



Development Review (Minor) Staff Approval

146-SA-2025

4121 Marshall Restaurant
Remodel

APPLICATION INFORMATION

LOCATION:	4121 N Marshall Wy	APPLICANT:	Rifat Hossain
PARCEL:	173-50-114	COMPANY:	Rezio
Q.S.:	17-44	ADDRESS:	2261 Market St Ste 10301 San Francisco, Ca
ZONING:	C-2 DO	PHONE:	332-222-8392
Request: Request for building elevation review for a restaurant remodel located at 4121 N Marshall Way, zoned C-2 DO.			

STIPULATIONS

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Rezio, with a city staff date of 7/21/2025.
2. The location and configuration of all site improvements shall be consistent with the site plan submitted by Rezio, with a city staff date of 7/21/2025.
3. All exterior lights are subject to restrictions and provisions of the ZO Sec 7.600, specifically for shielding any exposed light fixtures exceeding 1600 total lumens.

CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Digital Plan submittals can be made using the City's e-Services at <https://eservices.scottsdaleaz.gov/bldgresources/plans> and should include one PDF copy of each of the required plans/documents identified below.

ARCHITECTURAL: ☒ Commercial Architectural Plans

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature:

Casey Steinke, 480-312-2611

Date:

7/21/25

Planning and Development Services

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov

1.	ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND RESTRICTIONS ENFORCED BY AUTHORITIES HAVING JURISDICTION.
2.	THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK.
3.	DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. ALL DIMENSIONS ON FLOOR PLANS INDICATE NOMINAL WIDTH UNLESS NOTED OTHERWISE ON DRAWINGS. DETAILS SHALL GOVERN OVER PLAN AND ELEVATIONS DRAWINGS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL DETAILS. CONTACT ARCHITECT FOR UNKNOWN DIMENSIONS.
4.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE SITE AS REQUIRED IN THE CONTRACT DOCUMENTS.
5.	THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AS REQUIRED BY GENERAL CONDITIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
6.	IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT LOCAL UTILITY COMPANIES TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. ALL FINAL CONNECTIONS FROM THE BUILDING TO EXISTING UTILITIES SHALL BE BY THIS CONTRACTOR.
7.	CONTRACTOR SHALL ENGAGE A REGISTERED SPECIALTY ENGINEER TO DETERMINE METAL STUD GAUGES AND DESIGN STUD FRAMING. METAL STUD GAUGES SHALL MEET RECOMMENDATIONS AND/OR REQUIREMENTS OF THE STUD MFR/R AND ALL APPLICABLE CODES. SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
8.	ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND ALL AREAS SHALL BE LEFT IN A CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION.
9.	DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAYS WITHOUT FIRST OBTAINING PROPER PERMITS.
10.	DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT ANY DISCREPANCIES WHICH MAY OCCUR PRIOR TO COMMENCING ANY CONSTRUCTION.
11.	ALL FIRE-RATED CONSTRUCTION SHALL CONFORM TO UL TESTED STANDARDS AND/OR LOCAL REQUIREMENTS.
12.	ALL PENETRATIONS THRU FIRE RATED CONSTRUCTION SHALL COMPLY WITH UL & ALL APPLICABLE CODES & ORDINANCES.
13.	JOINTS WHICH OCCUR IN RATED PARTITIONS SHALL BE STAGGERED IN ACCORDANCE WITH THE DESIGN ASSEMBLY REQUIREMENT. WHERE OPENINGS ARE MADE IN EXISTING RATED PARTITIONS, OR WHERE OPENINGS IN EXISTING PARTITIONS ARE CLOSED, THE EXISTING GYPSUM BOARD MAY BE REMOVED ON ONE SIDE OF THE PARTITIONS BACK TO THE NEXT STUD TO ASSURE THE PROPER STAGGERING OF THE JOINTS.
14.	CONTRACTOR TO PROVIDE & INSTALL FIRE EXTINGUISHERS AS REQUIRED BY LOCAL FIRE MARSHAL COORDINATE LOCATIONS / PLACEMENTS WITH FIRE MARSHAL. INSTALL QUANTITY AS REQUIRED SO AS NOT TO EXCEED 75' OF TRAVEL TO AN EXTINGUISHER.
15.	NAILERS, BLOCKING, AND OTHER ROUGH CARPENTRY ITEMS INDICATED AS "WOOD", "TREATED WOOD", OR "PT WOOD" SHALL BE TREATED FOR FIRE RESISTANCE.
16.	SEAL / CAULK PERIMETER OF RATED WALLS AND PENETRATIONS OF RATED WALLS IN ACCORDANCE WITH APPLICABLE UL DESIGN AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
17.	ELECTRICAL DEVICES WHICH OCCUR IN RATED PARTITIONS SHALL BE LOCATED SO THAT BACK BOXES WITHIN A SINGLE STUD CAVITY SHALL NOT EXCEED A TOTAL OF 16 SQUARE INCHES IN AREA OR EXCEED A TOTAL OF 100 SQUARE INCHES IN ANY 100 SQUARE FEET OF WALL AREA. ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A MIN. HORIZ. DISTANCE OF 24". WHERE THIS REQUIREMENT CANNOT BE MET, BACK BOXES IN EXCESS OF THE ALLOWED MAXIMUM SHALL BE BACKED WITH PUTTY PADS.
18.	ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH PHOENIX STATE BUILDING CODE.
19.	DIMENSIONS ARE TO COLUMN GRID, FACE OF MASONRY/CONCRETE/PRECAST, FACE OF METAL/WOOD STUD, UNO.
20.	IF THE LOCATION OF ANY BUILDING ELEMENT IS NOT OBVIOUS OR CANNOT BE DETERMINED BY DIMENSION OR MATHEMATICS, CONTACT THE ARCHITECT PRIOR TO LOCATING THE ELEMENT.
21.	WORK NOT INCLUDED IN THIS CONTRACT SHALL BE MARKED "N.I.C." OR "NOT IN CONTRACT", OR SHALL BE SPECIFICALLY ASSIGNED TO ANOTHER PARTY.

BUSINESS OPERATION/ OCCUPANCY	A-2 RESTAURANT
PROJECT DESCRIPTION	INTERIOR TI / REMODEL
SF/ REMODEL SF	3010/3010
OWNER INFO	JACOB A. FINLEY
APPLICANT INFO	RANDY MARKS REZIO 480-695-5927 RANDY@REZIOPRO.COM
CONTRACTOR INFO	TBD

CITY APPROVAL

10' 20' 40' 80'

