.)
22. Please update the residential building cross sections to show the correct building height of 36'. The plans currently list 35'.
23. The set is unclear if there are 239 units vs 240 units, please clarify on all sheets and within the development plan so the project scope matches throughout. Additionally, the 4th floor was reduced in size (by about half), but that isn't reflected in the total unit count. Please explain.

Transportation, Phil Kercher, 480-312-7645, pkercher@scottsdaleaz.gov:

24. The site plan still shows a significant number of parking spaces along the alley. This may become 2nd or 3rd car storage for residents and could be a nuisance for the adjacent businesses.
25. Deemphasize the use of the alley by relocating the proposed parking accessed from the alley or provide an internal connection from the main parking area to this parking field.

Not addressed, please address.

Traffic Impact & Mitigation Analysis (TIMA), Kiran Guntupalli, 480-312-7623, kguntupalli@scottsdaleaz.gov:

26. Bi-directional counts should appear on volume figures throughout report.
27. There are some approaches with deteriorated level of service. The study concludes "development will operate at acceptable levels of service and will utilize the existing access points to the commercial center" is not true. Recommend updating it to rather present the facts stating some of the movements currently operate at a deteriorated level of service and development will not have a major impact on the current operational conditions.
28. Traffic Impact study shall include trips generated for the entire site listed in the application.
29. Trip Generation comparison shall be between existing development on-site to proposed development. Traffic Engineering does not review trip generation comparison that applicant is not considering as part of current application and shall be removed from TIMA report.

Green Building, Anthony Floyd, 480-312-4202, antf@scottsdaleaz.gov:

30. Protection of 50% hardscape is satisfied with light gray concrete, shade trees and parking under building (IgCC).
31. EV charging capable infrastructure must be provided for 20% of total required parking spaces and EV charging installed for 4% of total required parking spaces (IgCC).
32. The building must comply with the prescriptive requirements or total performance analysis per 2021 IECC or 90.1-2019.
33. Design and show on-site renewable energy system (PV) that provides not less than 2 watts per sq. ft. of roof area (IgCC).

Please submit the revised application requirements and supplemental information identified in Attachment A. Once reviewed, staff will determine if the application is ready to be determined for a hearing, or if additional information is needed.

The Zoning Administrator may consider an application withdrawn if a resubmittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance, contact case reviewer identified below.

Regards,
Katie Posler
Senior Planner

ATTACHMENT A
Resubmittal Checklist

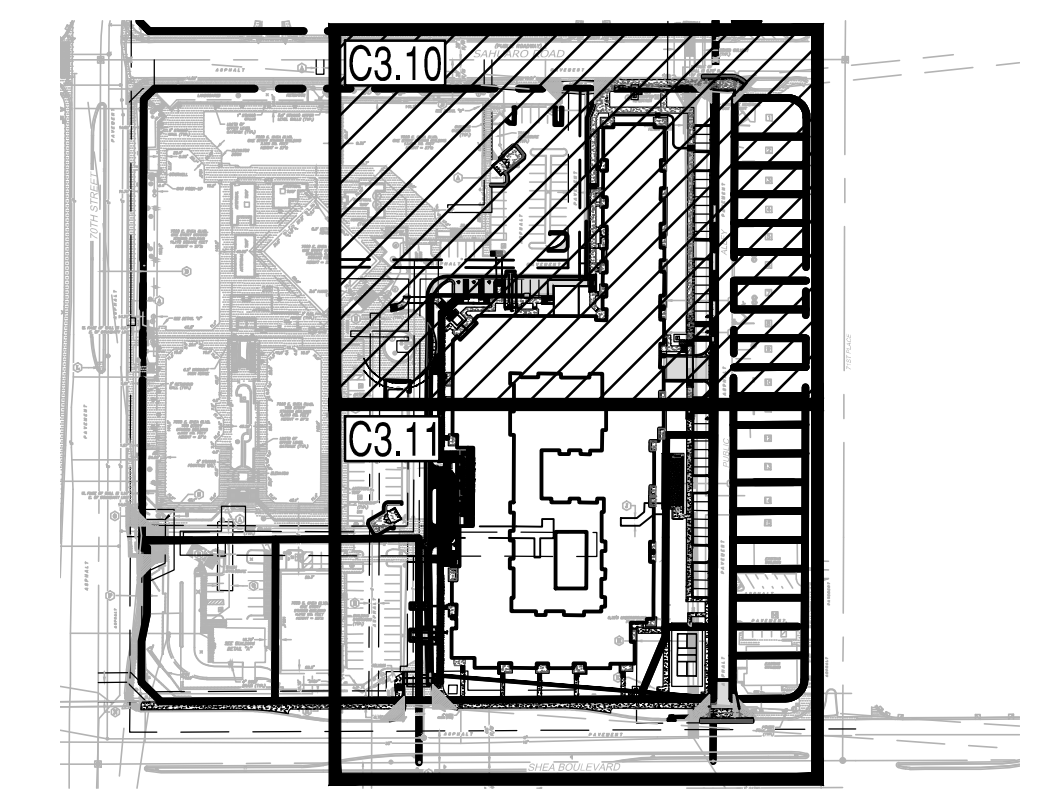
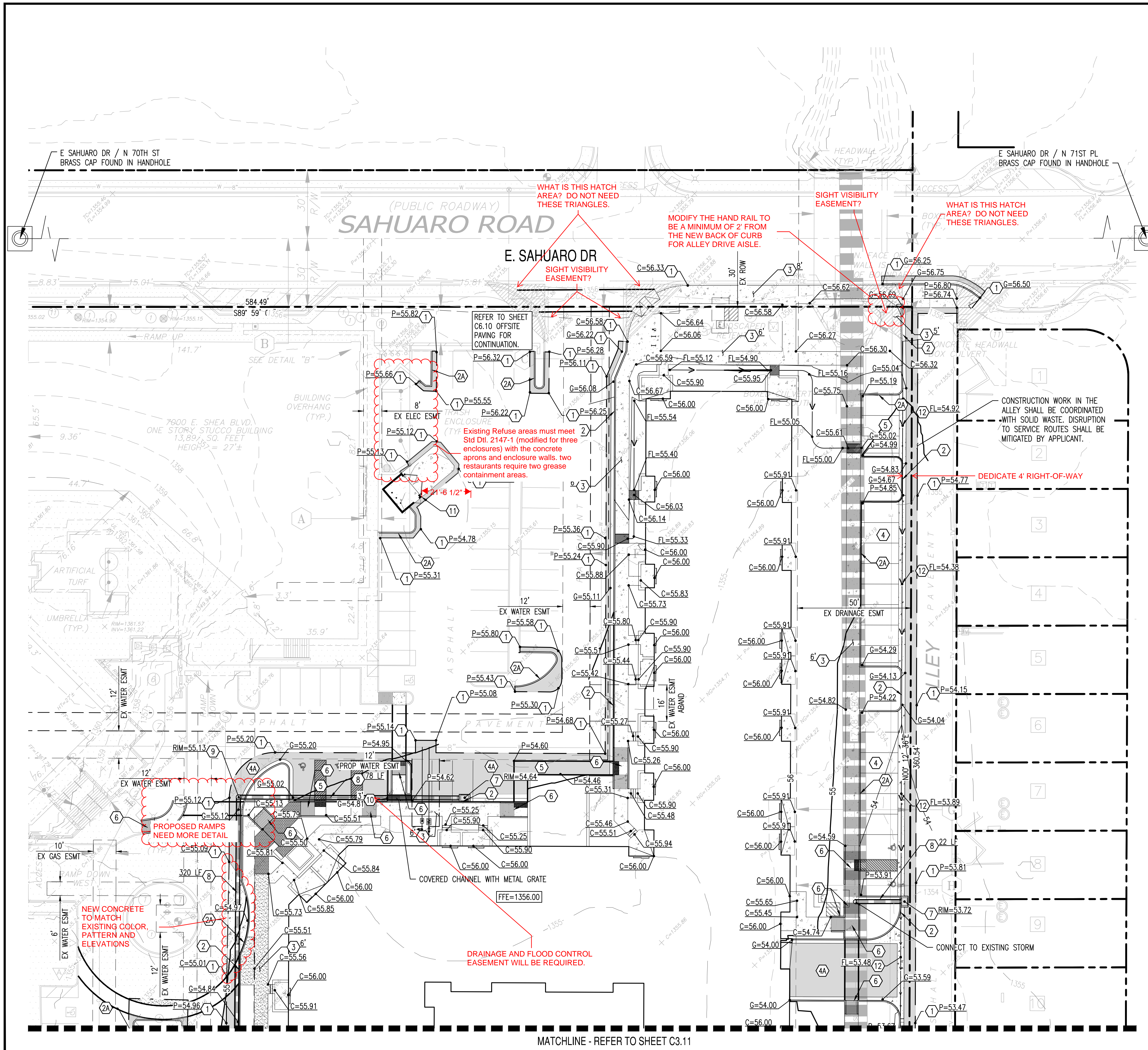
Submit digitally at: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalLogin>

