

CITY COUNCIL REPORT



Meeting Date: November 12, 2024
General Plan Element: *Land Use*
General Plan Goal: *Create a sense of community through land uses*

ACTION

The Loop 2-ZN-2010#2

Request to consider the following:

1. Adopt Ordinance No. 4649 to amend the previously approved development plan, including amended development standards including Building Height, Floor Area Ratio, Volume, Open Space, Front Yard Setback and Permissible Height and Area regulations, resulting in a new development plan that conforms to the normal development standards of the Industrial Park (I-1) zoning district, on a +/- 18.36-acre site located at 17821 N. 85th Street, 17799 N. 85th Street, 17791 N. 85th Street, and 17761 N. 85th Street with Planned Community District (P-C) zoning with Industrial Park District (I-1) as the comparable zoning district.
2. Adopt Resolution No. 13247 to declare "The Loop Development Plan" as a public record.

Purpose of Request

The applicant's request is to amend a previously approved Development Plan (case 2-ZN-2010; Ordinance No. 3936 & Resolution No. 8652), including development standards for a new four-building industrial development.

Key Items for Consideration

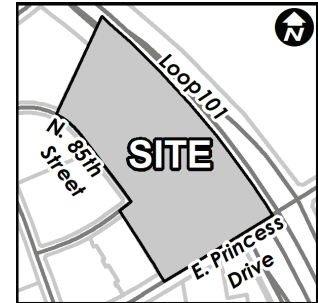
- Associated previous zoning case 2-ZN-2010
- Consistency with the General Plan and Greater Airpark Character Area Plan
- Drainage design to accommodate significant flows
- Proposed zoning reverts to ordinance I-1 development standards
- Perimeter Property Owners' Association approval
- To date, no public comments have been received
- Planning Commission heard this case on October 9, 2024 and recommended approval with a 6-0 vote (Vice Chair Young recusing).

OWNER

Scottsdale Perimeter I, LLC
480-951-9550

APPLICANT CONTACT

Kurt Jones
Tiffany & Bosco, P.A.
(602) 452-2729



LOCATION

17791 N 85th Street, 17821 N. 85th Street, 17799 N. 85th Street, and
17761 N. 85th Street

BACKGROUND

General Plan

City of Scottsdale General Plan 2035 designates the property as Employment: Light Industrial/Office within the Regional Use Overlay. The Employment: Light Industrial/Office land use category provides a variety of employment opportunities, business enterprises, aviation uses, light manufacturing, warehousing, and other light industrial and heavy commercial type activities. While this category should be located and designed to limit impacts on and access to residential neighborhoods, these areas should also have excellent access to labor pools and transportation networks. The Regional Use Overlay Category provides flexibility for land uses when it can be shown that new land uses are viable in serving a regional market.

The subject site is located within the General Plan designated Greater Airpark Growth Area – an identified location within the community that is most appropriate for development focus, and will best accommodate future growth, new development, revitalization, and redevelopment. Scottsdale’s Growth Areas focus on higher intensity development, a planned concentration of land uses, and enhanced transportation and infrastructure in designated areas.

Character Area Plan

The Greater Airpark Character Area Plan (GACAP) designates the property as Employment (EMP) land use within the Type C Development Type. This land use category includes an array of office, commercial, warehousing, and light industrial land uses that provide opportunities for business enterprises, as well as regional and local jobs. Within the Greater Airpark, Development Types help define the size and scale of development. Type C development represents medium to higher scale development, which supports pedestrian activity in the Greater Airpark.

Zoning

The site is zoned Industrial Park, Planned Community District (I-1 P-C). The I-1 zoning district allows for light manufacturing, aeronautical, light industrial, office and supportive uses to sustain and enhance major employment opportunities.

Context

The site, comprising four (4) separate parcels, is located in the Perimeter Center along the west side of the Loop 101 bounded by the curve of the elevated freeway along its eastern side, N. 85th Street to the west, and E. Princess Drive to the south. The northern end of the site has already been developed as a corporate office. Other surrounding properties have developed mostly as business and medical offices, with a hotel located directly west of the subject site.

Adjacent Uses and Zoning

- North: Vacant State land zoned, Industrial Park, Planned Community District (I-1 P-C).
- South: Medical office uses zoned Industrial Park, Planned Community District (I-1 P-C).
- East: Freeway, further east is vacant State land zoned Industrial Park, Planned Community District (I-1 P-C).
- West: Hotel and office uses zoned Central Business District Planned Community District (C-2 PCD) and Industrial Park, Planned Community District (I-1 P-C).

Other Related Policies, References:

11-ZN-1986: Rezoned the Perimeter Center from R1-35 to a variety of residential, commercial, and industrial zoning districts and established the Perimeter Center Planned Community District.

2-ZN-2010: Approval for amended development standards allowing building height up to 65 feet.

APPLICANT’S PROPOSAL

Development Information

The applicant is requesting to amend both the previously approved, but never constructed, development plan and the associated development standards to accommodate a lower-scale campus layout. The proposal relinquishes the existing development standards in favor of typical ordinance I-1 standards. The currently entitled four and five story buildings would be replaced by four one-story buildings with a maximum proposed height of forty-two (42) feet. The current entitlements allow maximum heights up to sixty-five (65) feet. The standard maximum allowed height in I-1 is fifty-two (52) feet.

- | | |
|---------------------|--------------------------------|
| • Existing Use: | Vacant, industrial pads |
| • Proposed Use: | Warehouse and Office Buildings |
| • Parcel Size: | 18± Acres (4 parcels) |
| • Parking Required: | 376 spaces |
| • Parking Provided: | 431+ spaces |

IMPACT ANALYSIS

Land Use

Below is a summary table for comparison of the existing amended development standards and the proposed normal I-1 development standards. Note that some previous ordinance standards have since been removed as requirements. The existing development plan allows more height, but also offsets the height with specific stipulations for view corridors with site design standards.

Development Standard	2-ZN-2010 (Amended I-1) (Existing)	2-ZN-2010#2 (Standard I-1) (Request)
Floor Area Ratio	Is limited to six-tenths (0.6) of net lot area	Maximum: 0.80 multiplied by the net lot area
Volume	Is limited to net lot area in square feet multiplied by nine (9) for any building.	Not Applicable
Open Space	In no case shall the open space requirement be less than ten (10) percent of the total lot area of zero (0) feet to twelve (12) feet of height, plus four-tenths percent of the total site for each foot of height above twelve (12) feet. Open space shall be required for the 65' building height at a minimum of 32% of the total site.	Minimum: 0.10 multiplied by the net lot area. For building heights over twelve (12) feet: the minimum required open space plus 0.003 multiplied by the net lot area, for each foot of building height over twelve (12) feet.
Building Height	No building shall exceed sixty-five (65) feet in height except as otherwise provided in article VII. Building height shall be measured from natural grade; drainage, or any other considerations shall not permit the maximum building height to increase by more than 3'.	Maximum: Fifty-two (52) feet,
Lot Coverage	Is limited to fifty (50) percent of the net lot area.	Not Applicable
Yards	Front Yard. No part of the building or accessory structure shall be located closer than fifty (50) feet to any street. Parking may occur in the required front yard as provided in Section 10.402.C.1.	Front minimum: Twenty (20) feet.

Airport Vicinity

As part of the development process within proximity to the airport, the applicant is required to submit for an FAA Determination (Form 7460-1) on any proposed structures to make sure they will not be a hazard for aircraft. Before final plan approval, the owner shall submit the FAA response to FAA Form 7460-1. Airport staff has reviewed the application and indicated support of the proposal subject to the review and approval of the FAA.

PCD Findings/Criteria

- A. That the development proposed is in substantial harmony with the General Plan of the City of Scottsdale and can be coordinated with existing and planned development of surrounding areas.
 - *The proposed development plan amendment is in substantial harmony with the General Plan's 'Employment: light industrial/office' land use designation. The proposal intends to place office and warehouse uses within the Greater Airpark Character Area. The development plan amendment would decrease allowable height and address drainage issues raised with the previous plan.*
- B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.
 - *The existing established street system is not impacted with this plan. Princess Drive provides direct access to the Loop 101 Freeway. The properties' access points are off minor collector roads for safe and convenient access for the community.*
- C. The Planning Commission and City Council shall further find that the facts submitted with the application and presented at the hearing will establish beyond reasonable doubt that:
 1. In the case of proposed development, that such development will constitute a residential environment of sustained desirability and stability; that it will be in harmony with the character of the surrounding area; and that the sites proposed for public facilities, such as schools, playgrounds and parks, are adequate to serve the anticipated population. The Planning Commission and City Council shall be presented written acknowledgment of this from the appropriate school district, the Scottsdale Parks and Recreation Commission and any other responsible agency.
 - *The proposed development plan does not propose any residential uses.*
 2. In the case of proposed industrial or research uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that the design and development standards are such as to create an industrial environment of sustained desirability and stability.
 - *Although the request is to implement the existing industrial park zoning under the ordinance, the proposal reduces building height compared to the existing development plan. The request seeks no amended development standards and effectively creates an industrial environment of sustained desirability and stability. The site has been zoned industrial park district since the Perimeter Center's inception and the proposal will implement that land use.*

3. In the case of proposed commercial, educational, cultural, recreational and other nonresidential uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that such development will be in harmony with the character of the surrounding areas.

- *The proposed development plan amendment seeks to develop in full conformance with the I-1 zoning. The scale and intensity of the development proposed is congruent with surrounding sites. The proposed development plan will be in harmony with the character of the surrounding areas, which also share the same zoning designation.*

Transportation

The proposed Loop Development is estimated to generate 6,351 fewer daily trips as compared to the previously approved development plan. The existing street network can accommodate the proposed development. Parking for the proposed site requires 376 spaces; 431 spaces are provided.

Water/Sewer

The City of Scottsdale is an Arizona Department of Water Resources designated provider with a 100 years Assured Water Supply and will supply water in accordance with City codes, ordinances, and the City's Drought Management Plan. The water demand for this development must not exceed the calculated demands per the approved 2-ZN-2010#2 Water Basis of Design (BOD) report. All infrastructure upgrades necessary to serve this project will be completed by the applicant.

The applicant provided BOD reports for water and sewer that have been accepted by the Water Resources Division. With the Development Review Board submittal, the applicant is stipulated to conduct Sewer Flow Monitoring per DSPM Section 7-1.202.E. to confirm the frontage and downstream sewer lines have the requisite sewer capacity. The developer must install, at their expense, all on-site and off-site sewer improvements necessary to serve their development.

Fire/Police

The nearest fire station (#11) is located approximately 1.8 miles from the site. The subject property is located within Police Patrol District 4. The proposed request for a new development plan is not anticipated to generate any significant impacts on the existing emergency services.

As with any project that contributes to growth, the fire department and police department continually anticipate and evaluate resource needs for the city's budget process.

Open Space

In accordance with Section 5.1804 of the Zoning Ordinance, open space requirements in the I-1 zoning district are based on a combination of net lot area and building height. As the height of the buildings on a site increase, the requirement for open space increases. The majority of open space is provided along the 85th Street frontage with additional open space for amenity areas. The applicant is proposing 22% of the net lot area (6.63 acres) as open space, which is consistent with the ordinance requirements for a site with 42-foot-tall buildings.

Housing Cost

The approval of the zoning district map amendment proposed by the applicant provides an opportunity for different commercial uses for the existing commercial property. In conjunction with state law, staff has considered the scope of the zoning district map amendment, as well as aspects which would affect the cost of construction of housing for sale or rent. Staff has not identified any factors that would substantially impact the cost to construct housing for sale or rent.

Community Involvement

The City of Scottsdale promotes public participation in the development of the built environment and has used multiple public outreach methods. The applicant has also complied with the city's suggested best practices for public outreach. At the time of writing this report, there have been no public comments.

Significant Updates to Development Proposal Since Initial Submittal

- Added on-site amenities for customers and employees
- Added masonry screen walls and mature landscaping to screen loading areas
- Improved pedestrian access and sidewalk widths
- Added shading elements for windows

Community Impact

Community impacts by the proposed development will not likely create any significant adverse effects upon the surrounding developments or the community at large. Flow tests will be required prior to permitting to ensure sewer capacities remain unaffected.

OTHER BOARDS AND COMMISSIONS

Planning Commission:

Planning Commission heard this case on October 9, 2024 and recommended approval with a 6-0 vote (Vice Chair Young recusing).

Staff's Recommendation to Planning Commission

Staff recommended that the Planning Commission find that the PCD criteria have been met, and determine that the proposed zoning district map amendment, development plan, and amended development standards are consistent and conform with the adopted General Plan, and make a recommendation to City Council for approval, per the attached stipulations.

STAFF RECOMMENDATION

Recommended Approach:

1. Adopt Ordinance No. 4649 to amend the previously approved development plan, including amended development standards including Building Height, Floor Area Ratio, Volume, Open Space, Front Yard Setback and Permissible Height and Area regulations, resulting in a new development plan that conforms to the normal development standards of the Industrial Park (I-1) zoning district, on a +/- 18.36-acre site located at 17821 N. 85th Street, 17799 N. 85th Street,

17791 N. 85th Street, and 17761 N. 85th Street with Planned Community District (P-C) zoning with Industrial Park District (I-1) as the comparable zoning district.

2. Adopt Resolution No. 13247 to declare “The Loop Development Plan” as a public record.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Casey Steinke
Planner
480-312-2611
E-mail: csteinke@scottsdaleaz.gov

APPROVED BY



Casey Steinke, Report Author

10/16/24

Date



Tim Curtis, AICP, Current Planning Director
Planning Commission Liaison
Phone: 480-312-4210 Email: tcurtis@scottsdaleaz.gov

10/24/2024

Date



Erin Perreault, AICP, Executive Director
Planning and Development Services
Phone: 480-312-7093 Email: eperreault@scottsdaleaz.gov

10/25/2024

Date

ATTACHMENTS

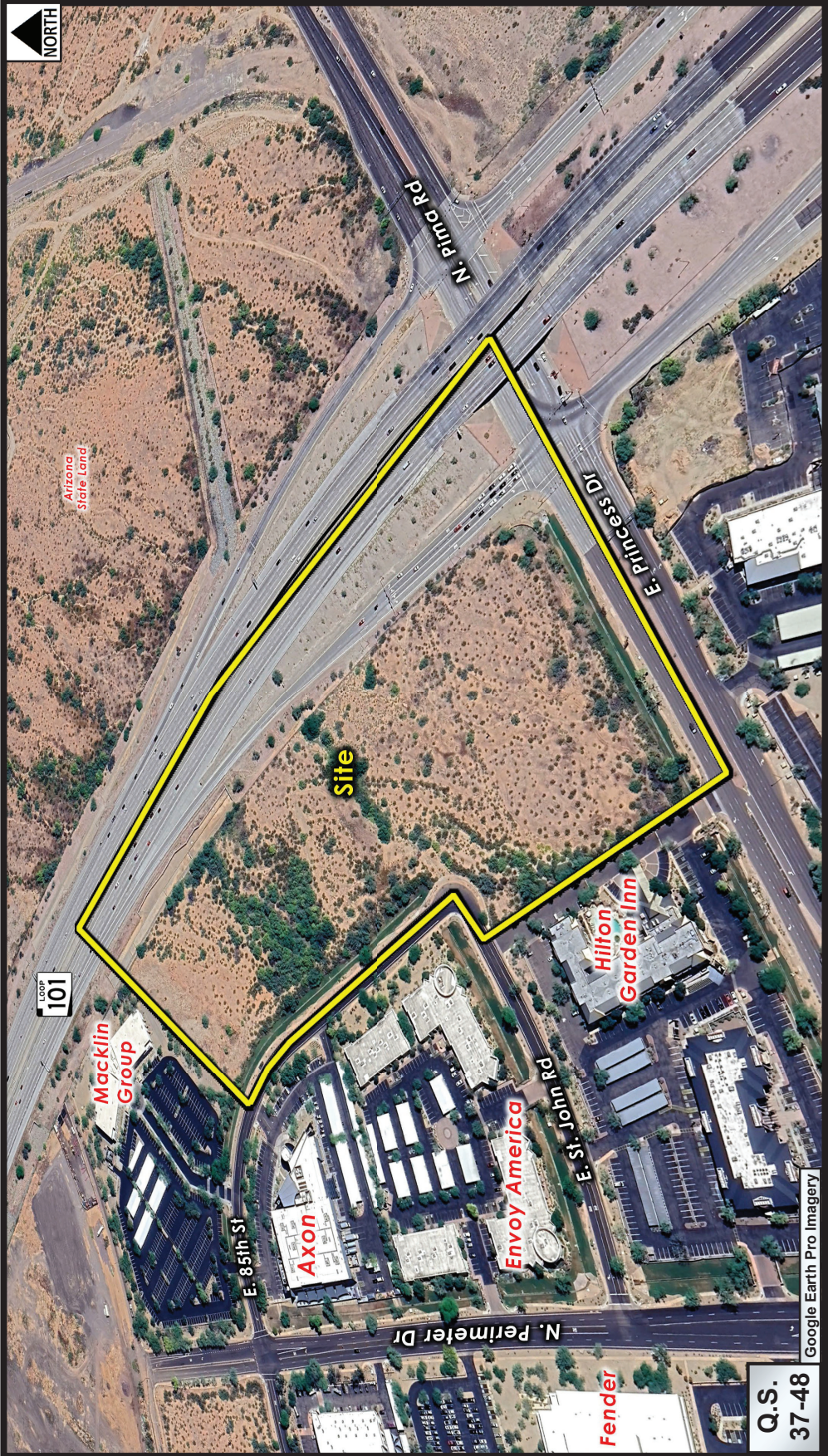
1. Context Aerial
- 1A. Aerial Close-Up
2. Ordinance No. 4649
 - Exhibit 1: Zoning Map
 - Exhibit 2: Stipulations
3. Resolution No. 13247
 - Exhibit 1: The Loop Development Plan
4. Additional Information
5. Existing General Plan Land Use Map
6. Greater Airpark Character Area Plan
7. Greater Airpark Land Use Plan
8. Zoning Case 2-ZN-2010 Stipulations
9. Existing Zoning Map
10. Community Involvement
11. City Notification Map
12. October 9, 2024 Planning Commission Meeting Minutes



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Google Earth Pro Imagery

Context Aerial

2-ZN-2010#2



2-ZN-2010#2

Close-up Aerial

ATTACHMENT 1A

ORDINANCE NO. 4649

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455, THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, BY AND FOR THE PURPOSE OF AMENDING THE PREVIOUSLY APPROVED DEVELOPMENT PLAN, APPROVED AS PART OF CASE 2-ZN-2010, TO AMEND THE DEVELOPMENT STANDARDS INCLUDING BUILDING HEIGHT, FLOOR AREA RATIO, VOLUME, OPEN SPACE, FRONT YARD SETBACK AND PERMISSIBLE HEIGHT AND AREA REGULATIONS, ON A +/- 18.36-ACRE SITE LOCATED AT 17821 N. 85TH STREET, 17799 N. 85TH STREET, 17791 N. 85TH STREET, AND 17761 N. 85TH STREET WITH PLANNED COMMUNITY DISTRICT (P-C) ZONING WITH INDUSTRIAL PARK DISTRICT (I-1) AS THE COMPARABLE ZONING DISTRICT.

