

CONCEPTUAL GRADING & DRAINAGE
AND UTILITY PLAN
FOR
PINNACLE PEAK PET RESORT
APN 212-05-531
7474 EAST PINNACLE PEAK ROAD
SCOTTSDALE, ARIZONA 85255

CITY OF SCOTTSDALE GENERAL NOTES
FOR PUBLIC WORKS CONSTRUCTION

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS. THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF ASSOCIATED PERMIT HAS NOT BEEN ISSUED FOR THIS TIME FRAME, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A CITY INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE. NOTIFY INSPECTION SERVICES 72 HOURS PRIOR TO BEGINNING OF WORK.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS.
- PERMISSION TO WORK IN THE RIGHT-OF-WAY (PWR) PERMIT ARE REQUIRED FOR ALL WORK IN THE RIGHT-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PERPOSED. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.

FLOOD INSURANCE RATE MAP INFORMATION

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (Inbox Date)	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zone, Use Depth)
045012	1310 7/20/21	M	7/20/21	AE	1872.00

OWNER/DEVELOPER

ATLANTIC DEVELOPMENT & INVESTMENTS, INC.
DBA/DOGGY STYLE RESORT & DAYCARE, LLC
15957 N. 81st STREET #101
SCOTTSDALE, AZ 85260
C/O MADISON BREEN
480-298-5228
MADISON.BREEN@GMAIL.COM

ARCHITECT

CRAWLEY ARCHITECTS
730 N. 52nd STREET
SUITE 203
PHOENIX, AZ 85008
(602) 393-5060
CRAWLEYARCHITECTS.COM

ESTIMATED QUANTITIES

CUT = 110 C.Y.
FILL = 1,820 C.Y.

NOTE: QUANTITIES ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHOULD VERIFY ALL QUANTITIES BEFORE SUBMITTING BIDS. NO SHRINKAGE, EXPANSION, GROUND LOSS OR EXCAVATION IS ASSUMED.

ENGINEERS CERTIFICATION

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLANS ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37-FLOODWAYS & FLOODPLAINS ORDINANCE.

UTILITIES

WATER: CITY OF SCOTTSDALE
SEWER: CITY OF SCOTTSDALE
ELECTRIC: ARIZONA PUBLIC SERVICE
GAS: SOUTHWEST GAS
TELEPHONE: COX COMMUNICATIONS
CABLE TV: CENTURY LINK

UTILITY NOTE

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. THE SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES.

CIVIL ENGINEER

KEOGH ENGINEERING, INC.
650 NORTH 137TH AVENUE #110
GOODYEAR, ARIZONA 85308
PHONE: 623-535-7260
EMAIL: KEOGH@KEOGHENGINEERING.COM
CONTACT: DENNIS F. KEOGH

ASSESSOR'S PARCEL NO.

APN 212-05-531

SITE AREA

41,388 S.F.
=0.950 Acres

ZONING

C-O

BENCHMARK

MARICOPA COUNTY ENGINEERING
DEPARTMENT BRASS CAP IN HANDHOLE
AT THE SOUTH QUARTER CORNER OF
SECTION 11, TOWNSHIP 4 NORTH, RANGE
4 EAST, G&SRB&M, MARICOPA COUNTY,
ARIZONA
ELEVATION=1878.317
(NAVD88 DATUM)

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED ABOVE.