Cases: 6-ZN-2023 and 2-GP-2023

Key Codes:6C395 and 95S87

All files shall be uploaded in PDF format. Application forms and other written documents or reports should be formatted to 8.5 x 11, and plans should be formatted to 11 X 17.

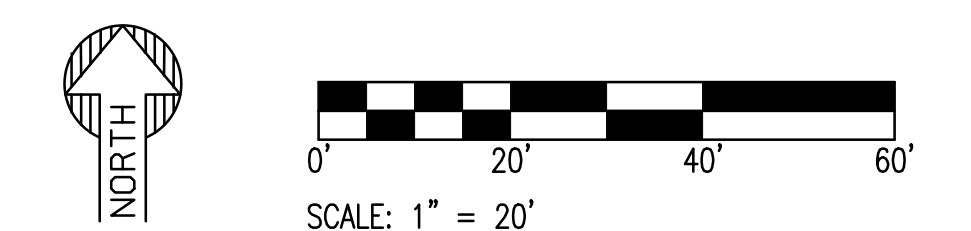
- Comment Response Letter – Provide responses to the issues identified in this letter
- Summary of modifications made resulting from Public Input and staff comments
- Project Narrative/Development Plan
- Development Agreement & Plat for PSD request (Separate case reviews, DA and MD)
- Traffic Impact Mitigation Analysis (TIMA)
- Grading & Drainage Plan
- Rendering Site Plan
- Technical Site Plan
- Zoning Boundary Plan
- Open Space Plan
- Refuse Plan
- Roof Plan
- Parking Metrics Plan



KEY MAP
NTS
NORTH

PRELIMINARY GRADING NOTES

- ① MATCH EXISTING GRADE.
- ② 6" VERTICAL CURB AND GUTTER.
- ②A 6" VERTICAL CURB
- ③ PROPOSED CONCRETE SIDEWALK, WIDTH PER PLAN.
- ④ LIGHT DUTY PAVEMENT.
- ④A HEAVY DUTY PAVEMENT.
- ④B HEAVY DUTY PAVEMENT.
- ⑤ PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
- ⑥ PROPOSED ACCESSIBLE RAMP
- ⑦ NEW CATCH BASIN.
- ⑧ PROPOSED HDPE PIPE.
- ⑨ PROPOSED NYLOPLAST DRAIN BASIN WITH SOLID LID.
- ⑩ PROPOSED CURB ISLAND OPENING.
- ⑪ PROPOSED TRASH ENCLOSURE.
- ⑫ PROPOSED CONCRETE VALLEY GUTTER.



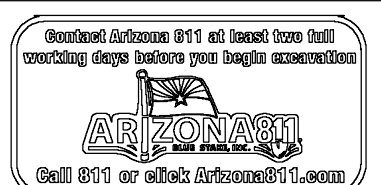
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ESG



PROJECT COMMONS
LOCATION
7000 E. SHEA BLVD
SCOTTSDALE, AZ 85254

DRAWN BY: JC 10/19/2023
DESIGNED BY: JC 10/19/2023
CHECKED BY: JC 10/19/2023
FINAL QC: JC 10/19/2023
PROJ. MGR: AF 10/19/2023

