

PINNACLE
PEAK PET
RESORT

7474 EAST
PINNACLE PEAK
ROAD
SCOTTSDALE
ARIZONA
85255

DATE
RE-ZONING SUBMITTAL
2/21/2023

DRAWN BY: CF

OWNERSHIP OF DOCUMENTS:
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at the location described herein and shall
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All discrepancies found in these documents
or conflicts between these documents and
field conditions shall be reported to Cawley
Architects Inc. for resolution before the
commencement of the work.

SITE PLAN

A1.1

Project: 22095

SITE DATA

PROJECT:	PINNACLE PEAK PET RESORT		
ADDRESS:	7474 EAST PINNACLE PEAK ROAD SCOTTSDALE, AZ 85255		
OWNER:	DOGGY STYLE RESORT & DAYCARE 15957 NORTH 81ST STREET, SUITE 101 SCOTTSDALE, AZ		
SCOPE:	A NEW COMMERCIAL BUILDING		
LEGAL DESCRIPTION:	SEE CIVIL		
ASSESSOR PARCEL NO.:	212-05-531		
CURRENT ZONING:	C-O ESL		
PROPOSED ZONING:	C-1 ESL		
SITE AREA:	+/- 41,378 S.F.	+/- 0.95 ACRES	
BUILDING AREA:	9,600 S.F. GROSS		
STORIES:	TWO STORY		
LOT COVERAGE:	14.5%		
LANDSCAPE AREA:	7,607 S.F.		
LANDSCAPE COVERAGE:	18.4%		
OCCUPANCY:	B		
CONSTRUCTION TYPE:	V-B w/ A.F.E.S.		
ALLOWABLE AREA:	33,102 S.F. (0.80 FAR)		
CLEAR HEIGHT:	14'-0"		
STRUCTURAL DEPTH:	3'-0"		
BUILDING HEIGHT:	28'-0"		
ALLOWED HEIGHT:	36'-0" (PER C-1 ZONING)		

PARKING CALCULATIONS

BUILDING AREA CALCULATIONS			
OCCUPANCY	1ST FLOOR	TOTALS	
OFFICE	5,160 S.F.	5,160 S.F.	
KENNEL	4,440 S.F.	4,440 S.F.	
TOTAL:	9,600 S.F.	9,600 S.F.	

REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
OFFICE	5,160 S.F.	1/300	17.2
KENNEL	4,440 S.F.	-	-
TOTAL:			17.2 = 18

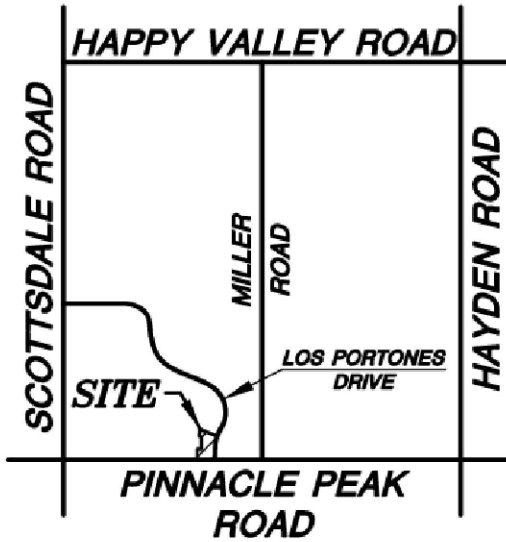
PARKING PROVIDED		
TOTAL REGULAR SPACES		30
TOTAL ACCESSIBLE SPACES		2
TOTAL SPACES ON SITE		32

BICYCLE PARKING CALCULATIONS			
RATIO	REQUIRED	PROVIDED	
1/25 PARKING SPACES	2	2	

LEGEND

---	PROPERTY LINE
---	EASEMENT / SETBACK LINE
---	CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
---	6" CURB
---	SITE WALL
---	SALT FINISH CONCRETE SIDEWALK
---	PAINT STRIPING ON PAVEMENT
+	NEW FIRE HYDRANT
+	EXISTING FIRE HYDRANT
+	FIRE DEPARTMENT CONNECTION
+	ACCESSIBLE ROUT / PATH OF TRAVEL
+	FIRE RISER
+	SITE WALL, SEE SHEET A1.5 FOR SITE WALL SCHEDULE