WHEREAS, the Planning Commission held a hearing on October 9, 2024; and

WHEREAS, the City Council has considered the probable impact of Zoning Ordinance No. 4649 on the cost to construct housing for sale or rent; and

WHEREAS, The Planning Commission has made findings in conformance with the requirements of the Planned Community District and the City Council also finds:

- A. That the development proposed is in substantial harmony with the General Plan, and can be coordinated with existing and planned development of surrounding areas.
- B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.
- C. The Planning Commission and City Council shall find that the facts submitted with the application and presented at the hearing establish beyond reasonable doubt that:

1. In the case of proposed industrial or research uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that the design and development standards are such as to create an industrial environment of sustained desirability and stability.

2. In the case of proposed commercial, educational, cultural, recreational and other nonresidential uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that such development will be in harmony with the character of the surrounding areas.

WHEREAS, the City Council finds that the proposed development is in substantial harmony with the General Plan of the City of Scottsdale and will be coordinated with existing and planned development; and

WHEREAS, it is now necessary that the comprehensive zoning map of the City of Scottsdale ("District Map") be amended to conform with the decision of the Scottsdale City Council in Case No. 2-ZN-2010#2.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale, as follows:

Section 1. That the "District Map" adopted as a part of the Zoning Ordinance of the City of Scottsdale, showing the zoning district boundaries, is amended by amending the existing development plan approved as part of case 2-ZN-2010, to amend the development standards including building height, floor area ratio, volume, open space, front yard setback and permissible height and area regulations for a property located at the northwest corner of Princess Drive and Loop 101 and marked as "Site" (the Property) on the map attached as **Exhibit 1**, incorporated herein by reference, with Planned Community District (P-C) zoning with Industrial Park District (I-1) as the comparable zoning district., and by adopting that certain document entitled "The Loop Development Plan" declared as public record by Resolution No. 13247 which is incorporated into this ordinance by reference as if fully set forth herein.

Section 2. That the above rezoning approval is conditioned upon compliance with all stipulations attached hereto as **Exhibit 2** incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this _____ day of _____, 2024.


ATTEST:

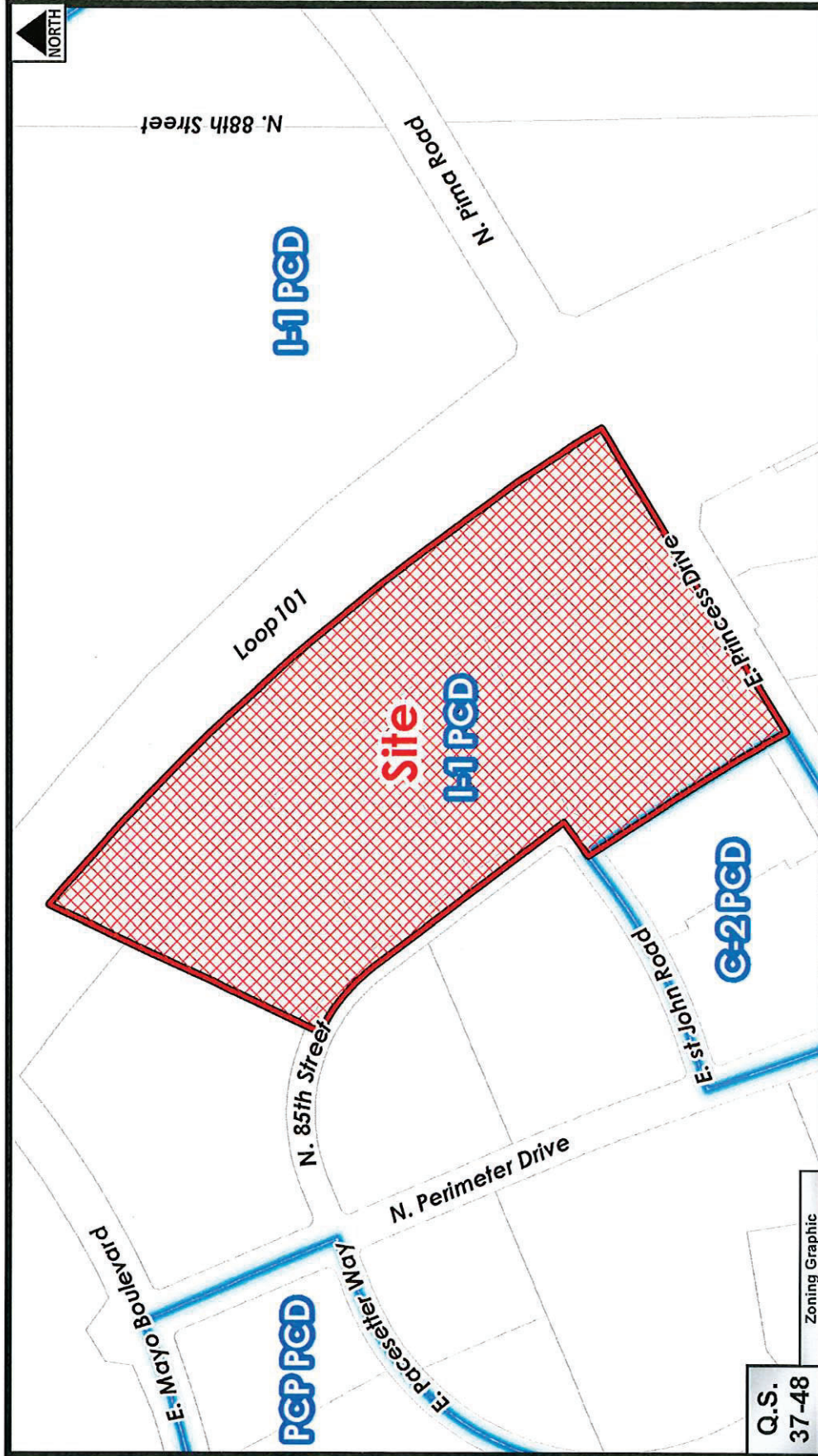
CITY OF SCOTTSDALE, an Arizona
municipal corporation

By: _____
Ben Lane
City Clerk

By: _____
David D. Ortega
Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By:  _____
Sherry R. Scott, City Attorney
By: Joe Padilla, Deputy City Attorney



Q.S.
37-48

Zoning Graphic

ZONING MAP

Ordinance No. 4649
Exhibit 1
Page 1 of 1

2-ZN-2010#2

Stipulations for the Zoning Application:

The Loop

Case Number: ~~2-ZN-2010~~ **2-ZN-2010#2**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

CHANGES MADE ARE SHOWN IN STRIKE-THROUGH AND BOLD AND UPPERCASE. STIPULATIONS WITH **BOLD, UNDERLINE, AND UPPERCASE** TEXT WERE AMENDED AFTER PLANNING COMMISSION.

SITE DESIGN

1. CONFORMANCE DEVELOPMENT PLAN. Except as stipulated below, development shall generally conform with the Development Plan submitted by **TIFFANY AND BOSCO** Davis, and the offices of Earl, Curley, and Lagarde, with the city staff date of 1/14/2011, attached as Exhibit 1 to that public record entitled "The Pinnacle in the Perimeter Center The Loop Development Plan", made a public record by Resolution No. ~~8652~~13247, and incorporated herein by reference. Any proposed significant change to the Development Plan as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
 - a) ~~The parking structure shown on the conceptual site plan shall be limited to one (1) above grade story~~ **AT A MAXIMUM OF 14 FEET IN HEIGHT** and shall be located as far to the east as access requirements allow.
 - b) ~~The Development Review Board shall pay particular attention to: 1) the design of the parking structure facade to assure compatibility with the adjacent hotel use, 2) the provision of adequate landscape screening and, 3) the use of low impact, shielded lighting on the structure.~~
 - c) ~~The amended development standards shall not apply to the southern 300~~ **200** feet of the subject site.
2. ~~CONFORMANCE TO AMENDED DEVELOPMENT STANDARDS.~~ Development shall conform with the amended development standards set forth in that certain public record entitled "The Pinnacle in the Perimeter Center Development Plan", made a public record by Resolution No. ~~8652~~, and incorporated herein by reference. Any change to the development standards shall be subject to additional public hearings before the Planning Commission and City Council.
3. ~~BUILDING HEIGHT LIMITATIONS.~~
 - a) ~~No building on the site shall exceed sixty five (65) feet in height as measured from natural grade plus three (3) feet. In no case shall drainage or any other considerations cause the building height to exceed this standard.~~
 - b) ~~Mechanical equipment and screening shall be limited to twenty (20) percent of the roof area, and shall not exceed twelve (12) feet in height above the roof deck.~~
 - c) ~~Buildings sixty five (65) feet in height shall be located within approximately the eastern 200 feet of the building envelope, as identified on the Building Height Zones exhibit with the city staff~~

~~date of 3/21/2011 and incorporated in the Development Plan. Buildings on all other areas of the site shall not exceed fifty (50) feet in height.~~

~~4. CONFORMANCE TO THE DESIGN GUIDELINES. Development shall conform to the Design Guidelines set forth in that certain public record, that public record entitled "The Pinnacle in the Perimeter Center Development Plan", made a public record by Resolution No. 8652, and incorporated herein by reference, as determined by the Development Review Board. All other relevant City of Scottsdale design guidelines shall still apply to the site.~~

~~5. VIEW CORRIDORS.~~

- ~~a) If any building is greater than sixty (60) feet in height, view corridors shall be provided between the buildings for a minimum of thirty-five (35) percent of the average length (north-south) of the overall 25-acre site.~~
- ~~b) For buildings taller than thirty-six (36) feet but less than sixty (60) feet in height, view corridors shall be provided between the buildings for a minimum of twenty (20) percent of the average length (north-south) of the overall 25-acre site.~~
- ~~c) The required view corridors shall be on an east-west axis for the width of the site, and shall be clear of any buildings, with the exception of site amenities that are less than sixteen (16) feet in height.~~

AIRPORT

- 6. FAA DETERMINATION. With the Development Review Board Application, the owner/developer shall submit a copy of the FAA Determination letter on the FAA FORM 7460-1 on any proposed structures, appurtenances that penetrate the 100:1 slope. The elevation of the highest point of those structures including the appurtenances must be detailed in the FAA form 7460-1 submittal.
- 7. AIRCRAFT NOISE AND OVERFLIGHT DISCLOSURE. Prior to permit issuance, the owner/developer shall provide noise disclosure notice to occupants and/or potential employees in a form acceptable to the Scottsdale Aviation Director.
- 8. AVIGATION EASEMENT. With the Development Review Board submittal, the owner/developer shall provide a signed and completed Avigation Easement in a form acceptable to the City for recording.

INFRASTRUCTURE AND DEDICATIONS

- 9. ACCESS RESTRICTIONS. Access to the site shall conform to the following restrictions, unless otherwise approved by the Transportation Department (distances are measured to the driveway or street centerlines):
 - a. There shall be a maximum of one site driveway from E. Princess Drive, with a minimum of 300 feet between the driveway(s) and street intersection(s). This driveway shall be restricted to right-in, right-out only access.
 - b. Site driveways proposed along N. 85th Street and E. St. John Road shall be located with a minimum of 125 feet between the driveway and adjacent street and driveway intersections along both sides of the street (intersections include the intersection of N. 85th Street and E. ST. John Road).

10. DRAINAGE REPORT. Prior to being scheduled for a Development Review Board hearing, the owner shall submit and receive acceptance of a case drainage report demonstrating compliance with the accepted master plans for the Perimeter Center. The design proposed as part of the zoning case seems sound, but further technical review will take place during the final plans submittal.
- ~~11. WATER/SEWER. Prior to submittal of improvement plans for the site, the owner shall submit and receive acceptance of a water and sewer basis of design report demonstrating compliance with the accepted master plans for the Perimeter Center.~~
12. CONSTRUCTION COMPLETED. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF SHELL BUILDING, WHICHEVER IS FIRST, FOR THE DEVELOPMENT PROJECT, THE PROPERTY OWNER SHALL COMPLETE ALL THE INFRASTRUCTURE AND IMPROVEMENTS REQUIRED BY THE SCOTTSDALE REVISED CODE AND THESE STIPULATIONS.
13. SEWER IMPROVEMENTS. PRIOR TO THE SCHEDULING OF A DEVELOPMENT REVIEW BOARD HEARING FOR PROJECT, THE OWNER SHALL COMPLETE THE FOLLOWING:
 - A. SUBMIT AND RECEIVE WATER RESOURCES APPROVAL OF A FINAL BASIS OF SEWER DESIGN REPORT THAT INCLUDES, NO OLDER THAN A YEAR FROM DATE OF ITS INITIAL SUBMITTAL, SEWER FLOW MONITORING AT TWO LOCATIONS COORDINATED WITH WATER RESOURCES AND IN ACCORDANCE WITH DSPM SECTION 7-1.202.E.
 - B. SUBMIT AND RECEIVE WATER RESOURCES APPROVAL OF OFF-SITE SEWER INFRASTRUCTURE DESIGN PLANS TO PROVIDE SUFFICIENT SEWER CAPACITY TO SERVE THE PROJECT AS REQUIRED BY WATER RESOURCES FOR THEIR APPROVAL OF THE PROJECT'S SEWER FINAL BASIS OF DESIGN REPORT AND IN ACCORDANCE WITH DSPM SECTION 7-1.400.
14. LAND ASSEMBLAGE. PRIOR TO THE ISSUANCE OF ANY PROJECT PERMIT, THE PROPERTY OWNER SHALL SUBMIT AND OBTAIN CITY APPROVAL AND RECORDATION OF A LAND ASSEMBLAGE PLAT COMBINING ALL PROJECT LANDS INTO ONE PARCEL.
15. STREET LIGHTING. WITH THE DEVELOPMENT REVIEW BOARD SUBMITTAL, THE DEVELOPER SHALL SUBMIT A STREET LIGHT PLAN SHOWING THE REPLACEMENT OF THE 3 EXISTING STREETLIGHT POLES ALONG N. 85TH STREET FRONTAGE WITH 4 NEW STREETLIGHT POLES SPACED EVERY 200 FEET. NEW POLES SHALL COMPLY WITH CITY OF SCOTTSDALE STANDARD DETAIL 2173.

RESOLUTION NO. 13247

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT FILED WITH THE CITY CLERK OF THE CITY OF SCOTTSDALE AND ENTITLED "THE LOOP DEVELOPMENT PLAN".

WHEREAS, State Law permits cities to declare documents a public record for the purpose of incorporation into city ordinances; and

WHEREAS, the City of Scottsdale wishes to incorporate by reference amendments to the Zoning Ordinance, Ordinance No. 455, by first declaring said amendments to be a public record.

NOW, THEREFORE BE IT RESOLVED, by the Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. That certain document entitled "The Loop Development Plan", attached as **Exhibit 1**, a paper and an electronic copy of which are on file in the office of the City Clerk, is hereby declared to be a public record. Said copies are ordered to remain on file with the City Clerk for public use and inspection.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this ____ day of _____, 2024.


CITY OF SCOTTSDALE, an
Arizona municipal corporation

ATTEST:

By: _____
Ben Lane, City Clerk

By: _____
David D. Ortega, Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY



Sherry R. Scott, City Attorney
By: Joe Padilla, Deputy City Attorney

The Loop Development Plan

THE LOOP DEVELOPMENT PLAN AMENDMENT PROJECT NARRATIVE

For property located at the corner of E. St. John Road and 85th Street within the Perimeter Center

Request

Amend the development plan and removing the amended standards approved in case 2-ZN-2010 Planned Community District with comparable Industrial Park District (PCD I-1) zoning

Case 2-ZN-2010#2

First Submittal: February 6, 2024

Development Team

Developer:

Creation Equity

1200 N. 52nd Street

Phoenix, AZ 85008

Contact: Jagger Everett



Attorney:

Tiffany & Bosco, P.A.

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Phoenix, AZ 85016

T: (602) 452-2712

Contact: Kurt Jones, AICP



Engineers:

Hunter Engineering

10450 N. 74th Street, Suite 200

Scottsdale, AZ 85258

T: (480) 991-3985

Contact: Larry Talbott, PE



Huitt-Zollars

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Phoenix, AZ 85018

T: (602) 373-9441

Contact: Christian Aguirre, PE



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Request

The request by Creation Equity ("Developer") is to amend the approved development plan on Maricopa County Assessor's Parcel #'s 215-07-212 K, L, M & N ("Property") within the City's Perimeter Center development. The Property is located at the intersection of E. St. John Road and 85th Street. The development plan amendment seeks to utilize the existing I-1 PCD zoning for uses allowed within this zoning district with a four (4) building campus. The previous development plan included two (2) 65-foot high office buildings and associated parking and parking garage. The previous case approved amended development standards including building heights up to 65 feet in certain areas of the site. The proposal is to remove the height increase allowance and revert to standard I-1 zoning development standards. The four (4) buildings and associated parking within this proposal meets the I-1 development standards.

Background/History

The Property is located within the Perimeter Center, which is located on the inside curve of the Loop 101 highway. The Perimeter Center was originally zoned in the late 1980's as part of the larger Core South master plan that included a much larger land mass of properties along the north and south sides of the (at the time) future freeway alignment. Although I-1 zoning is the zoning designation for a majority of lots within the Perimeter Center, many of the lots developed out as mainly offices with ancillary commercial and hotel uses. The Property is one of the last undeveloped portions of the Perimeter Center.

The significant drainage that encumbers this site is a main reason for it remaining undeveloped. With the existing development plan (two-65 foot tall office buildings and parking fields), there was no serious consideration in site planning for the major drainage that enters this site from the large culvert system under the freeway. The proposed development plan by the Developer includes accommodating and paying for a drainage solution to the Property and the Perimeter Center.

