

SEWER STATEMENT

FOR A PRIVATE SEWER SERVICE CONNECTION
SERVING

7474 E.PINNACLE PEAK ROAD

SCOTTSDALE, AZ 85260

APN #212-05-531

PINNACLE PEAK

“PET RESORT”

Plan Check #

QS #45-45



Prepared By

KEOGH ENGINEERING, INC.

650 N. 137TH Avenue Suite 110

Goodyear, Arizona 85338

Job No. 22270

February 2023

Provide first and second floor building square foot quantities and sewer demand calculations in a Basis of Design report per DSPM 7-1.200, 7-1.202 7-1.403 and Figure 7-1.2

The sewer tap identified in the Sewer Exhibit is a part of a private sewer system. Provide design drawings of the private sewer system this development is connecting to, demonstrating how the tap ultimately connects to the City of Scottsdale Sewer system. Show any sewer ejectors or private lift stations associated with the private system, as applicable. DSPM 7-1.414.

Identify the responsibility for operating and maintaining the private sewer system that this lateral will connect to per DSPM 7-1.501. Provide documentation demonstrating this development has permission from the Pinnacle Peak Office Park to discharge wastewater through its private sewer to the City Sewer.

PRELIMINARY Basis of Design Report

☐ ACCEPTED

☐ ACCEPTED AS NOTED

☒ REVISE AND RESUBMIT



Disclaimer: If accepted; the preliminary approval is granted under the condition that a final basis of design report will also be submitted for city review and approval (typically during the DR or PP case). The final report shall incorporate further water or sewer design and analysis requirements as defined in the city design standards and policy manual and address those items noted in the preliminary review comments (both separate and included herein). The final report shall be submitted and approved prior to the plan review submission. For questions or clarifications contact the Water Resources Planning and Engineering Department at 480-312-5685.

BY apritchard

DATE 3/31/2023

Basis of Design Report

The purpose of this report is to provide justification for the connection to a existing 6" sewer service within the Pinnacle Peak Office Park. The project has the ability to tie-in to an existing 6" sewer stub located at the west property line (see the Sewer Exhibit).

The subject site is located at the northwest corner of the intersection of Los Portones Drive and Pinnacle Peak Road and is a part of the "Pinnacle Peak Office Park" in the City of Scottsdale.

Sewer and water QS #45-45 was analyzed for existing sewer facilities in the area (see Sewer Exhibit).

All new construction will conform to the City of Scottsdale and MCESD requirements.

Design Statement:

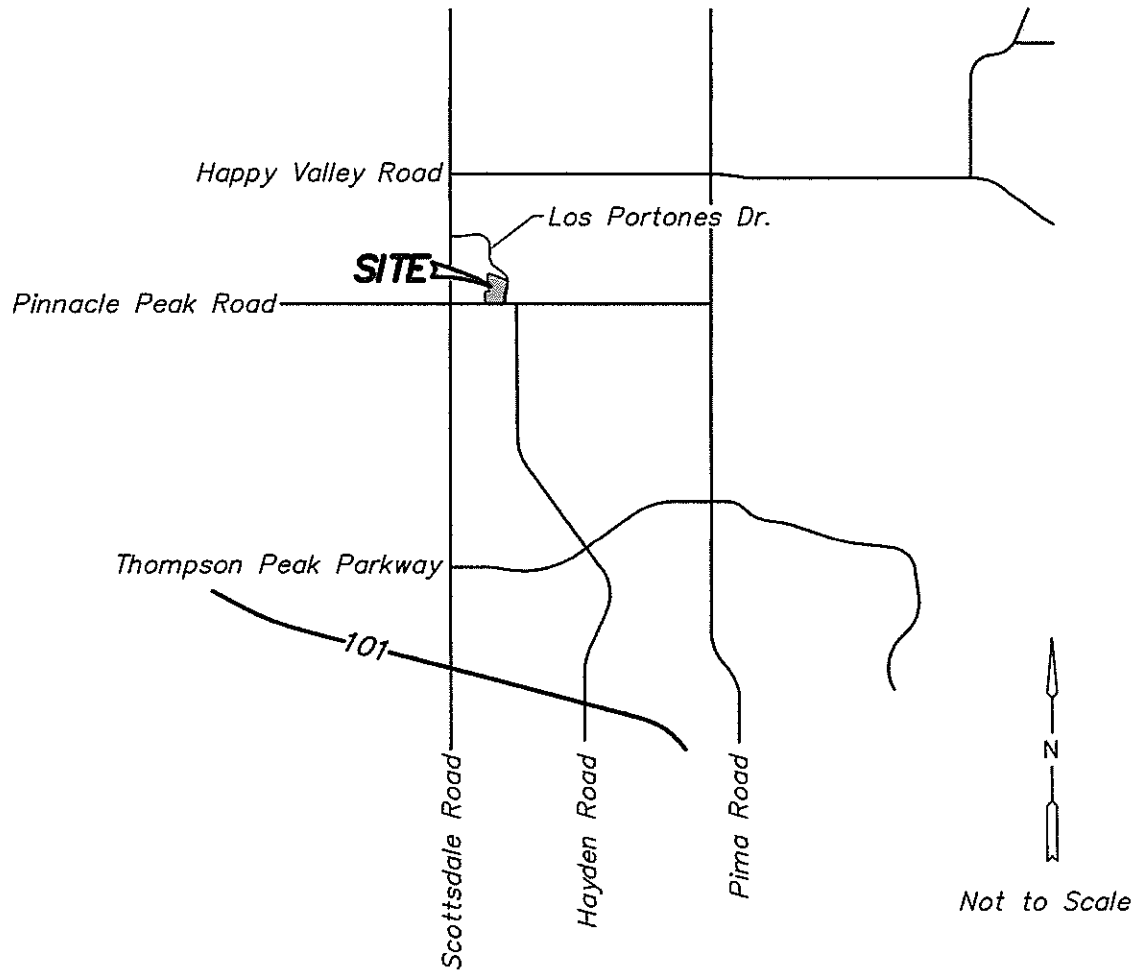
The site is included and a part of the overall existing sewer system design of the "Pinnacle Peak Office Park". It is assumed that "Pinnacle Peak Office Park" has provided adequate capacity to include the "Pinnacle Peak Pet Resort" site.