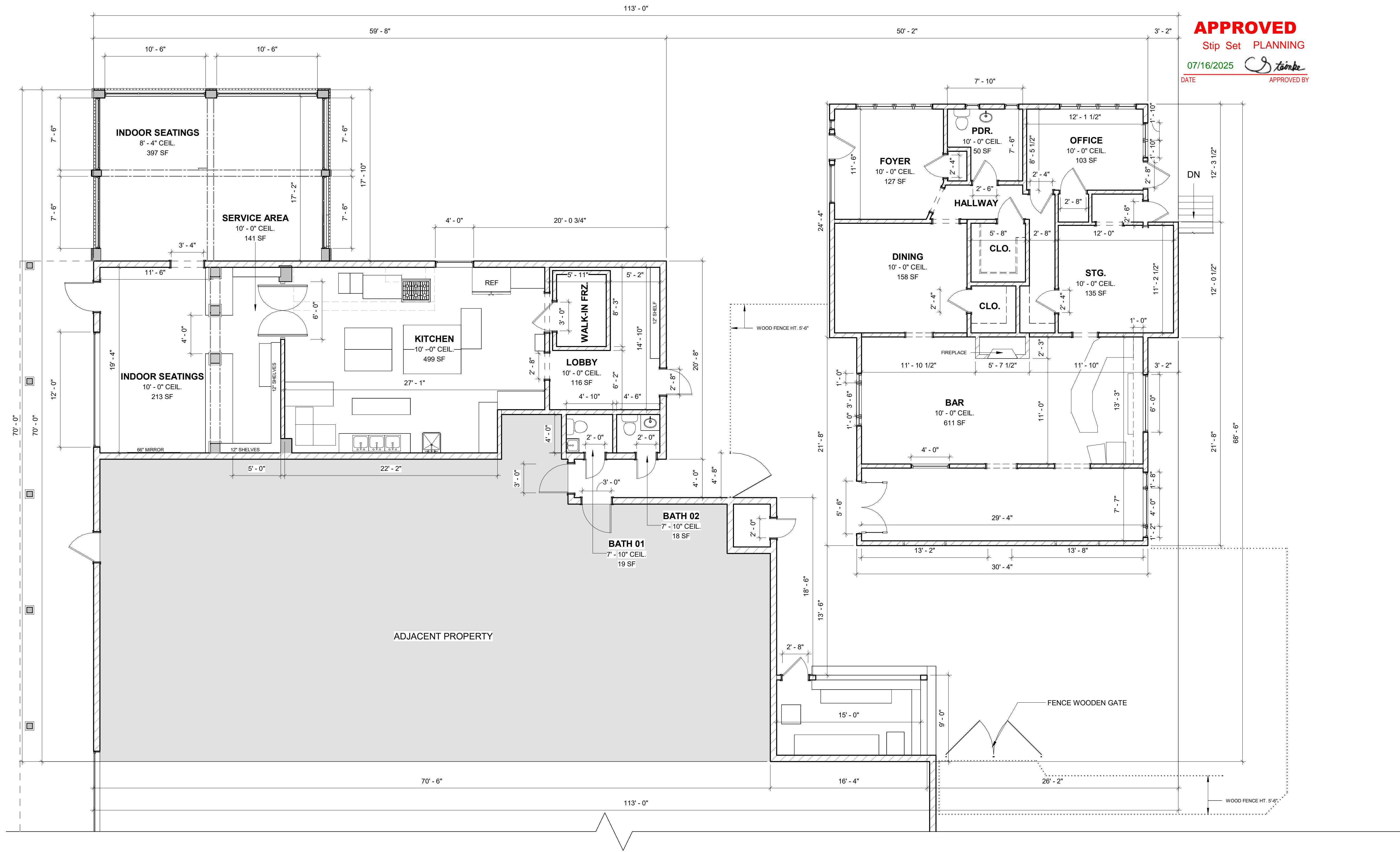
SCALE BAR 1"=20'

SHEET TITLE	SITE PLAN	SHEET NO:	C1.0
PROJECT NAME	4121 N MARSHALL WAY	SCALE	As indicated
PROJECT ADDRESS	4121 N MARSHALL WAY		
	SCOTTSDALE, AZ 85251		
CLIENT NAME	JACOB A. FINLEY	DATE	06-24-2025

2021 IBC, IPC, IMC, IFC IEBC AND IFGC
2020 NEC
2021 IECC AND THEIR AMENDMENTS BY
SOLUTION R2022-03

It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

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Stip Set PLANNING

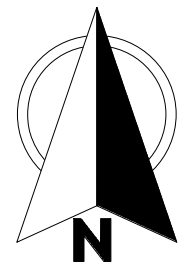
07/16/2025

DATE

Stinke

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A0.0
EXISTING PLAN
SCALE: 3/16" = 1'-0"



SHEET TITLE	EXISTING PLAN	SHEET NO:	A0.0
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PROJECT ADDRESS	4121 N MARSHALL WAY SCOTTSDALE, AZ 85251		
CLIENT NAME	JACOB A. FINLEY	DATE	06-24-2025

SCOTTSDALE CODES

UNLESS STATED OTHERWISE, ADHERE
TO THE BELOW CODES

2021 IBC, IPC, IMC, IFC IEBC AND IFGC
2020 NEC
2021 IECC AND THEIR AMENDMENTS BY
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	EXISTING WALL		TOILET FIXTURE		WASHER/DRYER		STOVE/OVEN		AC UNIT		ELECTRICAL METER
	DEMO AREA		SINK FIXTURE		WATER HEATER		FRIDGE				ELECTRICAL PANEL (AMPS)
	SOFFIT-CEILING CHANGE				WINDOW		DISHWASHER				GAS METER
	ROOF LINE		DOOR								WALL/FENCE
	STAIRS										

LIVING
CEIL. 13'-8"
FFE. -1'-0"

ROOM CALLOUTS

APPROVED

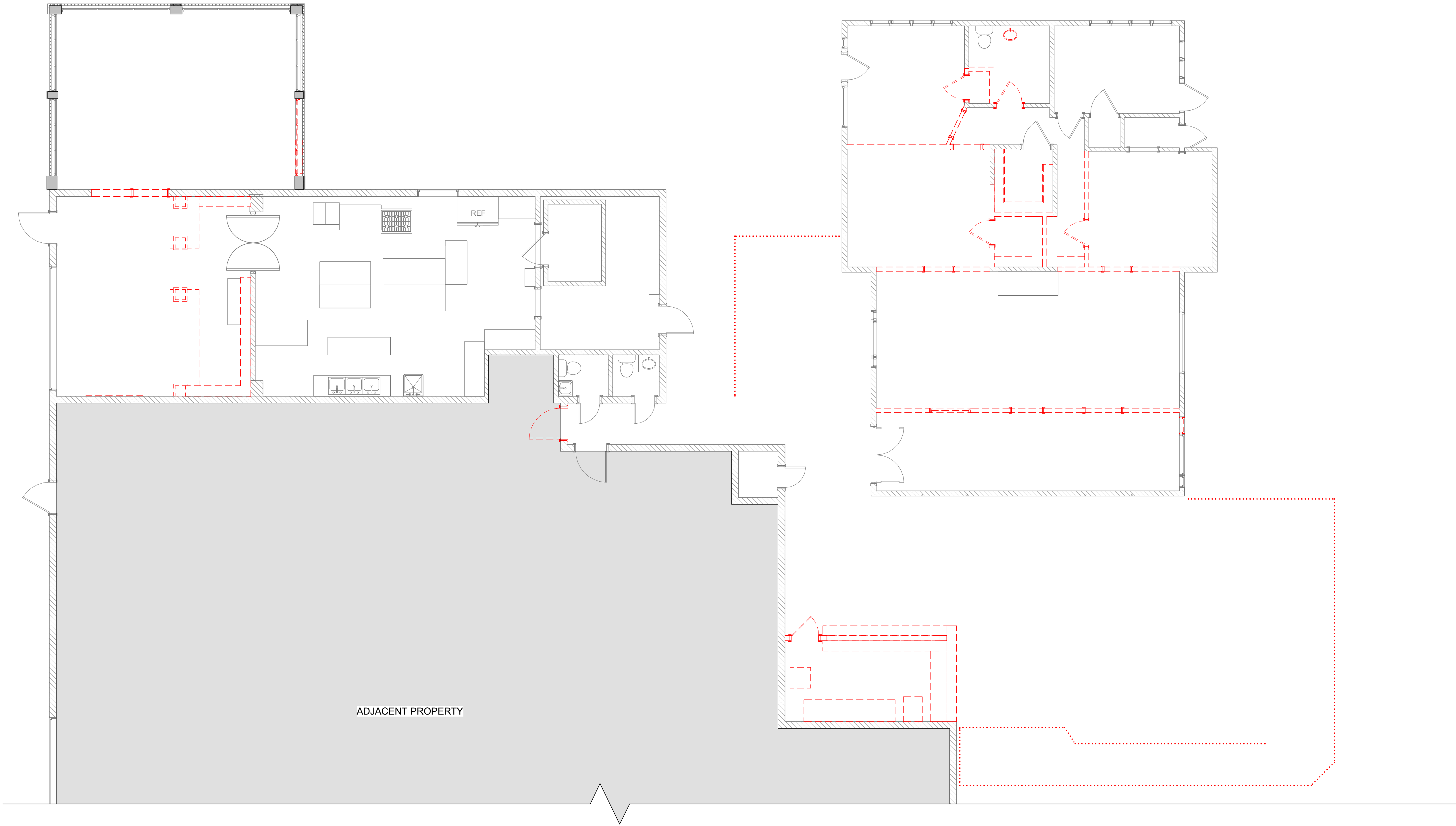
Stip Set PLANNING

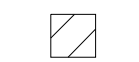
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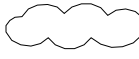
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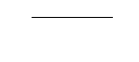
Stip Set


