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EXPIRES 06-30-28

## 1.0 INTRODUCTION

The Fairmont Scottsdale Princess Conference Center & Event Lawn (Site) is a proposed commercial/retail building with a kitchen and an open event space. This Site is on approximately 10.95 acres of two (2) parcels with an approximate area of 44.4 acres of the Fairmont Scottsdale Princess in the City of Scottsdale (APN#215-08-693 and/or & 215-08-695). The project will include hardscape, landscape, parking, and utility improvements to support the development. The Site is located approximately 1,300-feet to the east of Scottsdale Road and 50-foot north of East Hacienda Way within Section 35, Township 4 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. Refer to Exhibit 1 – *Vicinity Map* for the project location. The existing property, currently zoned C-2, is primarily developed with buildings, parking lots, pools, sidewalks, and a variety of landscaping (desert and grass).

The design criteria used to estimate wastewater demands and evaluate system hydraulics are based on Wood, Patel & Associates, Inc's (WOODPATEL's) understanding of the requirements listed in the *City of Scottsdale Design Standards and Policies Manual, 2018*.

The following is a summary of the design criteria utilized:

Average Day Wastewater Demand, Commercial/Retail: .....	0.5 gpd / sf
Average Day Wastewater Demand, Restaurant: .....	1.2 gpd / sf
Peak Factor, Commercial/Retail: .....	3.5
Peak Factor, Restaurant: .....	6.0
Minimum Mean Full Flow Velocity: .....	2.50 fps
Maximum Peak Full Flow Velocity: .....	10.0 fps
<u>Maximum Peak Flow d/D Ratio (12-inch diameter or less sewers): .....</u>	<u>d/D = 0.65</u>

Abbreviations: gpd = gallons per day; sf = square feet; fps = feet per second; P = population/1,000

## 2.0 EXISTING WASTEWATER INFRASTRUCTURE

### 2.1 Existing Utility System Conditions

The existing wastewater infrastructure adjacent to the Site includes an existing public 18-inch sewer main in Cottage Terrace. In addition, there is an existing private 8-inch sewer line which connects to the 18-inch main in Cottage Terrace that runs east within Hacienda Way. Please refer to Exhibit 2 – *Wastewater Exhibit* for a depiction of the existing wastewater infrastructure surrounding the Site.

Between September 5, 2022, and September 25, 2022, sewer flows within the existing Cottage Terrace public 18-inch sewer main were monitored by Western Environmental Equipment Company at Manhole EX SSMH #9 from the Concept Master Wastewater Report (Ref. 2). The results provided on November 4, 2022, show the peak flow of 1,471,162 gpd. The flow data has been applied to an upstream manhole at the intersection of Cottage Terrace and Hacienda Way for the purposes of this analysis. Refer to Exhibit 2 – *Wastewater Exhibit*.

### 3.0 PROPOSED WASTEWATER INFRASTRUCTURE

#### 3.1 Proposed Wastewater Conditions

The proposed wastewater infrastructure is sized to convey the calculated wastewater flows to the existing public 18-inch wastewater main in Cottage Terrace. The proposed infrastructure includes a proposed realignment of the existing private 8-inch sewer main along Hacienda Way, a proposed 6-inch sewer service from the southwest corner of the building to the proposed private 8-inch service realignment, and a proposed 6-inch service from the west side of the building to a proposed polymer concrete manhole on the existing public 18-inch main in Cottage Terrace. A grease interceptor is planned for this project and proposed on the plumbing plans. The proposed grease interceptor will connect to the 6-inch sewer service at the southwest corner of the building. (Refer to Exhibit 2 – *Wastewater Exhibit*)

According to the City of Scottsdale Water Services Department, the proposed wastewater services for this project will be able to connect to the existing 18-inch wastewater main in Cottage Terrace prior to completed construction of the City of Scottsdale's infrastructure project as outlined in the Draft North Airpark Sewer Study by Carollo dated April 7, 2023 (Ref. 2).

#### 3.2 Modeling and Results

Demands for the Site include only the square footage of the Conference Center as the Event Lawn will not be used simultaneously with the equivalent space in the Conference Center or existing Palomino Ballroom. If a weather-related incident forces guests using the Event Lawn to relocate indoors, the equivalent space required for those guests will already be available for them in the Conference Center or existing Palomino Ballroom and the Event Lawn will no longer be in use. In addition, the kitchen component of the Site will require the use of restaurant demand and peaking factor values.

Based on the current City of Scottsdale design criteria, the projected average-day flow for the proposed Site is calculated to be 51,098 gallons per day (gpd), or 35.5 gallon per minute (gpm). The peak flow is projected to be 164,769 gpd, or 114.4 gpm.