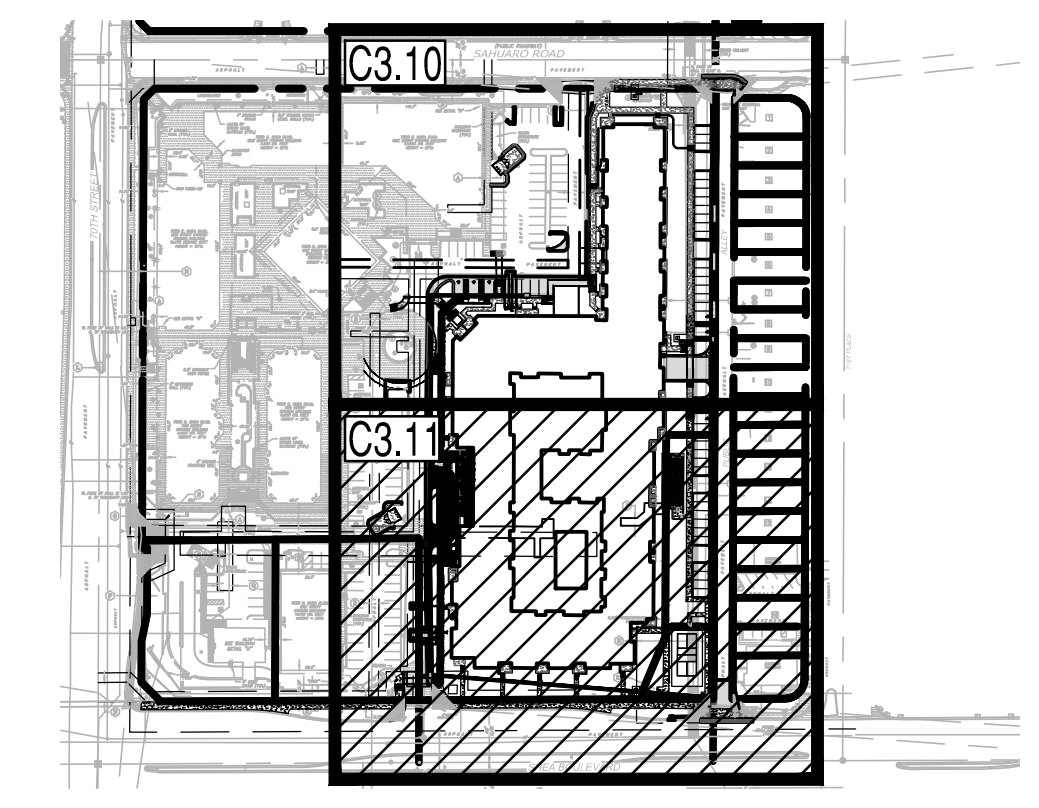
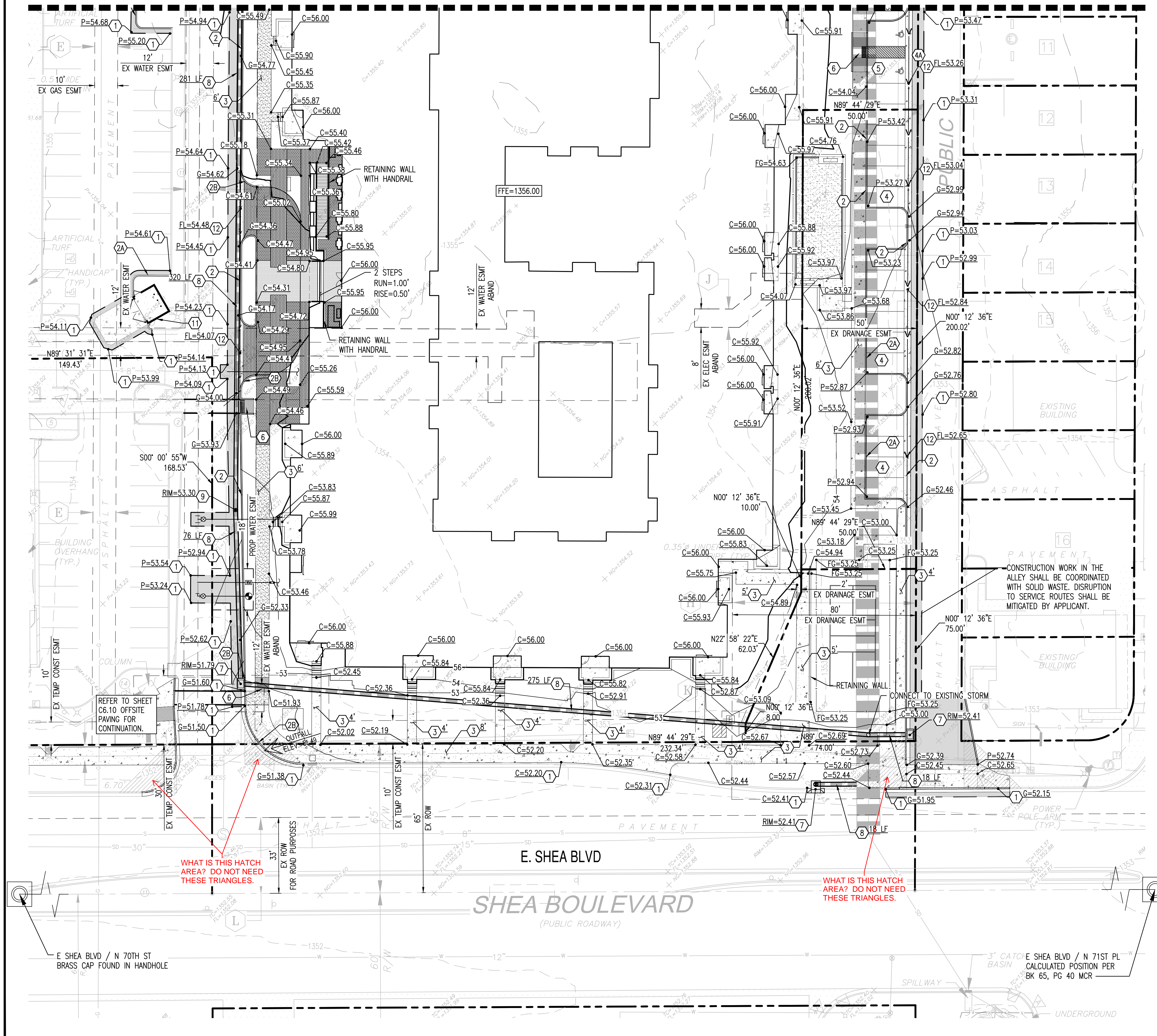
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SHEET TITLE: GRADING & DRAINAGE PLAN

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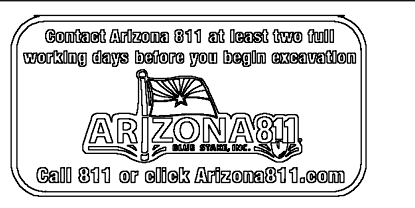
KEY MAP
NTS
NORTH

PRELIMINARY GRADING NOTES

- ① MATCH EXISTING GRADE.
- ② 6" VERTICAL CURB AND GUTTER.
- ②A 6" VERTICAL CURB
- ③ PROPOSED CONCRETE SIDEWALK, WIDTH PER PLAN.
- ④ LIGHT DUTY PAVEMENT.
- ④A HEAVY DUTY PAVEMENT.
- ④B HEAVY DUTY PAVEMENT.
- ⑤ PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
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- ⑨ PROPOSED NYLOPLAST DRAIN BASIN WITH SOLID LID.
- ⑪ PROPOSED TRASH ENCLOSURE.
- ⑫ PROPOSED CONCRETE VALLEY GUTTER.

