



# SCOTTSDALE AIRPORT VICINITY DEVELOPMENT LONG FORM

For development projects with taxilane access and/or parcels adjacent to airport property

The owner of developments within the Airport Influence Area shall complete forms required by the City and Scottsdale Airport to comply with the Scottsdale Revised Code, Chapter 5 – Aviation and the Airpark Rules and Regulations; and submit the completed forms with final plans to the assigned city project manager.

Project Name:	Pre-App:
Site Address:	
Contact name: Larson Associates Architects, Jim Larson	Phone: (602) 955-9929

## 1. HEIGHT ANALYSIS, CH. 5, SEC. 5-354. GENERAL REQUIREMENTS

- ☒ Applicants must conduct a height analysis for all projects located within 20,000 feet of Scottsdale Airport.
1. Complete a height analysis for all structures, appurtenances or construction equipment through the FAA at: <https://oeaaa.faa.gov/oeaaa/external/portal/jsp>, click on the Notice Criteria Tool (left side). If you do not exceed criteria, submit this FAA response from the website with your packet or you must complete step 2.
- IF required by FAA, complete Step 2**
2. Submit an FAA form 7460-1 Notice of Proposed Construction or Alteration for review and determination. Please allow about 45 days for this process. A copy of the FAA's response will be required prior to final plan approval.  
[Form 7460-1 was submitted to the FAA - Determination of No Hazard letter is forthcoming.](#)

## 2. TAXILANE ACCESS REVIEW, AIRPARK RULES AND REGULATIONS

- ☒ **Submit a full-size site plan** at a 1" = 20' scale and elevation plan for aviation staff review. The plans must depict the following: **Taxilane centerline, proposed based aircraft (if known), hangar space dimensions, staging area dimensions, vehicle access path and gate.**
- A staging area shall be greater than or equal to the size of the largest hangar on the site per *Definitions* section.
  - Also proposed parcel site must include enough hangar space for each proposed aircraft to fit simultaneously inside. Sec. 310.

- The taxilane easement safety area must be a weight-bearing surface. Gravel for ground cover is discouraged, and if requested, must be between 2" -3" diameter. *FAA Advisory Circular Airport Design.*
  - The Maximum Recommended Wingspan for aircraft stored in the airpark is 66 feet or less as stated in the *Airpark Rules and Regulations, Sec. 206*
  - Vehicular access to hangar/staging area must not traverse taxilane easement and requires a gate. *Sec. 404*
- ☐ **Existing or proposed fuel facility.** A fuel storage area must be constructed and maintained in accordance with the regulations in *Sec. 511*.
- ☒ **Proposed architectural barriers** (buildings, walls, bollards, etc.) that will separate auto parking area and taxilane easement safety area.
- ☒ **Drop-offs, objects** exceeding 3" in height or vegetation in the taxilane safety area (50' from airpark taxilane centerline) are not permitted. *FAA Advisory Circular Airport Design.*
- ☒ **Exterior lighting locations.** Lighting must be illuminated downward toward taxilane.
- ☒ **Landscape plan.** Slope gradients should not exceed 5%; storm water retention is prohibited.
- ☒ **Refuse collection dumpster storage locations.** Locate away from aircraft staging, taxilane access points and airport property fence line.
- ☐ **Helicopter landing area** (if applicable). Proposed helicopter operations require approval from both the city and FAA and a conditional use permit. A conditional use permit is required by the City of Scottsdale. The FAA requires completion of an FAA 7480-1 Notice of Landing Area Proposal. **NOT APPLICABLE - No proposed heliport.**

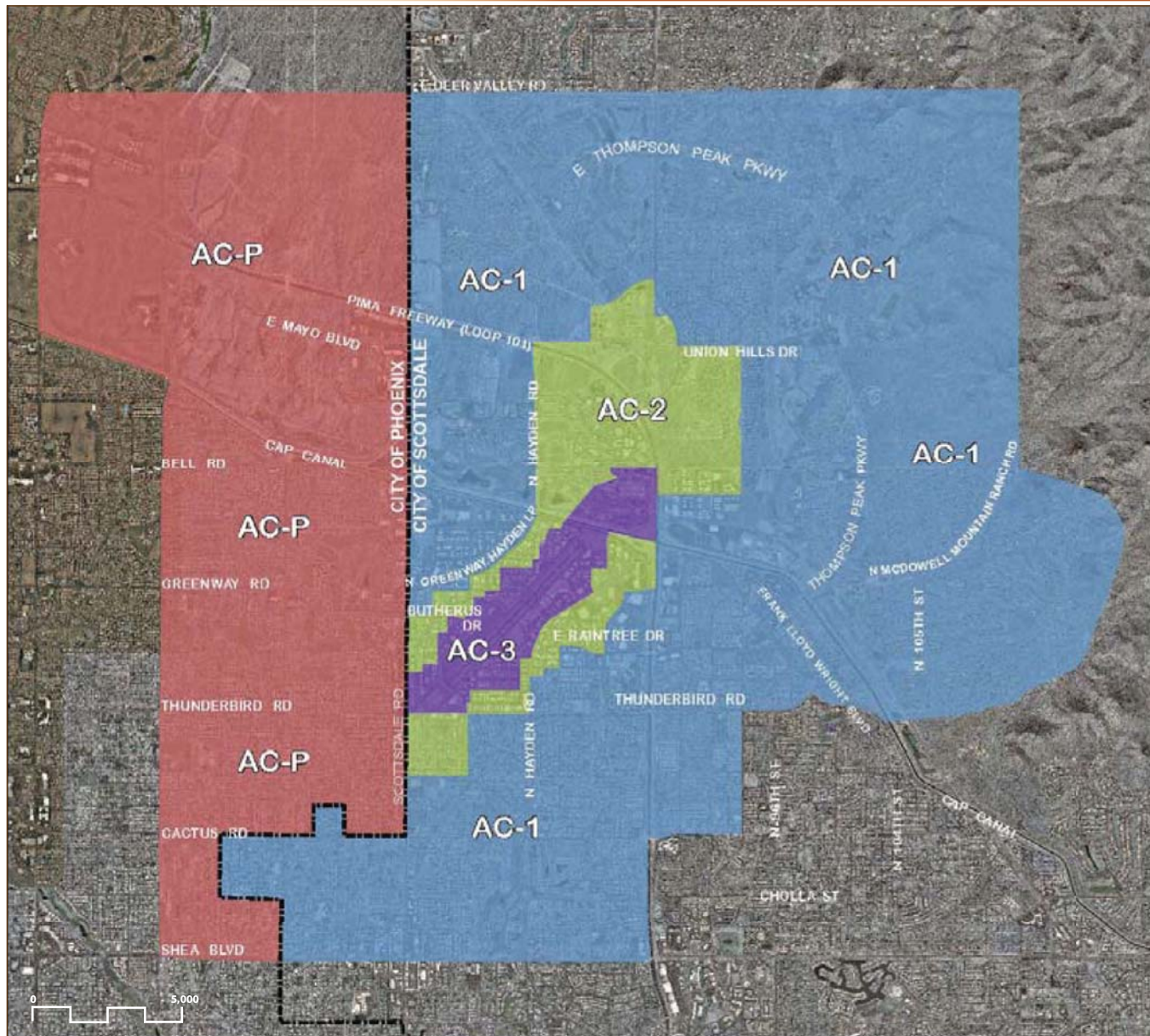
### **3. AIRCRAFT NOISE AND OVERFLIGHT DISCLOSURE, CH. 5, SEC. 5-356 & SECT. 5-357**

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- ☒ Incorporate the Airport Disclosure for Development around Scottsdale Airport language into the CC&Rs or other procedural documents and provide a copy.
- ☒ An aviation easement will need to be granted to the city. If not already recorded for property, submit a notarized Aviation Easement form with packet to your project manager.



# SCOTTSDALE AIRPORT MASTER PLAN



## LEGEND AND TABLE KEY

----- Municipal Boundary

### Airport Influence Areas

AC-1 AC-2 AC-3 AC-P

NP - Not Permitted

P - Permitted with Use Limitations

(1) - Avigation easement required under Sec. 5-357

(2) - Noise attenuation required under Sec. 5-358

Noise Sensitive Uses	AC <sup>1</sup> -3	AC-2	AC-1
Dwelling unit*	NP	P (1) (2)	P (1)
Manufactured home*	NP	P (1) (2)	P (1)
Elementary and secondary school*	NP	P (1) (2)	P (1)
Hospital*	NP	P (1) (2)	P
Travel accommodation*	NP	P (1) (2)	P
Place of worship	NP	P (1) (2)	P (1)
Cultural, civic, and social organization	NP	P (1) (2)	P (1)

\*The terms dwelling unit, manufactured home, elementary and secondary school, hospital and travel accommodation defined in the Basic Zoning Ordinance.