Table 1 – Proposed Wastewater Demands

Commercial (Retail/Mall) (sf)	Restaurant (sf)	ADD Demand Value	Average Day Demand (gpd)	Peaking Factor	Peak Flow (gpd)
94,357		0.5	47,179	3.0	141,537
	3,219	1.2	3,863	6.0	23,177
Fountain*		N/A	57	N/A	57

\*Fountain demand value from Appendix C – *Scottsdale Water Demand Exhibit*

Existing flows through the 8-inch sewer in Hacienda Way were received on November 4, 2022, from Western Environmental with a resulting flow of 59,456 gpd or 41.3 gpm. An assumed peaking factor of 3.0 was applied. Total flow within the private system is calculated to be 70,917 gpd and 224,225 gpd for the average day and peak flows, respectively. Flows within the wastewater main are analyzed within the

*Final Master Wastewater Report for Fairmont Scottsdale Princess by Wood, Patel & Associates Inc., dated May 9, 2025 (Ref. 3). Refer to Appendix A – Wastewater Demand Calculations for calculations. The proposed sewer slopes, projected flow velocities, and pipe flow capacities with the current flows are summarized on the attached spreadsheet.*

#### **4.0 CONCLUSIONS**

Based on our wastewater collection system analysis for the proposed Site, the following conclusions are made:

1. The design criteria used to estimate wastewater flows and evaluate system hydraulics are based on WOODPATEL's understanding of the published City of Scottsdale Design Standards and Policies Manual, 2018.
2. The projected average-day flow for the proposed Site contributing to the sewer system is calculated to be 51,098 gallons per day (gpd), or 35.5 gallon per minute (gpm).
3. The projected peak flow for the proposed Site contributing to the sewer system is calculated to be 164,769 gpd, or 114.4 gpm.
4. Maximum d/D value projected for the Site at the south outfall is 0.36.
5. Maximum d/D value projected for the Site at the west outfall is 0.19.
6. Monitoring data received of 19,819 gpd and 59,456 gpd for the average day and peak flows, respectively, show available capacity within the existing private 8-inch line within Hacienda Way.

#### **5.0 REFERENCES**

1. *City of Scottsdale Design Standards and Policies Manual, 2018*
2. *Draft North Airpark Sewer Study by Carollo, dated April 7, 2023*
3. *Final Master Wastewater Report for Fairmont Scottsdale Princess by Wood, Patel & Associates Inc., dated May 9, 2025*

## **APPENDIX A – WASTEWATER DEMAND CALCULATIONS**



**TABLE 1**  
WASTEWATER DESIGN CRITERIA

**Project** Fairmont Scottsdale Princess - Conference Center & Event Lawn  
**Location** Scottsdale AZ  
**Project Number** 215319.30  
**Project Engineer** Andrew J. Sanchez  
**References** City of Scottsdale Design Standards and Policies Manual (2018)

<b>WASTEWATER DEMANDS</b>			
LAND USE	AVERAGE DAILY DEMAND (ADD)		POPULATION <sup>1</sup>
	VALUE	UNITS	
Commercial/Retail	0.50	gpd/sf	0.005 Persons per sf
Office	0.40	gpd/sf	0.004 Persons per sf
Restaurant	1.20	gpd/sf	0.012 Persons per sf
High Density Condominiums	140	gpd/DU	1.4 Persons per DU
School: without Cafeteria	30	gpd/Student	0.3 Persons per Student
School: with Cafeteria	50	gpd/Student	0.5 Persons per Student
Resort Hotel	380	gpd/Room	3.8 Persons per Room
Cultural	0.1	gpd/sf	0.001 Persons per sf
Fitness Center/Spa/ Health Club	0.8	gpd/sf	0.008 Persons per sf

<b>HYDRAULIC MODELING CRITERIA</b>	
DESCRIPTION	VALUE <sup>2</sup>
<b>PEAK FLOW</b>	
Peak Flow = Peaking Factor (PF) x ADD	
Commercial/Retail	3.0
Fitness Center/Spa/Health Club	3.5
High Density Condominium	4.5
Restaurant	6.0
Resort Hotel	4.5
Clubhouse for Subdivision Golf Course	4.5
<b>HYDRAULICS</b>	
Minimum Pipe Diameter (in)	6
Manning's "n" value	0.013
Maximum d/D ratio at peak flow	0.65

PIPE SIZE (in)	MEAN VELOCITY <sup>2</sup>		DESIGN SLOPE <sup>2</sup>	
	Minimum (ft/sec)	Maximum (ft/sec)	Minimum (%)	Maximum (%)
6	2.0	n/a	0.010	n/a
8	2.5	10.0	0.380	6.980
10	2.5	10.0	0.306	5.121
12	2.5	10.0	0.256	3.919

**Notes**

1. Per Arizona Administrative Code, Title 18, Chapter 9
2. Per City of Scottsdale Design Standards and Policies Manual (2018)



**TABLE 2**  
**EXISTING CONDITIONS WASTEWATER MODEL**  
**(WESTERN TOWN & PALOMINO BALLROOM)**

**Project** Fairmont Scottsdale Princess - Conference Center & Event Lawn  
**Location** Scottsdale AZ  
**Project Number** 215319.30  
**Project Engineer** Andrew J. Sanchez  
**References** City of Scottsdale Design Standards and Policies Manual (2018)  
 Arizona Administrative Code, Title 18, Chapter 9