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 EXISTING WALL

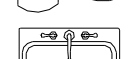
 DEMO AREA


 SOFFIT-CEILING CHANGE


 ROOF LINE


 STAIRS


 TOILET FIXTURE


 SINK FIXTURE

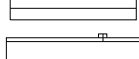
 DOOR


 WASHER/DRYER

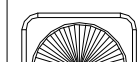
 WATER HEATER


 WINDOW


 STOVE/OVEN


 FRIDGE


 DISHWASHER


 AC UNIT

 LIVING ROOM CALLOUTS

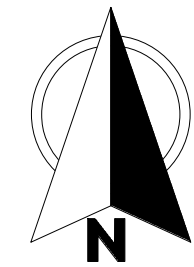
 ELECTRICAL METER

 ELECTRICAL PANEL (AMPS)

 GAS METER

 WALL/FENCE

A0.1 DEMO PLAN
SCALE: 3/16" = 1'-0"



SHEET TITLE	DEMO PLAN	SHEET NO:	A0.1
PROJECT NAME	4121 N MARSHALL WAY	SCALE	3/16" = 1'-0"
PROJECT ADDRESS	4121 N MARSHALL WAY SCOTTSDALE, AZ 85251		
CLIENT NAME	JACOB A. FINLEY	DATE	06-24-2025

SCOTTSDALE CODES
UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES
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WINDOW SCHEDULE						
WINDOW	TYPE	SIZE	HEAD HEIGHT	SILL HEIGHT	OPERATION	QTY
W1	1224 FX	1' - 2" X 2' - 4"	6' - 8"	4' - 4"	FIXED WINDOW	1

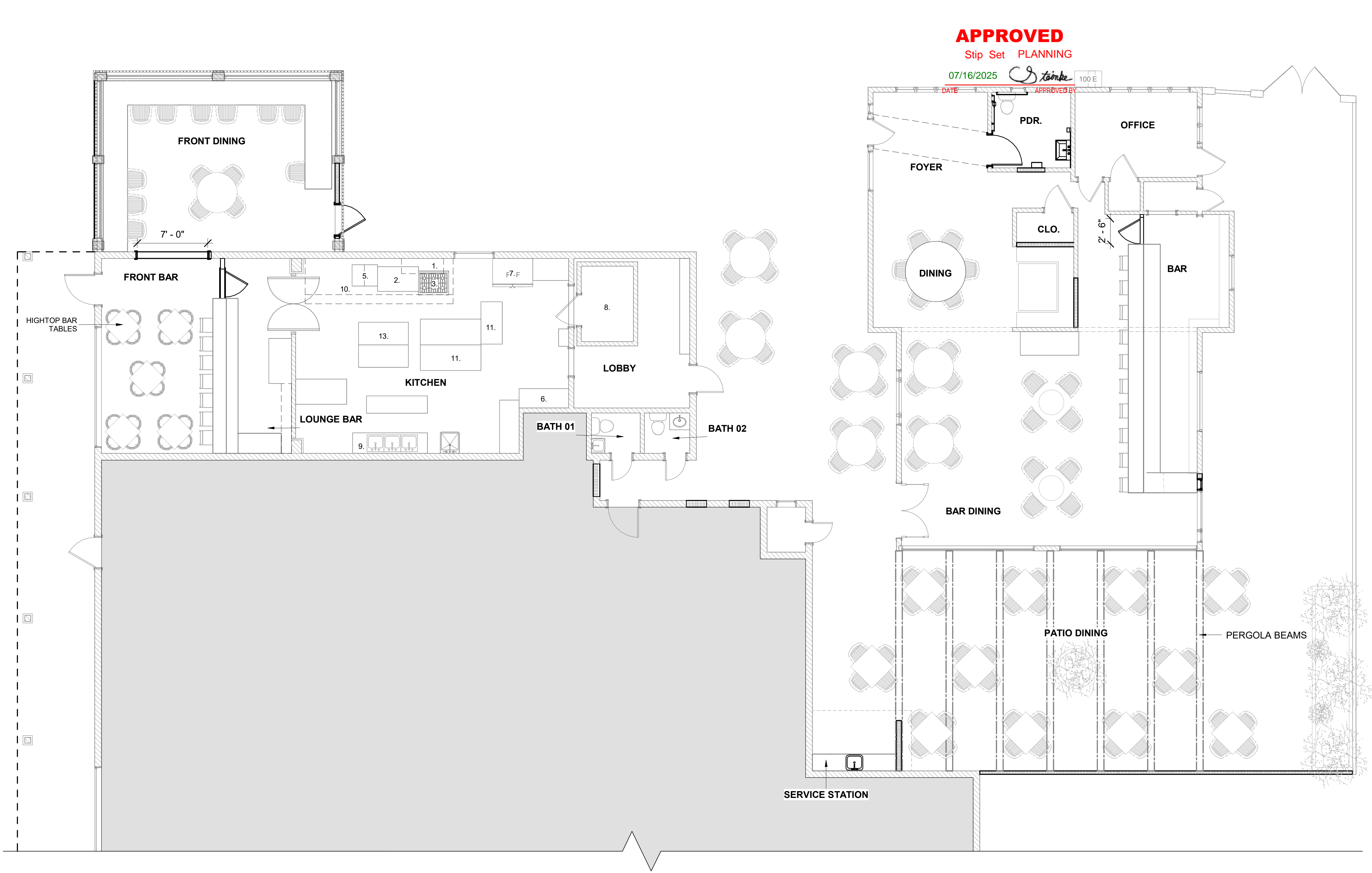


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MAIN KITCHEN EQUIPMENT LIST GAS				
#	EQUIPMENT	SIZE	VOLT	BTU
1.	TURBO AIR TASM SALAMANDER	-	-	3500
2.	VENANCIO GAS CHARBROILER	R24CT-24C	-	66000
3.	VENANCIO GAS GRIDDLE 1234 INCH	R234CT	-	66000
4.	RATIONAL COMBI OVEN GAS/ELECTRIC	-	208/240	106000
5.	AVANTCO FF 100 70 LB GAS FIRED GRILL	-	-	-

MAIN KITCHEN/ BAR ELECTRICAL				
#	EQUIPMENT	SIZE	VOLT	BTU
6.	TRUE ICE MACHINE TCIM -522	-	-	-
7.	2 AVANTCO REACH IN COOLER N A-49R-HC	-	-	-
8.	EXISTING WALK IN COOLER	-	-	-
9.	CHAMPION DL 2000 LOW TEMP DISHWASHER	-	-	-
10.	BEV AIR WTRD67AHE REFRIGERATED EQUIPMENT BASE	-	-	-
11.	BEV AIR WTFCs48CD REFRIGERATED WORK TABLES	-	-	-
12.	4 TRUE TSSU-72-18 PREP TABLES	-	-	-
13.	2 TRUE TSSU -60-18 PREP TABLES	-	-	-
14.	TRUE TBR60-RISZ1-L BACK BAR REFRIGERATOR	-	-	-

TOY HOUSE ELECTRICAL EQUIPMENT LIST				
#	EQUIPMENT	SIZE	VOLT	BTU
15.	2 AVANTCO UNDER BAR FRIDGE UBB 72S	-	-	-
16.	SCOTSMAN UNDERBAR ICE MACHINE UN324 A	-	-	-
17.	MOYER DIEBEL UNDERBAR DISHWASHER 601 LTG	-	-	-
18.	EXISTING WALK-IN BEHIND THE HOUSE PLUS TWO MORE OUTDOOR WALK-INS	-	-	-
19.	2 TRUE TBR60-RISZ-1 BACK BAR REFRIGERATORS	-	-	-
20.	2 TRUE TBR 4-RISZ1-L BACK BAR COOLERS	-	-	-
21.	AVANTCO A 49F-HC REACH IN FREEZER	-	-	-



A1.1 **EQUIPMENT PLAN**
SCALE: 3/16" = 1'-0"

NEW EXTERIOR FRAME WALL

NEW INTERIOR FRAME WALL

NEW CMU/BLOCK WALL

EXISTING WALL

DEMO AREA

SOFFIT-CEILING CHANGE

ROOF LINE

STAIRS

TOILET FIXTURE

SINK FIXTURE

DOOR

W

D

WASHER/DRYER

WH

4030

XO

WINDOW

STOVE/OVEN

FRIDGE

DW

DISHWASHER

AC UNIT

LIVING
CEIL. 13'-8"
FFE. -1'-0"

E

ELECTRICAL METER

200

ELECTRICAL PANEL (AMPS)