Surrounding Context

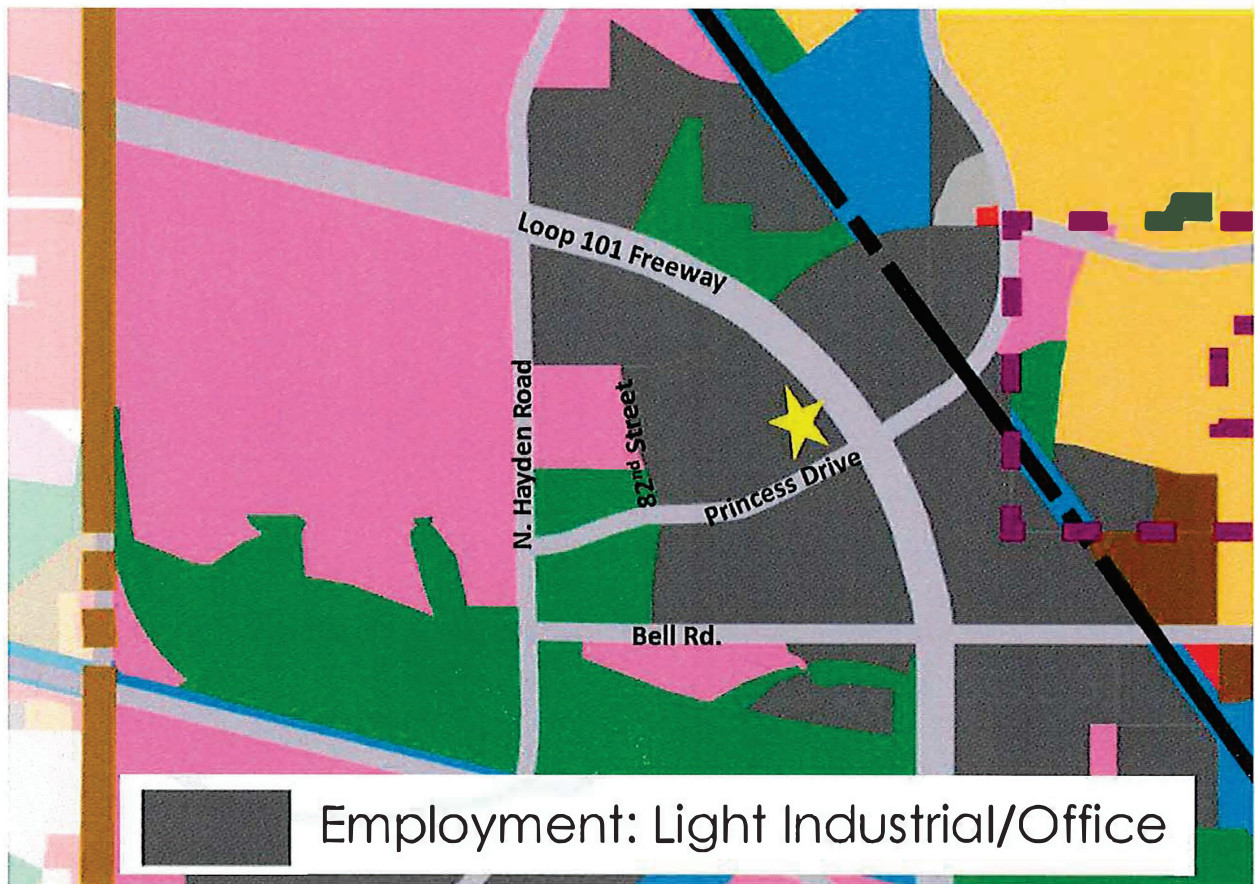
The Property is within the eastern portion of the Perimeter Center. The adjacent parcels are primarily office buildings with a hotel directly to the west off a shared driveway from Princess Drive. The freeway is along the Property's eastern boundary. Most of the parcels in this area of the Perimeter Center have similar I-1 PCD zoning.

2035 General Plan

The Property is designated as Light Industrial/Office on the City's General Plan Future Land Use Map (see below). The development plan amendment is consistent with this land use designation. The Employment-Light Industrial/Office land use areas provide a variety of employment opportunities, business enterprises, aviation uses [see Greater Airpark Character Area Plan], light manufacturing, warehousing, and other light industrial and heavy commercial type activities. Light Industrial/Office uses should be located and designed to limit impacts on and access to residential neighborhoods. These areas should

also have excellent access to labor pools and transportation networks. Major streets serving Light Industrial/Office areas should accommodate truck traffic. Transit facilities and other multimodal options are also needed at significant employment centers to accommodate commuters and minimize traffic congestion. The parcels within Perimeter Center with this land use designation include C-2, C-O, I-1, and PCP. All of these zoning districts allows for the implementation of the goals of the Light Industrial/Office land use designation.

2035 General Plan Land Use Map



Furthermore, with the construction of the Loop 101/Pima Freeway and a concentrated mixed-use land use pattern near the Scottsdale Airport, this area, more commonly known as the Greater Airpark Character Area, has emerged as one of the most significant employment and business cores within the State of Arizona. These regional land uses, along with the city's land preservation efforts, have contributed to Scottsdale's economy, which in turn contributes to a high quality of life for residents. The Light Industrial/Office land use designation over the Perimeter Center area also creates the necessary buffer and non-noise sensitive uses at the north end of the airports runway.

Character and Design Element

The following are the applicable goals and approaches from the Character and Design Element of the City's General Plan.

Goal CD 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.

Response: The proposal is an appropriate modification to an approved development plan. The previous development plan included a more office-oriented development with taller buildings and larger parking fields. The proposal seeks lower scale buildings and less parking fields. With the site designed to internalize the future uses, the proposal will have less impacts on surrounding properties.

Goal CD 2. Develop, maintain, and refine Character Areas and Character Area Plans to foster quality development and consistent character and context within various areas of the community.

Response: The proposed development plan implements the Greater Airpark Character Plan by providing for a variety of industrial park type uses along a major freeway corridor. The development plan will maintain the variety of employment type uses within the Perimeter Center.

CD 3.1 Strengthen Scottsdale's economic and environmental attributes, distinctive character, and attractiveness through collaborative site planning and design.

Response: The site and building design will include the resolution of a significant drainage/environmental area for the Property and this portion of the Perimeter Center. The commitment to resolving this costly issue while not requesting amended development standards strengthens Scottsdale's economic and environmental attributes, distinctive character, and attractiveness through collaborative site planning and design.

Land Use Element

Goal LU 1. Enhance Scottsdale's economic viability by encouraging land uses that reinforce the city's reputation as the premier international tourist destination in the Southwest and sustain the city's role as a regional cultural center and economic hub. Land uses should be compatible with Scottsdale's character and physical appearance.

Response: The proposed land use will continue to enhance Scottsdale's economic viability by providing land uses in conformance with the Property's zoning designation. The development plan amendment removes taller buildings that could obstruct views and create issues with surrounding properties. Providing for additional land uses within the Perimeter Center strengthens this area of the City as a regional economic hub. The proposal creates a land use that contributes to the character of the community and sustains a viable economic base.

Goal LU 4. Develop context appropriate land use patterns that support a variety of compatible mobility choices and services.

Response: The proposal includes developing land uses in conformance with the Property's existing zoning and the City's General Plan Land Use designation. The proposal is context appropriate and does not request any amended development standards that would alter land use patterns in the area.

Goal LU 6. Attract and retain diverse employment, business, and retail land uses to improve the economic well-being of Scottsdale's residents.

Response: The proposal provides for a different type of land use than the adjacent office uses. The proposal includes four (4) industrial-type buildings of different sizes allowing flexibility for end users. The surrounding office buildings are less adaptable to ever-changing economic trends. The development plan will attract and retain diverse employment and other business land uses that will improve Scottsdale's economic well-being.

Economic Vitality Element – Goals and Approaches

Goal EV 1. Foster Scottsdale's resiliency to economic change through support of our core industries (e.g., tourism, healthcare, bio/life sciences, advanced business services), assets, regional competitiveness, and economic diversity.

Response: The proposed development supports the City's and the Perimeter Center's resiliency for evolving business and industries. The flex-space type buildings have minimal impacts to surrounding uses while creating diverse business assets to Scottsdale's economic prominence.

EV 1.2 Support retention and expansion of established businesses, and provide resources for businesses to adapt to changing market conditions.

Response: The proposal intends develop land uses consistent with the underlying industrial park zoning. The proposed building design and flexibility will allow for continued business expansion in the City and adapt to changing market conditions.

Greater Airpark Character Area Plan

The Property falls within the Greater Airpark Character Area plan ("GACAP") limits. The following are some responses to the applicable goals and policies within the GACAP.

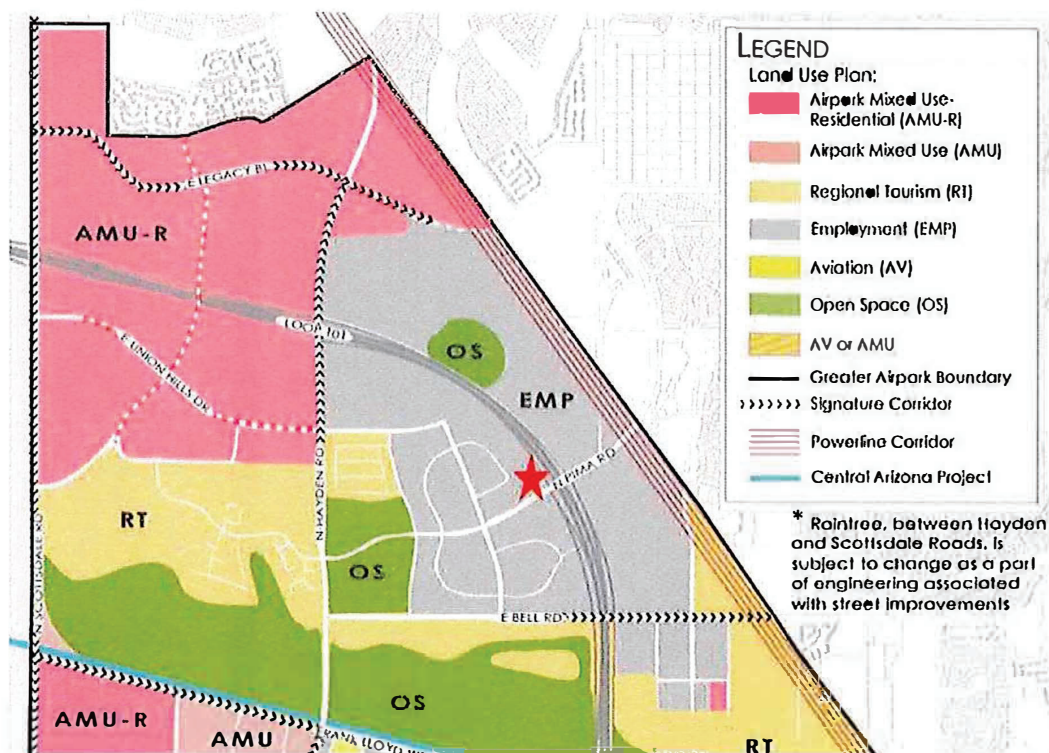
GOAL LU 1: Maintain and expand the Greater Airpark's role as a national and international economic destination through appropriate land uses, development, and revitalization.

- Policy LU 1.1 Maintain and expand the diversity of land uses in the Greater Airpark.
- Policy LU 1.2 Support a mix of uses within the Greater Airpark that promote a sense of community and economic efficiency, such as clustering similar/supportive uses and incorporating residential intended for the area's workforce, where appropriate

- Policy LU 1.3 Promote development intensities supportive of existing and future market needs.
- Policy LU 1.4 Encourage the redevelopment of underutilized land to more productive uses.
- Policy LU 1.5 Maintain and continue to foster dialogue between the City of Scottsdale and Arizona State Land Department to facilitate innovative use and development of State-owned land.
- Policy LU 1.6 Encourage the assemblage of small, inefficient parcels and the replacement of obsolete structures in the Greater Airpark utilizing strategies including, but not limited to, development flexibility and expedited processing of proposals.
- Policy LU 1.7 Encourage adaptive reuse of buildings.
- Policy LU 1.8 Prevent erosion of Greater Airpark Employment land uses through land use regulations, such as limiting retail and restaurants in areas designated for employment.

Response: The development of the Property with the land uses allowed in the underlying zoning district will maintain and expand the Greater Airpark's role as a national and international economic destination through appropriate land uses, development, and revitalization. The proposed four building design is not prevalent within the Perimeter Center. The development plan expands the diversity of land uses in the Greater Airpark area. The allowance to utilize a zoning district consistent with the General Plan and GACAP demonstrates the flexibility to address a minor development plan change.

Greater Airpark Land Use Plan



- Policy LU 4.3 Encourage higher-scale Type C development in areas with access to major transportation corridors and where lower-scale residential areas will be buffered from higher-scale development.
- Policy LU 4.4 Support transitions in scale between development types.
- Policy LU 4.6 Transitions between development types should incorporate a blending in context of each development type, and integrate the characteristics between them through appropriate site and building design.
- Policy LU 4.7 Encourage greater visual variety between employment/commercial land uses and residential neighborhoods, and avoid continuous building shapes and mass adjacent to residential neighborhoods.

Response: The Property falls within the Type C development type within the Development Types map of the GACAP. The approved development plan provides for 65-foot tall office buildings consistent with the Type C development designation. The proposed development seeks to lower the building heights to under fifty feet. The proposed development plan provides a transition back to the historical building heights created before the GACP land use designations. The Property will develop in a manner consistent with the surrounding business and industrial park uses. The development plan will have a less imposing presence on the travelers of the Loop 101 freeway.

CITY OF PHOENIX

LEGEND

Conceptual Development Types:

- Type A- Medium Scale
- Type B- Large Mass
- Type C- Higher Scale
- Regional Core- Greatest Intensity
- Greater Airport Boundary
- Sensitive Edge
- Powerline Corridor
- Central Arizona Project
- Open Space

Map Labels: EL GACET BL, LOOP 101, PARADISE BL, N HAYDEN RD, NIPAA RD, BLUE RD, WESTWORLD TYPE B, 35th AVENUE, 36th AVENUE, 37th AVENUE, 38th AVENUE, 39th AVENUE, 40th AVENUE, 41st AVENUE, 42nd AVENUE, 43rd AVENUE, 44th AVENUE, 45th AVENUE, 46th AVENUE, 47th AVENUE, 48th AVENUE, 49th AVENUE, 50th AVENUE, 51st AVENUE, 52nd AVENUE, 53rd AVENUE, 54th AVENUE, 55th AVENUE, 56th AVENUE, 57th AVENUE, 58th AVENUE, 59th AVENUE, 60th AVENUE, 61st AVENUE, 62nd AVENUE, 63rd AVENUE, 64th AVENUE, 65th AVENUE, 66th AVENUE, 67th AVENUE, 68th AVENUE, 69th AVENUE, 70th AVENUE, 71st AVENUE, 72nd AVENUE, 73rd AVENUE, 74th AVENUE, 75th AVENUE, 76th AVENUE, 77th AVENUE, 78th AVENUE, 79th AVENUE, 80th AVENUE, 81st AVENUE, 82nd AVENUE, 83rd AVENUE, 84th AVENUE, 85th AVENUE, 86th AVENUE, 87th AVENUE, 88th AVENUE, 89th AVENUE, 90th AVENUE, 91st AVENUE, 92nd AVENUE, 93rd AVENUE, 94th AVENUE, 95th AVENUE, 96th AVENUE, 97th AVENUE, 98th AVENUE, 99th AVENUE, 100th AVENUE.

GOAL EV 3 Preserve and enhance tourism and visitor experiences of the Greater Airpark.

- Policy EV 3.2 Encourage complementary uses, such as specialty retail and hotels, to locate in the Greater Airpark in order to support tourist attractions.

Response: The proposal places like-kind uses within one of the City's premier business parks, the Perimeter Center. The development plan implements the existing zoning districts development standards and implements allowed land uses without the need for rezoning. This allows for other areas of the Greater Airpark appropriately zoned for tourism and visitor experiences to continue without impacts. Its location off the Loop 101 freeway and major roadway network in the area allows for side-by-side complimentary uses.

The GACAP definition of Employment is as follows:

Employment (EMP) includes an array of office, commercial, warehousing, and light industrial land uses that provide opportunities for business enterprises, as well as regional and local jobs. These areas should have access to regional multi-modal transportation systems, including access for truck traffic and transit facilities. Residential is not appropriate in employment areas. Employment is appropriate adjacent to the Aviation Land Use area and within the Airport's 55 DNL areas or higher.

Response: The Property falls within the EMP land use designation of the GACAP. The proposed office, flex-industrial buildings and surrounding adjacent uses have met the definition of EMP by providing for an 'array' of office and industrial uses that provide opportunities for business enterprises, as well as regional and local jobs. The proposed development plan is also an appropriate change from a building height and usage standpoint based on the Property's location off the north end of the Scottsdale Airport's runway and flight paths.

Employment Core

- **Employment Cores** are primary employment centers for the city. These areas are predominately concentrated in the Greater Airpark Character Area, a mixed-use employment core with primary freeway access, as well as around other major employment campuses, such as the Mayo Clinic and General Dynamics. Employment Cores support a wide range of activities, such as aviation, light-industrial, and regional- and community-level employment uses. These areas consist of multi-functional buildings with an emphasis on technology and corporate character. Taller building heights are found within the core, and low-scale building heights are typically found within the transition areas adjacent to Rural and Suburban Character Types. The Greater Airpark Character Area Plan denotes appropriate locations for height and intensity in the Airpark area. (See also: Growth Areas Element).



PCD Criteria

Section 5.2104 of the Zoning Ordinance states that before approval or modified approval of an application for a proposed P-C District, the Planning Commission and the City Council must find:

- A. That the development proposed is in substantial harmony with the General Plan, and can be coordinated with existing and planned development of surrounding areas.

Response: The proposed development plan amendment is in substantial harmony with the General Plan's 'Employment: light industrial/office' land use designation. The proposal intends to place airpark type development within the Greater Airpark character area plan. The development plan amendment would be less intense and resolve a major drainage issue that has limited development on the Property since the construction of the drainage culverts under the freeway.

- B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.

Response: The street system in this area and street access to the Property has been established for over 20 years. Princess Drive provides direct access to the Loop 101 freeway. The properties access and share access points are off minor collector roads for safe and convenient access for the community.

- C. The Planning Commission and City Council shall further find that the facts submitted with the application and presented at the hearing establish beyond reasonable doubt that:

1. In the case of proposed residential development, that such development will constitute a residential environment of sustained desirability and stability; that it will be in harmony with the character of the surrounding area; and that the sites proposed for public facilities, such as schools, playgrounds and parks, are adequate to serve the anticipated population. The Planning Commission and City Council shall be presented written acknowledgment of this from the appropriate school district, the Scottsdale Parks and Recreation Commission and any other responsible agency.

Response: There is no residential component to this proposal.

2. In the case of proposed industrial or research uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that the design and development standards are such as to create an industrial environment of sustained desirability and stability.

Response: Although the request is to implement the existing industrial park zoning, the proposal reduces building height and provides for more uses allowed within the existing I-1 zoning district. The request seeks no amended development standards and effectively create an industrial environment of sustained desirability and stability. The site has been zoned industrial park district since the Perimeter Centers inception and the proposal will implement that land use.

3. In the case of proposed commercial, educational, cultural, recreational and other nonresidential uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that such development will be in harmony with the character of the surrounding areas.

Response: The proposed development plan amendment seeks to develop in full conformance with the existing zoning. The proposal removes a previously approved development plan that sought 65-foot high office buildings adjacent to the freeway on the eastern end of the Property. The proposed development plan will be in harmony with the character of the surrounding areas

Development Plan Proposal

The requested development plan seeks to develop four (4) buildings on the approximately 16.5-acre site. The Property will be accessed off of an existing common driveway shared with the existing hotel off Princess Drive and off an internal street within the Perimeter Center, 85th Street. The development plan is designed to create internal loading bays that are oriented to face each of the buildings and not to the streets that flank the Property on the east (Loop 101 freeway ramp) and west (85th Street).

The buildings will adhere to the existing zoning, thereby reducing the overall building height currently approved for the Property (65 feet). The four (4) buildings will be approximately 40-42 feet in height, significantly lower than the 52 feet allowed in the industrial park zoning district. Most importantly, the development plan intends to provide a final drainage design to the significant drainage flows from the culverts constructed under the freeway that impact the Property directly. The developer will create a significant drainage design to account for the drainage flows and safely discharge the drainage into the Perimeter Centers drainage system.

Site Plan

The site plan will create four (4) industrial/flex-space buildings consistent with the existing zoning. The buildings and their associated parking and loading areas are oriented so as to not impact the surrounding properties or existing access points. The site plan will conform to all of the existing I-1 development standards and effectively 'downzones' the Property from the existing development plan with building heights of 65 feet.