This project will connect to an existing 6" stub located at the west property line

ESTIMATED QUATITIES:

1 ea - Remove 6" stub

1 ea.- Connect to existing 6" stub.



Keogh Engineering, Inc.

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 EMAIL: keogh@keoghengineering.com

DESIGNED
DFK/RMV

DATE
2-17-23

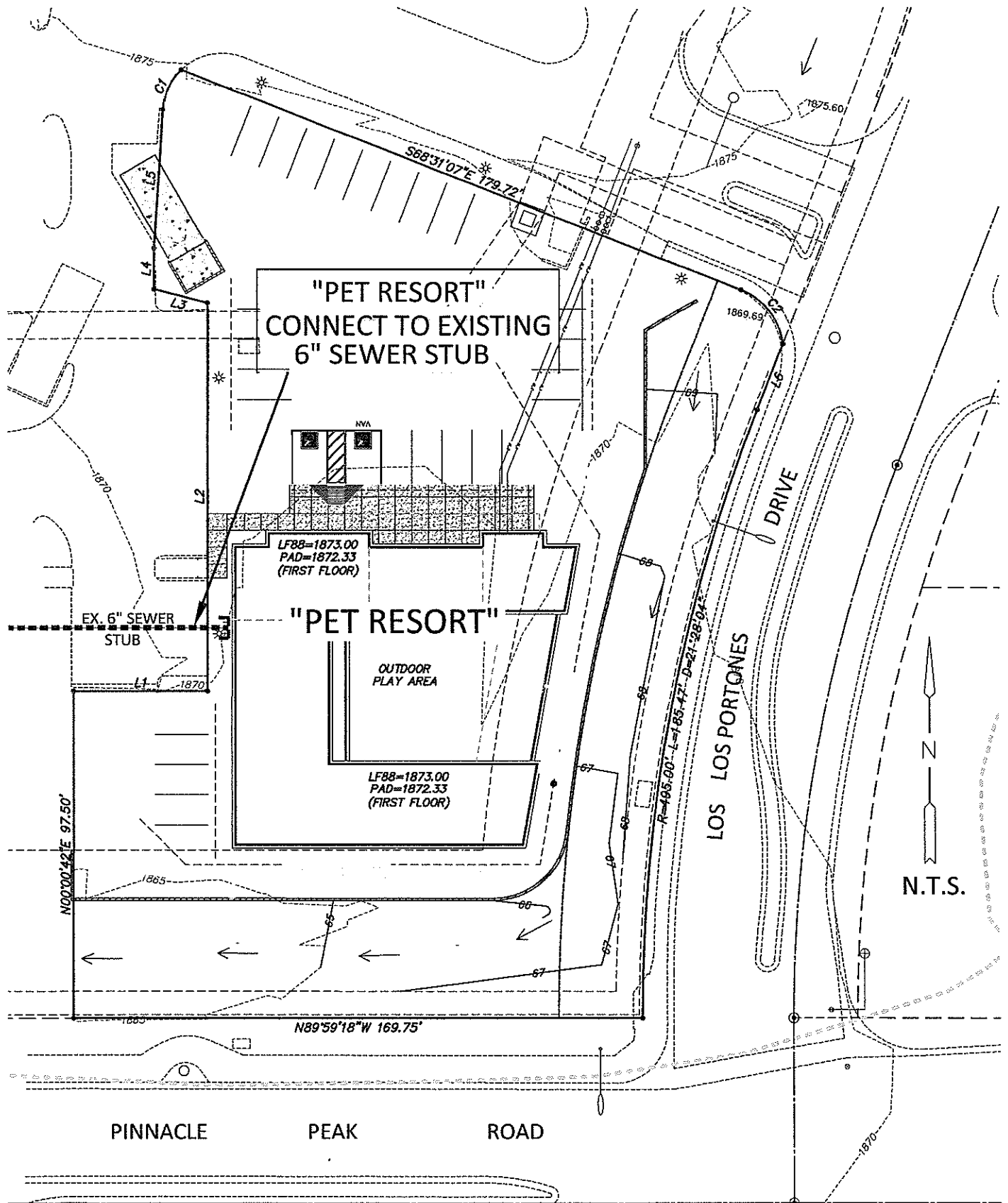
JOB NO.
22270

BASIS OF DESIGN

PINNACLE PEAK PET RESORT "VICINITY MAP"