<sup>1</sup> AC - Airport Compatibility District

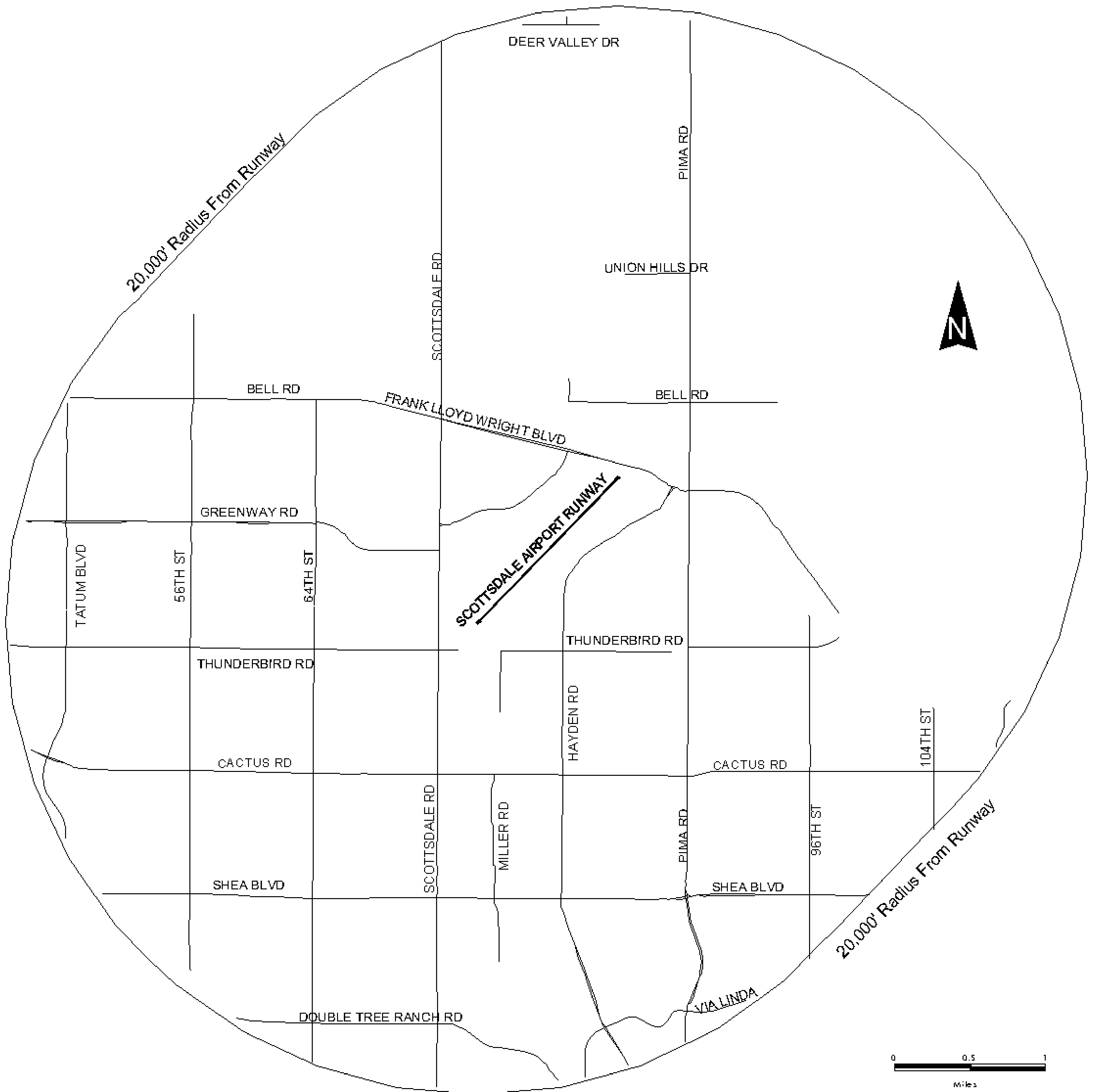
SOURCE: Scottsdale Revised Code; August 2012



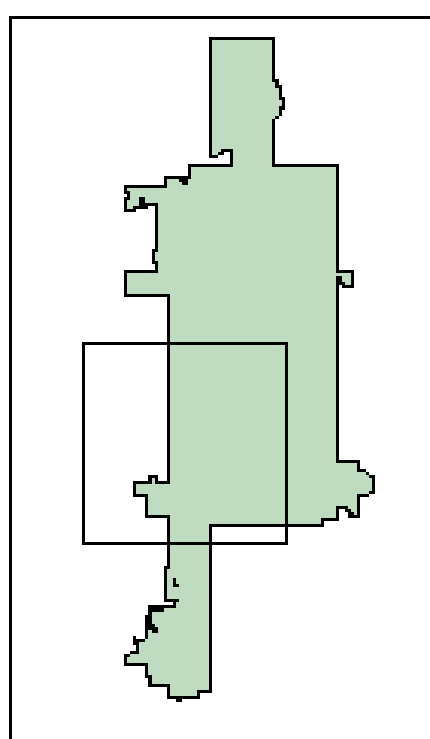
AIRPORT INFLUENCE AREA AND  
NOISE OVERLAY ZONES

Exhibit 1P

# Scottsdale Airport Vicinity, FAA Notice of Proposed Construction



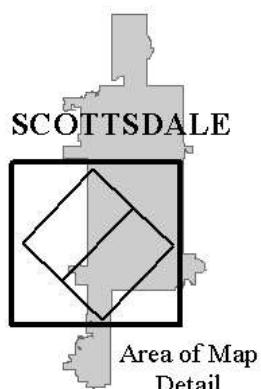
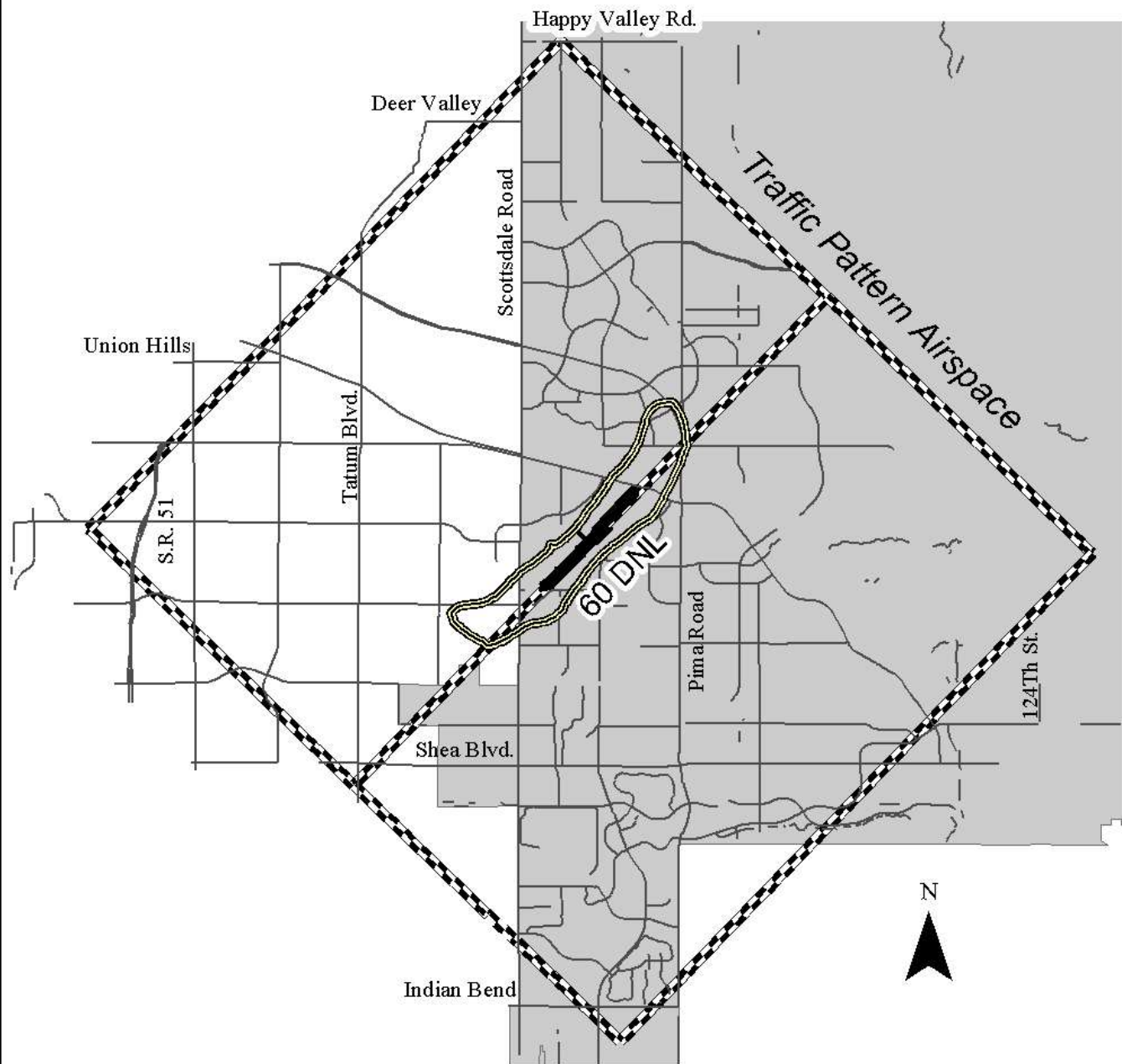
Area Of Detail



**INSTRUCTIONS:** Proposed temporary cranes or structures which exceed a height of 100:1 slope (100 ft horizontally for 1 foot vertically) from the nearest point of the runway must provide notice to the FAA via a 7460-1 form. Forms are available at the FAA Flight Standards District Office (480 419-0111) or the Scottsdale Airport Administration Office (480 312-2321).