G

GAS METER

ROOM CALLOUTS

WALL/FENCE

N

SHEET TITLE	EQUIPMENT PLAN	SHEET NO:	A1.1
PROJECT NAME	4121 N MARSHALL WAY	SCALE	3/16" = 1'-0"
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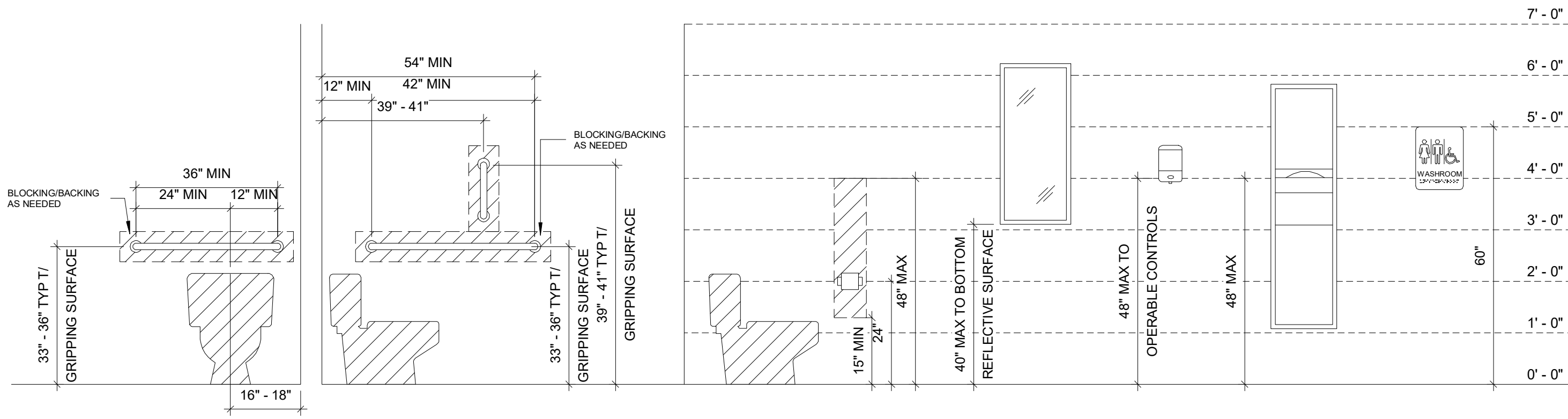
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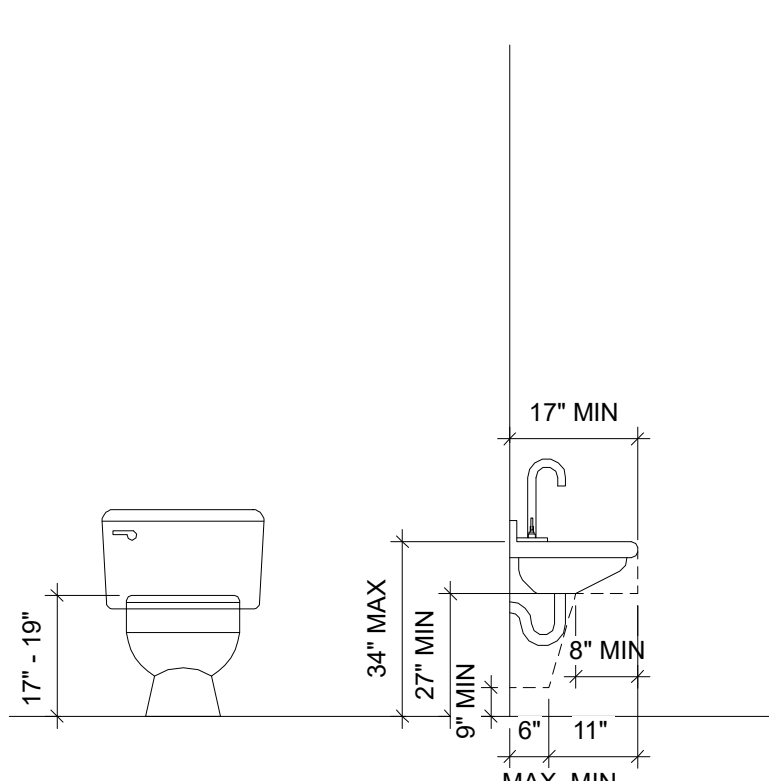
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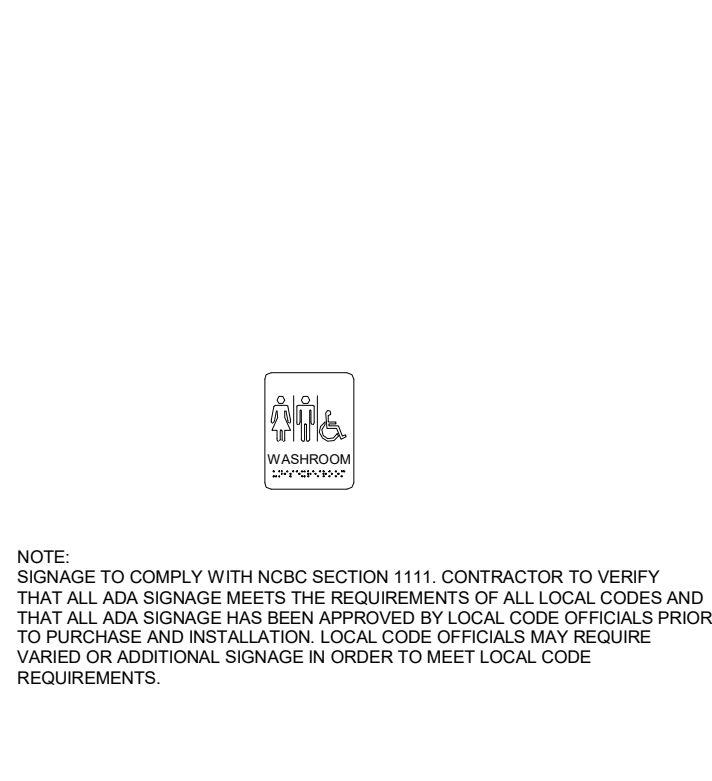
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SPECIALTY EQUIPMENT LEGEND (NOT ALL APPLY - SEE SCHEDULE)