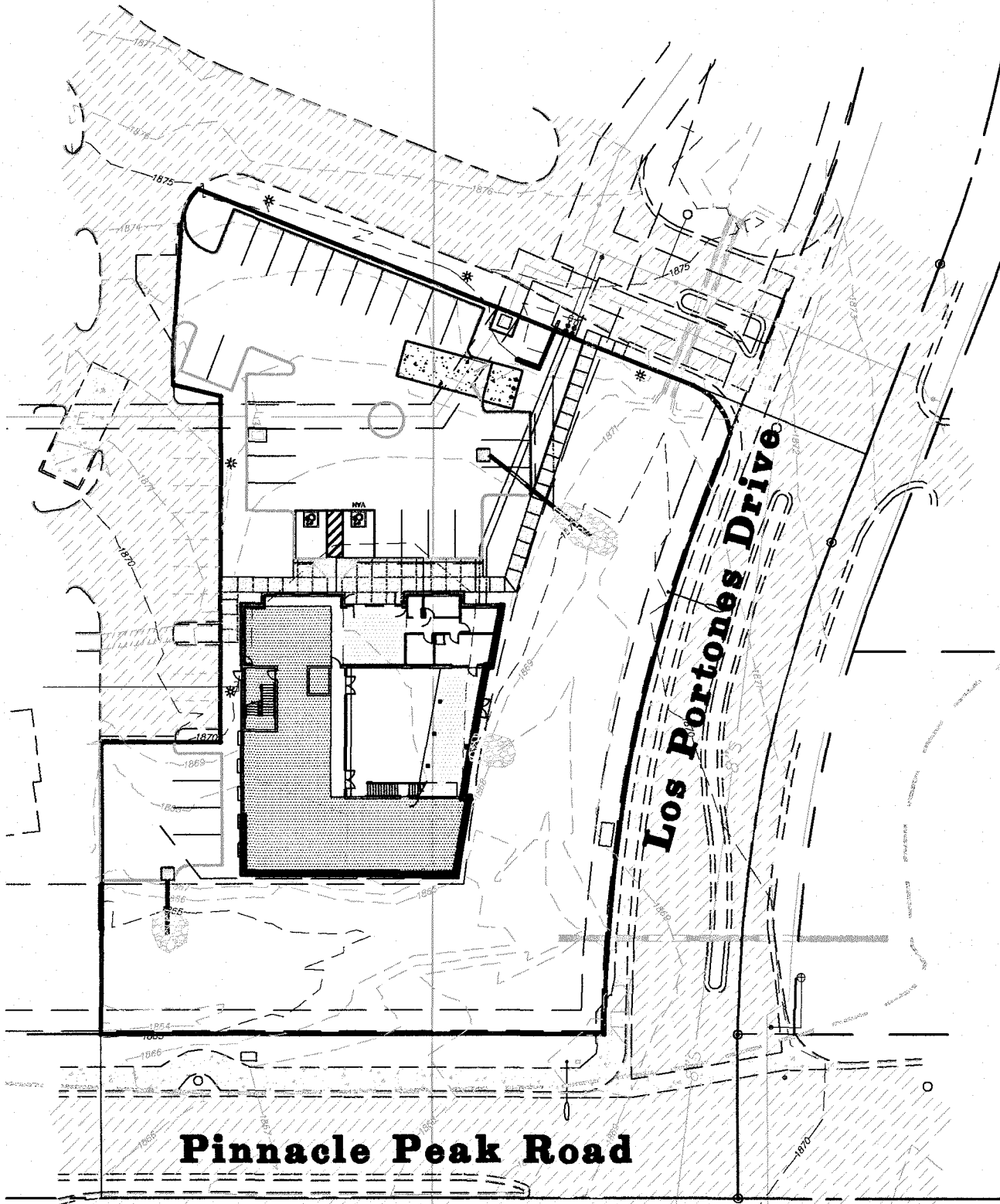
DISTURBANCE AREA

37,500 S.F. = 0.86 ACRES

LOT COVERAGE

OFFICE 5,160 SF
KENNEL 4,440 SF
TOTAL 9,600 SF

9,600 S.F. = 23.1%
41,388 S.F.