Economic Impact

The development plan amendment implements a site plan that fulfills the employment land use designation of the GACAP. The proposal seeks to develop four (4) flexible industrial type buildings on property already zoned industrial. Furthermore, since the development of the Loop 101 freeway in this area, this particular Property has been encumbered with massive drainage flows from culverts that convey drainage from a significant area of north Scottsdale. The investment in this Property by the developer to handle this drainage at a significant cost demonstrates the commitment to positively impact the Perimeter Center's prominence in the greater airport area. The end result will be the development of industrial buildings at today's standards providing an economic boost to the City's economy.

Circulation

There will be no change to the circulation network surrounding the Property. The site plan will continue to provide cross access from Princess Drive across from the hotel property and along the 85th Street frontage. No roadway improvements are required for this proposal.

Neighborhood Outreach

We have submitted a comprehensive citizen participation plan as part of this submittal. Our initial open house was held on January 11, 2024 at the Perimeter Center's Hilton Garden Inn directly adjacent to the Property. During the meeting, the developers and representative were present for the attendees to discuss the proposal. There was one (1) attendee at the open house. The one attendees is a tenant in another Perimeter Center property that walks by the site during her lunch hour. She was explained the development proposal and had no concerns with the development plan amendment. We will continue to update the citizen outreach as the case evolves through the City's submittal and review process.

Summary & Conclusion

As discussed throughout this narrative, the proposed development plan amendment seeks to develop the Property under the standard I-1 zoning district regulations and downzone the previous development plan from the greater heights approved in case 2-ZN-2010. The Perimeter Center continues to adapt and provide for first-class employment opportunities for Scottsdale. This development plan amendment request meets the intent and goals of the General Plan, provides for a significant drainage solution and create four (4) flex-type industrial buildings with no net affect to any services, infrastructure or traffic. The proposal will implement existing zoning development standards and remove the greater heights afforded in the previous zoning case.

[illegible]

NOT FOR CONSTRUCTION

SHEET TITLE:	ARCHITECTURAL SITE PLAN - OVERALL
ISSUE DATE:	05/22/24
DRAWN BY:	LGE DESIGN GROUP
CHECKED BY:	
PROJECT No:	

GRAPHIC LEGEND		PROJECT DATA	
SYMBOL	DESCRIPTION	PROJECT NAME	THE LOOP
▲	MAIN ENTRY / EXIT	PROJECT ADDRESS	175N 175N, 175N & 175N
●	FIRE HYDRANT - COORDINATE LOCATIONS	PROJECT ADDRESS	NORTH ST, SCOTTSDALE, AZ
○	COORDINATE FINAL LOCATIONS WITHIN	PROJECT SCOPE	NEW OFFICE / WAREHOUSE
---	FIRE LINE (FIRE ACCESSIBILITY SITE PLAN)	ADDRESS PARCEL NO.	2140732N, 2140732E
---	INDICATES WHERE WORK	CURRENT ZONING	1:1 PCD
---	INDICATES ADJACENT EXISTING USE	SITE AREA (GROSS)	< 800,000 SF (18.6 AC)
---	INDICATES PROPERTY LINE	STORYS	ALL BUILDINGS ONE STORY
---	LOT COVERAGE	BUILDING AREAS	SEE AREA CALCULATIONS ON SITE PLAN DRAWINGS
---	FAIR ALLOWED	LOT COVERAGE	< 36.5%
---	FAIR PROVIDED	FAIR ALLOWED	0.8
---	OCCUPANCY	FAIR PROVIDED	0.36
---	BUILDING HEIGHT	OCCUPANCY	0 (S1)
---	CONSTRUCTION TYPE	BUILDING HEIGHT	18 W/ 5.5' B
---	PRODUCT BE SCHEDULE	MAX BUILDING HEIGHT	MAX BUILDING HEIGHT 42' 0"

PARKING INFORMATION	
REQUIRED PARKING (PER CITY):	
OFFICE: 14,200,000 SF / 200 = 71 SPACES	
WAREHOUSE: 14,241,051 SF / 800 = 178 SPACES	
376 TOTAL SPACES REQUIRED	
ACCESSIBLE PARKING REQUIRED: 376 x 4% = 15 SPACES	
PARKING & TRUCK STALL COUNTS	
TYPE	COUNT
ACCESSIBLE PARKING SPACE	21
EV PARKING SPACE	16
TYPICAL PARKING SPACE	364
TOTAL SPACES PROVIDED: 431 (1.86 CARS/1000)	
REQUIRED BIKE PARKING (PER CITY):	
1/10 OF TOTAL VEHICLE PARKING = 43 SPACES	
43 SPACES PROVIDED	

AREA CALCULATIONS	
BUILDING AREA - GROSS	
NAME	GROSS AREA
BUILDING A	101,772 SF
BUILDING B	54,273 SF
BUILDING C	55,500 SF
BUILDING D	15,500 SF
TOTAL GSF	227,045 SF
BUILDING AREA - USABLE	
NAME	USABLE AREA
BUILDING A	101,772 SF
BUILDING B	54,273 SF
BUILDING C	55,500 SF
BUILDING D	15,500 SF
TOTAL GSF	227,045 SF

GENERAL DRAWING NOTES	
A.	REFER TO THE A-X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWINGS, REFERENCE, AND MATERIAL SCHEDULES AS WELL AS ANY AMENDMENTS TO THE DRAWING.
B.	FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, SEE THE CITY OF SCOTTSDALE'S OFFICIAL CODE.
C.	REFER TO THE X-X SERIES FOR ARCHITECTURAL CODE, ROOF, FLOOR, & TILT WALL COORDINATION INFORMATION.
D.	REFER TO THE X-X SERIES FOR ARCHITECTURAL CODE, ROOF, FLOOR, & TILT WALL COORDINATION INFORMATION.
E.	REFER TO THE X-X SERIES FOR ARCHITECTURAL CODE, ROOF, FLOOR, & TILT WALL COORDINATION INFORMATION.
F.	REFER TO THE X-X SERIES FOR ARCHITECTURAL CODE, ROOF, FLOOR, & TILT WALL COORDINATION INFORMATION.
G.	REFER TO THE X-X SERIES FOR ARCHITECTURAL CODE, ROOF, FLOOR, & TILT WALL COORDINATION INFORMATION.

1 SITE PLAN - OVERALL
1"=50'-0"

PRELIMINARY LANDSCAPE PLAN

SCOTTSDALE GENERAL NOTES

11. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
12. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

1. ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE, COLOR AND SIZE AS SPECIFIED, 2" MIN DEPTH TYP.
2. NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND THE CITY OF SCOTSDALE.

- IRRIGATION NOTES

1. ALL LANDSCAPE AREAS ARE TO BE WATERED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.
2. IRRIGATION SYSTEM SHALL UTILIZE THE EXISTING IRRIGATION METERS LOCATED AT SCOTTSDALE ROAD. REPAIR OR REPLACE IRRECEIVABLE DEVICE AS REQUIRED TO BRING UP TO CURRENT CITY OF SCOTTSDALE CODE REQUIREMENTS.
3. ALL EXISTING IRRIGATION EQUIPMENT SHALL BE REPLACED WITH NEW HIGH EFFICIENCY COMPONENTS PER CITY STANDARDS.

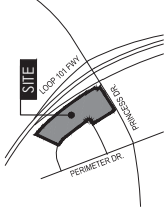


1. FINAL TREE LOCATIONS, AS APPLICABLE, SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH BUILDING OR POLE MOUNTED SITE LIGHTING.
2. FINAL PLANT LOCATIONS SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH PEDESTRIAN WALKWAYS, PATHWAYS AND PARKING AREAS UPON MAINTENANCE.
3. ANY PLANTS THAT MAY HAVE THORNIS OR MILKY SAP ARE TO BE APPROPRIATELY LOCATED AWAY FROM PEDESTRIAN WALKWAYS. THORNY PLANTS = 4' / MILKY SAP = 5'.
4. FINAL PLANTS SHALL INCLUDE THE LOCATIONS FOR EXTERIOR LIGHT FIXTURES, FIRE HYDRANTS AND TRANSFORMERS. ADJUST PLANTING AND HANDSCAPE AS REQUIRED TO AVOID CONFLICTS.

1. CURBLINEAR FLAWKING TO BE SMOOTH. EVEN RADII AND DEVOID OF POINTS AND FLAT SPOTS. CONCRETE SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE IF NOT INSTALLED PER PLAN.
2. FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO POURING CONCRETE.
3. WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
4. WALKS SHALL BE MIN. 5' WIDE (MIN.) WITH SCORE JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 18'-0" O.C. UNLESS SHOWN OR NOTED OTHERWISE.

5. WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.

1. THE SIDEWALK / HARDCAPE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SIDEWALKS TO MEET ALL STATE AND FEDERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES.
2. THE SIDEWALK/HARDCAPE CONTRACTOR SHALL COORDINATE ALL SIDEWALK CONSTRUCTION WITH THE CIVIL ENGINEER'S SITE ACCESSIBILITY PLAN. SHOULD A SLOPE CHANGE EXIST BETWEEN THE FURNISH, THE CONTRACTOR, SHALL NOTIFY THE OFFICE IMMEDIATELY.
3. FINISH FLOOR ELEVATIONS, SIDEWALK ELEVATIONS, DRAINAGE BASINS, TOP OF FOOTING ELEVATIONS AND ACCESSIBILITY INFORMATION HAS BEEN PROVIDED BY OTHERS. LANDSCAPE ARCHITECTS RESPONSIBILITY IS LIMITED TO THE HORIZONTAL CONTROL OF HARDCAPE RELATED TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERTICAL CONTROL ASSOCIATED WITH THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CIVIL ENGINEER AS IT DIRECTLY RELATES TO THE DRAINAGE OF THE PROJECT.



PROJECT TEAM

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SCOTTSDALE AZ 85258
PH: (480) 971-5985
CONTACT: JEFFREY M. BART
jbart@hunterengineering.com

NET SITE AREA	(+/-) 121,713.35 S.F.
	(+/-) 2.86 AC
ON-SITE L.S. AREA (ENTIRE SITE)	(+/-) 132,564.5 S.F.
R.O.W. L.S. AREA	(+/-) 10,851 S.F. (+/-) .13 AC
TOTAL BUILDING AREA	(+/-) 267,640 S.F.
SITE AREA	(+/-) 726,037 S.F.
LOT COVERAGE	(+/-) 36.9% S.F.
PARKING AREA	(+/-) 135,356 S.F.
PARKING AREA L.S.	(+/-) 20,490 S.F.

1	LO.1	COVER SHEET + NOTES
2-6	LO.1.1 - LO.1.5	PRELIMINARY LANDSCAPE PLAN
7	LO.1.7	85TH STREET LANDSCAPE CROSS SECTIONS AT BOX CULVERT
8	HSO.1	HARDSCAPE NOTES / COLOR + MATERIALS SCHEDULE
9	HSO.2	PARKING SCREEN WALL DETAIL / SITE AMENITIES
10-14	HS.1 - HS.1.5	PRELIMINARY HARDSCAPE PLAN

Resolution No. 13247
Exhibit 1
Page 16 of 31

SHEET NO. 10.1

1 OF 14

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVISIONS:	DATE:
SUBMITTED FOR:	

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

1 OF 14

Young | design | group
Landscape Architecture + Land Planning
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suite 8
scottsdale, arizona 85251
tel. 480.257.3312



UGA | DESIGNBUILD

17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

THE LOOP

17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

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PLANT SCHEDULE		SIZE / REMARKS	QTY
—	EXISTING VEGETATION		

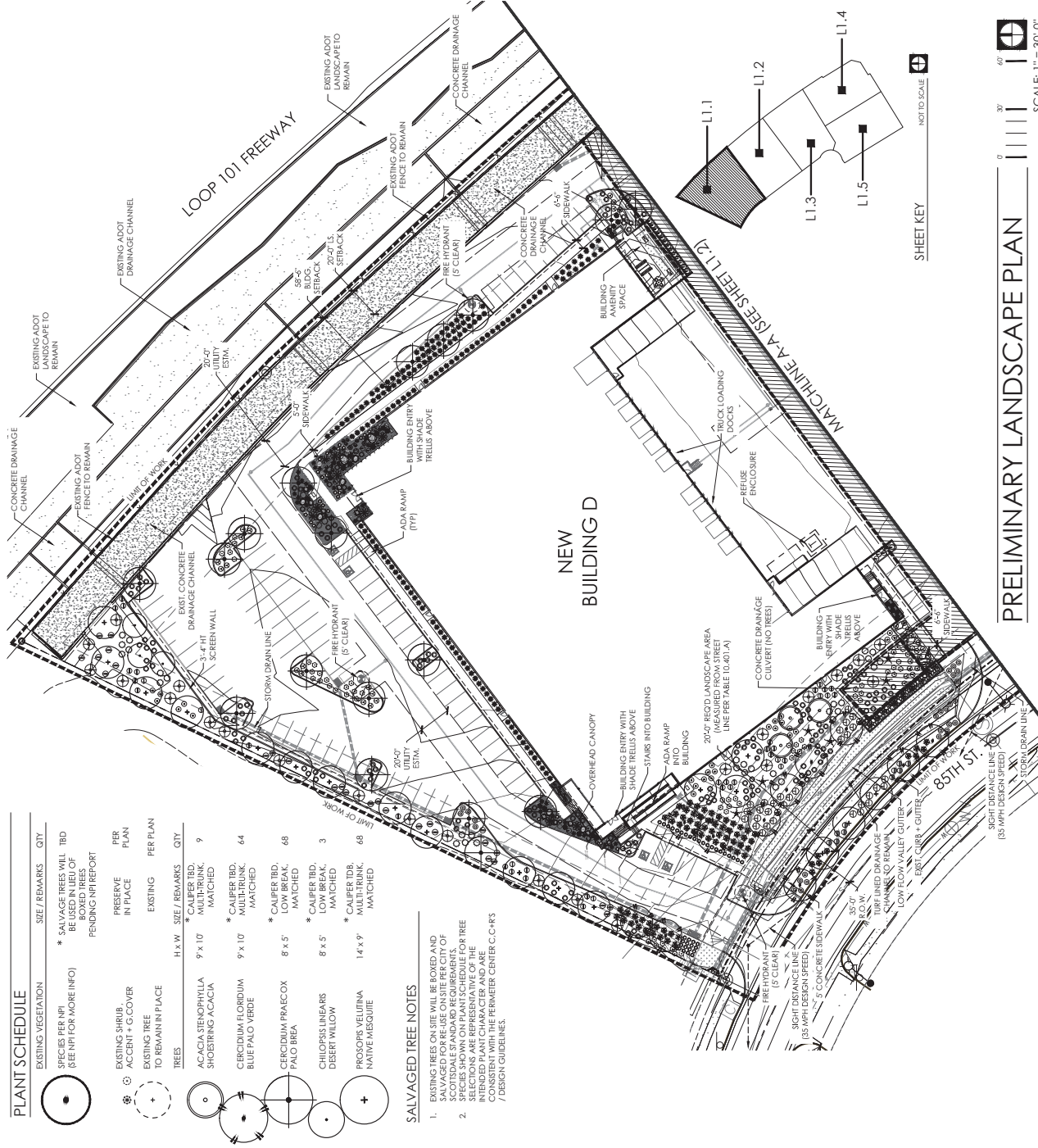
EXISTING VEGETATION	SIZE / REMARKS	QTY
SPECIES PER NFI (SEE NFI FOR MORE INFO)	* SALVAGE TREES WILL BE USED IN LIEU OF BOXED TREES PENDING INPORT	TBD
EXISTING SHRUBS ACACIA + GLOVER	PRESERVE IN PLACE	PER PLAN
EXISTING TREE TO REMAIN IN PLACE	EXISTING IN PLACE	PER PLAN
TREES	SIZE / REMARKS	QTY
ACACIA STENOPHYLLA SHOEBLING ACACIA	* CALPER TBD, MULTI-RUNK, MATCHED	9
CELESTIUM FLORIDUM BLUE PALO VERDE	* CALPER TBD, MULTI-RUNK, MATCHED	64
CELESTIUM PRACOX PALO BREA	* CALPER TBD, MULTI-RUNK, MATCHED	68
CHLOPSYS LINEARIS DIERSB WILLOW	* CALPER TBD, LOW BRAD, MATCHED	3
PROSOPIS VELUTINA NATIVE MESQUITE	* CALPER TBD, MULTI-RUNK, MATCHED	68

SALVAGED TREE NOTES

1. EXISTING TREES ON SITE WILL BE BOXED AND SALVAGED FOR RE-USE ON SITE PER CITY OF SCOTTSDALE STANDARD REQUIREMENTS.
2. SPECIES SHOWN ON PLANT SCHEDULE FOR TREE SELECTIONS ARE REPRESENTATIVE OF THE INTENDED PLANT CHARACTER AND ARE CONSISTENT WITH THE PERIMETER CENTER C.C.'S / DESIGN GUIDELINES.

PLANT SCHEDULE

SHRUBS					
CALLIANDRA EROPHYLLA	5 GAL	205			
PIKE PLANT DUSTER	5 GAL	188			
CHILICLIP ARBOREA					
BUTTLE BUSH	5 GAL	7			
ERYTHROSTICHUS MEXICANUS	5 GAL	372			
YELLOW BIRD OF PARADISE	5 GAL				
JUSTICIA CALIFORNICA	5 GAL				
CHUPAROSA	5 GAL	102			
LARREA TRIDENTATA	5 GAL				
CROSETUM	5 GAL	239			
LEUCOPHYLLUM LAEVIGATUM	5 GAL				
LEUCOPHYLLUM LANGEANAE	5 GAL	401			
'RO' BRAVO' SAGE	5 GAL	138			
LEUCOPHYLLUM TYPHOPHYLLUM	5 GAL				
BLUE RANGER	5 GAL				
RUPELIA PENINSULARIS	5 GAL	13			
SHRUB OF THE MONTH	5 GAL				
SHAMONGUA CHINEBUSH	5 GAL	108			
JOJOBA					
ACCENTS / VINES					

[illegible][illegible]

PRELIMINARY | LANDSCAPE PLAN

30' 60' SCALE: 1" = 30'-0"

Resolution No. 13247
Exhibit 1
Page 17 of 31

L1.1

RACKING NUMBER

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Landscape Architecture
+ Land Planning
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suite 8
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tel. 480.257.3312



THE LOOP
PRELIMINARY LANDSCAP PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOE NO:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY

SUBMITTED FOR
PRELIMINARY
LANDSCAPE
DESIGN

SHEET NO.

7

SHEET NO.