PLUMBING FIXTURE LEGEND

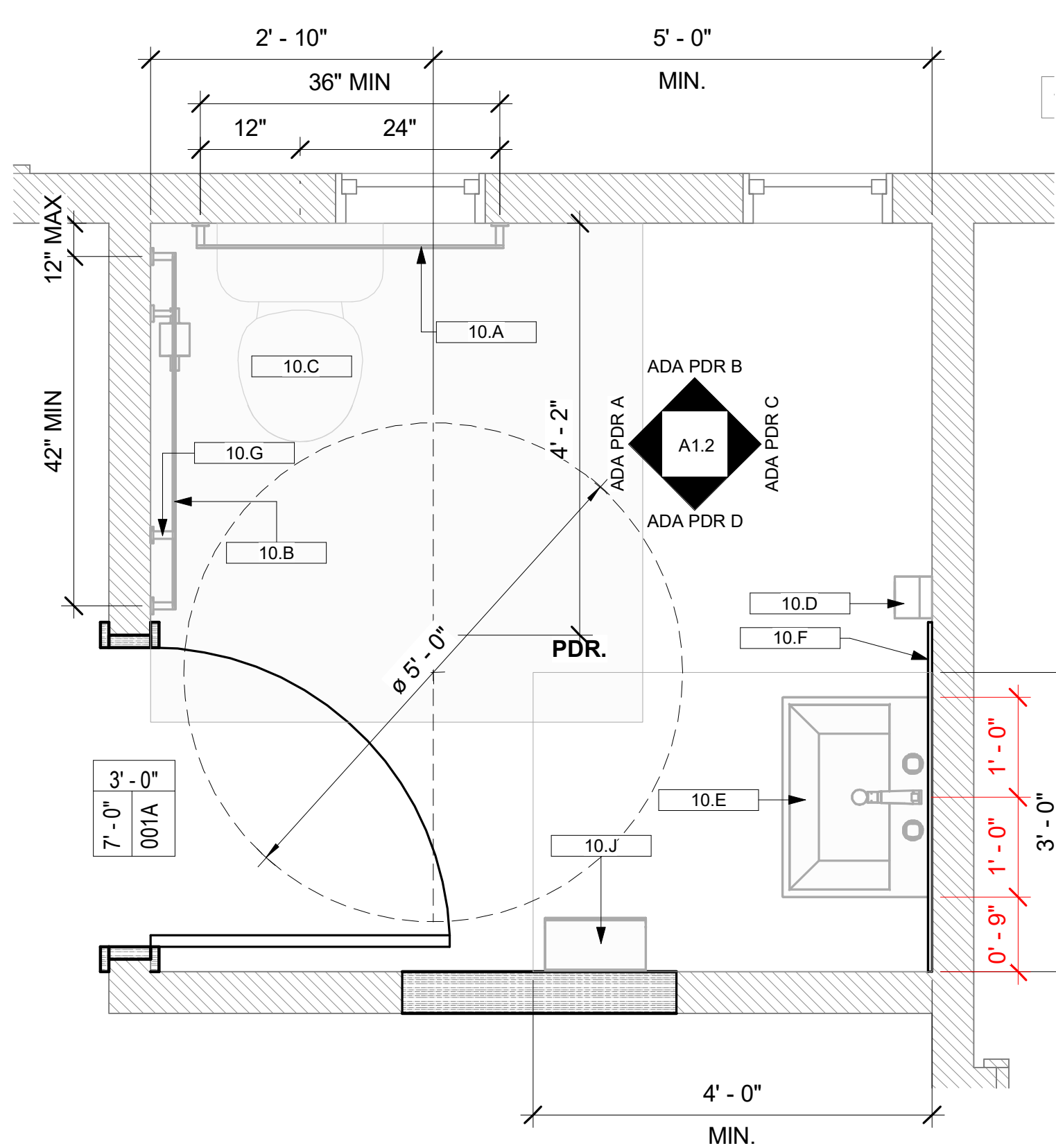


ADA SIGNAGE

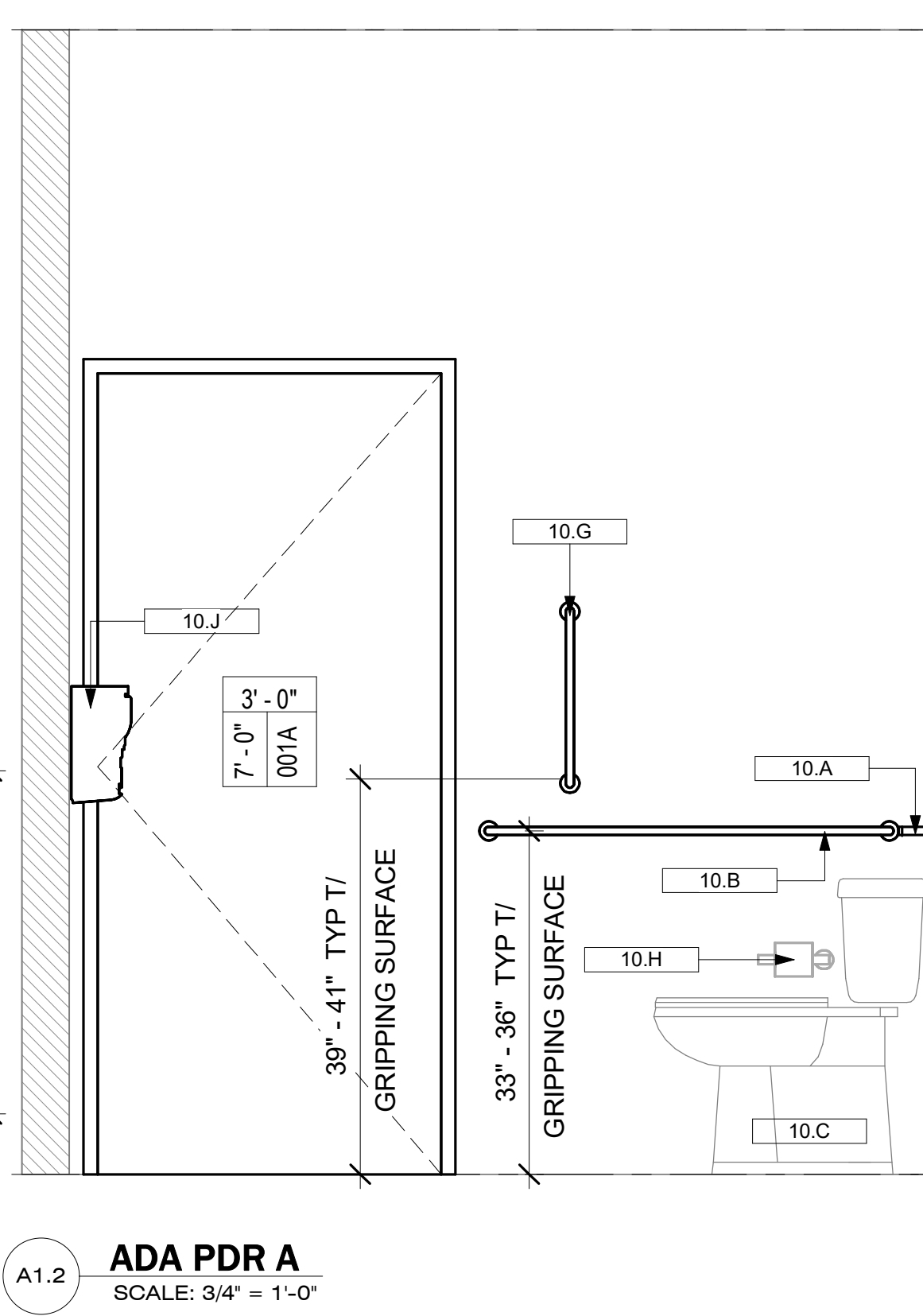
KEYNOTE LEGEND	
#	DISCRPTION
10.A	GRAB BAR, 36" STAINLESS STEEL
10.B	GRAB BAR, 42" STAINLESS STEEL
10.C	WATER CLOSET, FLOOR MOUNTED ADA HEIGHT
10.D	SOAP DISPENSER, SURFACE MOUNTED
10.E	LAVATORY, WALL HUNG ADA HEIGHT
10.F	WALL MOUNTED MIRROR
10.G	GRAB BAR, 18" STAINLESS STEEL
10.H	PAPER TOWEL DISPENSER
10.J	HAND DRYER