# Scottsdale Airport Traffic Pattern Airspace



Map Date: October 18, 2001

***SAMPLE FAIR DISCLOSURE FOR DEVELOPMENT AROUND SCOTTSDALE AIRPORT***

**NOTICE TO PURCHASERS**

**OF PROXIMITY TO THE SCOTTSDALE AIRPORT**

To include in CC&R's or disclosure notice:

**Proximity to Airport.**

Each Owner of a Lot in the Airport Influence Area identified in Chapter 5 of the Scottsdale Revised Code acknowledges that, as of the date of this notice:

(a) The Lot is close to the Scottsdale Airport (the "Airport"), located generally between Frank Lloyd Wright Boulevard on the north, Pima Road on the east, Thunderbird Road on the south and Scottsdale Road on the west.

(b) The Airport is operated as a general aviation reliever/commercial service airport for Scottsdale and North Phoenix, and used generally for airplanes, jets and helicopters.

(c) Aircraft using the Airport may fly over the Lot and adjacent properties at altitudes that vary for several reasons, including weather conditions, aircraft type, aircraft performance and pilot proficiency.

(d) The majority of takeoffs and landings occur between 6:00 a.m. and 11:00 p.m., but the Airport is open 24 hours each day, so takeoffs and landings may occur at any time.

(e) The number of takeoffs and landings at the Airport average approximately 400 each day, but that number varies and may increase.

(f) Aircraft using the Airport will generate noise, the volume, pitch, amount and frequency of which will vary for several reasons, including weather conditions, aircraft type, aircraft altitude and aircraft number.

(g) Airport management attempts to minimize aircraft noise and its influence on Lots in the Airport Influence Zone, but there is no guarantee that such attempts will be effective or remain in place.

The Owner accepts and assumes any and all risks, burdens and inconvenience caused by or associated with the Airport and its operations (including noise), and agrees not to assert or make any claim arising out of the Airport and its operations against the City of Scottsdale, its elected and appointed officials, officers, directors, commissioners, representatives, employees, and agents.

Any questions regarding the operation of the Airport can be directed to the Airport Administration office at 480-312-2321.

**See City staff for official document. Signed documents accepted by City only after approval of legal description.**

**WHEN RECORDED, RETURN TO:**

City of Scottsdale  
One Stop Shop/Records  
7447 E. Indian School Road, Suite 100  
Scottsdale, AZ 85251

Exempt from Affidavit of Value  
under A.R.S. § 11-1134(A)(2, 3)



**CITY OF SCOTTSDALE  
AVIGATION EASEMENT**

Project No. \_\_\_\_\_

APN \_\_\_\_\_

FOR ONE DOLLAR (\$1.00) and other good and valuable consideration received  
[Signature] (collectively "Grantor")  
grants to the City of Scottsdale, an Arizona municipal corporation ("Grantee"), a  
perpetual, non-exclusive easement upon, over and across the parcel of land (the  
"Property") described on the legal description and the sketch attached hereto as Exhibits  
"A" and "B". The purpose of the easement is for a right of flight for aircraft in the  
airspace above the Property.

1. "Aircraft" means any manned or unmanned device that flies.
2. Without limitation, the right of flight includes the right to operate aircraft over and near the Property, and cause any noise, vibration, fumes, light, exhaust, odors, fuel vapor particles, electronic interference, dust, annoyances, nuisances, emissions, and any other effects relating to operating aircraft (collectively "Aircraft Effects").
3. All Aircraft Effects are included within the scope of the easement, including without limitation those that reach or affect the Property or improvements to the Property, interfere with other uses of the Property, annoy users of the Property, and are caused or made worse by any changes in the following:
  - 3.1 The size, number, method of propulsion, weight, noisiness, design, fuel, category, type or other characteristics of aircraft, and in any aircraft practices, laws, rules, policies, circumstances, customs, protocols or procedures.
  - 3.2 The airport size, orientation, configuration, location, runway length, improvements or other characteristics, and in any airport practices, laws, rules, policies, circumstances, customs, protocols or procedures.
  - 3.3 The flight paths, flight frequency, flight timing, airport operations, climbing and descending, altitudes, takeoff and landing, air traffic control, and in any related aircraft and airport practices, laws, rules, policies, circumstances, customs, protocols or procedures.

***See City staff for official document. Signed documents accepted by City only after approval of legal description.***

- 3.4 Grantor's or others' personal perceptions of Aircraft Effects or sensitivity to Aircraft Effects.
4. Grantor shall not cause or allow the Property to be used to discharge fumes; smoke; dust; or electronic, light, laser or other emissions, which may obstruct visibility or adversely affect or interfere with the operation of aircraft or any navigational facilities. No building, mast, tree, vegetation, or other thing upon the Property shall exceed Federal Aviation Administration approved height restrictions.
5. Grantor has been advised and understands that:
  - 5.1. All or a portion of the Property is located in a noise-influence area.
  - 5.2. Aircraft Effects might be annoying to users of the Property and might interfere with the unrestricted use and enjoyment of the Property.
  - 5.3. Aircraft Effects will likely increase over time.
6. Grantor waives all rights and claims that Grantor may ever have against, and agrees not to sue, Grantee regarding Aircraft Effects. Grantor makes its waivers and agreements for itself, its successors and assigns, in favor of Grantee, and all Grantee's officers, officials, employees, agents, lessees, permittees, invitees, successors and assigns.

Grantor warrants and covenants to Grantee and its successors and assigns that Grantor is lawfully seized and possessed of the Property; that Grantor has a good and lawful right to make the conveyance described herein; and that Grantee shall have title and quiet possession against the claims of all persons.

The person executing this document on behalf of a corporation, trust or other organization warrants his or her authority to do so and that all persons necessary to bind Grantor have joined in this document. This document runs with the land in favor of Grantee's successors and assigns.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

GRANTOR:

for \_\_\_\_\_

for \_\_\_\_\_

STATE OF ARIZONA )  
 ) ss.







## SCOTTSDALE AIRPARK FUEL DISPENSING INSTALLATION APPROVAL FORM

(Required for installation of an airpark aircraft fuel dispensing and storage facility)

**PURPOSE:** Scottsdale Airpark Rules and Regulations specify requirements relating to fueling, flammable fluids and safety in the airpark. Proposed installation plans for fuel dispensing facilities in the airpark must be reviewed and approved by airport staff to ensure compliance with all applicable laws, ordinances, rules and regulations. Airport approval is required prior to issuance of any other applicable City permits.

**INSTRUCTIONS:** Please complete Section A below and submit this form with a site plan, project description and system design for review and approval by Scottsdale Airport staff prior to final plans approval or fire department inspection. After project review, Airport staff will complete Section B and return the form to the Applicant at the specified address, fax, or email address.

**Section A – To be completed by Applicant. Please “x” the boxes and complete the requested information as it applies to the project.**



**Applicant Name and Fuel Dispensing location:**

Applicant: \_\_\_\_\_

Installation Address: \_\_\_\_\_

APN: \_\_\_\_\_

Authorized \_\_\_\_\_

Title: \_\_\_\_\_

Representative: \_\_\_\_\_

Indicate where approval  
should be sent: \_\_\_\_\_



**Specify the number of dispensing sites, tanks, capacity of each tank, and type of fuel:**

	<u>Tank 1 (Indicate capacity and fuel type below)</u>	<u>Tank 2 (Indicate capacity and fuel type below)</u>	<u>Tank 3 (Indicate capacity and fuel type below)</u>	<u>Tank 4 (Indicate capacity and fuel type below)</u>
<u>Dispensing Site 1</u>				
<u>Dispensing Site 2</u>				
<u>Dispensing Site 3</u>				



**I have reviewed and understand the applicable sections of the Airpark Rules and Regulations including, without limitation, Article 500 pertaining to Fueling, Flammable Fluids, and Safety.**

*I certify that the statements made in this application are true and complete to the best of my knowledge. The undersigned representative certifies he/she is authorized to sign for the applicant.*

Authorized Representative's Signature

Date signed

**Return this completed form to: Airport Administration, 15000 N. Airport Drive, Suite 200, Scottsdale, AZ 85260**

\*\*\*\*\**Airport Administration Only*\*\*\*\*\*

**Section B – To be completed by Airport Staff and returned to Applicant.**

☐ Airport staff has reviewed the submitted information pertaining to (AP#)\_\_\_\_\_, and has determined the proposed project complies with current Airpark Rules and Regulations. Total gallons for the site: \_\_\_\_\_.