FROM NODE	TO NODE	SEWER NODE ADD (GPD)	PEAKING FACTOR	PEAK FLOW (GPD)	TOTAL PEAK FLOW (GPD)	TOTAL PEAK FLOW (GPM)
<b>Outfall 1 West</b>						
Conference Center	SSMH #4	--	--	--	--	--
<b>Total Outfall 1</b>		--		--		
<b>Outfall 2 South</b>						
SSMH #3	SSMH #2	19,819	3.0	59,456	59,456	41.3
SSMH #2	SSMH #1	--	--	--	59,456	41.3
SSMH #1	EX. SSMH #21	--	--	--	59,456	41.3
EX. SSMH #21	EX. SSMH #21	--	--	--	59,456	41.3
<b>Total Outfall 2</b>		<b>19,819</b>		<b>59,456</b>		

**TABLE 4  
FULL BUILD OUT CONDITION WASTEWATER  
MODEL**

**Project** Fairmont Scottsdale Princess - Conference Center & Event Lawn  
**Location** Scottsdale AZ  
**Project Number** 215319.30  
**Project Engineer** Andrew J. Sanchez  
**References** City of Scottsdale Design Standards and Policies Manual (2018)  
 Arizona Administrative Code, Title 18, Chapter 9

FROM NODE	TO NODE	Restaurant (sf)	Commercial (Retail/Mall)** (sf)	SEWER NODE ADD (GPD)	PEAKING FACTOR	SEWER PEAK FLOW (GPD)	TOTAL PEAK FLOW (GPD)	TOTAL PEAK FLOW (GPM)
<b>Outfall 1 West</b>								
Conference Center*	SSMH #4	--	51,476	25,795	3.0	77,271	77,271	53.7
<b>Total Outfall 1</b>		--	<b>51,476</b>	<b>25,795</b>		<b>77,271</b>		
<b>Outfall 2 South</b>								
SSMH #1	SSMH #2	--	--	19,819	3.0	59,456	59,456	41.3
SSMH #2	SSMH #3	3,219	--	3,863	6.0	23,177	82,633	57.4
SSMH #2	SSMH #3	--	42,881	21,441	3.0	64,322	146,955	102.1
SSMH #3	EX. SSMH #21	--	--	--	--	--	146,955	102.1
<b>Total Outfall 2</b>		<b>3,219</b>	<b>42,881</b>	<b>45,122</b>		<b>146,955</b>		
<b>Total</b>		<b>3,219</b>	<b>94,357</b>	<b>70,917</b>		<b>224,225</b>		<b>155.7</b>

Notes:  
 \* Additional fountain wastewater demand calculated by City of Scottsdale Development Water Demand Exhibit.  
 \*\* Distribution of commercial flows are based on a percentage of the fixture counts provided by the plumbing engineer going to each service; 45% to the southern line and 55% to the northern.



**TABLE 5**  
FULL BUILD OUT WASTEWATER CAPACITY

**Project** Fairmont Scottsdale Princess - Conference Center & Event Lawn  
**Location** Scottsdale AZ  
**Project Number** 215319.30  
**Project Engineer** Andrew J. Sanchez  
**References** City of Scottsdale Design Standards and Policies Manual (2018)  
 ADEQ Bulletin No. 11

FROM NODE	PIPE SIZE (in)	MODELED PIPE SLOPE (ft/ft)	PIPE CAPACITY (FULL)		PEAK FLOW		d/D	MEAN VELOCITY (at d/D=0.70) (ft/sec)	SURPLUS CAPACITY (gpd)	PERCENT OF CAPACITY (%)
			(gpd)	(gpm)	(gpd)	(gpm)				
<b>Outfall 1 West</b>										
Conference Center*	6	0.0143	434,865	302	77,271	53.7	0.29	3.8	357,594	17.8%
<b>Outfall 2 South</b>										
SSMH #1	8	0.0050	553,785	385	59,456	41.3	0.22	2.7	494,329	10.7%
SSMH #2	8	0.0050	553,785	385	82,633	57.4	0.26	2.7	471,152	14.9%
SSMH #2	8	0.0050	553,785	385	146,955	102.1	0.35	2.7	406,830	26.5%
SSMH #3	8	0.0200	1,107,570	769	146,955	102.1	0.25	5.4	960,615	13.3%

**APPENDIX B – FAIRMONT SCOTTSDALE PRINCESS CONFERENCE CENTER & EVENT LAWN  
IMPROVEMENT PLANS BY WOOD, PATEL & ASSOCIATES, INC.,  
DATED MAY 9, 2025**