WASHROOM NOTES

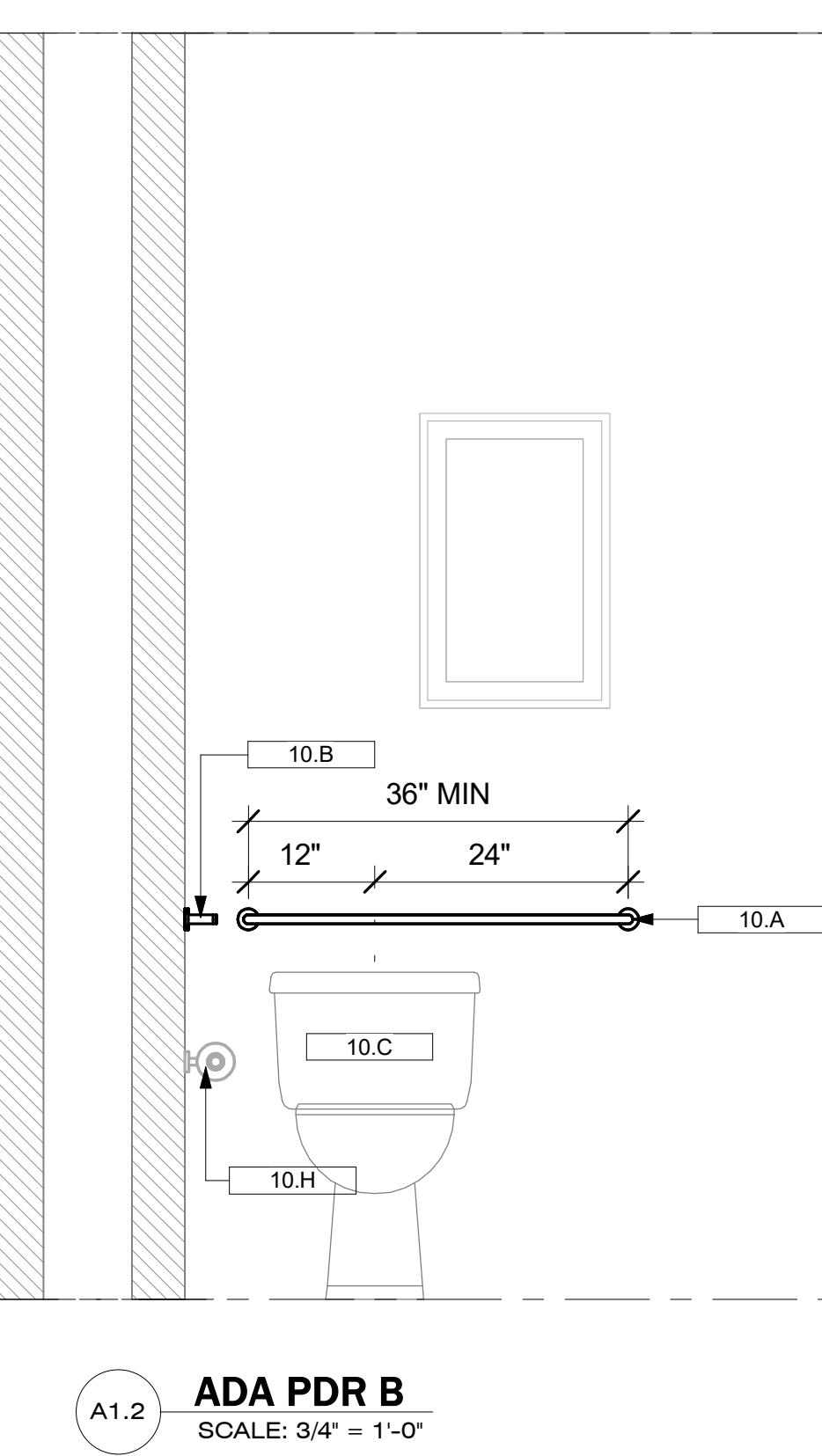
#	NOTE
1.	TOILET ROOM ACCESSIBILITY CODES. APPROVED Stip Set PLAN WALL APPLICABLE REQUIREMENTS & 07/16/2025 Stip Set PLAN WALL APPLICABLE REQUIREMENTS &
2.	GRAB BARS SHALL BE 1-1/2" DIA. AND SHALL PROVIDE 1-1/2" OF CLEARANCE BETWEEN THE RAIL AND WALL. GRAB BARS SHALL BE STAINLESS STEEL AND SHALL SUPPORT A LOAD OF 250 LBS. APPLIED AT ANY POINT DOWNWARD OR HORIZONTALLY.
3.	ACCESSORY TYPE AND MANUFACTURER ARE SPECIFIED FOR DESIGN INTENT. ALTERNATE FIXTURES MUST BE APPROVED BY ARCHITECT PRIOR TO BIDDING.
4.	LAVATORIES SHALL HAVE LEVER OPERATED FAUCETS. FINISH TO MATCH SINK FAUCET.
5.	HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE PROTECTED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
6.	PROVIDE A MIRROR IN EACH TOILET ROOM AS SHOWN. ALTERNATES SHALL BE A MINIMUM OF 24" X 36" AND MUST BE APPROVED BY ARCHITECT.
7.	PROVIDE BLOCKING AS REQUIRED FOR ALL RESTROOM ACCESSORIES AND FIXTURES.
8.	WATER RESISTANT GWB TO BE USED ON ALL RESTROOM WALLS.
9.	SOUND INSULATE ALL PERIMETER WALLS. REFER TO FRAMING PLAN.
10.	VERIFY TOILET ROOM DIMENSIONS WITH SELECTED PLUMBING FIXTURES AND REQUIRED CLEARANCES PRIOR TO FRAMING.
11.	REFER TO LEGEND & SCHEDULE FOR INFORMATION AND TYPICAL FIXTURE MOUNTING REQUIREMENTS.
12.	REFER TO LEGEND & SCHEDULE FOR PLUMBING FIXTURE INFORMATION.
13.	TOILET, BATHING AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTION OF SUCH FLOORS WITH WALL SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4 INCHES PER NCBC-B 1210.2.1.
14.	WALLS AND PARTITIONS WITHIN 2 FEET OF SERVICE SINKS, URINALS, AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. TO A HEIGHT OF 4 FEET ABOVE THE FLOOR, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE PER NCBC-B 1210.2.2.
15.	ALL EXPOSED PLUMBING AND ESCUTCHEON PLATES SHALL MATCH THE FAUCET FINISH.
16.	PROVIDE INSULATION KIT FOR EXPOSED SINK WASTE AND SUPPLY LINES.



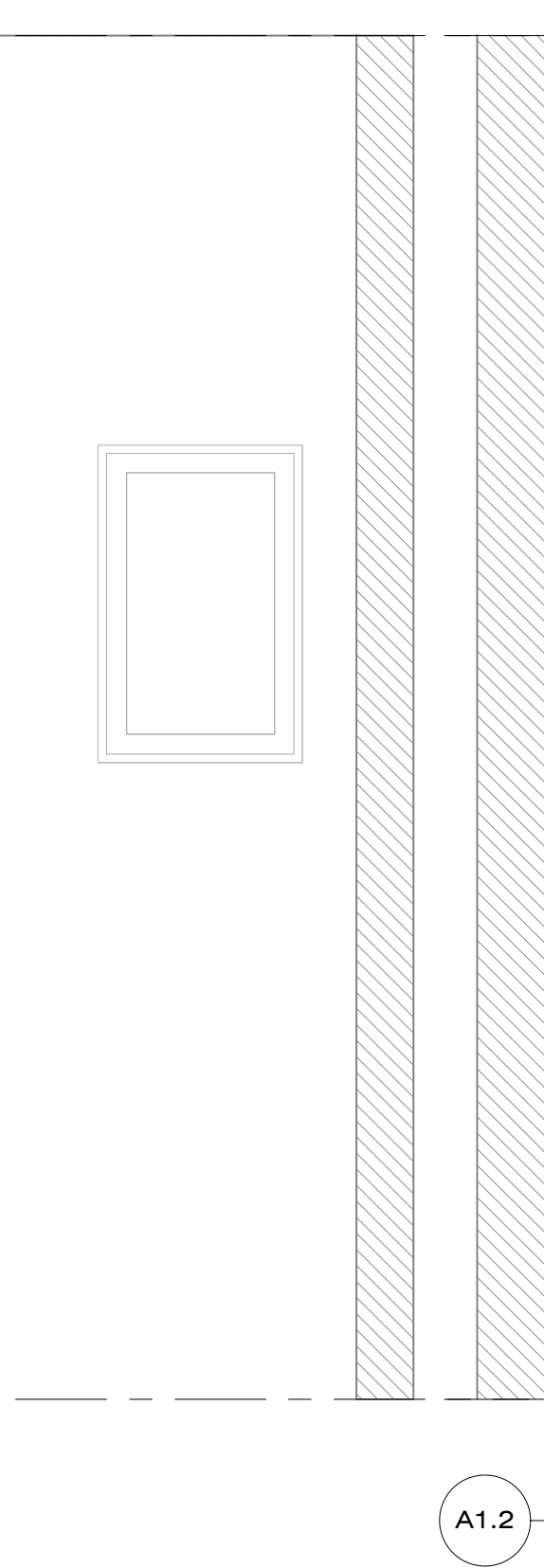
A1.2 ADA PLAN
SCALE: 3/4" = 1'-0"