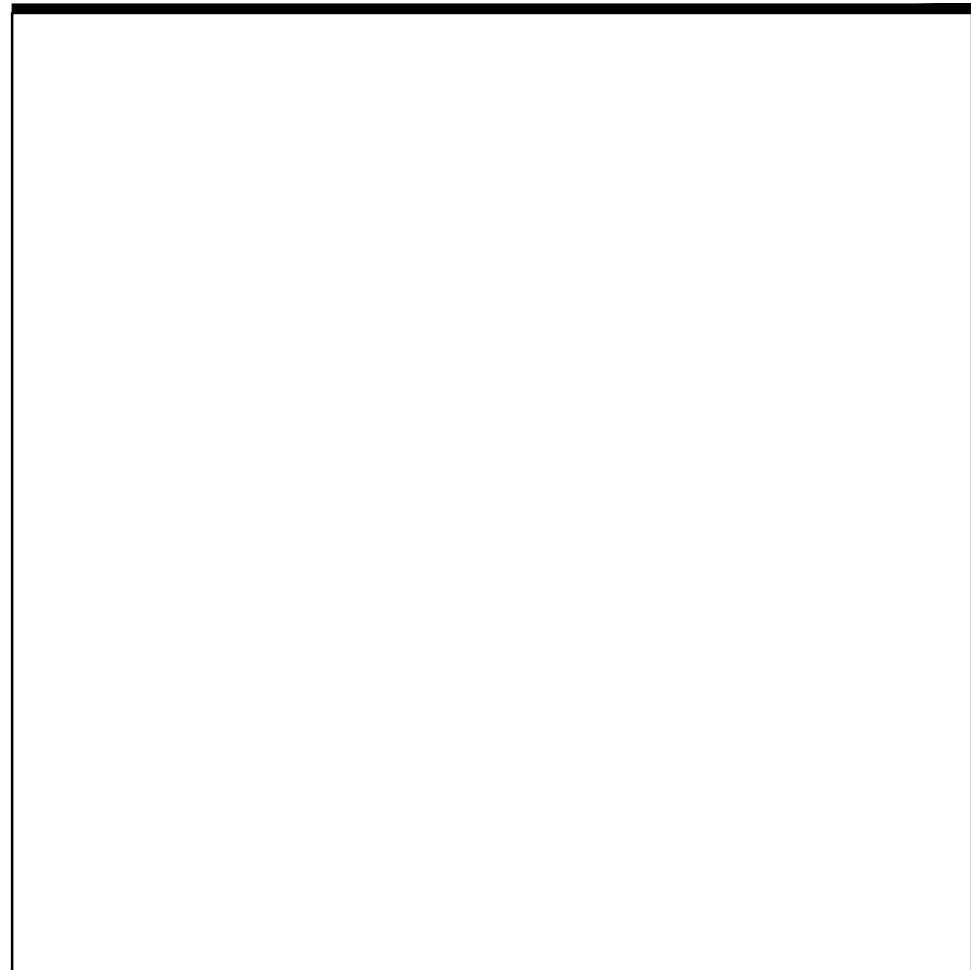
VICINITY MAP



SHEET KEYNOTES

- EXISTING UTILITY JUNCTION BOX
- EXISTING CONCRETE HEADWALL TO REMAIN
- RETAINING WALL - SEE CIVIL DRAWINGS
- EXISTING PARKING TO REMAIN, TYP.
- EXISTING INTERIOR DRIVE TO REMAIN, TYP.
- EXISTING LANDSCAPE TO REMAIN, SALVAGE AND REPLANT AS NEEDED - SEE LANDSCAPE DRAWINGS
- REFUSE ENCLOSURE PER CITY STANDARDS - SEE SITE DETAILS
- ASPHALT OVER ABC - SEE CIVIL DRAWINGS AND GEO TECHNICAL REPORT
- LANDSCAPING, TYP. - SEE LANDSCAPE DRAWINGS
- PROVIDE PAINTED PARKING STRIPING, ADA SIGNAGE, AND WALKWAY STRIPING PER CITY STANDARDS
- EXISTING LIGHT POLE TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION PHASES
- EXISTING DRIVEWAY TO REMAIN - SEE CIVIL DRAWINGS
- EXISTING TRANSFORMER TO REMAIN - SEE CIVIL AND ELECTRICAL DRAWINGS
- EXISTING SIDEWALK TO REMAIN

C.O.S. APPROVAL STAMPS



SITE PLAN