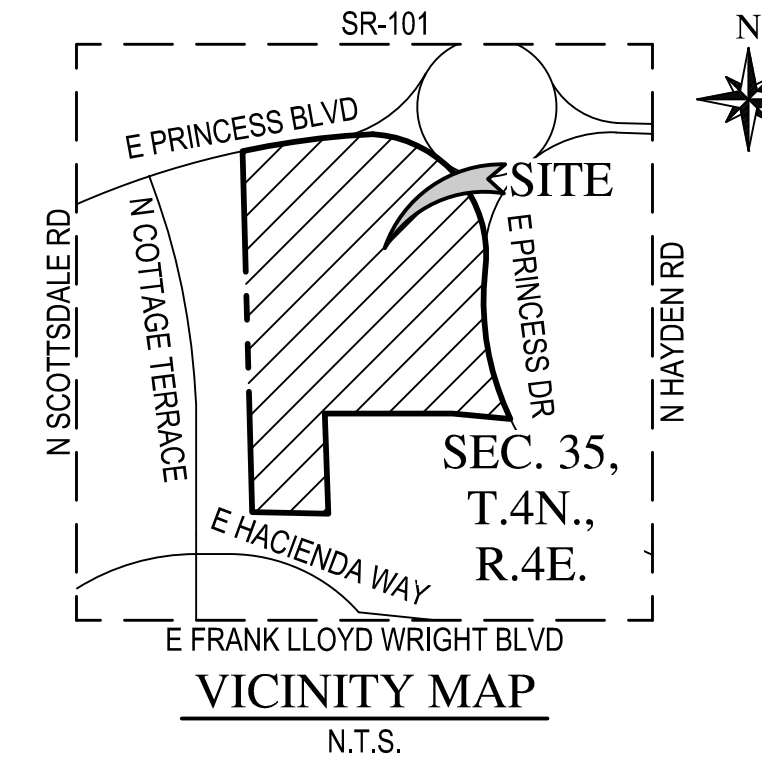
**ENGINEER'S NOTES**

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR GENERAL INFORMATIONAL PURPOSES ONLY AND MIGHT NOT REFLECT ACTUAL QUANTITIES AND SITE CONDITIONS. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL BE AWARE THAT CERTAIN UTILITIES REQUIRE PROPER ATTENTION AND CAREFUL PLANNING DURING SITE CONSTRUCTION. PLEASE NOTE THAT UTILITIES ON THESE PLANS MAY NOT EXHIBIT THE FULL PROTECTIVE COVER REQUIRED DURING THE SUBGRADE PREPARATION PHASE OF THE CONSTRUCTION. IN SUCH INSTANCES, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION (SUCH AS RAMPING) OR INCREASED PIPE STRENGTH TO PROVIDE THE NECESSARY PROTECTION REQUIRED TO PREVENT DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL HOLD THE ENGINEER HARMLESS IN ALL CASES FOR DAMAGES TO UTILITIES WHERE INADEQUATE PROTECTIVE MEASURES OCCUR.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECT'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING. PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION, SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN TWO FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- SEWER LINES DESIGNED IN PROFILE AND PUBLIC WATER LINES ARE REQUIRED TO BE ASBUILT AND THE INSTALLATION AND TESTING WITNESSED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODES R18-9-E301 "4.01 GENERAL PERMIT: SEWAGE COLLECTIONS SYSTEMS" AND R18-5-507 AND 508 "APPROVAL OF CONSTRUCTION" AND "RECORD DRAWINGS", RESPECTIVELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER 72 HOURS IN ADVANCE WHEN THOSE SYSTEMS ARE READY TO BE WITNESSED.
- THE WORK PRODUCT PRESENTED IS BELIEVED TO BE COMPLIANT WITH THE INTENT OF THE CURRENT AMERICANS DISABILITIES ACT (ADA) REQUIREMENTS AS INTERPRETED BY THE REVIEWING AGENCY(S). IF CONSTRUCTION OF THE PROJECT IS DELAYED, THIS WORK PRODUCT SHOULD BE UPDATED TO ACCOUNT FOR ANY RELEVANT ADA UPDATES BEFORE CONSTRUCTION BEGINS.
- LOWEST FLOOR (LF) REFERS TO EITHER FLOOR/SLAB ELEVATION OR TOP OF BASEMENT SLAB. LF ELEVATIONS ON THE GRADING AND DRAINAGE PLANS FOR RESIDENTIAL UNITS REFLECT SLAB ON GRADE CONDITIONS AND CANNOT BE LOWERED WITHOUT AGENCY APPROVAL IN LOCATIONS WHERE "SPECIAL FLOOD HAZARD AREAS" EXIST. IN NON-FLOOD HAZARD LOCATIONS, TO ENSURE THAT ADEQUATE RESIDENTIAL LOT DRAINAGE CAN BE ACHIEVED, A PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF THE LF FOR THE SLAB IS PROPOSED TO BE LOWERED, OR IF A BASEMENT IS TO BE CONSTRUCTED.

# FAIRMONT SCOTTSDALE PRINCESS CONFERENCE CENTER/ EVENT LAWN

## PRELIMINARY IMPROVEMENT PLANS SCOTTSDALE, ARIZONA

A PORTION OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST  
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**EARTHWORK QUANTITIES (ESTIMATED)**

RAW CUT:	6,373 CY
RAW FILL:	24,850 CY

QUANTITIES ARE ESTIMATED IN PLACE. NO PRECOMPACTION, SHRINK OR SWELL IS ASSUMED.

**CITY OF SCOTTSDALE NOTES**

PLEASE REFER TO SHEET C2 FOR CITY OF SCOTTSDALE NOTES.