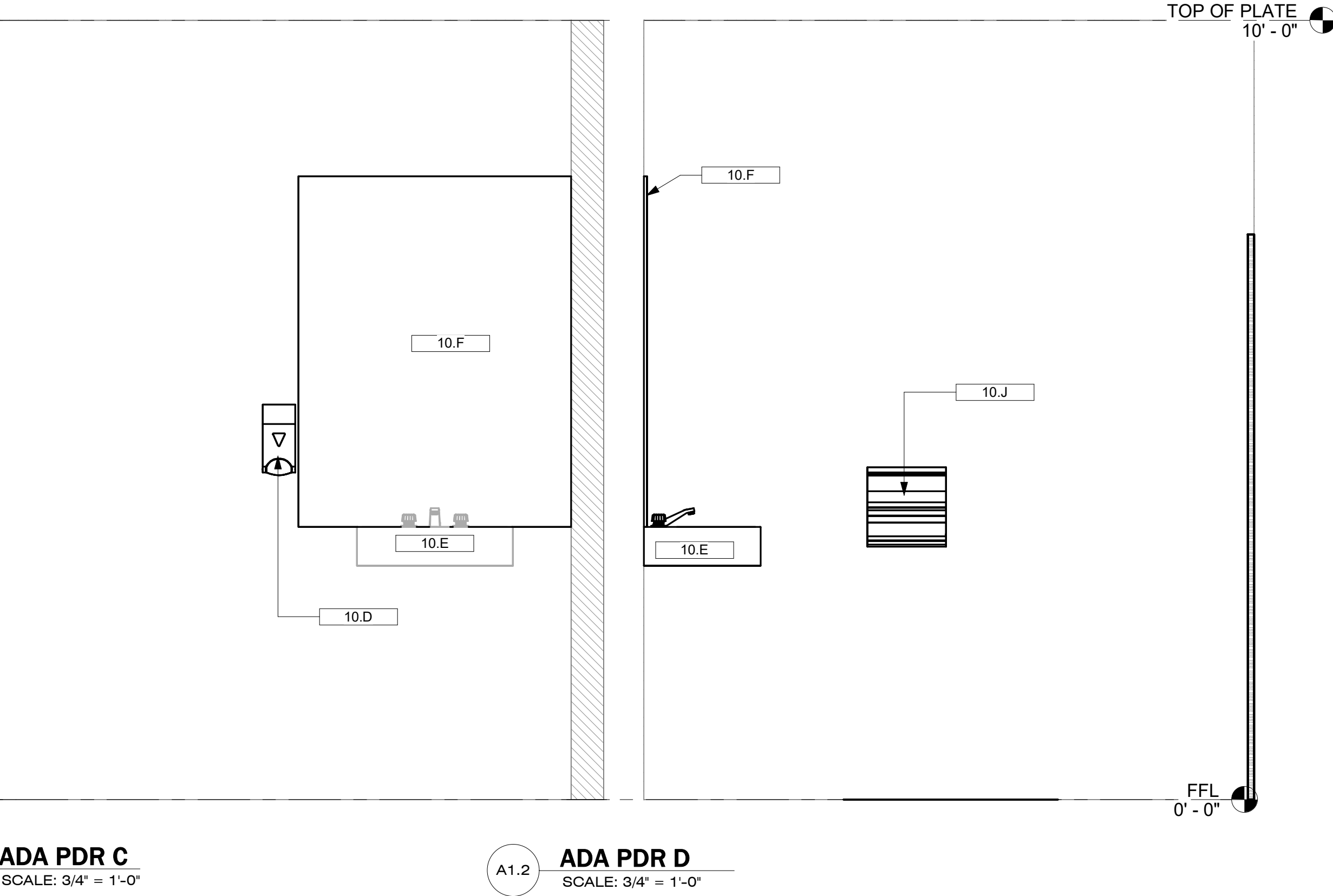
A1.2 ADA PDR A
SCALE: 3/4" = 1'-0"



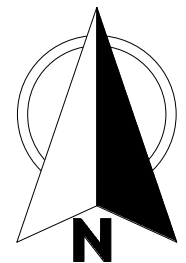
A1.2 ADA PDR B
SCALE: 3/4" = 1'-0"



A1.2 ADA PDR C
SCALE: 3/4" = 1'-0"



A1.2 ADA PDR D
SCALE: 3/4" = 1'-0"



SHEET TITLE	ADA ENLARGED PLAN	SHEET NO:	A1.2
PROJECT NAME	4121 N MARSHALL WAY	SCALE	As indicated
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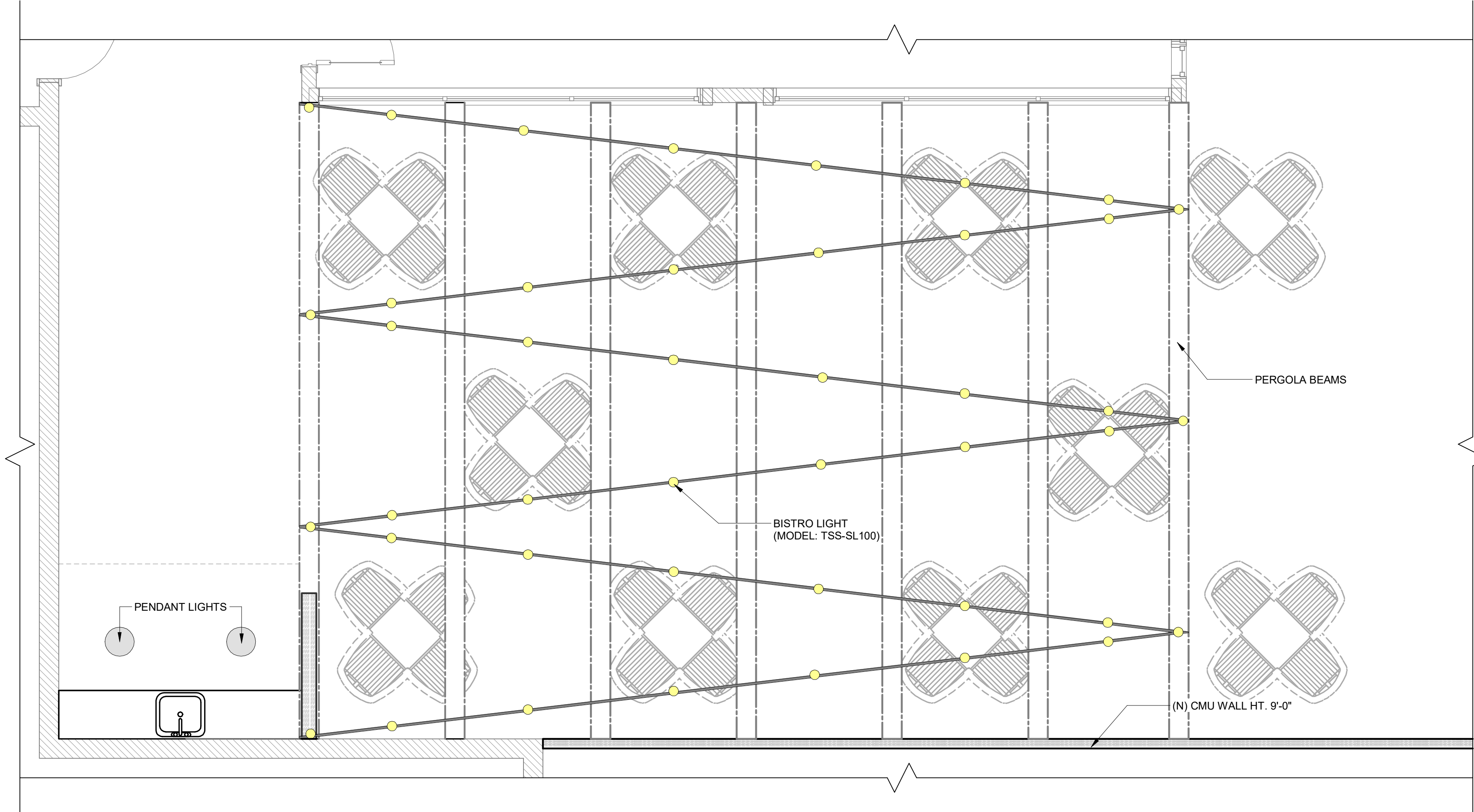


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CUT SHEET FOR THE TRU-SCAPES HANGING BISTRO LIGHTS (MODEL: TSS-SL100)

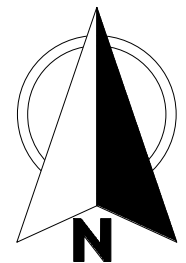
APPROVED
Stip Set PLANNING
07/16/2025
DATE
APPROVED BY

String lights to require caps to prevent upward light spray



SPECIFICATIONS	DETAILS
PRODUCT NAME	TRU-SCAPES HANGING BISTRO LIGHTS
MODEL NUMBER	TSS-SL100
LIGHT SOURCE	EDISON STYLE LED LAMPS
WATTAGE	1 WATT PER LAMP, 6 WATTS PER 12 FT STRAND
VOLTAGE	9V – 15V AC/DC
COLOR TEMPERATURE (CCT)	2700K (WARM WHITE)
NUMBER OF BULBS PER STRAND	6
STRAND LENGTH	12 FEET
MAXIMUM RUN LENGTH	UP TO 8 STRANDS (100 FEET TOTAL)
FINISH	BLACK
DIMENSIONS	HEIGHT: 6 INCHES; LENGTH: 12 FEET PER STRAND
INSTALLATION	SUITABLE FOR CONCRETE, STONE, WOOD, COMPOSITE DECKS, PERGOLAS, PAVILIONS
CONNECTOR	TSS-GC1 CONNECTOR AVAILABLE FOR LINKING STRANDS
APPLICATION	OUTDOOR DECORATIVE BISTRO LIGHTING
PHOTOMETRICS	WARM, AMBIENT GLOW; 1W LED PER BULB; 360° BEAM SPREAD (TYPICAL FOR EDISON STYLE LEDS)
ADDITIONAL FEATURES	LOW VOLTAGE, ENERGY-EFFICIENT, WEATHER-RESISTANT WIRING
PRODUCT IMAGE	
PRODUCT DIMENSION	

A1.3 ENLARGED PLAN - PATIO DINING
SCALE: 3/8" = 1'-0"



SHEET TITLE	CUT SHEET - BISTRO LIGHT	SHEET NO:	A1.3
PROJECT NAME	4121 N MARSHALL WAY	SCALE	3/8" = 1'-0"
PROJECT ADDRESS	4121 N MARSHALL WAY SCOTTSDALE, AZ 85251		
CLIENT NAME	JACOB A. FINLEY	DATE	06-24-2025

SCOTTSDALE CODES

UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES

2021 IBC, IPC, IMC, IFC IEBC AND IFGC 2020 NEC
2021 IECC AND THEIR AMENDMENTS BY SOLUTION R2022-03

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within +/- 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.