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LOCATION
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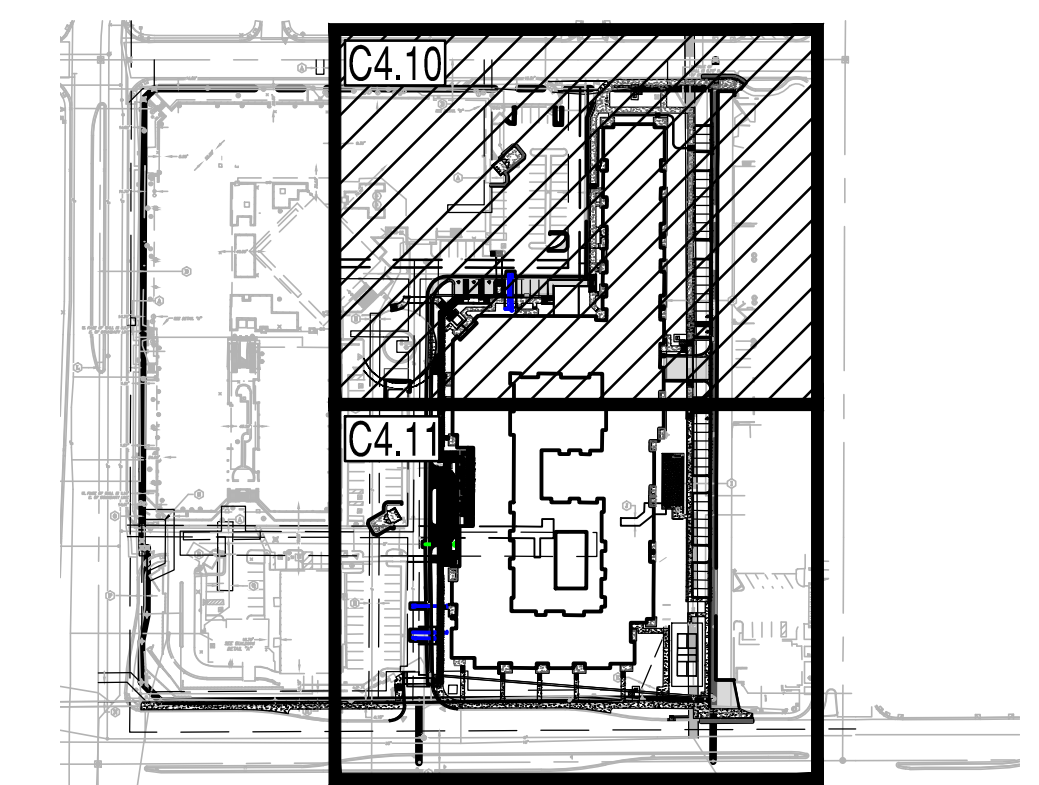
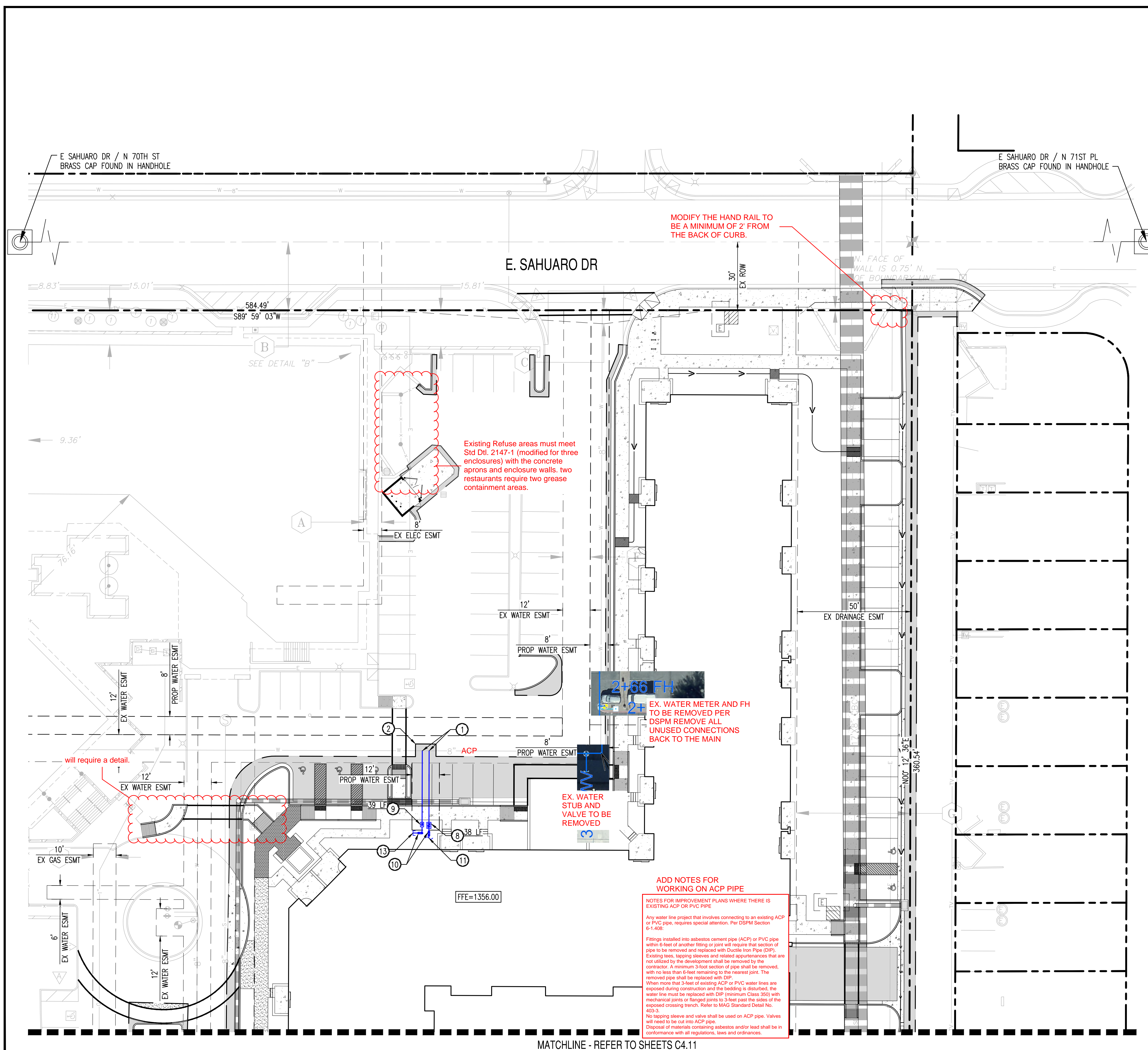
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KEY MAP
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PRELIMINARY WATER NOTES

- ① CONNECTION TO EXISTING WATER LINE.
- ② SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
- ⑧ 2" COPPER DOMESTIC SERVICE CONNECTION.
- ⑨ 1" IRRIGATION SERVICE CONNECTION.
- ⑩ BACKFLOW PREVENTION, SIZE TO MATCH WATER METER SIZE.
- ⑪ DOMESTIC CONNECTION TO BUILDING.
- ⑬ CAP WATER LINE END AND PROVIDE MARKER.