☐ Airport staff cannot approve this project based upon the submitted information. The proposed project must address the following stipulations before airport staff can approve the project:

Stipulations:

*Attach copies of applicable documents*

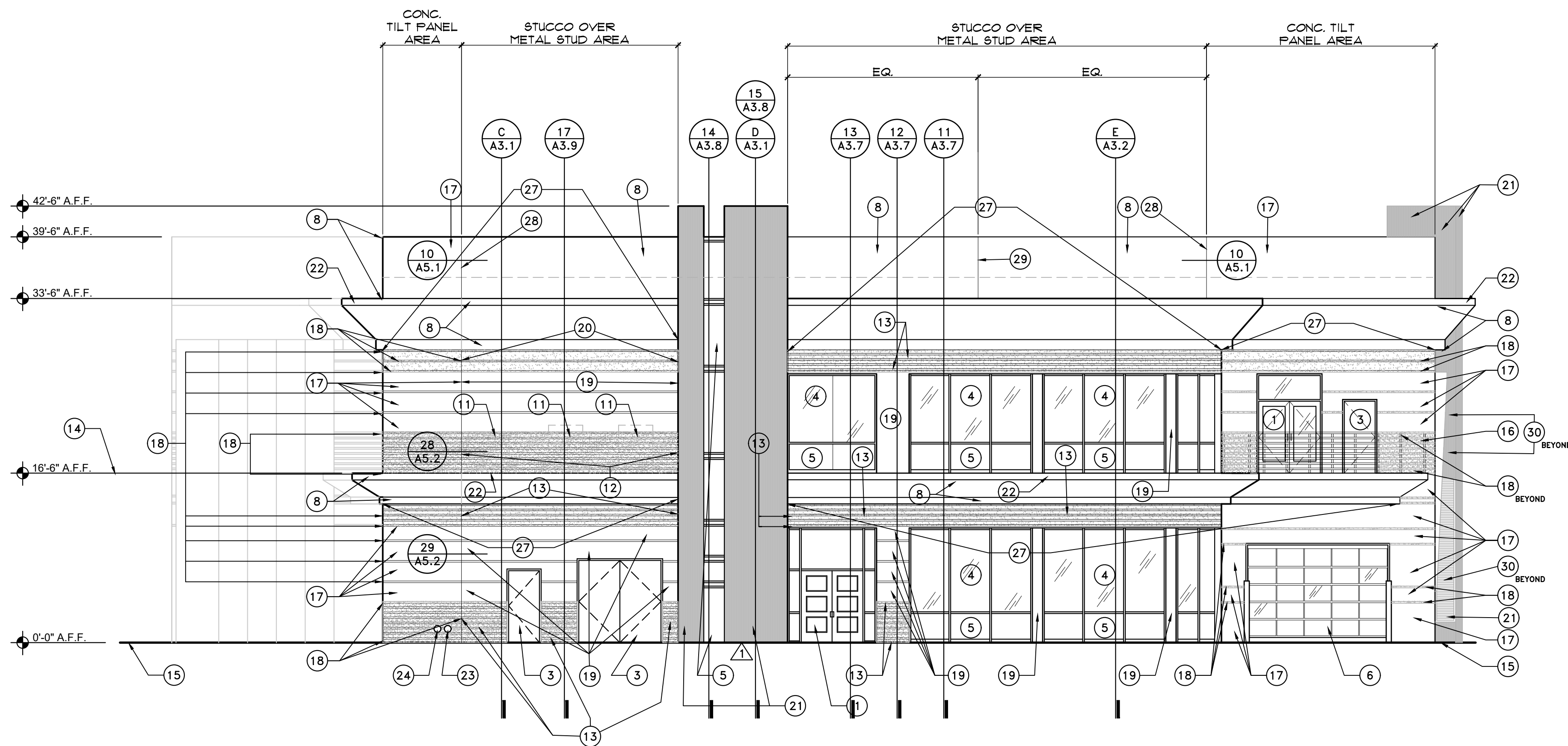
☐ Approved Conditional Use Permit

☐ Self-fueling Permit No. \_\_\_\_\_

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Airport Director (or designee)

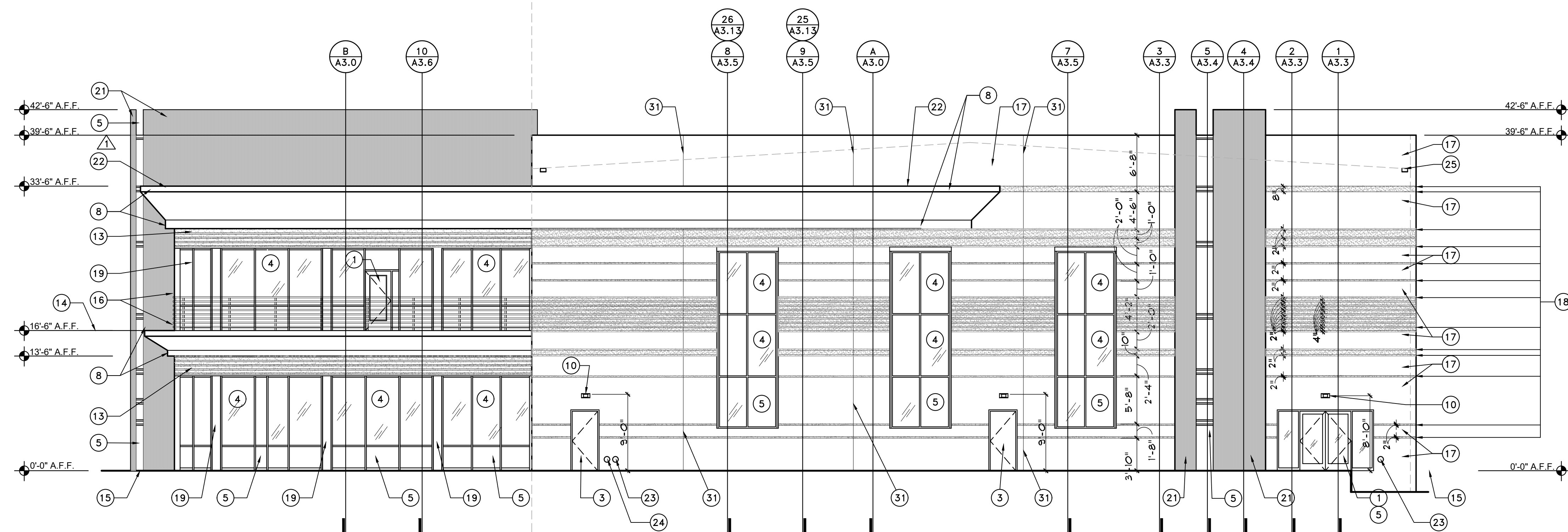
Date signed



1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

X-ELEV

NOTE: A SITE BUILT MOCK-UP (8'-0" w. x 13'-6" h. MIN. SIZE) CONTAINING ALL STOREFRONT, FIBER CEMENT PANELS (OVER 1" DP. MIN. VERTICAL METAL SUPPORT PROFILES - PER MANUFACTURER'S RECOMMENDATIONS), OVER "VAPRO SHIELD" WEATHER BARRIER OVER 1" RIGID INSULATION, OVER EXTERIOR GRADE SHEATHING, OVER 8" METAL STUDS @ 24" O.C. - ALONG W/ B-DECKING AND STUCCO SECTIONS - TO DEMONSTRATE ALL EXTERIOR FINISHES AND CONNECTIONS - TO BE BUILT PRIOR TO MAIN BUILDING CONSTRUCTION FOR APPROVAL BY ARCHITECT AND OWNER - SEE SPECIFICATIONS.