**QUANTITIES**

PLEASE REFER TO SHEET C2 FOR ESTIMATED QUANTITIES FOR WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS.

**LEGEND**

PLEASE REFER TO SHEET C2 FOR LEGEND AND LIST OF ABBREVIATIONS.

**UTILITY NOTES**

- THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR APPROVAL WITHIN THEIR AREA OF INTEREST. THE SIZE AND LOCATIONS, AS SHOWN, OF THE GAS, TELEPHONE AND POWER LINES, AND CONNECTIONS AGREE WITH THE FURNISHED INFORMATION CONTAINED IN THE UTILITY COMPANY'S RECORDS, WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.
- THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

**FEMA FIRM NOTE (ZONE AO)**

ACCORDING TO FEMA FLOOD INSURANCE RATE MAPPING, THE SUBJECT PROPERTY IS LOCATED IN "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" "ZONE AO". ZONE AO IS DESCRIBED AS: "FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED."

**FLOOD INSURANCE RATE MAP (FIRM) INFORMATION**

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	1320	L	07/20/2021	AO	1

**ENGINEER'S CERTIFICATION**

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37-FLOODPLAIN AND STORMWATER REGULATIONS.

*Darin L. Moore* 05/09/2025  
ENGINEER SIGNATURE DATE

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

SEAL

**PARCEL DESCRIPTION**

PARCEL NO. 2: (TENNIS COTTAGES PARCEL)  
THAT PORT OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH ONE-QUARTER CORNER OF SAID SECTION 35;  
THENCE NORTH 00 DEGREES 08 MINUTES 41 SECONDS EAST, ALONG THE NORTH-SOUTH MED-SECTION LINE OF SAID SECTION 35, A DISTANCE OF 1486.58 FEET;  
THENCE NORTH 89 DEGREES 49 MINUTES 06 SECONDS WEST, 840.00 FEET OF THE POINT OF BEGINNING;  
THENCE SOUTH 27 DEGREES 44 MINUTES 13 SECONDS EAST, 177.75 FEET;  
THENCE SOUTH 83 DEGREES 46 MINUTES 19 SECONDS EAST, 39.13 FEET;  
THENCE SOUTH 26 DEGREES 47 MINUTES 27 SECONDS EAST, 26.35 FEET;  
THENCE SOUTH 58 DEGREES 07 MINUTES 53 SECONDS EAST, 43.04 FEET;  
THENCE SOUTH 88 DEGREES 18 MINUTES 25 SECONDS EAST, 29.86 FEET;  
THENCE SOUTH 07 DEGREES 07 MINUTES 02 SECONDS EAST, 47.49 FEET;  
THENCE SOUTH 66 DEGREES 38 MINUTES 00 SECONDS WEST, 275.66 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 150.00 FEET;  
THENCE SOUTH WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 12 DEGREES 08 MINUTES 15 SECONDS, AN ARCH DISTANCE OF 31.78 FEET;  
THENCE SOUTH 54 DEGREES 29 MINUTES 46 SECONDS WEST, 446.31 FEET;  
THENCE NORTH 84 DEGREES 49 MINUTES 13 SECONDS WEST, 43.57 FEET;  
THENCE NORTH 00 DEGREES 01 MINUTES 45 SECONDS EAST, 619.54 FEET;  
THENCE SOUTH 89 DEGREES 49 MINUTES 06 SECONDS EAST, 377.78;  
THENCE NORTH 00 DEGREES 01 MINUTES 45 SECONDS EAST, 18.00 FEET;  
THENCE SOUTH 89 DEGREES 49 MINUTES 06 SECONDS EAST, 103.52 FEET TO THE POINT OF BEGINNING.  
EXCEPT ONE-HALF OF ALL OIL AND MINERAL RIGHTS AS RESERVED IN INSTRUMENT RECORDED IN BOOK 124, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA; AND ALSO  
EXCEPT ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A GASEOUS NATURE, COAL, METALS, MINERALS, FOSSILS, FERTILIZER OF EVERY NAME AND DESCRIPTION; AND ALSO  
EXCEPT ALL URANIUM, THORIUM OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS WHETHER OR NOT OF COMMERCIAL VALUE, AS SET FORTH IN SECTION 37-231, ARIZONA REVISED STATUTES.

**SOILS REPORT NOTE**

A SOILS GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT TITLED FAIRMONT CASITAS ADDITION BY ALPHA GEOTECHNICAL & MATERIALS, INC. DATED DECEMBER 15, 2021. REPORT NO. 21-G-12692.

**STIPULATION CONFORMANCE STATEMENT**

"THE ENGINEER OF RECORD ON THESE PLANS HAS RECEIVED A COPY OF THE APPROVED STIPULATIONS FOR THIS PROJECT AND HAS DESIGNED THESE PLANS IN CONFORMANCE WITH THE APPROVED STIPULATIONS."