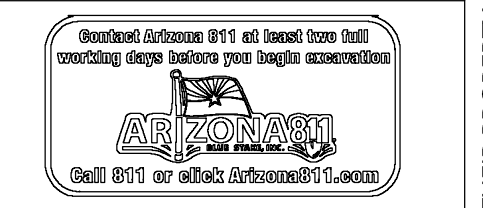
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PROJECT
SUNDOWN COMMONS
LOCATION
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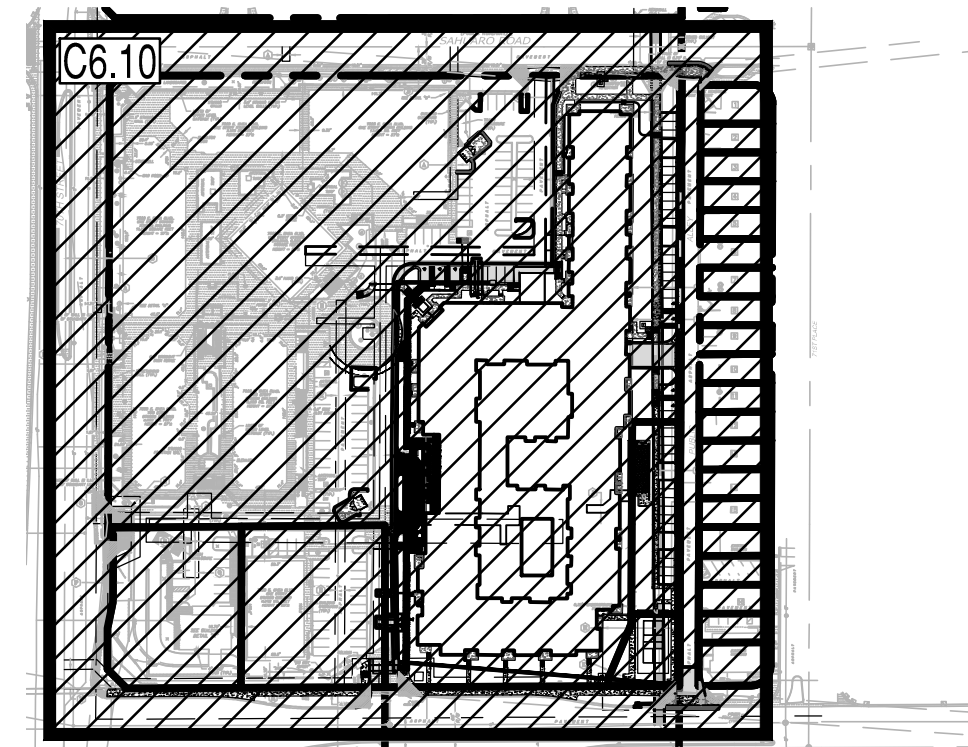
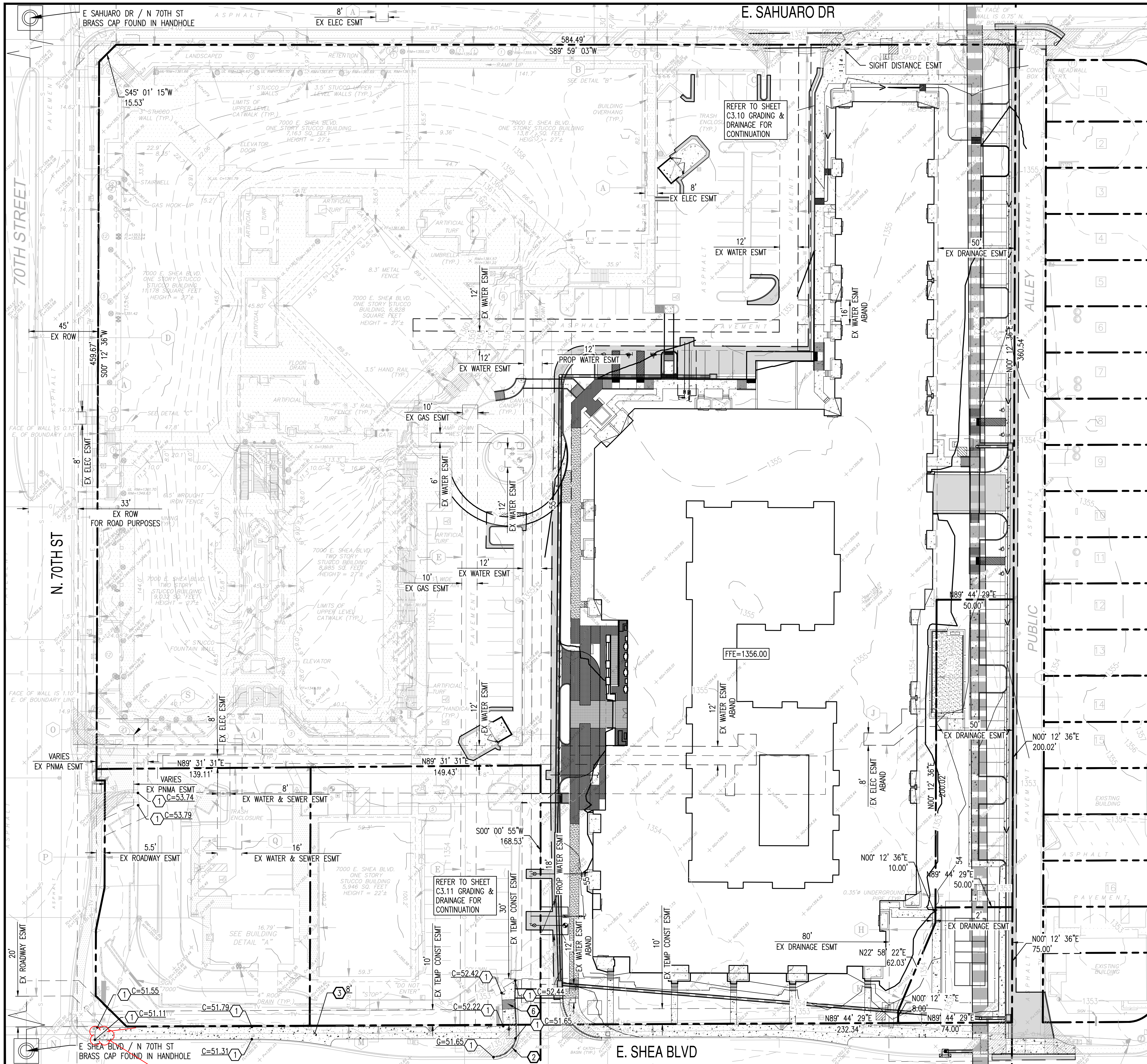
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KEY MAP
NTS
NORTH

PRELIMINARY GRADING NOTES

- ① MATCH EXISTING GRADE.
- ② 6" VERTICAL CURB AND GUTTER.
- ③ PROPOSED CONCRETE SIDEWALK, WIDTH PER PLAN.
- ④ PROPOSED ACCESSIBLE RAMP

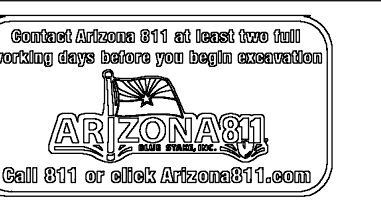
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SEG



ESG



PROJECT SUNDOWN COMMONS	LOCATION 7000 E. SHEA BLVD SCOTTSDALE, AZ 85254
DRAWN DESIGNED CHECKED FINAL QC PROJ. MGR.	JC JC AF AF
DATE:	10/19/2023

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JOB NO.:	230113
SHEET TITLE:	OFFSITE PAVING PLAN

OFFSITE PAVING
PLAN

PAGE NO.: SHEET NO.:
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E SAHUARO DR / N 70TH ST
BRASS CAP FOUND IN HANDHOLE