2 WEST ELEVATION  
SCALE: 1/8"=1'-0"

X-ELEV

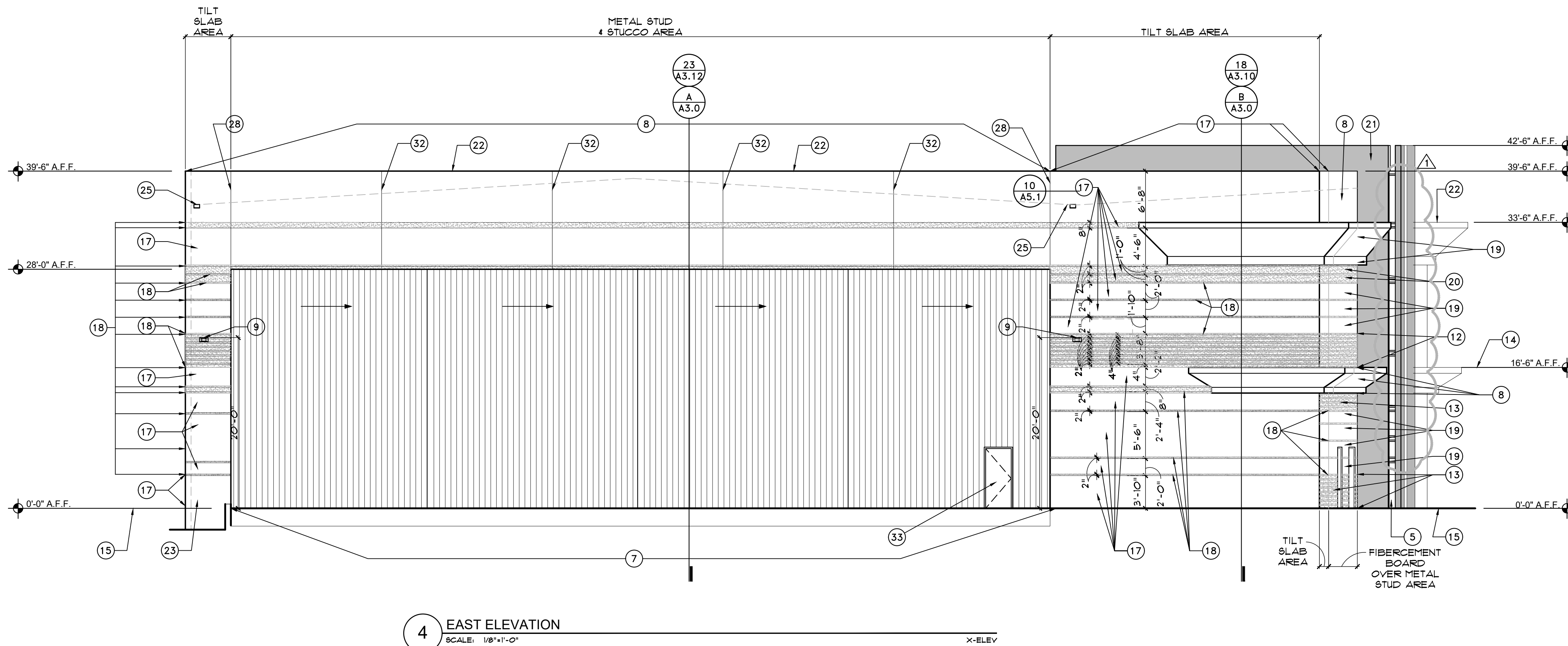
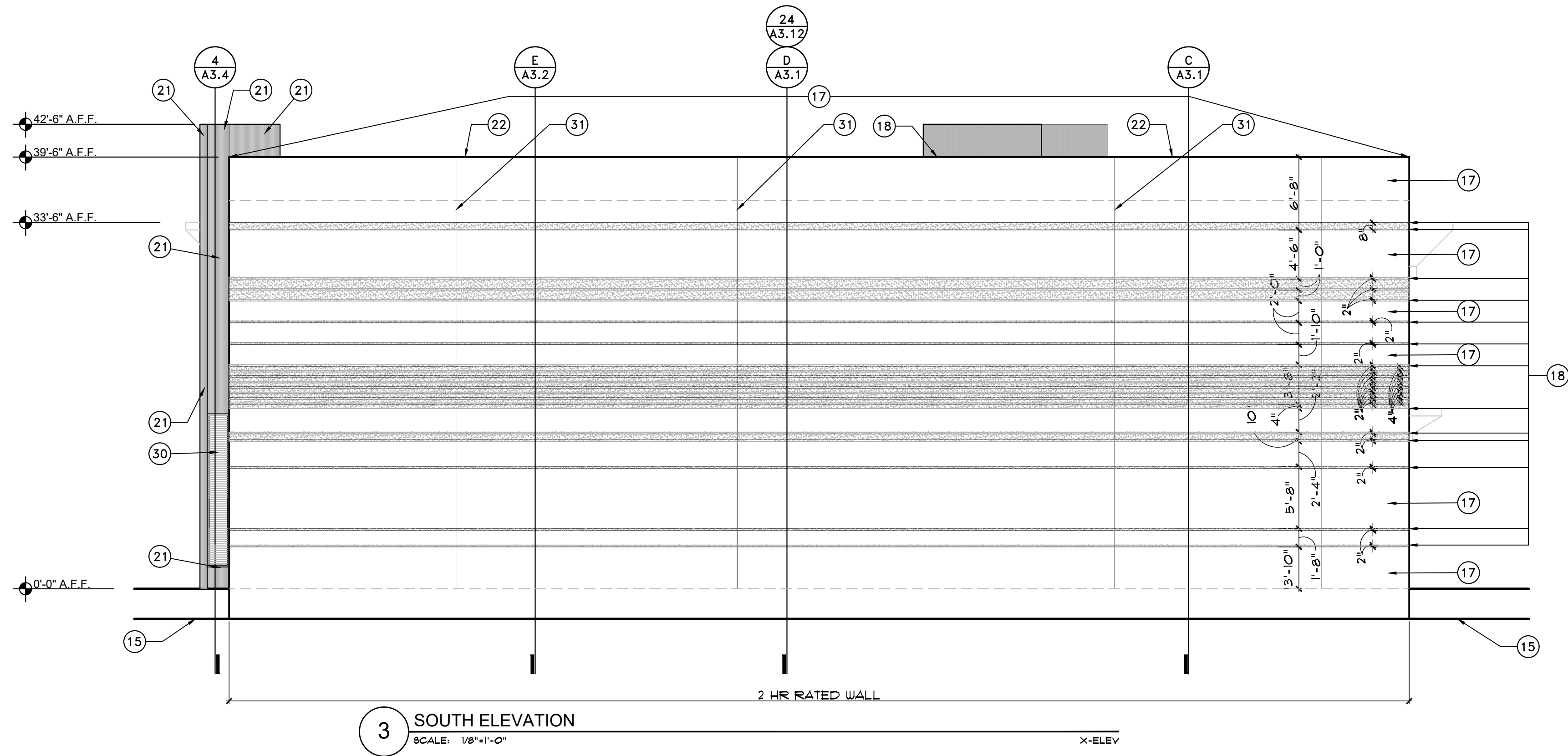
### ELEVATION KEYNOTES

NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET

- 1 CLEAR ANODIZED ALUM WINDOW & DOOR FRAMES
- 2 NOT USED
- 3 HOLLOW METAL DOOR & DOOR FRAME TO BE PAINTED FIELD COLOR
- 4 UPPER PANEL OF GLASS TO BE GUARDIAN GLASS - DUAL PANEL LOW E GRAY GLASS - CLEAR ANODIZED ALUM WINDOW
- 5 DUAL PANEL LOW E MIDNIGHT GLASS - GUARDIAN GLASS - LOWER PANEL OF GLASS AT OFFICE WINDOWS
- 6 CLEAR ANODIZED ALUM GARAGE DOOR WITH GLAZING - LOW E MIDNIGHT GLASS - GUARDIAN GLASS
- 7 HANGAR DOOR PANEL TO BE PRE-FINISHED PANEL AS CHOSEN BY ARCHITECT FROM MANUFACTURER'S STANDARDS - TO CLOSELY MATCH OR COORDINATE WITH FIELD COLOR (POSSIBLY PAINTED FIELD COLOR (PT-1))
- 8 STUCCO SYSTEM - PAINTED (PT-1)
- 9 EXTERIOR LIGHTING-FIXTURE SW - SEE FIXTURE CUT SHEETS AND PHOTOMETRIC PLANS
- 10 EXTERIOR LIGHTING-FIXTURE EM - SEE FIXTURE CUT SHEETS AND PHOTOMETRIC PLANS
- 11 MECHANICAL UNITS BEHIND EXTERIOR WALL
- 12 PERFORATED - TO VENT MECHANICAL SYSTEM BEYOND PAINTED B-DECK PAINTED ACCENT COLOR (PT-2)
- 13 EXPOSED B-DECK LAYER TO BE PAINTED ACCENT COLOR USED SIMILAR TO REVEALS IN TILT SLAB (PT-2)
- 14 LINE INDICATING INTERIOR FINISH FLOOR
- 15 FINISHED GRADE
- 16 STAINLESS STEEL RAILING SYSTEM - G.C. TO ENSURE RAILING SYSTEM MEETS ALL IBC AND ADA CODES
- 17 TYPICAL CONCRETE TILT SLAB WALL FIELD COLOR TO BE PAINTED (PT-1)
- 18 REVEALS IN TILT SLAB TO BE PAINTED ACCENT COLOR (PT-2) SEE DETAILS 11/12/A5.1 (SEE DETAIL 14/A5.1 @ 2 HR RATED WALL CONDITION)
- 19 OFFICE BUILDING TO BE CLAD IN FIBER CEMENT - EQUITONE TECTIVA T830 OR EQUAL (FCP-2)
- 20 OFFICE BUILDING TO BE CLAD IN FIBER CEMENT - EQUITONE NATURA LINEA LT20 - INSTALLED WITH VERTICAL PATTERN OR EQUAL (FCP-3)
- 21 STAIR TOWER & VERTICAL ELEMENT TO BE FIBER CEMENT - EQUITONE LINEA LT20 - INSTALLED WITH VERTICAL PATTERN OR EQUAL (FCP-1)
- 22 BREAK METAL CAP PARAPET CAP TO BE PAINTED BUILDING FIELD COLOR (PT-1)
- 23 ROOF DRAIN - SEE ROOF PLAN & PLUMBING PLANS
- 24 OVER FLOW DRAIN - SEE ROOF PLAN & PLUMBING PLANS
- 25 OVER FLOW SCUPPER - SEE ROOF PLAN & PLUMBING PLANS
- 26 INTERIOR SES - LOCATED BEHIND EXTERIOR DOORS FOR DIRECT ACCESS
- 27 EXTERIOR ACCENT LIGHTING-FIXTURE SC - SEE FIXTURE CUT SHEETS AND PHOTOMETRIC PLANS - MOUNTED ON UNDERSIDE OF SOFFIT OVERHANG
- 28 REVEAL BETWEEN STUCCO OVER METAL STUDS AND CONCRETE TILT PANEL (PAINT (PT-2)) - SEE DETAIL 10/A5.1
- 29 REVEAL IN STUCCO - PAINTED ACCENT COLOR (PT-2) SEE DETAIL 8/A5.0
- 30 CLEAR ANODIZED AL LOUVERS FOR HANGAR EVAPORATIVE COOLING SYSTEM - SEE MECHANICAL
- 31 TILT SLAB WALL JOINT - SEE DETAIL 11/A5.1
- 32 SCORE JOINT IN STUCCO
- 33 3'-0" X 1'-0" MAN DOOR IN SLIDING HANGAR DOOR - SEE SHOP DRAWINGS