*Darin L. Moore* 05/09/2025  
ENGINEER SIGNATURE DATE

**SHEET INDEX**

- C1 COVER SHEET
- C2 NOTES AND QUANTITIES
- C3 INDEX MAP
- C4-C7 DEMOLITION PLAN
- C8-C11 GRADING AND DRAINAGE PLAN
- C12-C15 PAVING PLAN
- C16-C19 STORM DRAIN PLAN
- C20-C23 WATER AND SEWER PLAN
- C24-C26 SIGNING AND STRIPING PLAN
- C27-C28 DETAILS AND SECTIONS

**BENCHMARK**

CITY OF SCOTTSDALE BRASS CAP FLUSH 450± NORTH OF PRINCESS DRIVE ON SCOTTSDALE ROAD, BEING THE WEST QUARTER CORNER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST.  
CITY OF SCOTTSDALE DATUM, NAVD88 DATUM  
ELEVATION=1553.22'

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD 1988, MCDOT, AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

**PUBLIC UTILITIES**

WATER	CITY OF SCOTTSDALE
SEWER	CITY OF SCOTTSDALE
ELECTRIC	APS
TELEPHONE	LUMEN
NATURAL GAS	SOUTHWEST GAS
CABLE TV	COX COMMUNICATIONS

**M.C.E.S.D. APPROVAL**

ALL POTABLE WATERLINES AND FITTINGS SHALL HAVE A NFS-PW SEAL. ALL MATERIALS AND PRODUCTS USED IN THE POTABLE WATER SYSTEM SHALL CONFORM TO NSF STANDARDS 60 AND 61 IN ACCORDANCE WITH AAC R18-4-213. ALL MATERIALS SHALL BE LEAD FREE AS DEFINED IN AAC R18-5-504 AND R18-4-101.

BY: MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPT. DATE

NO CONFLICT SIGNATURE BLOCK					
UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE CONTACTED	DATE SIGNED
ELECTRIC	ARIZONA PUBLIC SERVICE	HAILEY PARKS	602-493-4401	08/22/2022	
TELEPHONE	LUMEN	JEANETTE DEBOARD	480-221-7810	08/22/2022	
NATURAL GAS	SOUTHWEST GAS	ANDY SAKS	480-730-3857	08/22/2022	
CABLE TV	COX COMMUNICATIONS	JACOB HORSMAN	-	08/22/2022	
OTHER	MCI	RICHARD YOUNG	602-615-8995	08/22/2022	

ENGINEER'S CERTIFICATION  
I, DARIN L. MOORE, P.E., AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.

*Darin L. Moore* 05/09/2025  
SIGNATURE DATE

CITY OF SCOTTSDALE CIVIL APPROVAL			
REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		SIGNS & MARKINGS	
GRADING & DRAINAGE		PLANNING	
WATER & SEWER		FIRE	
RETAINING WALLS		SIGNALS & STREET	
ENGINEERING DEPARTMENT MANAGER		DATE	

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**ARIZONA811**  
Arizona Blue Stakes, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-5241)  
In Maricopa County (602) 953-1100

**OWNER / DEVELOPER**

STRATEGIC HOTELS & RESORTS  
150 NORTH RIVERSIDE PLAZA, SUITE 4270  
CHICAGO, IL 60606  
CONTACT: TIMOTHY TAYLOR  
PHONE: (312) 658-6038

**ENGINEER**

WOOD, PATEL & ASSOCIATES, INC.  
2051 WEST NORTHERN AVENUE, SUITE 1100  
PHOENIX, ARIZONA 85021  
CONTACT: DARIN MOORE, P.E.  
PHONE: (602) 335-8500  
FAX: (602) 335-8580

**ARCHITECT**

KOLLIN ALTOMARE ARCHITECTS  
4265 E. CONANT STREET, SUITE 101  
LONG BEACH, CA 90808  
CONTACT: PAUL ALTOMARE  
PHONE: (562) 597-8760

**PROJECT SITE DATA**

ASSESSOR PARCEL NUMBER(S):  
215-08-693 & 215-08-695  
PROJECT SITE ADDRESS:  
7575 E PRINCESS BLVD  
SCOTTSDALE, ARIZONA 85255  
PROJECT SITE AREA(S):  
NET AREA = 9.94 AC  
DISTURBED AREA = 8.01± AC  
ZONING:  
C2

**FAIRMONT SCOTTSDALE PRINCESS  
CONFERENCE CENTER/ EVENT LAWN  
PRELIMINARY IMPROVEMENT PLANS  
SCOTTSDALE, ARIZONA  
COVER SHEET**

DATE	DESCRIPTION	REV

Professional Engineer Seal: DARIN L. MOORE, No. 36382, State of Arizona, Expires 06-30-28.