7474 E. PINNACLE PEAK ROAD
SCOTTSDALE, ARIZONA 85255

C:\N6004\JOBS\22270-ATLANTIC DEVELOPMENT\SEWER MISC\22270-PET RESORT SEWER MISC 2-16-23.DWG SEWER MISC EXHIBIT 02-17-23 10:06:49



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DESIGNED
DFK/RMV

DATE
2-16-23

JOB NO.
22270

BASIS OF DESIGN

"PINNACLE PEAK PET RESORT" SEWER EXHIBIT

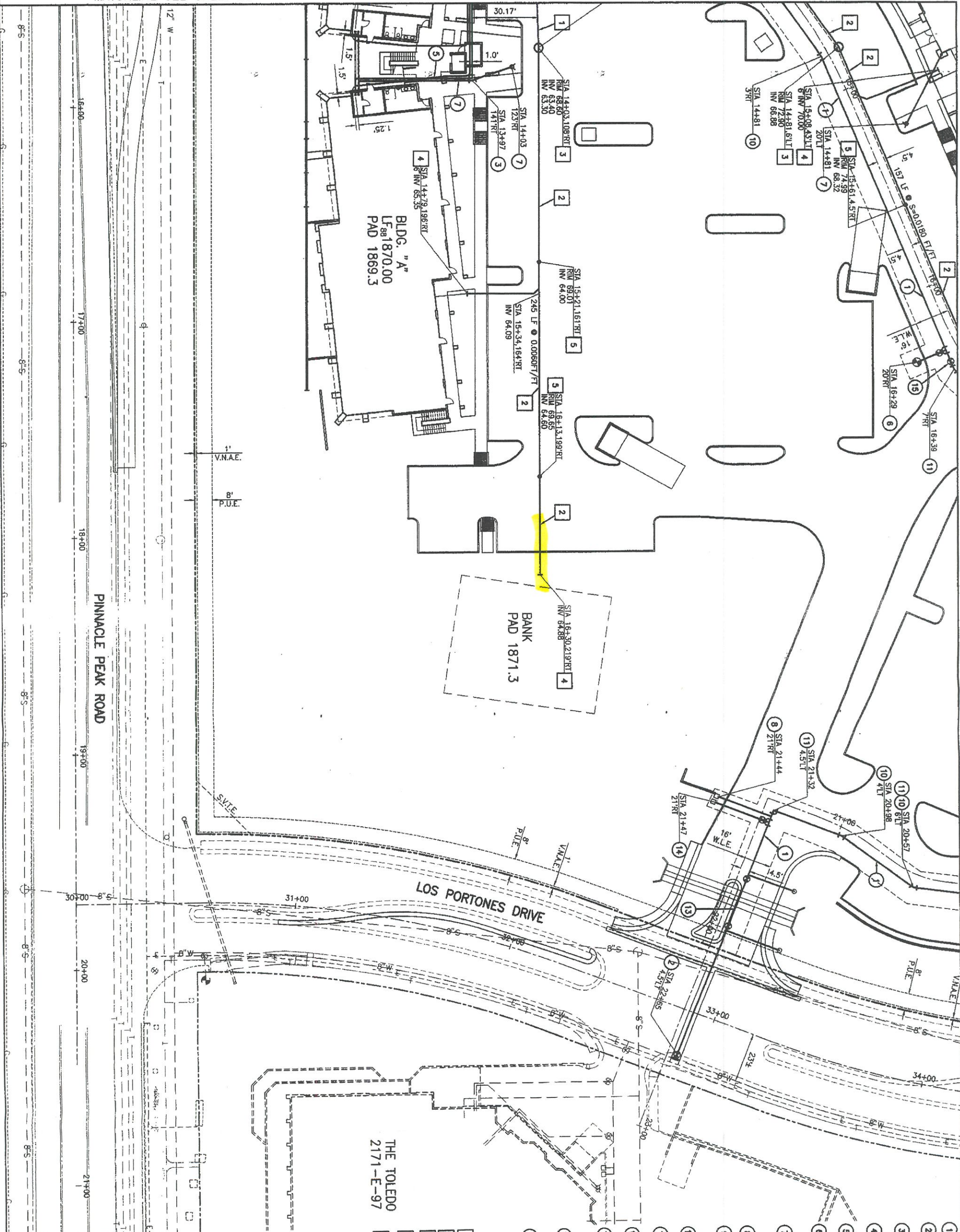
7474 E. PINNACLE PEAK ROAD
SCOTTSDALE, ARIZONA 85255