NOTES:  
1. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED MECHANICAL EQUIPMENT FOR THE PROJECT. ALL HVAC EQUIPMENT IS HOUSED INSIDE THE BUILDING ON THE SECOND FLOOR.  
2. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED ELECTRICAL UTILITY EQUIPMENT FOR THE PROJECT. THE SERVICE ENTRY SECTION (SES.) IS HOUSED INSIDE THE BUILDING ON THE FIRST FLOOR WITHIN THE SES ROOM, SPECIFICALLY PROVIDED FOR THIS PURPOSE.  
3. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED COMMUNICATION EQUIPMENT FOR THE PROJECT. THE COMMUNICATION EQUIPMENT SHALL BE HOUSED INSIDE THE BUILDING ON THE FIRST FLOOR WITHIN THE SES ROOM, JANITOR'S CLOSET OR FIRE RISER ROOM AS APPROPRIATE TO THE USE AND SERVICE LOCATION.  
4. ANY ELECTRICAL UTILITY COMPANY GROUND MOUNTED TRANSFORMERS INSTALLED BY THE UTILITY COMPANY FOR SERVICE TO THIS BUILDING SHALL BE INSTALLED WITHIN THE EXISTING 10' ELECTRICAL UTILITY EASEMENT ALONG THE EXISTING TAXILANE. THIS LOCATION IS COMPLETELY SCREENED FROM VIEW FROM 81ST STREET BY THE BUILDING AND SITE WALLS.  
5. ALL EXTERIOR MECHANICAL, UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A PARAPET THAT MATCHES THE ARCHITECTURAL CHARACTERISTICS, COLOR AND FINISH OF THE BUILDING. PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO, OR EXCEED THE HEIGHT OF THE TALLEST UNIT.  
6. ALL ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR TO THE BUILDING.





### ELEVATION KEYNOTES

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Larson Associates Architects, Inc.  
3007 North 24th Street, Suite 100  
Phoenix, AZ 85016  
602.955.9929 602.954.4790 FAX  
design@larson-architects.com

Larson

TY JENKINS HANGAR  
16061 NORTH 81ST STREET  
SCOTTSDALE, AZ  
APN: 215-48-054

REGISTERED ARCHITECT  
JAMES LAWRENCE  
Sep 19 2024  
ARIZONA, USA  
EXPIRES: 6/30/2024

REGISTERED ARCHITECT  
PAUL WILSON  
Sep 19 2024  
ARIZONA, USA  
EXPIRES: 6/30/2027

Drawing Name:

EXTERIOR ELEVATIONS

Revisions

Date: 11/6/2020

Project Number:  
17-029

Drawing No:

A2.1

659-PA-2024



# ZONING ORDINANCE DATA

## PROJECT DESCRIPTION

THE DEVELOPMENT OF AN AIRCRAFT HANGAR WITH SUPPORTING OFFICE AND STORAGE SPACES AT THE CITY OF SCOTTSDALE MUNICIPAL AIRPORT

PROJECT ADDRESSES: 16061 N. 81ST STREET  
SCOTTSDALE, ARIZONA 85260

PROJECT OWNER: ARIZTARI LLC  
(SEND ALL CORRESPONDENCE THROUGH THE ARCHITECT)

PROJECT ARCHITECT: LARSON ASSOCIATES ARCHITECTS, INC.  
3801 NORTH 24TH STREET #100  
PHOENIX, ARIZONA 85016  
602-955-9929  
602-954-4790 FAX  
EMAIL: jlarson@larson-architects.com

BOOK-MAP-PARCEL: APN 215-48-054

CURRENT ZONING: I-1 (SCOTTSDALE MUNICIPAL AIRPORT)

NET SITE AREA: 52,521 SF. (1206 AC.)

LOT COVERAGE: 2122%

OCCUPANCY GROUP: 5-1 - AIRCRAFT HANGAR (PER IBC SECTION 3102)  
B - OFFICE SPACES (PER IBC SECTION 304.1)  
-NEW CONSTRUCTION

CONSTRUCTION TYPE: V-B, FULLY SPRINKLED (PER CITY OF SCOTTSDALE AMENDMENT)

FLOOR AREAS PROVIDED:  
OCCUPANCY B:  
FIRST FLOOR: 2,844 SF.  
OCCUPANCY 5-1:  
FIRST FLOOR: 11,234 SF.  
SITE COVERAGE TOTAL: 14,298 SF.  
TOTAL OFFICES: 4,825 SF.  
TOTAL HANGARS: 11,234 SF.  
2ND FLOOR PATIO: 413 SF.  
2ND FLOOR VIEWING DECK: 635 SF.  
GRAND TOTAL: 17,101 SF.

OPEN STAGING AREA: 12,449 SF.

PARKING REQUIRED: OFFICE AREA: 4,825 / 300 = 16 SPACES  
HANGAR AND SUPPORT AREA: 0 SPACES  
REQUIRED  
TOTAL SPACES REQUIRED = 16 SPACES

PARKING PROVIDED: 9 SPACES PROVIDED = 11 + OK

ACCESSIBLE SPACES REQUIRED: 16 SPACES X 4 = 1 SPACE

VAN SPACES REQUIRED: 1 SPACE

ACCESSIBLE SPACES PROVIDED: 9 SPACES PROVIDED = 1 SPACE + OK

VAN SPACES PROVIDED: 1 SPACE + OK

BICYCLE PARKING REQUIRED: 16/20 = 2 SPACES

BICYCLE PARKING PROVIDED: 2 + OK

FRONTAGE YARDS REQUIRED: 50'-0"

EAST (TAXILANE): 25'-0"

WEST (81ST STREET): 25'-0"

YARD PROVIDED: EAST: 145'-8"

WEST: 25'-0"

ON GRADE PAVING AREA: 9,954 SF.

PARKING LOT LANDSCAPING: REQUIRED: 9,954/15 = 1493 SF

PROVIDED: 2,108 SF. + OK

INTERIOR PARKING LOT LANDSCAPING: REQUIRED: 10,215/15 = 33 = 33,82 SF.

PROVIDED: 763 SF. + OK

OPEN FRONT SPACE: REQUIRED: 20,206 + 4,120 SF.

PROVIDED: 4,505 SF. + OK

OPEN SPACE REQUIRED: FIRST 12' FEET: 10x49,155+4,915 SF.

AREAS ABOVE 12' SUB-TOTAL: 275x203x49,155 + 4,055 SF.

STAGING AREA REDUCTION: 9,155 SF.

TOTAL REQUIRED: 4,055/50 = 7,0215 SF.

TOTAL: 4,9155 + 7,0215 = 6,943 SF.

TOTAL OPEN SPACE PROVIDED: 4,505 SF.

STAGING: 12,449 SF.

OTHER OPEN SPACE: 2,566 SF.

TOTAL: 18,520 SF. + OK

FLOOR AREA RATIO: PER CITY OF SCOTTSDALE ZONING ORDANCE SECTION 5.180.4.4  
NET LOT AREA = 49,155 SF. (113 ACRES)

F.A.R. (ALLOWED) = NLA + 6/10

F.A.R. (ALLOWED) = 49,155 + 6/10 = 29,493 SF.

F.A.R. (PROVIDED) = HANGAR: 11,234 SF.

OFFICES: 4,825 SF.

2ND FLOOR PATIO: 413 SF.

2ND FLOOR VIEWING DECK: 635 SF.