KEY MAP

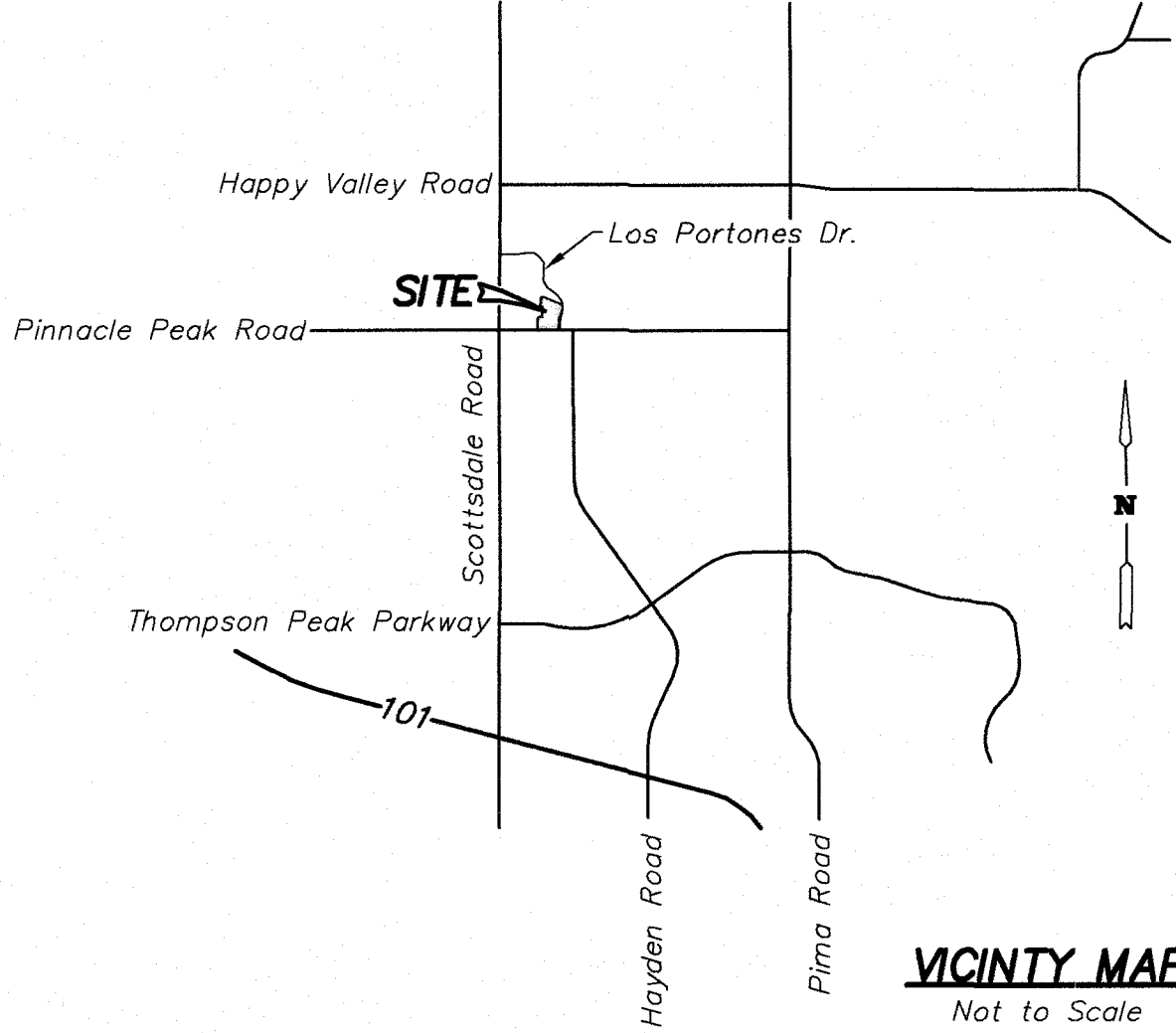
Scale: 1"=80'

LEGEND

APN	ASSESSOR'S PARCEL NUMBER
DE	DRAINAGE EASEMENT
MCR	MARICOPA COUNTY RECORDER
MUPPE	MULTI-USE PEDESTRIAN PATH EASEMENT
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
TSE	TRAFFIC SIGNAL EASEMENT
WE	WATER EASEMENT
⊙	SURVEY MONUMENT
•	PROPERTY BOUNDARY CORNER
○	EXISTING SEWER MANHOLE
⊕	EXISTING FIRE HYDRANT
⊗	EXISTING WATER VALVE
⊙	EXISTING SPOT ELEVATION
—	PROPERTY LINE
- - -	EASEMENT LINE
- - -	STREET CENTERLINE
- - -	ADJACENT LOT OR R/W
- - -	EXISTING 8" SEWER LINE
- - -	EXISTING 8" WATER LINE
- - -	EXISTING CONTOUR
- - -	EXISTING CONCRETE HATCH
- - -	EXISTING PAVEMENT HATCH

SHEET INDEX

SHEET 1: COVER SHEET
SHEET 2: GRADING, DRAINAGE AND UTILITY PLAN
SHEET 3: CROSS-SECTIONS AND DETAILS



VICINITY MAP

Not to Scale

NO CONFLICT SIGNATURE BLOCK

UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SIGNED
ELECTRIC	APS			
TELEPHONE	CENT. LINK			
NATURAL GAS	SW GAS			
CABLE TV	COX			
OTHER	SRP			
OTHER	WATER RES.			

ENGINEER'S CERTIFICATION

I, DENNIS F. KEOGH, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.