2 OF 14

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DESIGNBUILD
LIFE

THE LOOP

PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

TITLE	05/10/24
DATE	05/10/24
DESIGNED BY	YOUNG
DRAWN BY	YOUNG
CHECKED BY	YOUNG
APPROVED BY	YOUNG

SHEET NO.
L1.2

TRACKING NUMBERS: PROJECT NO. 308-PA-2023

PLANT SCHEDULE

EXISTING VEGETATION
SPECIES PER NPI
(SEE NPI FOR MORE INFO)

EXISTING SHRUB
ACACIA + G COVER
TO REMAIN IN PLACE

EXISTING TREE
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PLANT SCHEDULE

EXISTING VEGETATION
SPECIES PER NPI
(SEE NPI FOR MORE INFO)

EXISTING SHRUB
ACACIA + G COVER
TO REMAIN IN PLACE

EXISTING TREE
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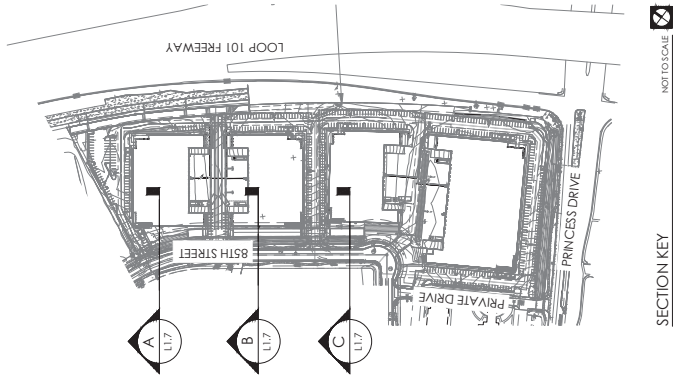
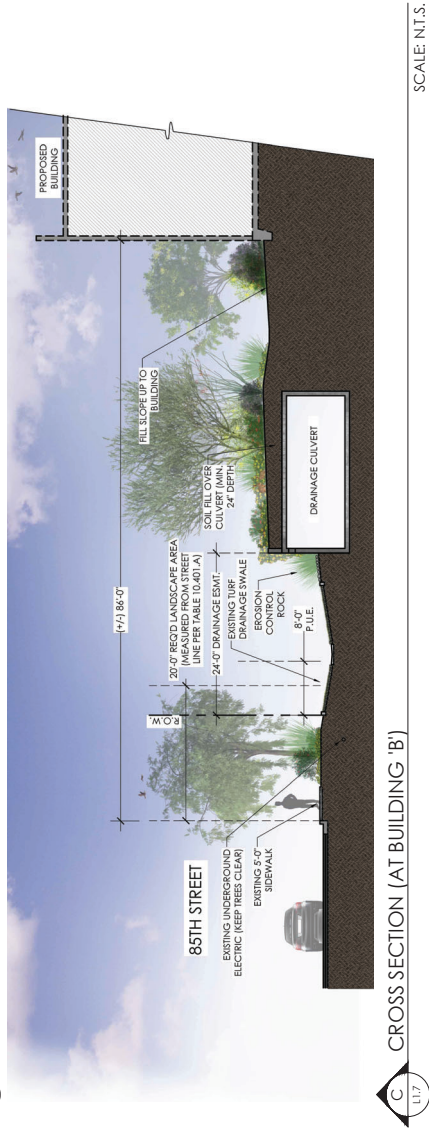
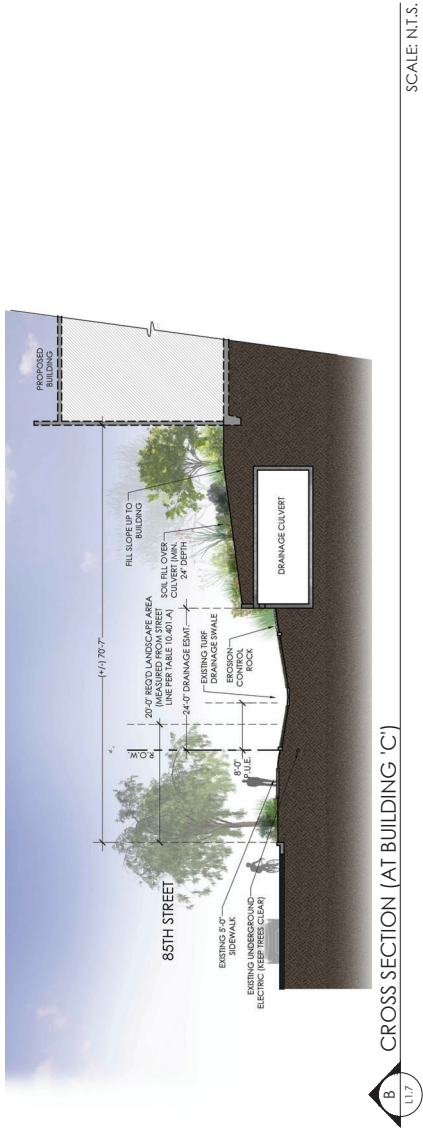
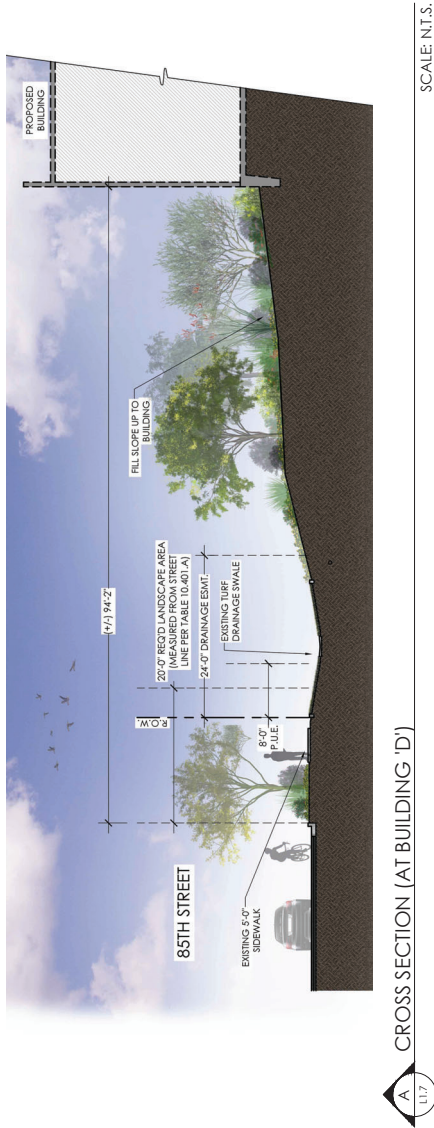
EXISTING TREE
TO REMAIN IN PLACE

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TO REMAIN IN PLACE

EXISTING TREE
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EXISTING TREE
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EXISTING TREE
TO REMAIN IN PLACE



SOIL FILL NOTES

SOIL FILL OVER BOX CULVERT IS TO BE MINIMUM 24" DEEP TO PROTECT SUBGRADE FROM OVERSTRESS AND ACCIDENTS. MINIMUM DEPTH IS TO BE 24" DEEP. NO TREES ARE TO BE PLANTED ON BOX CULVERT.

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HARDSCAPE GENERAL NOTES

- GENERAL:
- CURVILINEAR FLATWORK TO BE SMOOTH, EVEN RADIUS, AND DEVOID OF POINTS AND FLAT SPOTS.
 - GEOMETRIC FLATWORK IS TO BE STRAIGHT AND AND DEVOID OF ARCS OR UNEVEN SURFACES. ALL FLATWORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO POURING CONCRETE.
 - WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
 - WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
 - EXPANSION JOINTS AT 18' O.C. UNLESS SHOWN OR NOTED OTHERWISE.
 - WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.
- WIDTH:
- MINIMUM WIDTH SHALL BE 36" CLEAR. AT ACCESSIBLE ROUTE WALKS ADJACENT TO VEHICLE OVERHANGS, ADD DISTANCE OF VEHICLE OVERHANG TO 36" WIDE WALK WALK.
- RAMP'S:
- CAN BE MAXIMUM SLOPE OF 8.33% (1 FT. IN 12 FT.).
 - UNLESS 4' LONG OR LESS. ALL RAMPS MUST HAVE HANDRAILS
 - MAXIMUM GRADE DIFFERENCE IN ALL RAMPS IS 3/8" (VERT)
 - ALL RAMPS MUST HAVE A LEVEL LANDING AT TOP AND BOTTOM OF RAMP. LANDINGS MUST BE 5' 0" LONG MINIMUM
 - LEVEL LANDING CAN HAVE 2% MAX. SLOPE (1 FT. IN 50 FT.).
- ROUTE ACROSS DRIVEWAYS:
- CURB RAMP MUST BE PROVIDED AT EACH END OF ACCESSIBLE ROUTE. RAMP SHALL BE 36" WIDE MINIMUM. RAMP SLOPE SHALL BE 6.33% (1 FT. IN 12 FT.). AND MAXIMUM SLOPE OF FARED SIDES SHALL ALSO BE 8.33% (1 FT. IN 12 FT.).
 - CROSSWALK SHOULD BE PERPENDICULAR (90 DEGREES) (TYP.) TO THE DRIVEWAY.

NOTES FOR ALL DETAILS:

STRUCTURAL ENGINEER IS TO PROVIDE CALCULATIONS AND SPECIFICATIONS FOR ALL FOOTINGS AND REINFORCEMENT AS REQUIRED.

WALL / FENCE CONTRACTOR IS TO PROVIDE OWNER WITH MOCK-UP PANELS / COLOR DRAW-DOWNS FOR ALL WALLS AND FENCING FOR APPROVAL BEFORE CONSTRUCTION.

COLOR + MATERIALS SCHEDULE

MATERIAL / DESCRIPTION	MANUF.	STYLE / CAT NO.	COLOR	NOTES	QTY
CONCRETE PAVING (CIRCULATION SIDEWALKS)	PER INSTALLER	GRAY CONCRETE / LIGHT BROOM FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
ENHANCED CONCRETE PAVING (AT BLDG ENTRIES + AMENITY AREA)	PER INSTALLER	GRAY CONCRETE / MEDIUM SALT FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
CONCRETE STEPS AT BLDG. ENTRIES	PER INSTALLER	GRAY CONCRETE / MEDIUM SALT FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
PARKING LOT SCREEN WALL (FIELD BLOCK)	PER INSTALLER	8"x8"x16" VERASTONE CMU BLOCK	PAIN TO MATCH BLDG. BASE (SW PEPPER CORN / S07237)	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
PARKING LOT SCREEN WALL (ACCENT BLOCK)	PER INSTALLER	8"x8"x16" FLUTED CMU BLOCK	PAIN TO MATCH BLDG. BASE (SW PEPPER CORN / S07237)	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
BENCH	LANDSCAPE FORMS	NEOCOMBO / 6" WITH BACK AND ARMS	ALUMINUM	PROVIDE SUBMITTALS FOR APPROVAL	TBD
TRASH CAN	LANDSCAPE FORMS	PELOSKY / 20" x 42" x 30 GAL / HINGED LID	SILVER METALLIC POWDER COAT FINISH	PROVIDE SUBMITTALS FOR APPROVAL	TBD
BIKE RACK	PER INSTALLER	C.O.S. STD DETAIL 2285	ELECTROSTATIC PAINT TO MATCH TRASH CANS	PROVIDE SUBMITTALS FOR APPROVAL	TBD



DESIGNBUILD

THE LOOP
PRELIMINARY LANDSCAP PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

TITLE	05/10/24
ARCH	2410
DRAWN	YDG/KH
CHECKED	JMY
REVISION	DATE

SUBMITTED FOR	PRELIMINARY LANDSCAPE PLAN
SHEET NO.	HS0.1

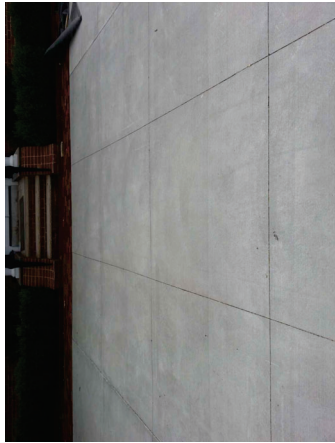
Resolution No. 13247
Exhibit 1
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1 PARKING LOT SCREEN WALL

HS0.2

SCALE: N.T.S.



GRAY CONCRETE (LIGHT BROOM FINISH)



GRAY CONCRETE (MEDIUM SALT FINISH)



LANDSCAPE FORMS 'NEOCOMBO' BENCH (VARIOUS LOCATIONS ON SITE)



LANDSCAPE FORMS 'PETOSKY' LITTER CAN (VARIOUS LOCATIONS ON SITE)

2 CONCRETE HARDSCAPE FINISHES

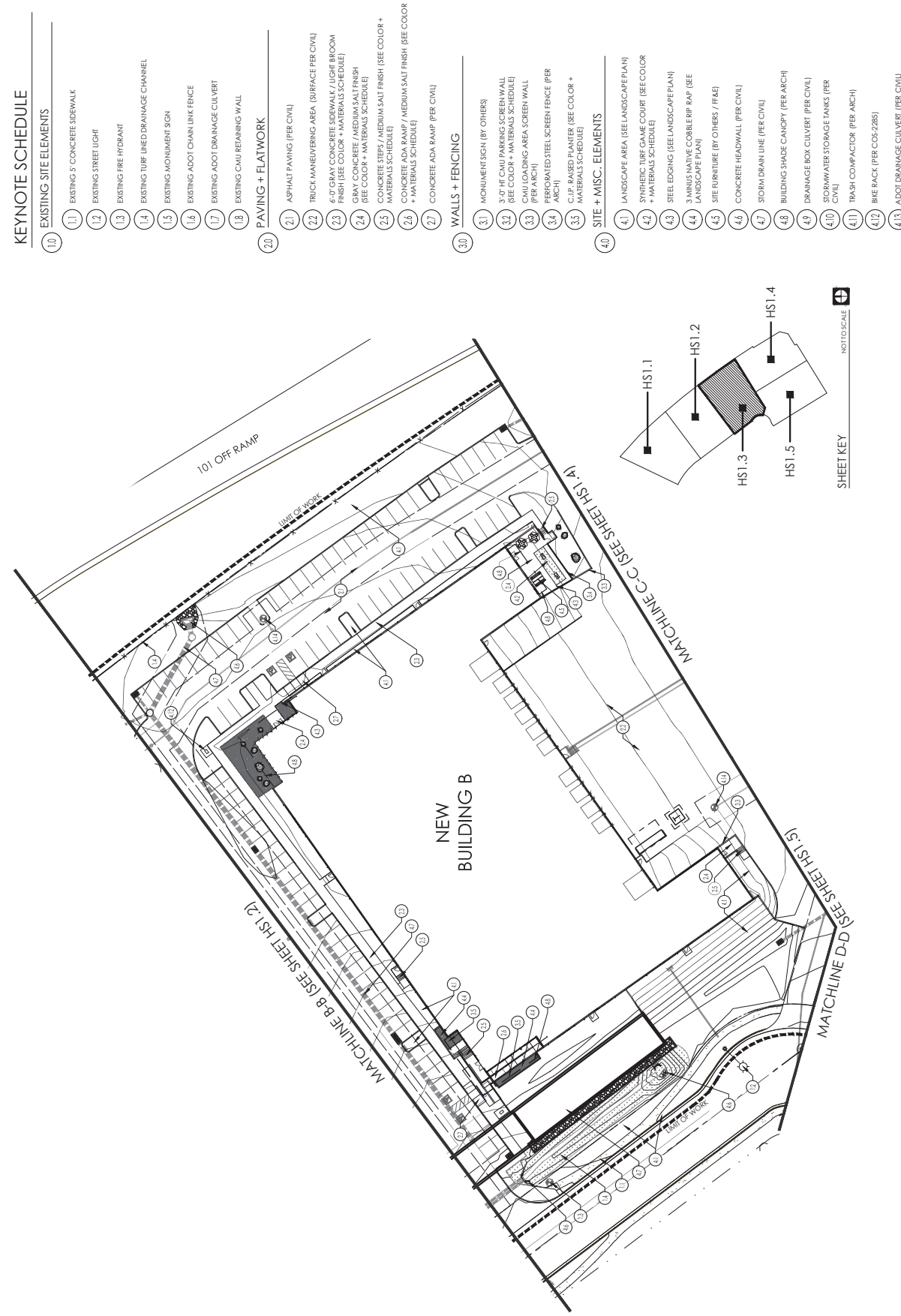
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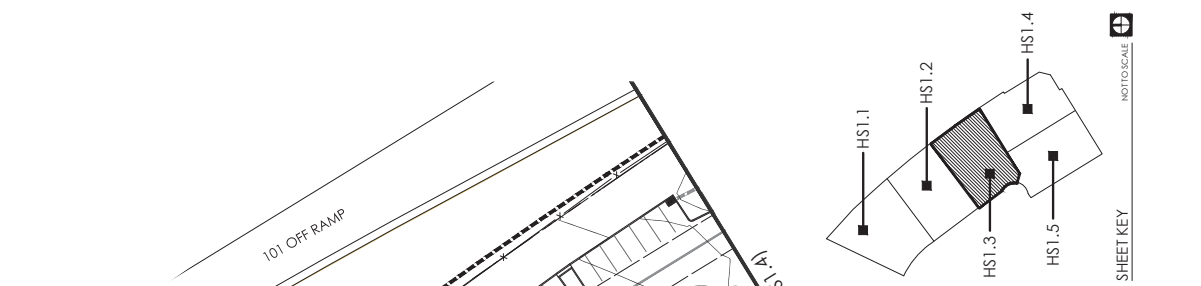
2 SITE FURNITURE (LOCATIONS T.B.D.)

HS0.2

SCALE: N.T.S.