TOTAL GROSS FLOOR AREA: 17,101 SF. = OK

F.A.R. (ALLOWED) AS PERCENT = 60%

F.A.R. (PROVIDED) AS PERCENT = 34.80% = OK

## REQUIRED SITE PLAN NOTES

1. SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 15 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
2. ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
3. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
4. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
5. FLAG POLES, IF PROVIDED SHALL BE ONE PIECE CONICAL TAPERED.
6. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
7. ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO A HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UNIT.
8. ALL EQUIPMENT, UTILITIES, OR OTHER AFFURANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
9. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
10. ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
11. NO CHAIN LINK OR DOOLEY WALL FENCING SHALL BE ALLOWED.
12. ALL EXTERIOR CONDUIT AND RACEWAYS SHALL BE PAINTED TO MATCH THE BUILDING.
13. UPON REMOVAL OF THE SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL COMPLETE NATIVE PLANT TRACKING FORM AS WELL AS A LIST IDENTIFYING THE TAG NUMBERS OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE CITY'S INSPECTION SERVICES UNIT WITHIN 3 MONTHS FROM THE BEGINNING OF SALVAGE OPERATIONS AND/OR PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
14. ALL EXTERIOR LUMINARIES SHALL MEET ALL IESNA REQUIREMENTS FOR FULL CUTOFF, AND SHALL BE AIMED DOWNWARD AND AWAY FROM PROPERTY LINES EXCEPT SIGN, PARKING LOT CANOPY AND LANDSCAPE LIGHTING.
15. CITY STAFF MAY AT ANY TIME REQUEST THE DEVELOPER TO SUBMIT AS-BUILT PLANS TO THE INSPECTION SERVICES DIVISION. AS BUILT PLANS SHALL BE CERTIFIED IN WRITING BY A REGISTERED PROFESSIONAL ENGINEER, USING AS-BUILT DATA FROM A REGISTERED LAND SURVEYOR. AS-BUILT PLANS FOR DRAINAGE FACILITIES AND STRUCTURES SHALL INCLUDE, BUT ARE NOT LIMITED TO STREETS, LOT GRADING, STORM DRAIN PIPES, VALLEY GUTTERS, CURBS AND GUTTER, FLOOD WALLS, CULVERTS, INLET AND OUTLET STRUCTURES, DAMS, BERTS, LINED AND UNLINED OPEN CHANNELS, STORM WATER STORAGE BASINS, UNDERGROUND STORM WATER STORAGE TANKS, AND BRIDGES AS DETERMINED BY CITY STAFF.
16. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONAL PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
17. THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
18. NO TURF AREAS SHALL BE PROVIDED.
19. NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL OPEN SPACE (NAOS) AREAS.
20. NO HELICOPTER ACCESS OF HELIPORT APPROVED UNDER THIS REVIEW.
21. COORDINATE ALL OFF-SITE TRAFFIC CONTROLS WITH THE CITY OF SCOTTSDALE TRAFFIC DEPARTMENT AND ADOT DURING THE CONSTRUCTION PROCESS.
22. THE FACE OF THE SERVICE ENTRY SECTION SHALL BE FLUSH WITH THE BUILDING FACADE AND PAINTED TO MATCH THE BUILDING.
23. ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR.
24. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
25. WALL ENCLOSURE FOR REFUSE BINS AND TRASH COMPACTORS SHALL BE CONSTRUCTED OF MATERIALS, WITH COLORS AND TEXTURES WHICH ARE COMPATIBLE WITH THE BUILDING ON THE SITE.
26. ALL SITE WALLS SHALL MATCH THE ARCHITECTURAL COLOR, MATERIALS AND FINISH OF THE BUILDING.
27. THE MAXIMUM HEIGHT FROM FINISH GRADE TO THE BOTTOM OF ANY EXTERIOR LUMINARIES SHALL NOT EXCEED TWENTY (20) FEET.
28. ALL LUMINARIES SHALL BE RECESSED OR SHIELDED SO THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PROPERTY LINE.

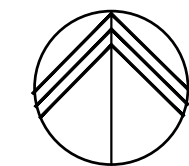
## IGCC CHECK COMPLIANCE

1. HEAT ISLAND MITIGATION: OVER 50% OF THE HARDSCAPE ACCOMMODATED BY OPTION (E) PARKING UNDER A BUILDING, IN ACCORDANCE WITH 2021 IGCC SECTION 5013.5.1 (BELOW GRADE PARKING GARAGE).
2. ELECTRIC VEHICLE CHARGING: UNDERGROUND PARKING GARAGE WILL ACCOMMODATE 4% OF TOTAL REQUIRED PARKING SPACES OR NOT LESS THAN 8% OF DESIGNATED EMPLOYEE ONLY PARKING SPACES OR 10% OF REQUIRED TOTAL PARKING SPACES.
3. ENERGY COMPLIANCE PATH: PRESCRIPTIVE BASED COMPLIANCE - COMPLY WITH MANDATORY AND PRESCRIPTIVE REQUIREMENTS IN 2021 IGCC OR ASHRAE 90.1-2019.
4. ONSITE RENEWABLE ENERGY SYSTEM (SOLAR PV) - NOT LESS THEN 3% OF ANNUAL ESTIMATED ENERGY OR 2 WATTS PER SQ. FT. MULTIPLIED BY THE GROSS ROOF AREA. IN ACCORDANCE WITH IGCC AMENDED SECTION 1013 - SOLAR PANELS WILL BE ROOF MOUNTED SEE KEYNOTE 39/5P1.
5. REFUSE AND RECYCLING COLLECTION - LOCATION NOTED PER KEYNOTE 39/5P1.