SIGNATURE

DATE

CIVIL APPROVAL

Review & Recommended Approval by:

Paving	Traffic
G&D	Planning
W&S	Fire
Ret. Walls	

Engineering Coordination Mgr. (or designee)

Date

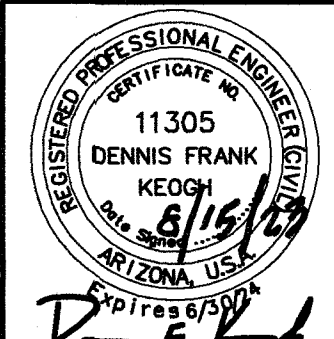
CERTIFICATION

I HEREBY CERTIFY THAT "RECORD DRAWING" MEASUREMENTS, AS SHOWN, WERE MADE UNDER MY SUPERVISION OR, AS NOTED, AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DENNIS F. KEOGH
LAND SURVEYOR REGISTRATION #10846

DATE

SHEET 1 OF 3



PREPARED FOR
ATLANTIC DEVELOPMENT & INVESTMENTS, INC.

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Keogh Engineering, Inc.

650 N. 137TH AVENUE #110 • GOODYEAR, ARIZONA 85338
PHONE: (623) 535-7260
EMAIL: keogh@keoghengineering.com



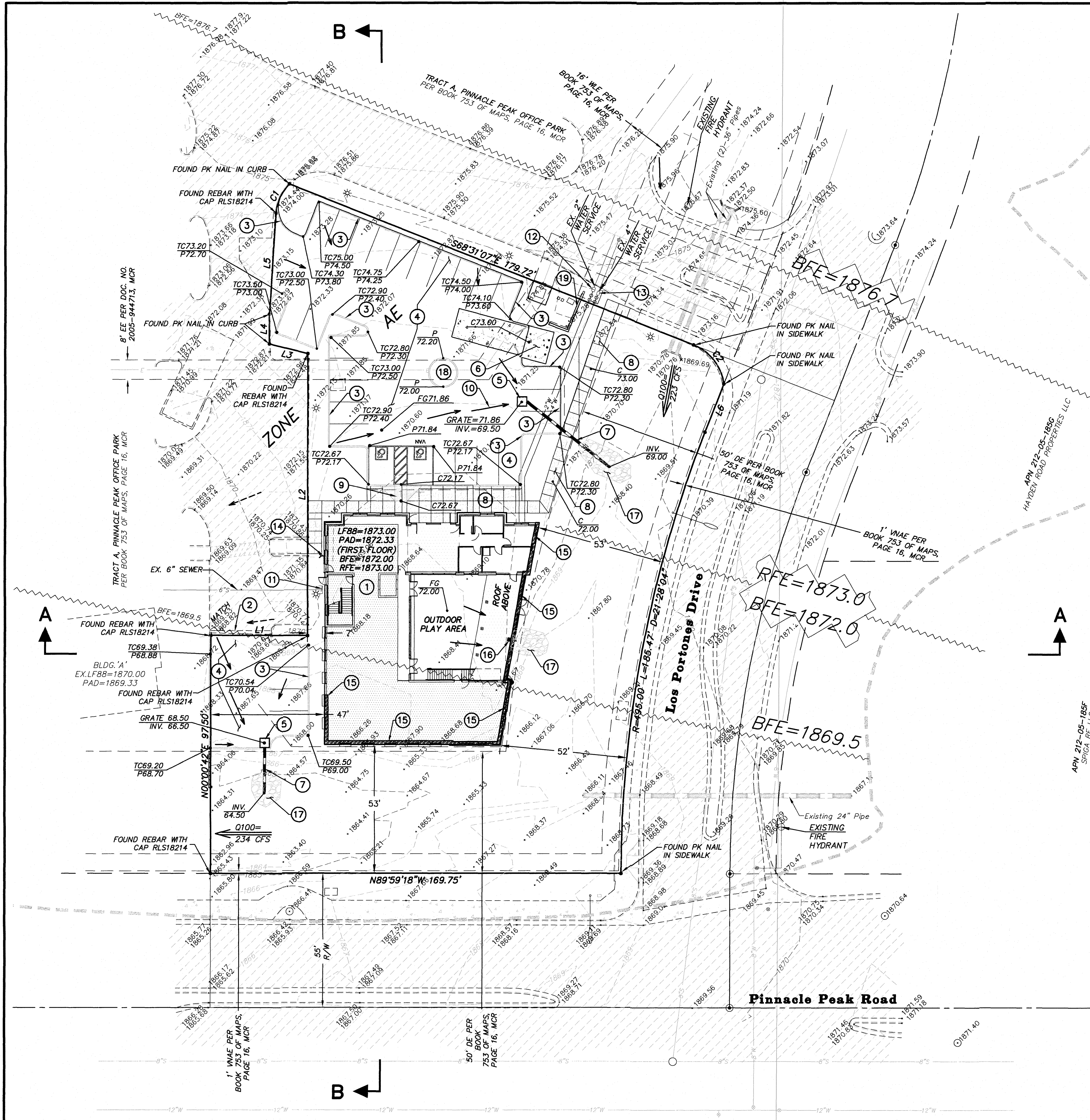
DRAWN BY SPK/MDK/RMV
CHECKED BY DFK
FIELD WORK BY DJK
DATE AUGUST, 2023

JOB NO. 22270

MAP NO. P-22270

PLAN #

CASE #



CONSTRUCTION NOTES

- ① STRUCTURE ON COMPACTED PAD
- ② SAWCUT AND MATCH EXISTING PAVEMENT
- ③ 6" SINGLE CURB, MAG DET. 222-A
- ④ 2-1/2" AC OVER 6" ABC ASPHALT PAVEMENT
- ⑤ CATCH BASIN MAG DET. 535-F
- ⑥ TRASH BIN, PER CITY STANDARDS
- ⑦ 12" CMP STORM DRAIN
- ⑧ CONCRETE SIDEWALK
SEE ARCHITECTS PLANS
- ⑨ HANDICAP RAMP
- ⑩ FORM SWALE IN PAVEMENT
- ⑪ CONNECT TO EXISTING 6" SEWER STUB
FOR SEWER SERVICE
- ⑫ ACTIVATE EXISTING 2" WATER SERVICE STUB W/ 2"