- KEYNOTE SCHEDULE**
- EXISTING SITE ELEMENTS**
- 1.1 EXISTING 5" CONCRETE SIDEWALK
 - 1.2 EXISTING STREET LIGHT
 - 1.3 EXISTING FIRE HYDRANT
 - 1.4 EXISTING TURF UNED DRAINAGE CHANNEL
 - 1.5 EXISTING MONUMENT SIGN
 - 1.6 EXISTING ADOT CHAIN LINK FENCE
 - 1.7 EXISTING ADOT DRAINAGE CULVERT
 - 1.8 EXISTING CMU RETAINING WALL
- PAVING + FLATWORK**
- 2.1 ASPHALT PAVING (PER CIVIL)
 - 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
 - 2.3 6-0" GRAY CONCRETE SIDEWALK / LIGHT BROOM FINISH (SEE COLOR + MATERIALS SCHEDULE)
 - 2.4 GRAY CONCRETE / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
 - 2.5 CONCRETE STEPS / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
 - 2.6 CONCRETE ADA RAMP / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
 - 2.7 CONCRETE ADA RAMP (PER CIVIL)
- WALLS + FENCING**
- 3.1 MONUMENT SIGN (BY OTHERS)
 - 3.2 3-0" HE CMU PARKING SCREEN WALL (SEE COLOR + MATERIALS SCHEDULE)
 - 3.3 CMU LOADING AREA SCREEN WALL (PER ARCH)
 - 3.4 PERFORATED STEEL SCREEN FENCE (PER ARCH)
 - 3.5 C.I.P. RAISED PLANTER (SEE COLOR + MATERIALS SCHEDULE)
- SITE + MISC. ELEMENTS**
- 4.1 LANDSCAPE AREA (SEE LANDSCAPE PLAN)
 - 4.2 SYNTHETIC TURF GAME COURT (SEE COLOR + MATERIALS SCHEDULE)
 - 4.3 STEEL EDGING (SEE LANDSCAPE PLAN)
 - 4.4 3 MINUS NATIVE COBBLE RIP RAP (SEE LANDSCAPE PLAN)
 - 4.5 SITE FURNITURE (BY OTHERS / FF&E)
 - 4.6 CONCRETE HEADWALL (PER CIVIL)
 - 4.7 STORM DRAIN LINE (PER CIVIL)
 - 4.8 BUILDING SHADE CANOPY (PER ARCH)
 - 4.9 DRAINAGE BOX CULVERT (PER CIVIL)
 - 4.10 STORMWATER STORAGE TANKS (PER CIVIL)
 - 4.11 TRASH COMPACTOR (PER ARCH)
 - 4.12 BIKE RACK (PER COS-2285)
 - 4.13 ADOT DRAINAGE CULVERT (PER CIVIL)
 - 4.14 FIRE HYDRANT (PER CIVIL)



HARDSCAPE LAYOUT PLAN

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Exhibit 1
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Resolution No. 13247
Exhibit 1
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KEYNOTE SCHEDULE

EXISTING SITE ELEMENTS

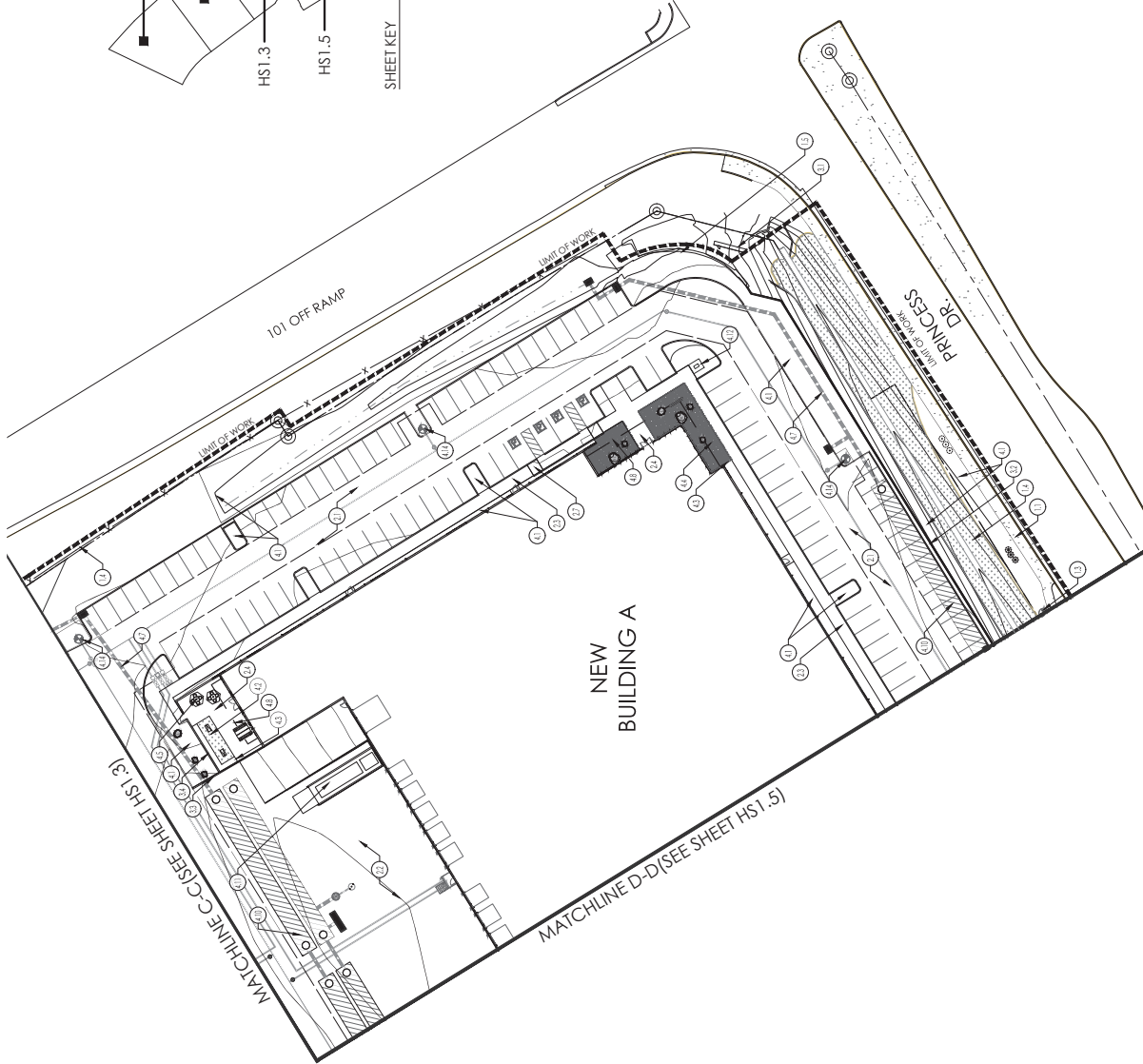
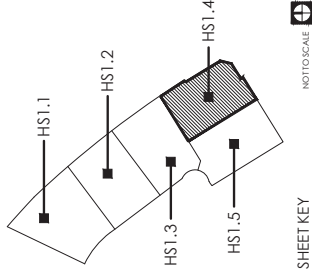
- 1.1 EXISTING 5" CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
- 1.4 EXISTING TURF LINED DRAINAGE CHANNEL
- 1.5 EXISTING MONUMENT SIGN
- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL
- 2.1 ASPHALT PAVING (PER CIVIL)
- 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
- 2.3 6'-0" GRAY CONCRETE SIDEWALK / LIGHT BROOM FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.4 GRAY CONCRETE / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.5 CONCRETE STEPS / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.6 CONCRETE ADA RAMP / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.7 CONCRETE ADA RAMP (PER CIVIL)

WALLS + FENCING

- 3.1 MONUMENT SIGN (BY OTHERS)
- 3.2 3'-0" H.CMU PARKING SCREEN WALL (SEE COLOR + MATERIALS SCHEDULE)
- 3.3 CMU LOADING AREA SCREEN WALL (PER ARCH)
- 3.4 PERFORATED STEEL SCREEN FENCE (PER ARCH)
- 3.5 C.I.P. RAISED PLANTER (SEE COLOR + MATERIALS SCHEDULE)

SITE + MISC. ELEMENTS

- 4.1 LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- 4.2 SYNTHETIC TURF GAME COURT (SEE COLOR + MATERIALS SCHEDULE)
- 4.3 STEEL EDGING (SEE LANDSCAPE PLAN)
- 4.4 3' MINUS NATIVE COBBLE RIP RAP (SEE LANDSCAPE PLAN)
- 4.5 SITE FURNITURE (BY OTHERS / FF&E)
- 4.6 CONCRETE HEADWALL (PER CIVIL)
- 4.7 STORM DRAIN LINE (PER CIVIL)
- 4.8 BUILDING SHADE CANOPY (PER ARCH)
- 4.9 DRAINAGE BOX CULVERT (PER CIVIL)
- 4.10 STORMWATER STORAGE TANKS (PER CIVIL)
- 4.11 TRASH COMPACTOR (PER ARCH)
- 4.12 BIKE RACK (PER COS-2285)
- 4.13 ADOT DRAINAGE CULVERT (PER CIVIL)
- 4.14 FIRE HYDRANT (PER CIVIL)

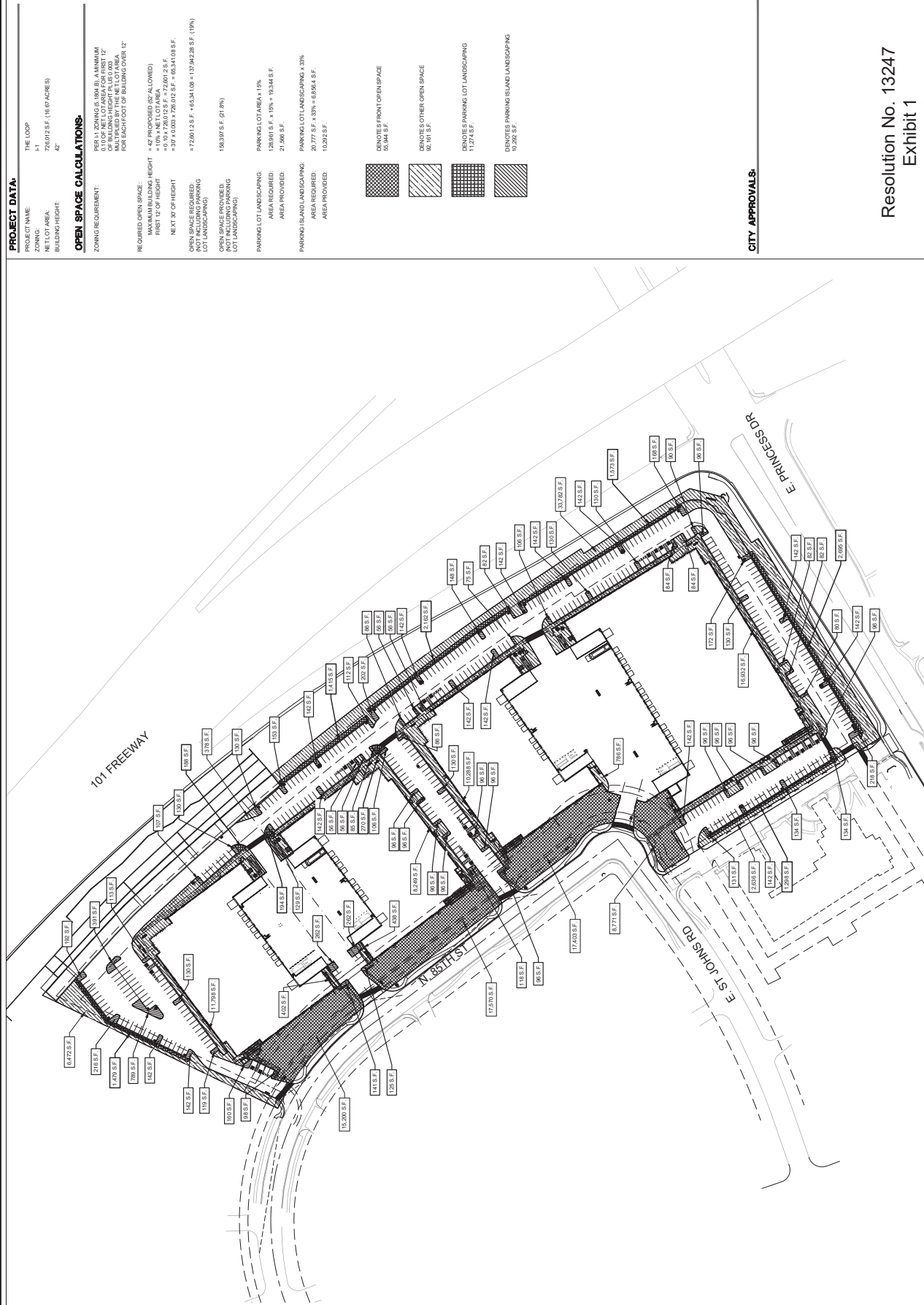


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NOT FOR CONSTRUCTION

SHEET TITLE	
OPEN SPACE PLAN	
ISSUE DATE	5/1/24
DRAWN BY:	LGE DESIGN GROUP
CHECKED BY:	-
PROJECT NO.	XXXX

Resolution No. 13247
Exhibit 1
Page 30 of 31



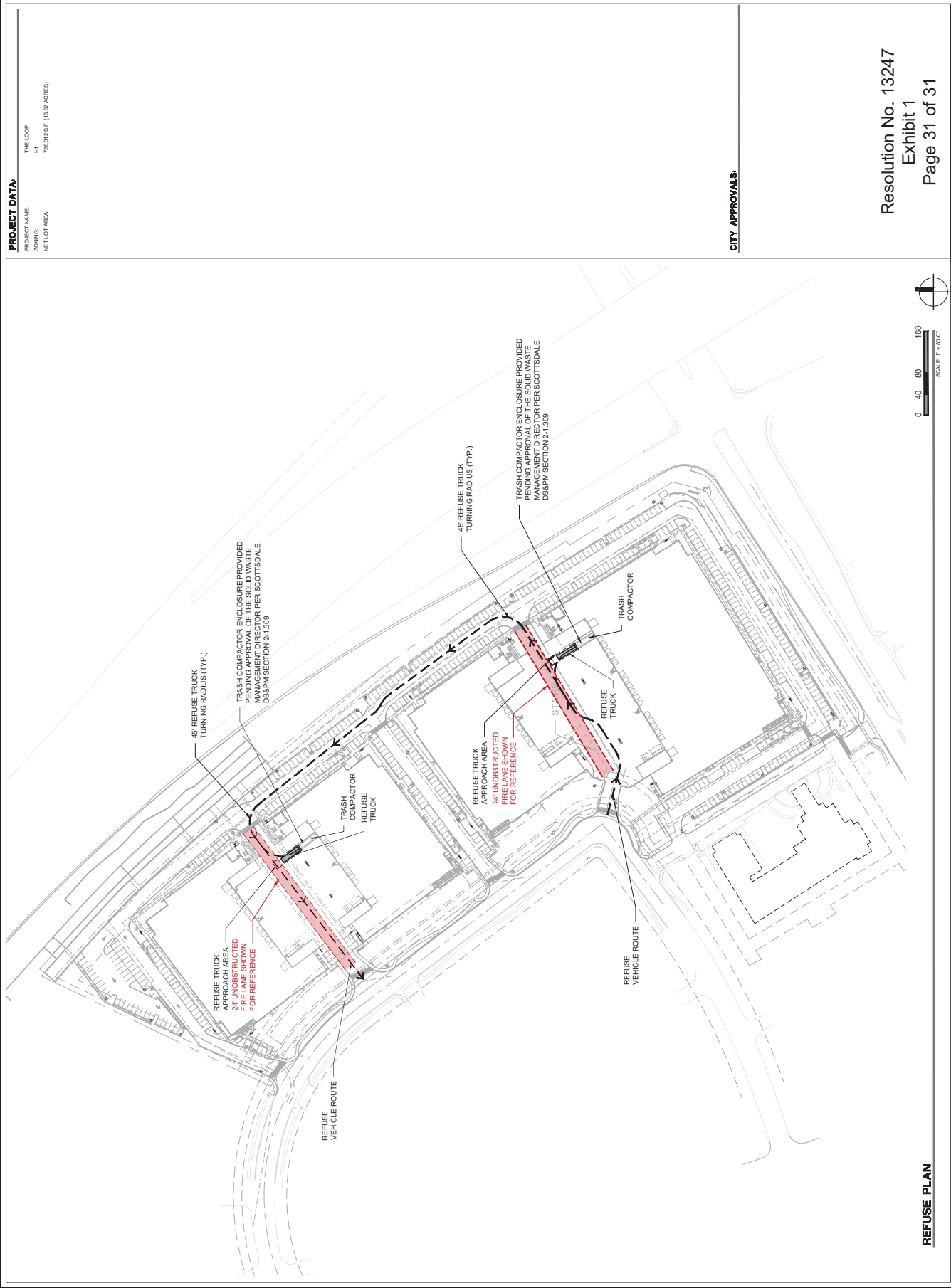
OPEN SPACE PLAN



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NOT FOR CONSTRUCTION

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REFUSE PLAN	
ISSUE DATE	7/11/24
DRAWN BY	LGE DESIGN GROUP
CHECKED BY	-
PROJECT No	XXXX



Additional Information for:

The Loop

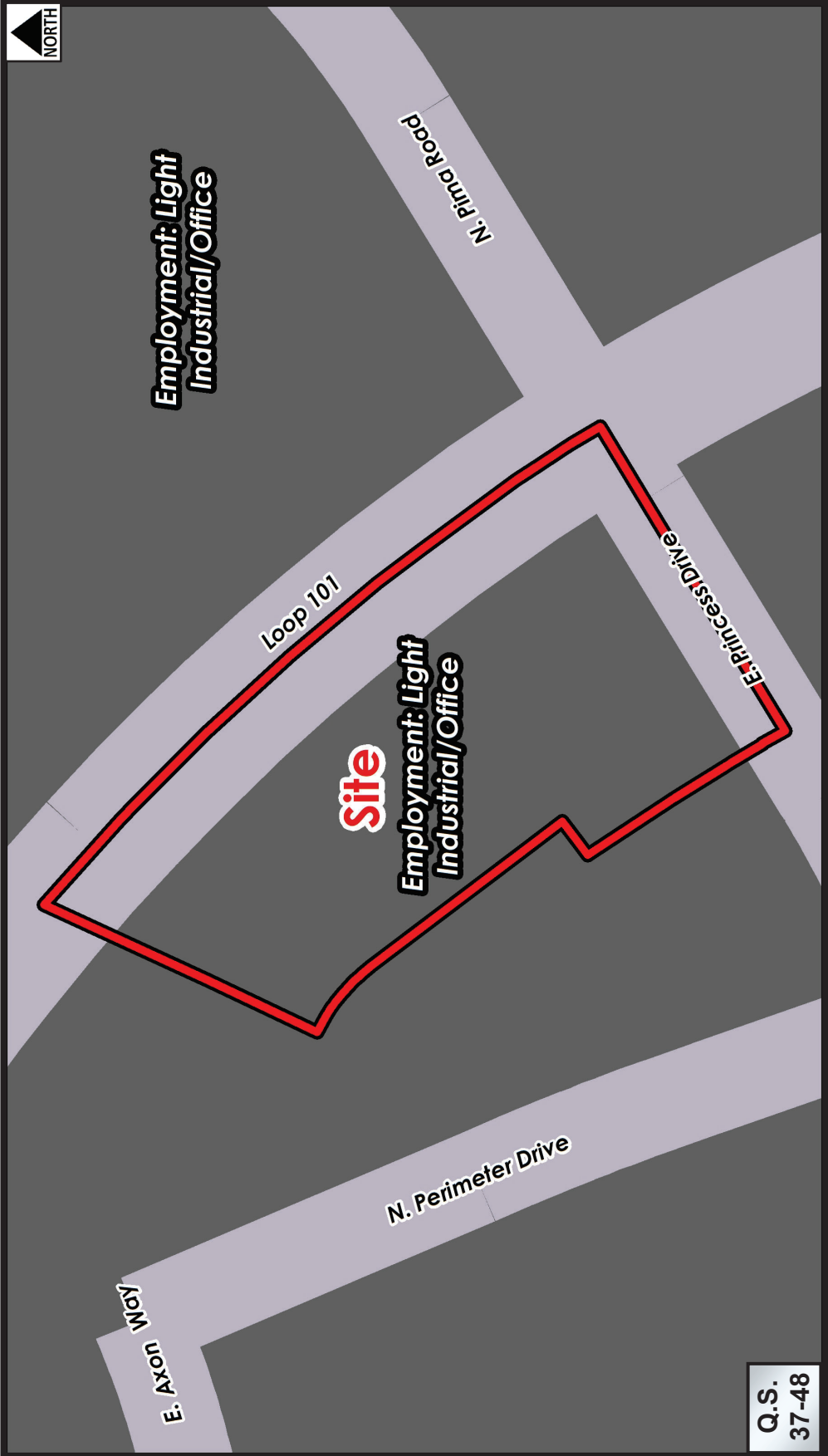
Case: 2-ZN-2010#2

PLANNING/DEVELOPMENT

1. **DEVELOPMENT CONTINGENCIES.** Each element of this zoning case—including density/intensity, lot/unit placement, access and other development contingencies—may be changed as more information becomes available to address public health, safety and welfare issues related to drainage, open space, infrastructure and other requirements.
3. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development. Improvements shall include, but not be limited to washes, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning/use permit does not and shall not commit the city to provide any of these improvements.
4. **STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NOTICE OF INTENT (NOI).** At time of final plans, the applicant shall submit a SWPPP and NOI.
5. **SEWER IMPROVEMENTS.** Prior to the scheduling of a development review board hearing for project, the owner shall complete the following:
 - a. Submit and receive water resources approval of a final basis of sewer design report that includes, no older than a year from date of its initial submittal, sewer flow monitoring at two locations coordinated with water resources and in accordance with DSPM section 7-1.202.e.
 - b. Submit and receive water resources approval of off-site sewer infrastructure design plans to provide sufficient sewer capacity to serve the project as required by water resources for their approval of the project's sewer final basis of design report and in accordance with DSPM section 7-1.400.
6. **PRIVATE PARCEL DRIVEWAY CONNECTION.** Prior to issuance of a project permit creating a non-access controlled fire use only driveway connection to adjacent, non-project, parcel the property owner shall submit a recorded general access easement from the adjacent, non-project, parcel property owner.
7. **REFUSE.** At time of final plans, the applicant shall provide a minimum six cubic yard compactor for each building.
8. **EASEMENTS DEDICATED BY PLAT.** The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
9. **EASEMENTS CONVEYED BY SEPARATE INSTRUMENT.** Prior to issuance of any building permit for the development project, each easement conveyed to the city separate from a final plat shall be

conveyed by an instrument or map of dedication subject to city staff approval and accompanied by a title policy in favor of the City, in conformance with the Design Standards and Policies Manual.