SCALE (HORIZ.) N/A  
SCALE (VERT.) N/A  
DATE 05/09/2025  
JOB NUMBER 215319.30  
SHEET C1 OF 28

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**CITY OF SCOTTSDALE NOTES**

**GENERAL CONSTRUCTION NOTES FOR CAPITAL PROJECTS**

- ALL IMPROVEMENT CONSTRUCTION SHALL COMPLY WITH THE 2020 MARICOPA COUNTY ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND DETAILS AND CITY OF SCOTTSDALE'S DESIGN STANDARDS & POLICIES MANUAL (DS&PM). IF THERE IS A CONFLICT, THE LATTER SHALL APPLY. ALL FACILITIES CONSTRUCTION SHALL COMPLY WITH THE LATEST BUILDING CODES AS AMENDED AND ADOPTED BY THE CITY OF SCOTTSDALE.
- THE ENGINEERING DESIGNS ON THESE PLANS ARE APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- BASED ON THE INFORMATION SUBMITTED ON THE PLANS AND ASSOCIATED DOCUMENTS, THE CITY HAS REVIEWED AND FOUND THEM TO BE IN ACCORDANCE WITH THE SCOTTSDALE REVISED CODE AND ARE ACCEPTABLE FOR PERMIT ISSUANCE. THIS ACCEPTANCE BY THE CITY DOES NOT AUTHORIZE VIOLATIONS OF ANY APPLICABLE CODE, ORDINANCE OR STANDARD AS ADOPTED BY THE SCOTTSDALE REVISED CODE.
- APPROVAL OF THE PLANS BY THE CITY IS VALID FOR SIX MONTHS. IF A PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS OF REVIEW, THE PLANS SHALL BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- ANY DEVIATION FROM THE APPROVED PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THAT CHANGE BEING INCORPORATED INTO THE PROJECT.
- A CITY CAPITAL PROJECTS INSPECTOR WILL INSPECT ALL WORK WITHIN THE CITY RIGHTS-OF-WAY, EASEMENTS AND FACILITIES.
- ANY SPECIAL INSPECTION REQUIRED SHALL BE IN ADDITION TO ANY ROUTINE INSPECTION BY THE CITY.
- CITY ENCROACHMENT AND BUILDING PERMITS ARE REQUIRED FOR WORK IN PUBLIC RIGHTS-OF-WAY, EASEMENTS GRANTED FOR PUBLIC PURPOSES AND FACILITIES. PERMITS WILL BE ISSUED BY THE CITY THROUGH THE CITY'S ONE STOP SHOP. COPIES OF ALL PERMITS SHALL BE RETAINED ON-SITE AND SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE WORK STOPPAGE UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR SALVAGING PROTECTED NATIVE PLANTS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT AZ 811 TWO FULL WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
- ALL EXCAVATION AND GRADING WHICH IS NOT IN PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC PURPOSES MUST CONFORM TO SECTION 1803 AND APPENDIX J OF THE LATEST INTERNATIONAL CODE COUNCIL AS ADOPTED AND AMENDED BY THE CITY OF SCOTTSDALE. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY.
- THRUST RESTRAINT, WHERE REQUIRED, ON ALL CITY WATER LINES SHALL BE PROVIDED USING MEGALUG MECHANICAL JOINT RESTRAINTS OR CITY-APPROVED EQUAL.
- ANY ASPHALT MIX DESIGN USED ON CITY PROJECTS SHALL HAVE BEEN APPROVED FOR THAT USE PER SECTION 5-10 OF THE CITY'S DS&PM AND APPEAR ON THE "APPROVED LIST OF ASPHALT MIXES" AS DISTRIBUTED BY THE EAST VALLEY ASPHALT COMMITTEE (EVAC).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE, AT NO ADDITIONAL COST TO THE CITY, ANY AND ALL PAVEMENT, SIDEWALK, CURB AND GUTTER, DRAINAGE STRUCTURES, ETC. OUTSIDE THE PAY LIMIT THAT ARE DAMAGED DUE TO THEIR ACTIVITIES ON THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL AND REPLACEMENT OF NEWLY CRACKED ROADWAY INFRASTRUCTURE, THE REMOVAL AND REPLACEMENT OF EXISTING CRACKED ROADWAY INFRASTRUCTURE WHERE THE CRACKS HAVE BEEN ENLARGED DUE TO THE CONTRACTOR'S OPERATIONS, THE REMOVAL AND REPLACEMENT OF DEFORMED ROADWAY INFRASTRUCTURE. ALL SAWCUTS USED FOR THE REMOVAL OF THESE ITEMS SHALL BE PERPENDICULAR AND PARALLEL TO THE CENTERLINE CONTROLLING THAT ITEM, OR AT THE DIRECTION OF THE CITY'S CAPITAL PROJECTS INSPECTOR.
- ALL CAPITAL IMPROVEMENT PROJECTS SHALL MEET THE PROCEDURES AND STANDARDS FOR THE USE OF TEMPORARY/SECURITY FENCING AROUND THE PERIMETER OF CONSTRUCTION SITES, AS DEFINED IN THE CITY'S ZONING ORDINANCE, ARTICLE VII, SECTION 7.700.

**GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION**

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MAG UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF A RIGHT-OF-WAY PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN THIS TIME FRAME, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A CITY INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE. NOTIFY INSPECTION SERVICES 72 HOURS BEFORE BEGINNING WORK.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS.
- PERMISSION TO WORK IN THE RIGHT-OF-WAY (PWR) PERMITS ARE REQUIRED FOR ALL WORKS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.