E. SAHUARO DR

70TH STREET

N. 70TH ST

ALLEY

PUBLIC

E. SHEA BLVD

E SHEA BLVD / N 70TH ST
BRASS CAP FOUND IN HANDHOLE

EX. CATCH BASIN. START 5' SIDEWALK
TAPER FROM EAST SIDE OF CATCH BASIN



500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5508 | f 612.339.5382
www.esgarch.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Arizona

Signature _____
Typed or Printed Name _____
License # Date _____

NOT FOR CONSTRUCTION

10/19/2023
REZONING & GPA
RESUBMITTAL #1

ORIGINAL ISSUE:
REVISIONS
No. Description Date

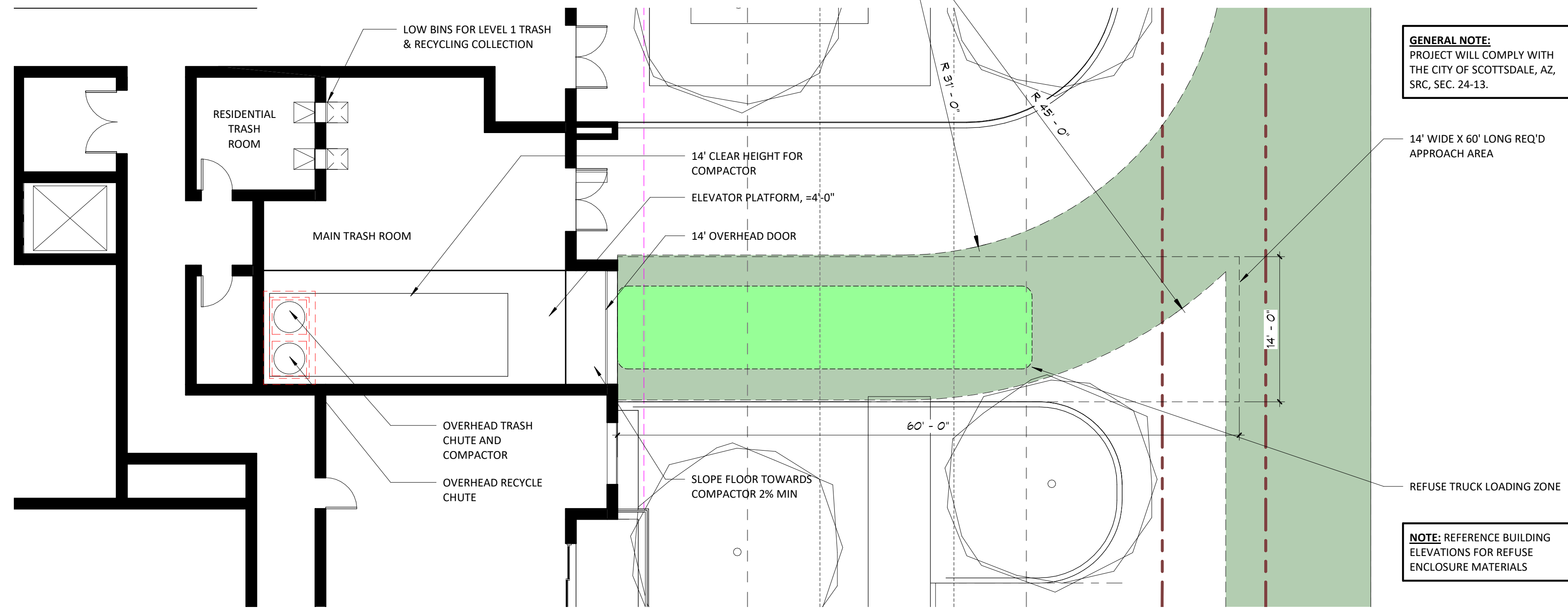
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PROJECT NUMBER
Author Checker
DRAWN BY CHECKED BY

KEY PLAN

SUNDOWN COMMONS

REFUSE PLAN

A.21.h



GENERAL NOTE:
PROJECT WILL COMPLY WITH THE CITY OF SCOTTSDALE, AZ, SRC, SEC. 24-13.

NOTE: REFERENCE BUILDING ELEVATIONS FOR REFUSE ENCLOSURE MATERIALS

UPGRADE TO MEET COS STD DTL 2117-1 (MODIFIED TO SHOW THE CONCRETE APRON, WALL, TWO GREASE CONTAINMENT AREAS) SHOW THE TRUCK TURNING MOVEMENTS FOR EACH REFUSE BIN.

SHOW ALL TURNING MOVEMENTS THAT THE REFUSE TRUCK WILL NEED TO MAKE DURING THE PICKUP.

2 ENLARGED FLOOR PLAN - TRASH / RECYCLING ROOM
A.21.h 1/8" = 1'-0"

USE	DSPM Table 2-1.311.B.	SF*	REQUIRED	EXISTING	PROPOSED
NONRESIDENTIAL (COMMERCIAL CENTER + LOT 3)	1:20,000 SF	82,000	4	3	2** (on Proposed Overall Lot)
RESTAURANT***	1: rest + grease	10,000	1 + 1 grease	1 grease (+1 recyc)	
HERB BOX	-	7,200	-	-	
AZ BREAD CO	-	2,800	-	-	
TOTALS			5 + 1 grease	3 + 1 recy + 1 grease	5 + 1 recy + 1 grease

*Per Site Plan data, Black Rock Coffee Bar, Case# 30-DR-2020; Lot 3 = Building I (Arizona Bread Company and Fitness 4 Home)
**New trash at south side is container type 2146-1 per Scottsdale DSPM & MAG detail
***no additional grease containment needed (1 exists next to existing 3 trash at exist. commercial center)

4 EXISTING REFUSE
A.21.h 1/2" = 1'-0"

CITY ENCLOSURE REQUIREMENT (FREE-STANDING CONDITION)
2 ENCLOSURES FOR EVERY 30 UNITS WITH REFUSE & RECYCLING
 $240 / 30 = 8 \times 2 = 16 =$
16 3-YD (51 CU YDS) REFUSE/RECYCLING ENCLOSED REQ'D

ALTERNATE DESIGN FOR 28 YD DUAL COMPACTOR:

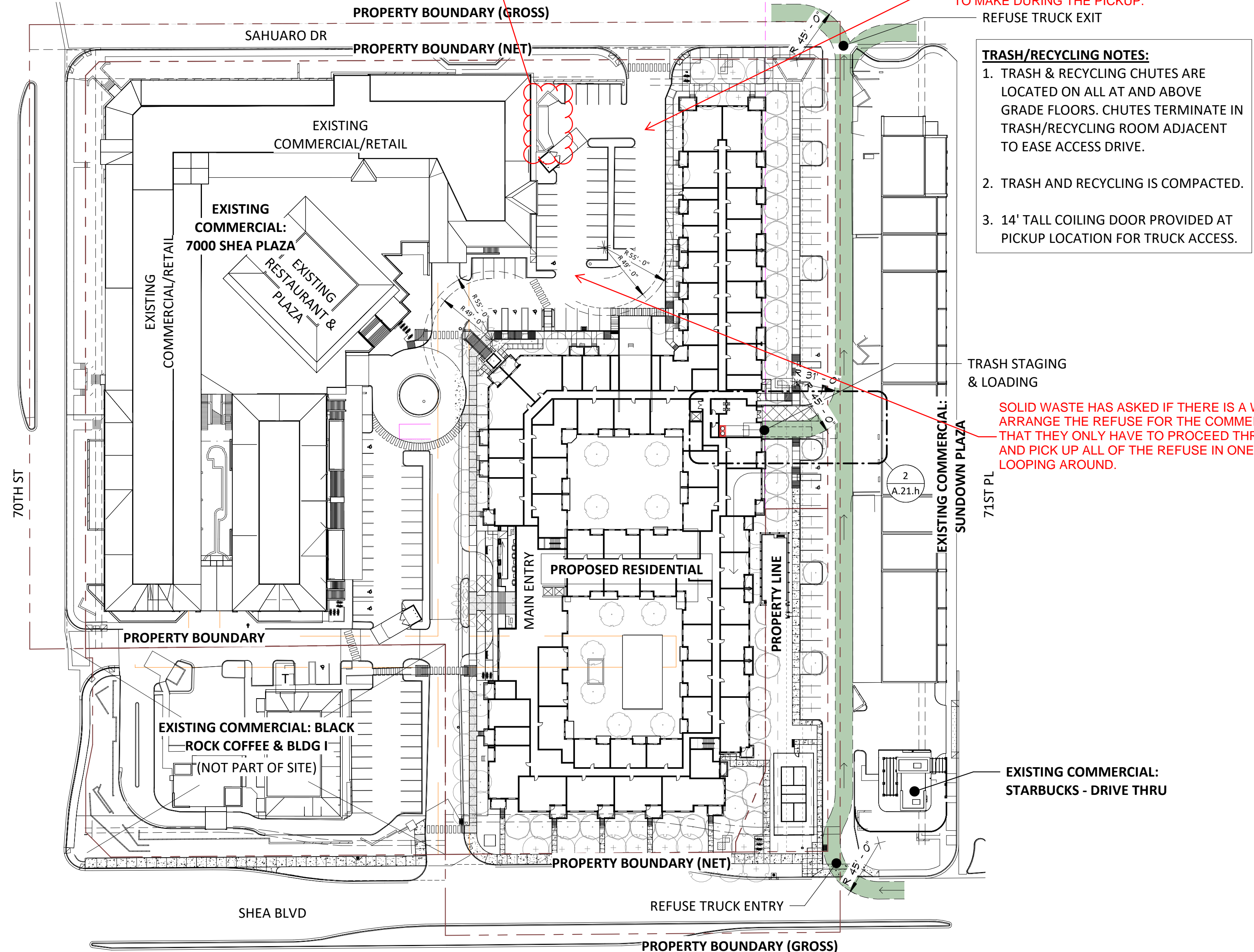
PROVIDING
1 (28 CU YDS, 120 CU YDS UNCOMPACTED) REFUSE/RECYCLING DUAL COMPACTOR (SEE COMPACTOR NOTES BELOW)

WASTE LOAD/COMPACTOR CALCULATIONS
(APPROX. ACTUAL WASTE GENERATION MAY VARY)

0.5 CU YD OF UNCOMPACTED REFUSE/RECYCLING PER RESIDENT/WEEK
 $240 * 0.5 = 120 \text{ CU YDS}$
TOTAL UNCOMPACTED REFUSE/RECYCLING/WEEK

AVG COMPACTOR RATIO 4:1
 $120/4 = 30 \text{ CU YDS/WEEK}$
TOTAL REFUSE/RECYCLING AFTER COMPACTION

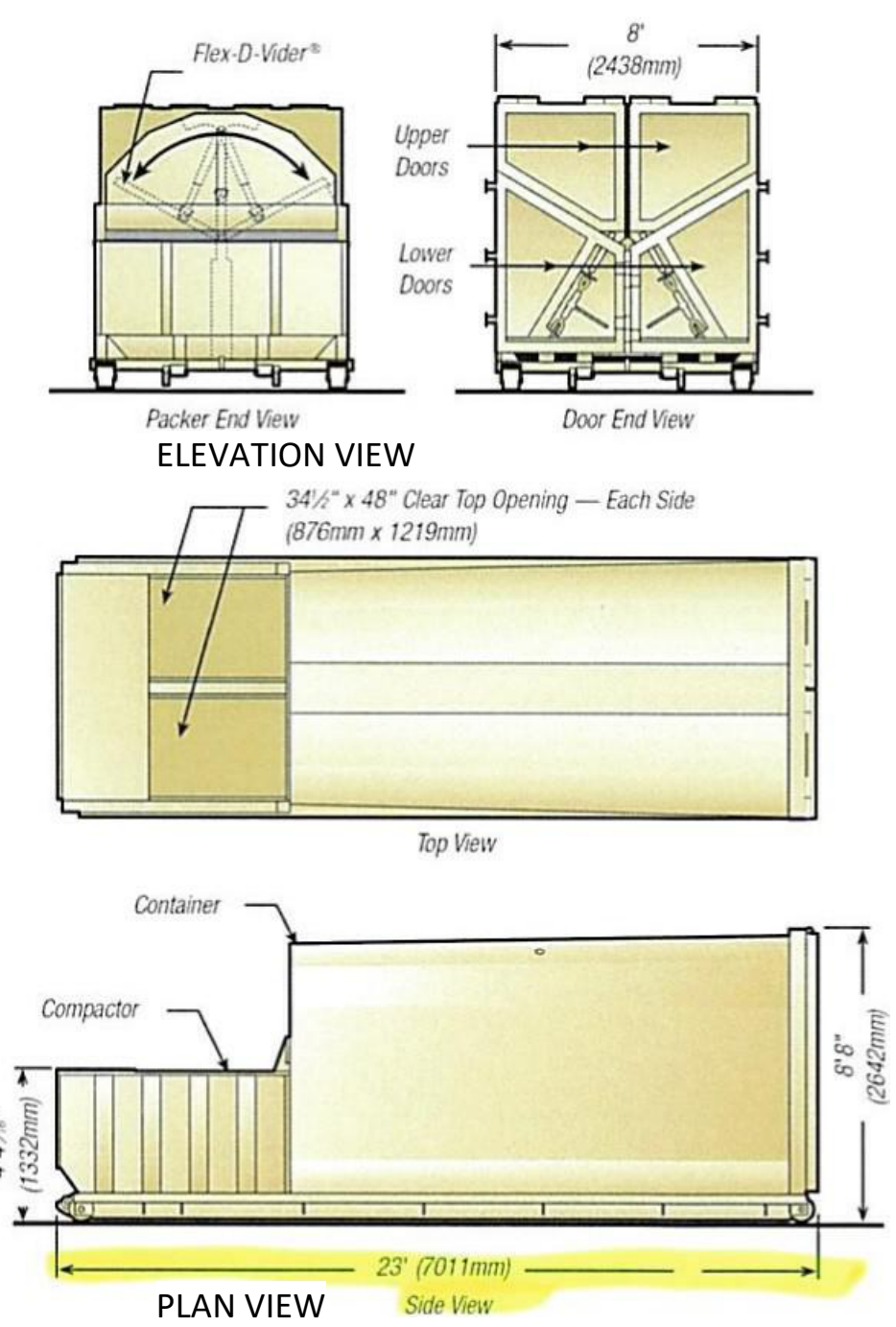
SERVICED 2 TIMES/WEEK (INCLUDES RECYCLING)



TRASH/RECYCLING NOTES:

- TRASH & RECYCLING CHUTES ARE LOCATED ON ALL AT AND ABOVE GRADE FLOORS. CHUTES TERMINATE IN TRASH/RECYCLING ROOM ADJACENT TO EASE ACCESS DRIVE.
- TRASH AND RECYCLING IS COMPACTED.
- 14' TALL COILING DOOR PROVIDED AT PICKUP LOCATION FOR TRUCK ACCESS.