## SITE PLAN KEYNOTES

1. NEW GROUND-UP BUILDING - SEE FLOOR PLAN.
2. SITE SCREEN WALL "TYPE A" - SEE DETAIL 15 4 16 /8P2.4 (TOP OF WALL 3'-6" A.F.G.)
3. DUMPSTER ENCLOSURE AND CONCRETE PAD TO MATCH BUILDING WALLS - SEE DETAIL 11/8P22 4 14/8P23 - (C.O.S. STD. DTL. #146-1)
4. CONCRETE CURB PER CIVIL PLANS
5. TYPICAL PEDESTRIAN CONCRETE SIDEWALK WITH LIGHT BROOM FINISH - W/ 5'-0" LANDINGS OUTSIDE BUILDING EXIT DOORS WITH MAX. 2% SLOPE AND CROSS SLOPES - MAX. 2% CROSS SLOPES ALONG LENGTH OF WALK - MAX. RUN SLOPE OF 1" PER 1' FOOT ALONG LENGTH OF WALK - SEE CIVIL PLANS AND DETAILS 1, 6, AND 7/8P2.0
6. TRAFFIC VIABILITY TRIANGLE TO REMAIN CLEAR OF OBSTRUCTIONS FROM 2'-0" TO 7'-0" ABOVE GRADE - SEE LANDSCAPE AND CIVIL PLANS
7. NEW DRIVEWAY CURB CUT PER CIVIL PLANS 4 30/8P2.11 (C.O.S. STD. DTL. 2250)
8. H.C. ACCESSIBLE PARKING SPACE PER ADA STANDARDS - SEE DETAIL 10/8P2.1
9. H.C. ACCESSIBLE PARKING SPACE SIGN PER ADA STANDARDS - SEE DETAIL 24/8P2.1
10. INDICATES ACCESSIBLE ROUTE OF TRAVEL - MAX. 1" IN 1' FOOT RUN SLOPE - MAX. 2% CROSS SLOPES ALONG RUN - SEE CIVIL DRAWINGS
11. FIRE TRUCK LANE AND TURNING RADIUS PER CITY OF SCOTTSDALE REQUIREMENTS (INSIDE RADIUS OF 25', OUTSIDE RADIUS OF 49', OVERHANG RADIUS OF 55')
12. BIKE PARKING RACKS PER CITY OF SCOTTSDALE STANDARDS WITH 6'-6" X 9'-6" CLEAR AREA CONC. PAD - SEE DETAIL 27/8P2.8 (C.O.S. STD. DTL. 2285)
13. DRIVEWAY CURB CUT W/ H.C. ACCESSIBLE RAMP - MAX SLOPE 1:12 - SEE 30/8P2.11 AND CIVIL PLANS - (MIN. 4'-0" WIDTH @ APPROX)
14. SITE LIGHT - SEE DETAIL 25/8P2.1 AND STRUCTURAL AND ELECTRICAL DRAWINGS
15. FAA READY LINE - COORDINATE SIZE, COLOR, ETC. WITH THE CITY OF SCOTTSDALE AIRPORT. PAINT LINE OUTSIDE THE TAXILANE SAFETY AREA (AREA EXTENDS 50'-0" FROM THE CENTERLINE OF THE TAXILANE). LINE SHALL BE PAINTED IN ACCORDANCE WITH FAA-AC 5340-1 (AS CURRENTLY AMENDED).
16. MOTORIZED TRAFFIC CONTROL GATE PER CITY OF SCOTTSDALE AIRPORT STANDARDS - WROUGHT IRON GATE TO COMPLETE SEPARATION OF AIRSIDE FROM LANDSIDE (SECURE AIRPORT) - SEE DETAIL 17 4 18/8P2.4 - G.C. TO PROVIDE A KEY SWITCH AND PREEMPTION SENSOR - SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR FURTHER GATE AND OPERATOR INFORMATION AND REQUIREMENTS
17. CONTROL PANEL FOR STAGING AREA MOTORIZED GATE PER SPECIFICATIONS AND CITY OF SCOTTSDALE AIRPORT AUTHORITY STANDARDS - SEE ELECTRICAL PLANS
18. NEW 8'-0" A.F.G. HIGH SITE WALL COORDINATE CONSTRUCTION WITH THE ADJACENT PROPERTY OWNER AS REQUIRED - SEE DETAIL 20/8P2.9 4 21/8P2.6
19. LANDSCAPE AREA - SEE LANDSCAPE PLANS
20. FIRE RISER ROOM - SEE FLOOR PLAN SHEET A1.0 AND DEFERRED FIRE PROTECTION PLAN SUBMITTAL
21. EXISTING CURB TO REMAIN AT EXISTING ROADWAY
22. FDC PER CITY OF SCOTTSDALE STANDARDS - SEE BUILDING PLANS AND FIRE PROTECTION DRAWINGS
23. DEMOLISH EXISTING 5'-0" SIDEWALK AT RIGHT-OF-WAY AND PROVIDE A NEW 6'-0" SIDEWALK PER CITY OF SCOTTSDALE
24. 4" PARKING LOT STRIPING - SEE 4/8P2.0 AND CIVIL DRAWINGS
25. TYPICAL H.C. ACCESSIBLE RAMP MAX SLOPE 1:12 - SEE DETAILS 6 4 7/8P2.0 AND CIVIL PLANS
26. AIRCRAFT FUEL PUMP - TO BE POP-UP STYLE FULL UNDERGROUND ENCASEMENT - UNDER SEPARATE PERMIT - SEE SHOP DRAWINGS
27. AIRCRAFT FUEL TANK TO BE COMPLETELY UNDERGROUND - UNDER SEPARATE PERMIT - SEE SHOP DRAWINGS
28. ASPHALT PARKING LOT PER CIVIL DRAWINGS
29. FIRE LANE MARKINGS AT CURB - CURB TO BE COLORED PER SCOTTSDALE STANDARDS AND SIGNS POSTED PER C.O.S. STANDARD DETAIL 2365 - (DETAIL 28/8P2.9
30. SEES LOCATED BEHIND EXTERIOR DOORS - SEE FIRST FLOOR PLANS
31. DRIVEWAY TO BE 24'-0" WIDE TWO WAY - DIMENSION NOTED ON PLAN
32. PROPOSED GROUND MOUNTED TRANSFORMER LOCATION - SUBJECT TO POWER COMPANY APPROVAL - SCREENED BY PROPERTY SITE WALL
33. INSTALL 1 1/2" PAINTED STEEL SQUARE TUBE GUARDRAIL - 42" HIGH (W/ HANDRAILS PER ADA #34" TO 36" MAX. TO TOP OF HANDRAIL PER ADA REQUIREMENTS - MAX. 3/8" CLEAR OPENINGS IN SYSTEM (4" SQUARE CAN NOT PASS THRU) - SEE 2/8P2.0 AND CIVIL DRAWINGS - ANCHOR PER MANUFACTURER'S RECOMMENDATIONS.
34. INSTALL 8'-0" HIGH WROUGHT IRON SECURITY FENCE - PAINTED BLACK - SEE SPECIFICATION AND CIVIL - RUN FROM BUILDING TO PROPERTY LINE ALONG TAXILANE
35. NEW ADA COMPLIANT 6'-6" WIDE CONCRETE SIDEWALK W/ LIGHT BROOM FINISH AND DROP OFF EDGES - ENSURE 5'-0" LANDING OUTSIDE BUILDING EXIT DOOR WITH MAX. 2% SLOPE AND CROSS SLOPE - MAX. 2% CROSS SLOPE ALONG LENGTH OF WALK - AND MAX. RUN SLOPE OF 1" IN 1' FOOT - SEE CIVIL DRAWINGS
36. 2 HOUR RATED EXTERIOR HANGAR WALLS (SOUTH AND WEST HANGAR WALLS) PER IBC SECTION 412.4.1 (WITHIN 30' OF PROPERTY LINE)
37. SEE STRUCTURAL DETAIL 22/814 FOR CONCRETE RETAINING CONDITION
38. 90 GALLON CITY OF SCOTTSDALE RECYCLING CONTAINER PER IGCC 9013.4.1
39. ROOF MOUNTED ON-SITE RENEWABLE ENERGY SYSTEM (SOLAR PV) - NOT LESS THEN 3% OF ANNUAL ESTIMATED ENERGY OR 2 WATTS PER SQ. FT. MULTIPLIED BY THE GROSS ROOF AREA IN ACCORDANCE WITH IGCC AMENDED SECTION 1013

NOTE:  
ALL ON-SITE PARKING AND CIRCULATION AREAS TO ACCOMMODATE C.O.S. ON-SITE DRIVE REQUIREMENTS - SEE 29/8P2.10.



NORTH

## VICINITY MAP

NOT TO SCALE

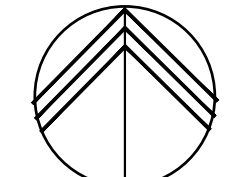
CITY OF SCOTTSDALE APPROVAL BLOCK

NOTE: G.C. TO ENSURE THAT ALL BUILDING SYSTEMS FROM ALL TRADES MUST BE CLEAN, NEAT, COORDINATED AND ORGANIZED IN A CRISP AND ORDERLY FASHION. ALL EXPOSED CONDUIT, PIPING, DUCTWORK, STRUCTURE, LIGHTING, ETC. TO BE NEAT AND ORDERLY.

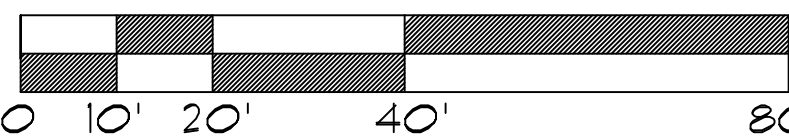
## SITE PLAN

SCALE: 1"=20'-0"

NORTH



GRAPHIC SCALE 1"=20'-0"



## LEGAL DESCRIPTION

LOT 34, OF NORTH SCOTTSDALE AIRPARK UNIT 1, ACCORDING TO BOOK 321 OF MAPS, PAGE 12, AND CERTIFICATE OF CORRECTION RECORDED IN DOCUMENT NO. 94-268055, RECORDS OF MARICOPA COUNTY, ARIZONA.

APN: 215-48-054

AIRCRAFT STIPULATION:  
1. FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO CONFIRM COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.

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SITE PLAN

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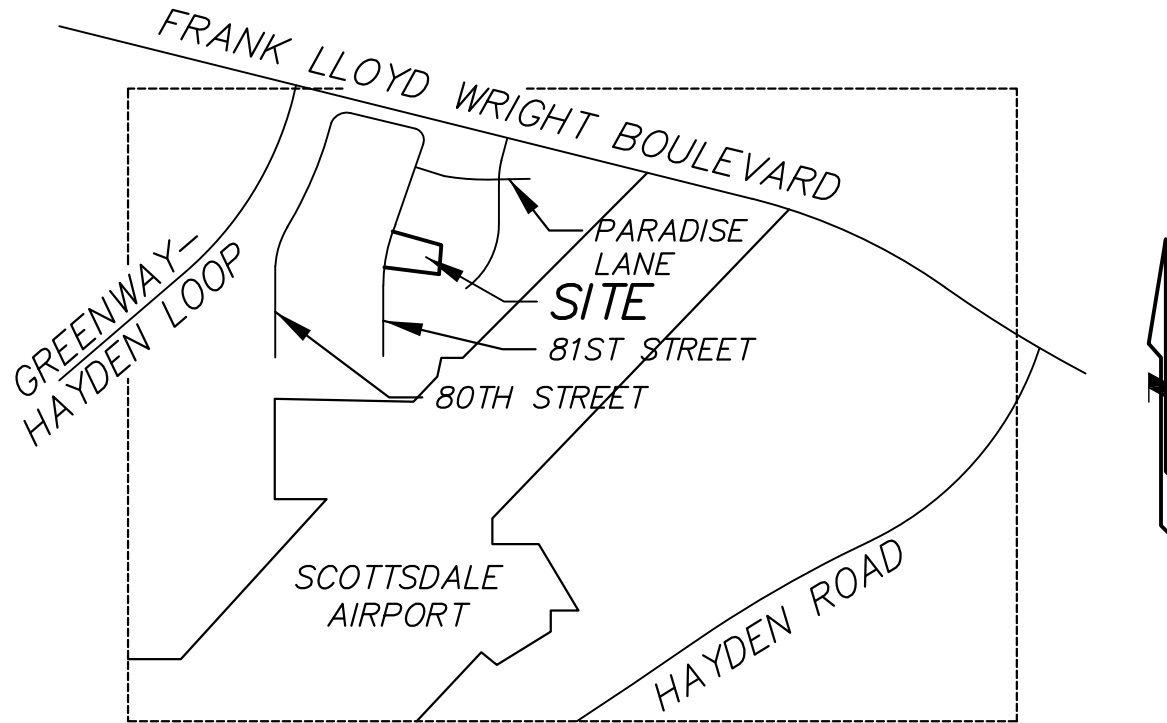
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## VICINITY MAP

NOT TO SCALE

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