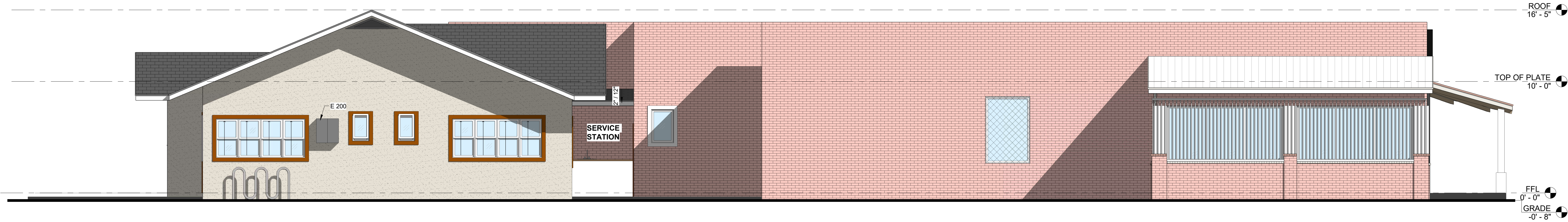
It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SEAL

CITY APPROVAL



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www.reziopro.com

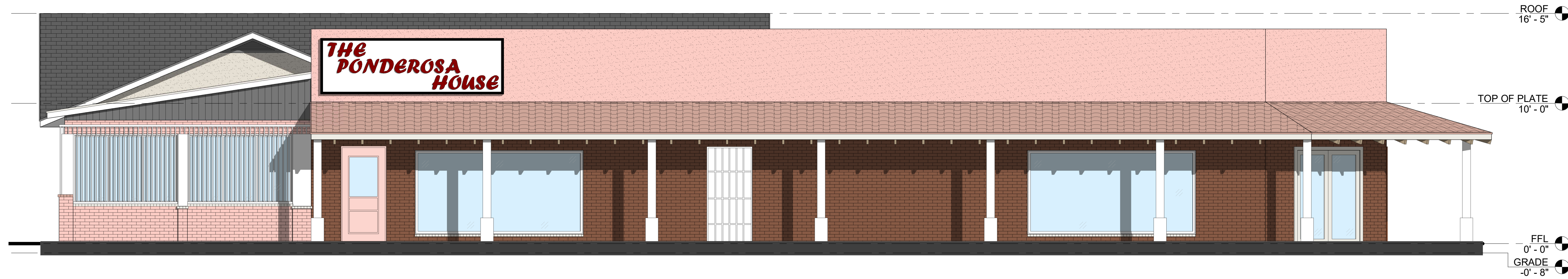


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
Stip Set PLANNING
07/16/2025
DATE APPROVED BY

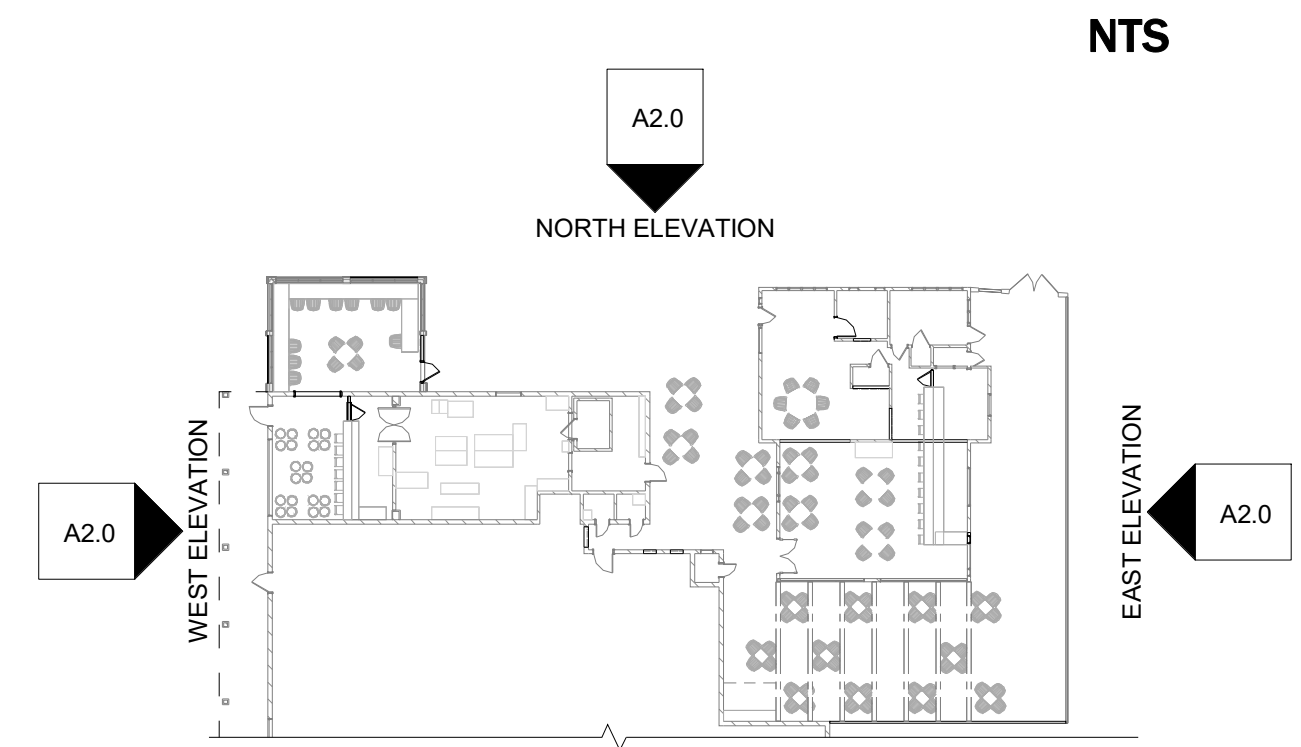


EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH	ROOFING	CALLOUTS	UTILITIES	SECTION MATERIALS
STUCCO	TILE	WALL TYPE	AC UNIT	CONCRETE FOOTING
BRICK	ASPHALT SHINGLE	DOOR SIZE	ELECTRICAL METER	ABC GRAVEL
CMU/BLOCK	METAL	WINDOW SIZE	ELECTRICAL PANEL (AMPS)	CMU/BLOCK WALL
EXPOSED WOOD	SLATE	ELEVATION LABELS	GAS METER	WOOD
PAINTED METAL	WOOD	GLASS	WALL/FENCE	GRADING



	SHEET TITLE	ELEVATIONS	SHEET NO:	A2.0	SCOTTSDALE CODES UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES 2021 IBC, IPC, IMC, IFC IEBC AND IFGC 2020 NEC 2021 IECC AND THEIR AMENDMENTS BY SOLUTION R2022-03	Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within +/- 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC. It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.	SEAL	CITY APPROVAL	 REZIO (844) 937-3946 www.reziopro.com
	PROJECT NAME	4121 N MARSHALL WAY	SCALE	As indicated					
	PROJECT ADDRESS	4121 N MARSHALL WAY SCOTTSDALE, AZ 85251							
	CLIENT NAME	JACOB A. FINLEY	DATE	06-24-2025					