SOLID WASTE HAS ASKED IF THERE IS A WAY TO ARRANGE THE REFUSE FOR THE COMMERCIAL SUCH THAT THEY ONLY HAVE TO PROCEED THROUGH THE SITE AND PICK UP ALL OF THE REFUSE IN ONE PASS WITHOUT LOOPING AROUND.



3 TRASH COMPACTOR
A.21.h 1/2" = 1'-0"

1 REFUSE PLAN
A.21.h 1" = 60'-0"



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Arizona

Signature _____
Typed or Printed Name _____
License # _____ Date _____

NOT FOR CONSTRUCTION

10/19/2023
REZONING & GPA
RESUBMITTAL #1

ORIGINAL ISSUE:
REVISIONS
No. Description Date

222517
PROJECT NUMBER
Author _____ Checker _____
DRAWN BY _____ CHECKED BY _____

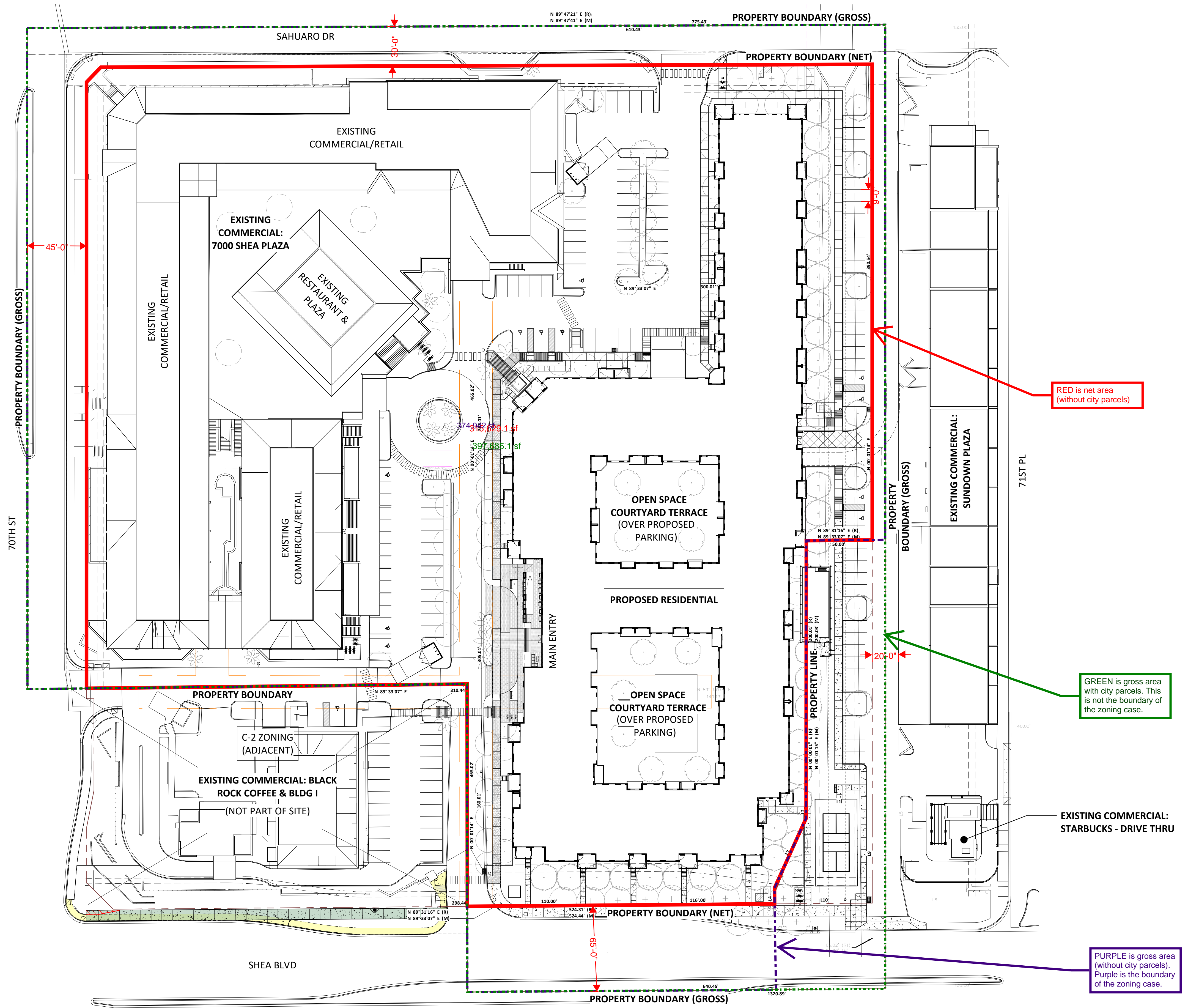
KEY PLAN

SUNDOWN COMMONS

DIMENSIONED
BOUNDARY PLAN

A.21.d

LINE	BEARINGS	LENGTH
L1	N 89°33'07" E (R1) N 89°31'16" E (R) N 89°44'29" E (M)	50.00'
L2	N 89°33'07" E (R1) N 89°31'16" E (R) N 89°44'29" E (M)	50.00'
L3	S 22°46'59" W (R1) S 22°45'38" W (R) S 22°58'22" W (M)	62.03'
L4	N 00°01'14" E (R1) N 00°00'01" E (R) N 00°12'36" E (M)	8.00'
L5	N 00°01'14" E (R1) N 00°00'01" E (R) N 00°12'36" E (M)	75.00'
L6	N 89°33'07" E (R1) N 89°31'16" E (R) N 89°44'29" E (M)	74.00'
L7	S 11°13'34" W (R1) S 11°24'57" W (M)	28.30'
L8	S 00°01'14" W (R1) S 00°12'36" W (M)	74.00'
L9	N 45°18'32" W (R1) N 45°07'09" W (M)	74.00'



RED is net area (without city parcels)

GREEN is gross area with city parcels. This is not the boundary of the zoning case.

PURPLE is gross area (without city parcels). Purple is the boundary of the zoning case.



1 DIMENSIONED BOUNDARY PLAN
A.21.d 1" = 40'-0"