MATCHLINE SEE SHEET C8

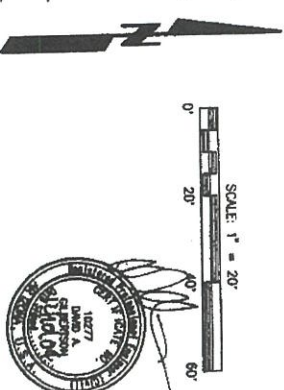
MATCHLINE SEE SHEET C8

MATCHLINE SEE SHEET C8

MATCHLINE SEE SHEET C8



1. INSTALL 8" D.I.P. CLASS 350 WATERLINE WITH POLYMER (3" MIN. COVER)
2. INSTALL 8" 8' T.S.V.B.A.C. TYPE 'C' PER M.A.G. STD. DETAIL 340 & 391-1-C WITH RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
3. INSTALL 11" 8' BEND WITH ELECTRONIC MARKER PER C.O.S. SPEC. 610.4 AND RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
4. INSTALL 7" WATER SERVICE PER C.O.S. STD. DETAIL 2330 FOR LANDSCAPE. SEE LANDSCAPE PLANS FOR METER SIZE.
5. INSTALL 6" D.I.P. CLASS 350 FIRELINE TO FLANGE PLANS (3" MIN. COVER)
6. INSTALL 8" 8' T.S.V.B.A.C. TYPE 'C' PER M.A.G. STD. DETAIL 340 & 391-1-C WITH RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
7. INSTALL FIRE DEPARTMENT CONNECTION PER DETAIL ON SHEET C17 WITH 4" D.I.P. CLASS 350 FIRELINE, SEE FIRE SPRINKLER PLANS.
8. INSTALL 2" WATER SERVICE PER C.O.S. STD. DETAIL 2330. SEE PLUMBING PLANS FOR METER SIZE.
9. INSTALL 8" 8' TEE WITH 6" V.B.A.C. PER M.A.G. STD. DETAIL 391-1, TYPE 'C' WITH RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
10. INSTALL 11" 8' BEND WITH ELECTRONIC MARKER PER C.O.S. SPEC. 610.4 AND RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
11. INSTALL 22" 8' BEND WITH ELECTRONIC MARKER PER C.O.S. SPEC. 610.4 AND RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
12. INSTALL 90° BEND WITH ELECTRONIC MARKER PER C.O.S. SPEC. 610.4 AND RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
13. INSTALL VERTICAL ALIGNMENT OF WATER LINE PER C.O.S. SPEC. 610.4 AND RESTRAINED JOINTS PER M.A.G. STD. DETAIL 2348 & MEGALING JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
14. INSTALL 8" 8' TEE WITH 4" D.I.P. FIRELINE CLASS 350 STD. DETAIL 390-8 FOR FUTURE BANK PAD FIRE SPRINKLER (3" MIN. COVER)
15. INSTALL 8" G.V.B. & C. PER M.A.G. STD. DETAIL 391-1 AND RESTRAINED JOINTS PER M.A.G. STD. DETAIL 303-1 & 303-2.
- SEWER
1. INSTALL 8" P.V.C. SEWER LINE.
2. INSTALL 6" P.V.C. SEWER LINE.
3. CONSTRUCT MANHOLE PER M.A.G. STD. DETAIL 420 & 424.
4. INSTALL 6" P.V.C. SEWER LINE TO 5' FROM BUILDING. SEE PLUMBING PLANS.
5. INSTALL CLEANOUT PER U.P.C.



GILBERTSON ASSOCIATES, INC.
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
2020 East Pinnacle Drive, Scottsdale, Arizona 85255-4505
Pinnacle Peak Office Park

UTILITY PLAN
Designed by: JUE
Drawn by: RMB / CUL
Date: DECEMBER 10, 2004
Job No.: 0002
Sheet: C7 of 17