10. FEES. The construction of water and sewer facilities necessary to serve the site shall not be in-lieu of those fees that are applicable at the time building permits are granted. Fees shall include, but not be limited to the water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee.

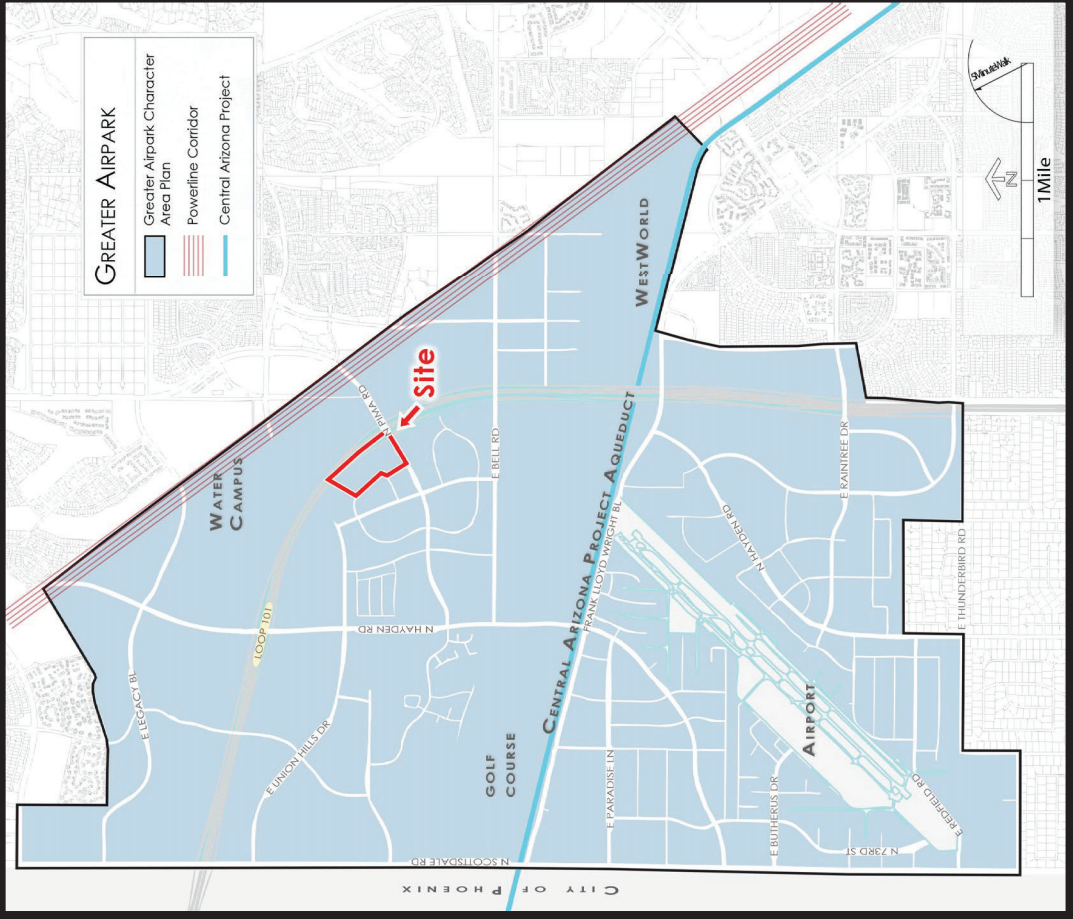


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37-48

2-ZN-2010#2

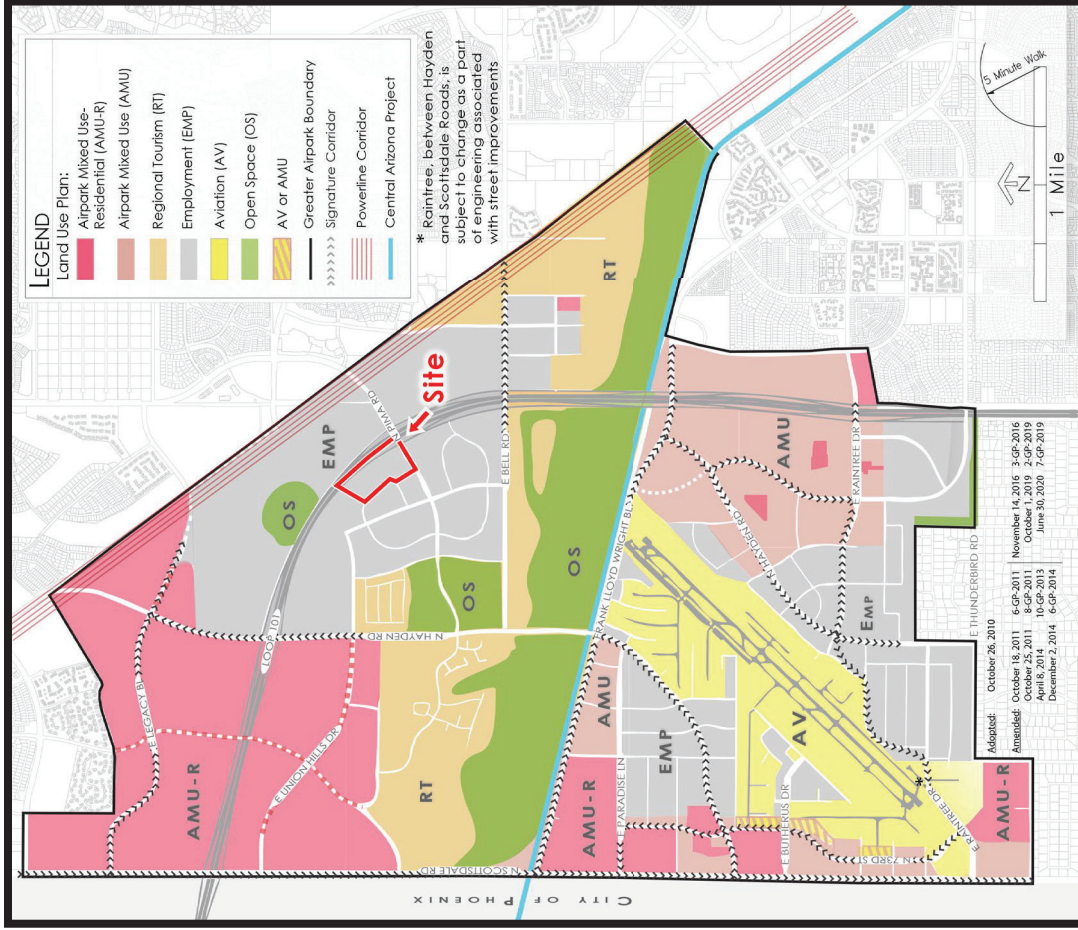
Existing General Plan 2035 Future Land Use Map
+/- 1.3 million square feet of Mixed-Use Neighborhoods

ATTACHMENT 5



**Greater Airport
Character Area**

2-ZN-2010#2



2-ZN-2010#2

Greater Airport Area Land Use Plan

Stipulations for the Zoning Application:
Pinnacle in the Perimeter Center
Case Number: 2-ZN-2010

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

CHANGES MADE BY CITY COUNCIL SHOWN IN STRIKE-THRU AND BOLD CAPS

SITE DESIGN

1. CONFORMANCE DEVELOPMENT PLAN. Except as stipulated below, development shall generally conform with the Development Plan submitted by Davis, and the offices of Earl, Curley, and Lagarde, with the city staff date of 1/14/2011, attached as Exhibit 1 to that public record entitled "The Pinnacle in the Perimeter Center Development Plan", made a public record by Resolution No. 8652, and incorporated herein by reference. Any proposed significant change to the Development Plan as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
 - a) The parking structure shown on the conceptual site plan shall be limited to one (1) above grade story **AT A MAXIMUM OF 14 FEET IN HEIGHT** and shall be located as far to the east as access requirements allow.
 - b) The Development Review Board shall pay particular attention to: 1) the design of the parking structure facade to assure compatibility with the adjacent hotel use, 2) the provision of adequate landscape screening and, 3) the use of low impact, shielded lighting on the structure.
 - c) The amended development standards shall not apply to the southern ~~300~~ **200** feet of the subject site.
2. CONFORMANCE TO AMENDED DEVELOPMENT STANDARDS. Development shall conform with the amended development standards set forth in that certain public record entitled "The Pinnacle in the Perimeter Center Development Plan", made a public record by Resolution No. 8652, and incorporated herein by reference. Any change to the development standards shall be subject to additional public hearings before the Planning Commission and City Council.
3. BUILDING HEIGHT LIMITATIONS.
 - a) No building on the site shall exceed sixty-five (65) feet in height as measured from natural grade plus three (3) feet. In no case shall drainage or any other considerations cause the building height to exceed this standard.
 - b) Mechanical equipment and screening shall be limited to twenty (20) percent of the roof area, and shall not exceed twelve (12) feet in height above the roof deck.
 - c) Buildings sixty-five (65) feet in height shall be located within approximately the eastern 200 feet of the building envelope, as identified on the Building Height Zones exhibit with

the city staff date of 3/21/2011 and incorporated in the Development Plan. Buildings on all other areas of the site shall not exceed fifty (50) feet in height.

4. CONFORMANCE TO THE DESIGN GUIDELINES. Development shall conform to the Design Guidelines set forth in that certain public record, that public record entitled "The Pinnacle in the Perimeter Center Development Plan", made a public record by Resolution No. 8652, and incorporated herein by reference, as determined by the Development Review Board. All other relevant City of Scottsdale design guidelines shall still apply to the site.
5. VIEW CORRIDORS.
 - a) If any building is greater than sixty (60) feet in height, view corridors shall be provided between the buildings for a minimum of thirty-five (35) percent of the average length (north-south) of the overall 25-acre site.
 - b) For buildings taller than thirty-six (36) feet but less than sixty (60) feet in height, view corridors shall be provided between the buildings for a minimum of twenty (20) percent of the average length (north-south) of the overall 25-acre site.
 - c) The required view corridors shall be on an east-west axis for the width of the site, and shall be clear of any buildings, with the exception of site amenities that are less than sixteen (16) feet in height.

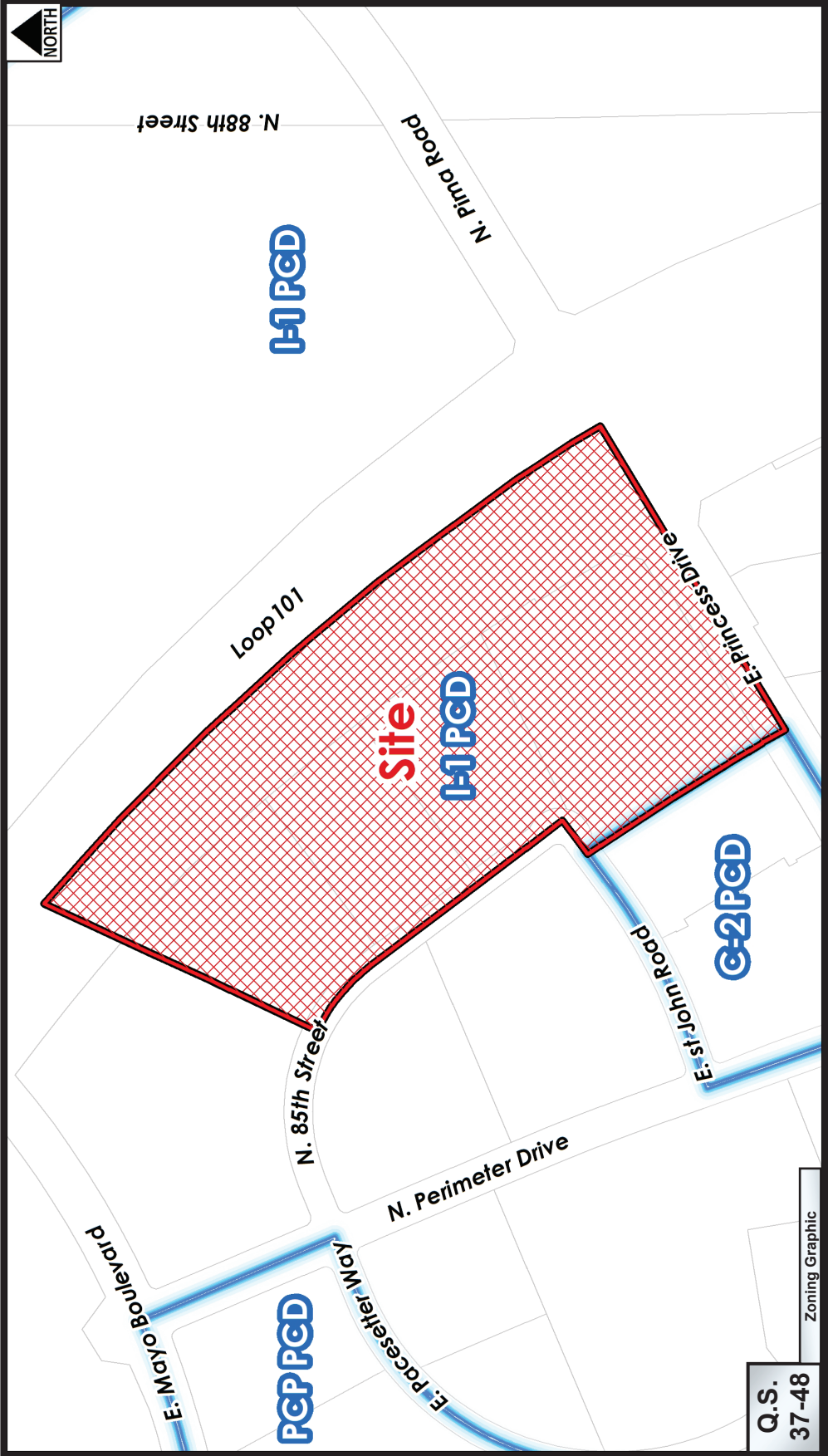
AIRPORT

6. FAA DETERMINATION. With the Development Review Board Application, the owner/developer shall submit a copy of the FAA Determination letter on the FAA FORM 7460-1 on any proposed structures, appurtenances that penetrate the 100:1 slope. The elevation of the highest point of those structures including the appurtenances must be detailed in the FAA form 7460-1 submittal.
7. AIRCRAFT NOISE AND OVERFLIGHT DISCLOSURE. Prior to permit issuance, the owner/developer shall provide noise disclosure notice to occupants and/or potential employees in a form acceptable to the Scottsdale Aviation Director.
8. AVIGATION EASEMENT. With the Development Review Board submittal, the owner/developer shall provide a signed and completed Avigation Easement in a form acceptable to the City for recording.

INFRASTRUCTURE AND DEDICATIONS

9. ACCESS RESTRICTIONS. Access to the site shall conform to the following restrictions, unless otherwise approved by the Transportation Department (distances are measured to the driveway or street centerlines):
 - a. There shall be a maximum of one site driveway from E. Princess Drive, with a minimum of 300 feet between the driveway(s) and street intersection(s). This driveway shall be restricted to right-in, right-out only access.
 - b. Site driveways proposed along N. 85th Street and E. St. John Road shall be located with a minimum of 125 feet between the driveway and adjacent street and driveway intersections along both sides of the street (intersections include the intersection of N. 85th Street and E. ST. John Road).

10. DRAINAGE REPORT. Prior to being scheduled for a Development Review Board hearing, the owner shall submit and receive acceptance of a case drainage report demonstrating compliance with the accepted master plans for the Perimeter Center.
11. WATER/SEWER. Prior to submittal of improvement plans for the site, the owner shall submit and receive acceptance of a water and sewer basis of design report demonstrating compliance with the accepted master plans for the Perimeter Center.



Q.S.
37-48

Zoning Graphic

Existing Zoning

2-ZN-2010#2



**The Loop
Development Plan Amendment
Citizen Review Plan & Report
January 29, 2024**

The following is an initial citizen review plan and report (“Report”) for the proposed development Plan Amendment request by Creation Equity (“Developer”) for the four (4) vacant parcels located within the Perimeter Center. The parcels are located at the intersection of E. St. John Road and 85th Street (“Property”). The request is to amend the approved development plan approved in case 2-ZN-2010.

As part of the Citizen outreach we will comply with the City’s requirements as follows:

The City requires the Plan to include, prior to submittal:

1. Where and when the open house will be held
2. How and when the public will be notified

On December 29, 2023, we sent letters first class and notified all property owners and stakeholders within 1,250 feet of the property of our open house we held from 6pm to approximately 8pm on January 11, 2024 at the Hilton Garden Inn at the Perimeter Center directly adjacent to the Property. During the meeting, the Developers and Mr. Kurt Jones, the Owners representative, were present for any attendees to discuss the development plan amendment proposal. We also posted the site with a large white notification sign facing Princess Drive and 85th Street with information on the request, the date, time and location of the open house and our contact information. Refer to **Tab 1** for a photo and affidavit of the site posting and updated site posting. Refer to **Tab 2** for a copy of the letter that was mailed on 12/29/2023 to all property owners within 1,250 feet of the Property and those listed on the City’s notification list. Refer to **Tab 3** for the list of property owners within 1,250 feet of the Property.

At the open house, there was one (1) attendee who walks the area and noticed the open house signs. After explaining the development plan proposal, she had no further questions.

There have been no phone calls to our office since we sent out the notices. If contacted, we will attempt to explain the request over the phone. If follow-up meetings are required, we will meet with those parties interested.

We will provide an update to this Report if major input is received or there is significant outreach that staff should be aware of.

TAB 1



Affidavit of Posting

Required: Signed, Notarized originals.

Recommended: E-mail copy to your project coordinator.

☐ Project Under Consideration Sign (White)

☐ Public Hearing Notice Sign (Red)

Case Number: 308-PA-2023

Project Name: _____

Location: SWC 101 Freeway & Princess Dr.