METER. RUN 2" WATER SERVICE TO STRUCTURE.
COORDINATE WITH SCOTTSDALE WATER DEPARTMENT.
REQUIRES 2" BACK FLOW PREVENTER.
- ⑬ CONNECT TO EXISTING 4" FIRE SERVICE STUB. RUN 4"
FIRE LINE TO STRUCTURE. COORDINATE WITH
SCOTTSDALE FIRE MARSHALL. REQUIRES 4" BACK FLOW
PREVENTER.
- ⑭ FIRE DEPARTMENT CONNECTION
- ⑮ RETAINING FLOOD/ SCOUR WALL/ STEM WALL
- ⑯ 18"x18" NYOPLAST CATCH BASIN WITH STAINLESS STEEL
GRATE AND 6" DIAMETER PVC PIPE OUTLET INTO FACE
OF RETAINING FLOOD/ SCOUR WALL/ STEM WALL
- ⑰ D50=7". T=14" ANGULAR EROSION ROCK
FLUSH WITH EXISTING GRADE OF WASH.
OVEREXCAVATE AS REQUIRED
- ⑱ LANDSCAPE
- ⑲ MARQUEE SIGN

LINE TABLE

LINE	BEARING	LENGTH
L1	S89°59'18"E	40.00'
L2	N00°00'42"E	115.69'
L3	N76°07'37"W	16.48'
L4	N00°00'42"E	12.28'
L5	N03°37'59"E	41.56'
L6	S21°28'53"W	21.22'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
C1	18.00'	13.34'	42°27'47"
C2	20.00'	21.34'	61°08'40"

SHEET 2 OF 3

CHECKED BY: DFK
FIELD WORK BY: DJK
DATE: AUGUST, 2023

PREPARED FOR
ATLANTIC DEVELOPMENT & INVESTMENTS, INC.

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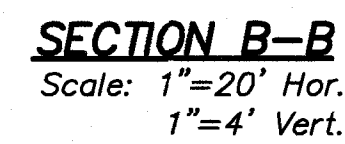
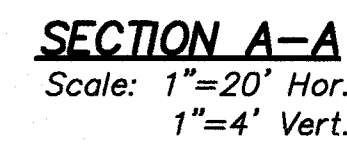
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PHONE: (623) 535-7260
EMAIL: keogh@keoghen지니어링.com

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