Site Posting Date: 12/29/23

Applicant Name: Tiffany & Bosco

Sign Company Name: Dynamite Signs

Phone Number: 480-585-3031

I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Applicant Signature

12/29/23
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me on 12/29/23



Notary Public

My commission expires: 5/31/27

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Thursday, January 11, 2024
Time: 6:00 P.M.
Location: Hilton Garden Inn - 8550 E. Princess Drive
Hilton Garden Inn meeting room. Look for signage for the meeting room.

Site Address: North and West of the Loop 101 Freeway
and Princess Drive

Project Overview:

- Request: Development Plan Amendment to existing zoning
- Description of Project and Proposed Use: Amend the Development Plan approved in case 2-20-2019 to utilize the existing I-1 zoning for flex-industrial type development
- Site Acreage: +/- 16.5 acres
- Site Zoning: Current Zoning is PCD I-1 (Planned Community District with comparable Industrial Park District zoning)

Applicant/Contact:

Kurt Jones

602-452-2729

Kajones@tblaw.com

Pre-Application #: 308-PA-2023

Pending Date: 12/29/2023

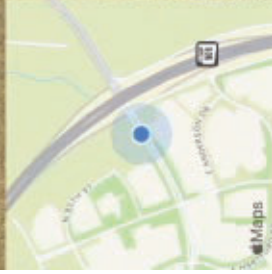
Please call for meeting or attending sign prior to date of last hearing. Applicant Responsible for Sign Removal.

City Contact:

Meredith Tessier

480-312-4211

mtessier@scottsdaleaz.gov



December 29, 2023 at 9:07 AM
17761 N 85th St
2-ZN-201042
Maricopa County

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Thursday, January 11, 2024
Time: 6:00 P.M.
Location: Hilton Garden Inn - 8550 E. Princess Drive
Hilton Garden Inn meeting room. Look for signage for the meeting room.

Site Address: North and West of the Loop 101 Freeway
and Princess Drive

Project Overview:

- Request: Development Plan Amendment to existing zoning
- Description of Project and Proposed Use: Amend the Development Plan approved in case 2-204-2019 to utilize the existing I-1 zoning for flex-industrial type development
- Site Acreage: +/- 16.5 acres
- Site Zoning: Current Zoning is PCD I-1 (Planned Community District with comparable Industrial Park District zoning)

Applicant/Contact:

Kurt Jones
602-452-2729
Kajones@tblaw.com

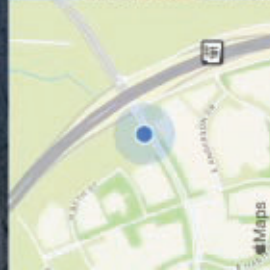
City Contact:

Meredith Tessier
480-312-4211
mtessier@scottsdaleaz.gov

Pre-Application #: 308-PA-2023

Posting Date: 12/29/2023

Penalty for removing or defacing sign prior to date of last hearing. Applicant Responsible for Sign Removal...



December 29, 2023 at 9:25 AM
17791 N 85th St
2-204-2019#2
Maricopa County

TAB 2



December 29th, 2023

RE: Perimeter Center – Proposed Development Plan Amendment to Existing Zoning Informational Open House

Dear Neighbor/Stakeholder:

Creation Equity, a real estate development and alternative investment firm, is seeking input on a revised land use proposal for the property located north and west of the Loop 101 freeway and Princess Drive. Please see the attached aerial for the location of the property. The four (4) parcels are currently undeveloped within the Perimeter Center development. Creation is seeking to develop four (4) flex-industrial buildings within the property. Please see attached schematic site plan proposed for the property.

The property was subject to a zoning case in 2010 (case # 2-ZN-2010) which permitted taller office buildings and associated site improvements. Creation is seeking to amend that approved development plan and develop the property more in line with the existing PCD I-1 development standards. As part of the City of Scottsdale's public participation requirements, you are receiving this notice because of your property's proximity to our development proposal.

You are invited to attend the in-person open house that will be held on Thursday evening January 11, 2024, at 6:00 p.m. The meeting will be held at the Hilton Garden Inn meeting room, at 8550 E. Princess Drive, also within the Perimeter Center.

If you have any questions or cannot attend the meeting, please feel free to call or email me at 602.600.6363 or jaggere@creationequity.com or our entitlements representative Kurt Jones at 602-452-2729 or kajones@tblaw.com. The City's Project Coordinator is Meredith Tessier, who can be reached at mtessier@scottsdaleaz.gov or 480-312-4211.

Sincerely,

A handwritten signature in black ink, appearing to read "Jagger Everett".

Jagger Everett,
Director of Development

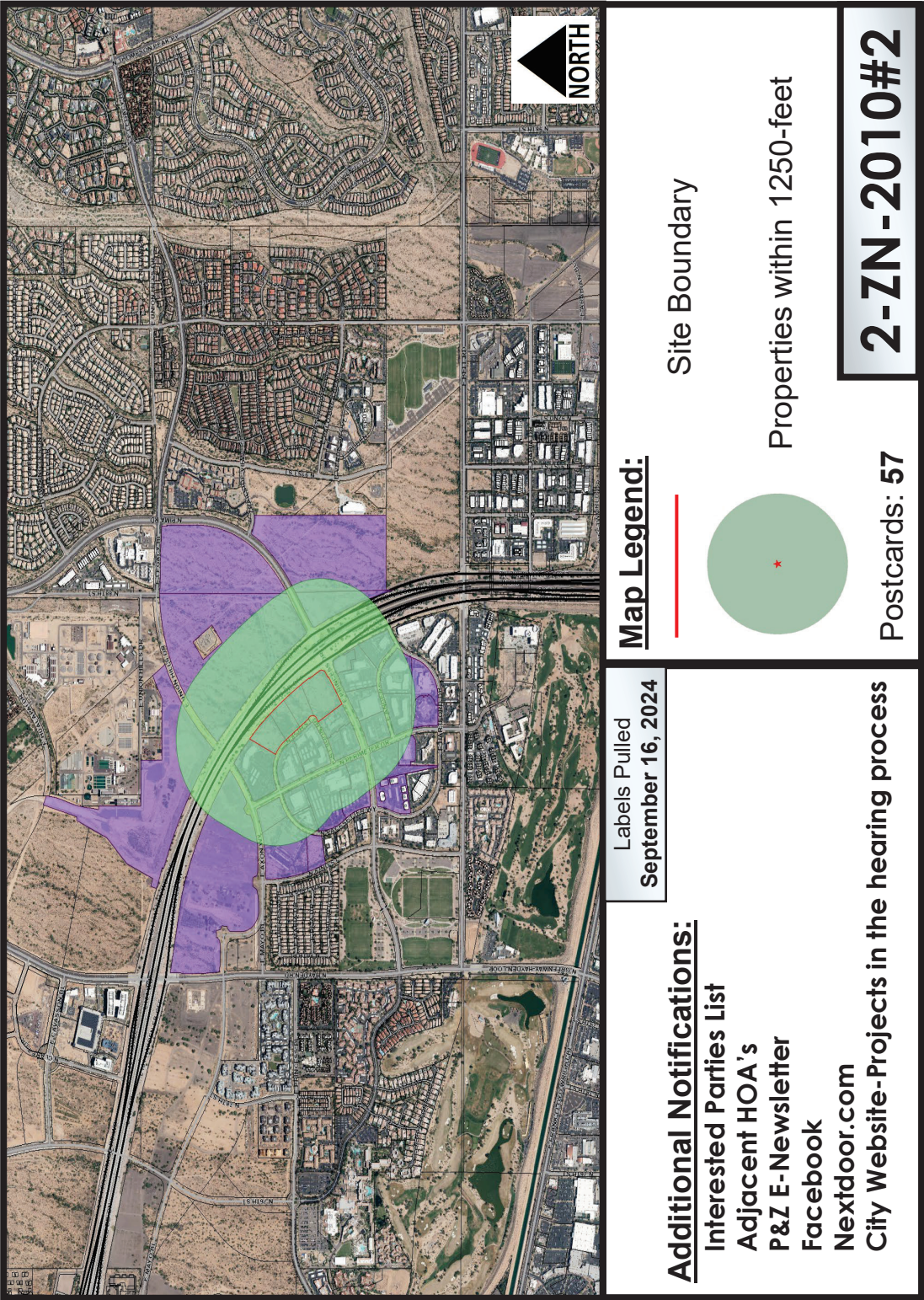


TAB 3

The Loop - 1,250 Ft Notification List

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
SCOTTSDALE CITY OF	7447 E INDIAN SCHOOL RD STE 205	SCOTTSDALE	AZ	85251
PACESETTER INC	8300 E PACESETTER WAY	SCOTTSDALE	AZ	85255
PACESETTER WAY LLC	4555 E MAYO BLVD UNIT 17101	PHOENIX	AZ	85050
SLR TURNSTONE LLC/NHR TURNSTONE LLC	10320 E MOUNTAIN SPRING RD	SCOTTSDALE	AZ	85255
TASER INTERNATIONAL INC	7860 E MCCLAIN DR 2	SCOTTSDALE	AZ	85260
PINNACLE 101 LLC	17851 N 85TH ST	SCOTTSDALE	AZ	85255
ARIZONA STATE LAND DEPT	1616 W ADAMS ST	PHOENIX	AZ	85007
MREG 101 BELL NORTH LLC	60 COLUMBUS CIR FL 20	NEW YORK	NY	10023
IO DATA CENTERS LLC	1101 ENTERPRISE DR	ROYERSFORD	PA	19468
KPN INDUSTRIAL LLC	11225 W BERNARDO CT 100	SAN DIEGO	CA	92127
SPECIALTY HOSPITAL SCOTTSDALE LLC	701 SHADOW LN	LAS VEGAS	NV	89106
ONE PRINCESS DRIVE LLC/KPN INDUSTRIAL LLC	11225 W BERNARDO CT STE 100	SAN DIEGO	CA	92127
SCOTTSDALE PERIMETER I LLC	14648 N SCOTTSDALE RD 345	SCOTTSDALE	AZ	85254
ASHTON PRINCESS PROPERTY LLC	1201 MONSTER RD SW STE 350	RENTON	WA	98055
APPLE TEN SPE SCOTTSDALE INC	814 E MAIN ST	RICHMOND	VA	23219
PEGASUS DEER VALLEY OWNER LLC	8888 E RAINTREE DR 155	SCOTTSDALE	AZ	85260
VALK PROPERTIES THREE LLC	1450 TL TOWNSEND STE 100	ROCKWALL	TX	75032
ILLUMINATE HOLDINGS LLC	17800 N PERIMETER DR	SCOTTSDALE	AZ	85255
CEDAR TREE PROPERTIES LLC	15029 N THOMPSON PEAK PKWY	SCOTTSDALE	AZ	85260
PERIMETER OFFICE OWNERSHIP LLLP	PO BOX 28216	SCOTTSDALE	AZ	85255
EWR SCOTTSDALE P&P LLC	51 BROADWAY N STE 600	FARGO	ND	58102
PERIMETER SCOTTSDALE PROPERTY LLC	333 S GRANDE AVE 28TH	LOS ANGELES	CA	90071
AWW PRINCESS MOB OWNER LLC	802 N 3RD AVE	PHOENIX	AZ	85003
17207 PERIMETER DR LLC	2424 RIDGE RD	ROCKWALL	TX	75087
EWR SCOTTSDALE TOWERS LLC	51 BROADWAY N 600	FARGO	ND	58102
SCOTTSDALE AREA ASSOC OF REALTORS	4221 N SCOTTSDALE RD	SCOTTSDALE	AZ	85251
MMAC 300 SCOTTSDALE AZ LLC	3807 CLEGHORN AVE STE 903	NASHVILLE	TN	37215
AXON ENTERPRISE INC	17800 N 85TH ST	SCOTTSDALE	AZ	85255

City Notifications – Mailing List Selection Map
The Loop (Perimeter Tech Center)





**SCOTTSDALE PLANNING COMMISSION
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

WEDNESDAY, OCTOBER 9, 2024

SUMMARIZED MEETING MINUTES

PRESENT: Renee Higgs, Chair
Joe Young, Vice Chair
Barney Gonzales, Commissioner
George Ertel, Commissioner
Michal Ann Joyner, Commissioner
William Scarbrough, Commissioner
Diana Kaminski, Commissioner

ABSENT: None

STAFF: Tim Curtis
Joe Padilla
Greg Bloemberg
Casey Steinke
Becca Cox
Jason McWilliams
Clayton Chults

CALL TO ORDER

Chair Higgs called the regular session of the Scottsdale Planning Commission to order at 5:01 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

ATTACHMENT #12

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"

MINUTES REVIEW AND APPROVAL

1. Approval of the September 25, 2024 [Regular Meeting Minutes](#).
Approval of the September 25, 2024 Executive Session Meeting Minutes.

Vice Chair Young made a motion to approve the September 25 regular meeting minutes. Second by Commissioner Gonzales, the motion carried unanimously by a vote of seven (7) to zero (0) by Chair Higgs, Vice Chair Young, Commissioner Gonzales, Commissioner Kaminski, Commissioner Ertel, Commissioner Joyner and Commissioner Scarbrough.

Commissioner Scarbrough made a motion to continue the September 25, 2024 executive session meeting minutes to the October 23, 2024 regular meeting. Second by Commissioner Ertel, the motion carried unanimously by a vote of seven (7) to zero (0) by Chair Higgs, Vice Chair Young, Commissioner Gonzales, Commissioner Kaminski, Commissioner Ertel, Commissioner Joyner and Commissioner Scarbrough.

CONSENT AGENDA

2. [7-UP-2023 \(Paloma\)](#)

Request by owner for approval of a conditional use permit for a bar in a new +/- 4,000 square foot building with Central Business, Parking District, Downtown Overlay (C-2/P-3 DO) and Parking District, Downtown Overlay (P-2 DO) zoning, located at 4439 N. Saddlebag Trail. Staff contact person is Greg Bloemberg, 480-312-4306. **Applicant contact person is Robert W Leavitt, (480) 290-1685.**

Item No. 2 moved to regular agenda; Jude Nau spoke in opposition. Commissioner Ertel made a motion for recommendation of approval to City Council for case 7-UP-2023 per the staff recommended stipulations and additional stipulations regarding noise mitigation after finding that the Conditional Use Permit criteria have been met. Second by Commissioner Joyner, the motion carried by a vote of five (5) to one (1) by Chair Higgs, Commissioner Kaminski, Commissioner Ertel, Commissioner Joyner and Commissioner Scarbrough with Commissioner Gonzales dissenting and Vice Chair Young recusing himself.

3. [2-ZN-2010#2 \(The Loop\)](#)

Request by owner for approval of a Zoning District Map Amendment to amend the previously approved development plan, including amended development standards including Building height, Floor Area Ratio, Volume, Open space, Front yard setback and Permissible height and Area regulations resulting in a development plan that conforms to the development standards of the Industrial Park (I-1) zoning district, on a +/- 18.36-acre site located at 17821 N. 85th Street, 17799 N. 85th Street, 17791 N. 85th Street, and 17761 N. 85th Street with Planned Community District (P-C) zoning with Industrial Park District (I-1) as the comparable zoning district. Staff contact person is Casey Steinke, 480-312-2611. **Applicant contact person is Kurt Jones, (602) 452-2729.**

Item No. 3; Commissioner Scarbrough made a motion for recommendation of approval to City Council for case 2-ZN-2010#2 per the staff recommended stipulations after finding that

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the Planned Community District (PCD) district criteria have been met and that the proposed Zoning District Map amendment is consistent and conforms with the adopted General Plan. Second by Commissioner Joyner, the motion carried by a vote of six (6) to zero (0) by Chair Higgs, Commissioner Gonzales, Commissioner Kaminski, Commissioner Ertel, Commissioner Joyner and Commissioner Scarbrough with Vice Chair Young recusing himself.

REGULAR AGENDA

4. [15-ZN-2005#4 \(Aria at Silverstone\)](#)

Request by owner for a zoning district map amendment from Planned Community District with P-C comparable Commercial Office District (P-C C-O) to Planned Community District with P-C comparable Multiple-family Residential District (P-C R-5), including an amendment to the Silverstone development plan and amendment to the Silverstone Land Use Budget to allow R-5 zoning on this site and increase the overall number of residential units in the Silverstone PCD from 976 units to 1,076 units, for a new 100-unit townhome community on a +/- 16.3-acre site located at 22602 N. 74th Street. Staff contact person is Greg Bloemberg, 480-312-4306. **Applicant contact person is John Berry, (480) 385-2753.**

Item No. 4; Commissioner Joyner made a motion for recommendation of approval to City Council for case 15-ZN-2005#4 per the staff recommended stipulations after finding that the Planned Community District (PCD) district criteria have been met and that the proposed Zoning District Map amendment is consistent and conforms with the adopted General Plan. Second by Commissioner Ertel, the motion carried unanimously by a vote of seven (7) to zero (0) by Chair Higgs, Vice Chair Young, Commissioner Gonzales, Commissioner Kaminski, Commissioner Ertel, Commissioner Joyner and Commissioner Scarbrough.

NON-ACTION ITEMS

5. [3-TA-2024 \(Adaptive Reuse & Development Application Determination Text Amendment\)](#)

Request by the City of Scottsdale to amend the Zoning Ordinance (Ord. No. 455), Article I., Section 1.206. (Processing of development applications.) and Section 1.305. (Review of applications.), Article III., Section 3.100. (Definitions), Article V., Section 5.2102. (Planned Community – P-C, General Provisions) and Section 5.2605 (Planned Regional Center – PRC, Use Regulations), Article VII. – General Provisions, and Article XI. – Land Use Tables, and any associated sections for the purposes of addressing recent State of Arizona legislation of HB2297 regarding adaptive reuse and SB1162 regarding development application time frames. **Staff contact person is Brad Carr, AICP, (480) 321-7713.**

6. [4-TA-2024 \(Accessory Dwelling Unit \(ADU\) Text Amendment\)](#)

Request by the City of Scottsdale to amend the Zoning Ordinance (Ord. No. 455), Article I., Section 1.206. (Processing of development applications.) and Section 1.1304. (Enlargement, extension, reconstruction or structural alteration of nonconforming structure; enlargement of nonconforming use.), Article III., Section 3.100. (Definitions), Article V., Sections 5.010. through 5.556. (Single-family Residential), Sections 5.600. through 5.606. (Two-family Residential), Sections 5.700. through 5.707. (Medium Density Residential), Sections 5.800. through 5.807. (Townhouse Residential), Sections 5.900. through 5.907. (Resort/Townhouse Residential), Sections 5.1000. through 5.1007. (Multiple-family Residential), Sections 5.1100. through 5.1107. (Service Residential), and Sections 5.2000. through 5.2008. (Manufactured Home), Article VI.,

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Section 6.1004. (Property development standards.), Article VII., Sections 7.200.A. through 7.200.G. (Additional Area Regulations.), Section 7.203. (Vacation rentals or Short-term rentals.), and Section 7.900., Article XI. – Land Use Tables, and any associated sections for the purposes of addressing recent State of Arizona legislation of HB2720 regarding accessory dwelling units and HB2325 regarding backyard fowl. **Staff contact person is Brad Carr, AICP, (480) 321-7713.**

ADJOURNMENT

With no further business to discuss, the regular session of the Planning Commission adjourned at 7:11 p.m.