**FIRE NOTE:**

- ALL PRIVATE STREETS AND DRIVES SHALL CONFORM TO THE FIRE DEPARTMENT GUIDELINES FOR EMERGENCY VEHICLE ACCESS.

**SEWER NOTE:**

- THE ONSITE SEWER SYSTEM CONSTRUCTED BY THIS PLAN SET IS A PRIVATE SYSTEM AND WILL NOT BE MAINTAINED BY THE CITY OF SCOTTSDALE.
- MAINTENANCE OF THE ONSITE SEWER SYSTEM IS THE RESPONSIBILITY OF THE OWNER.

**WATER NOTE:**

- THE WATER SYSTEM SHOWN HEREIN HAS BEEN DESIGNED TO ADEQUATELY SUPPLY WATER IN SUFFICIENT QUANTITY AND PRESSURE TO MEET LOCAL FIRE REQUIREMENTS.

**PAVING QUANTITIES (ESTIMATED)**

3" A.C. OVER 7" A.B.C.	SY
3" A.C. OVER 11" A.B.C.	SY
6" VERTICAL CURB & GUTTER	LF
6" P.C.C OVER 4" A.B.C. OVERCOMPACTED	SY
6" SINGLE CURB	LF
CONCRETE SIDEWALK	SF
CONCRETE APRON	SF
VALLEY GUTTER	LF
SIDEWALK RAMP	EA
SAWCUT, REMOVE & REPLACE EXISTING PAVEMENT	SY

**PRIVATE WATER QUANTITIES (ESTIMATED)**

2" DOMESTIC WATER SERVICE & METER	EA
2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION	EA
4" DOUBLE CHECK BACK FLOW RETENTION	EA
FIRE HYDRANT	EA
6" GATE VALVE	EA
45° BEND	EA
2" SCH 80 PVC WATER LINE	LF
4" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATER LINE	LF
6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATER LINE	LF
CONNECT TO EXISTING WATERLINE	EA

**PRIVATE SEWER QUANTITIES (ESTIMATED)**

CONNECT TO EXISTING SEWER LINE	EA
6" PVC SDR 35 SANITARY SEWER PIPE	LF
SANITARY SEWER CLEAN OUT	EA
WYE OR WYE WITH 45° BEND	EA
30" SANITARY SEWER MANHOLE	EA

**LEGEND**

EXISTING SURVEY	PROPOSED GRADING, DRAINAGE & PAVING
SECTION LINE	MAJOR CONTOUR
RIGHT OF WAY	MINOR CONTOUR
PROPERTY LINE	SPOT ELEVATIONS
ROAD CENTERLINE	STORM DRAIN PIPE
EASEMENT	STORM DRAIN CATCH BASIN
SURVEY MARKER	SLOPE ARROW
UG ELECTRIC (BURIED CABLE)	GRADE BREAK/RIDGE
UG ELECTRIC (CONDUIT)	RIP RAP
UG ELECTRIC (DUCT BANK)	WALL ELEVATION
OVERHEAD ELECTRIC	ROOF DRAIN/DRAIN ARROW
OVERHEAD TELEPHONE	DRYWELL
UG TELEPHONE	SITE ULTIMATE OUTFALL LOCATION & ELEVATION
CABLE TELEVISION	WALL
OVERHEAD CABLE TELEVISION	CONCRETE SIDEWALK
TELEPHONE DUCT BANK	CONCRETE PAVEMENT
BARBED WIRE FENCE	LIGHT DUTY ASPHALT PAVEMENT
CHAIN LINK FENCE	HEAVY DUTY ASPHALT PAVEMENT
WOOD FENCE	STREET/PARKING LIGHT
BLOCK WALL	ADA PARKING SYMBOL
GAS LINE	
SEWER LINE	
STORM DRAIN PIPE	
IRRIGATION LINE	
WATER LINE	
CURB	
SIDEWALK	
MAJOR CONTOUR	
MINOR CONTOUR	
VEGETATION	
BUILDING	
SEWER MANHOLE	
STORM DRAIN MANHOLE	
TELEPHONE MANHOLE	
SPOT ELEVATION	
SIGN	
JUNCTION BOX/RISER	
FIRE HYDRANT	
WATER VALVE	
STREET/PARKING LIGHT	
UTILITY POLE	
CATCH BASIN	

PROPOSED WATER & SEWER
WATER LINE
WATER LINE FITTINGS
BACKFLOW PREVENTION DEVICE
WATER VALVE
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
WATER METER
PLUG
REDUCER
TAPPING SLEEVE & VALVE
CURB STOP
PRESSURE RELEASE VALVE
AIR/VACUUM RELEASE VALVE
SEWER LINE
SEWER MANHOLE
CLEANOUT

**ABBREVIATIONS**

AL	AREA LIGHT	MIN	MINIMUM
BB	BOTTOM OF BANK	N.T.S.	NOT TO SCALE
C	CONCRETE ELEVATION	NG	NATURAL GRADE
CB	CATCH BASIN	P	PAVEMENT ELEVATION
COS	CITY OF SCOTTSDALE	PL	PARKING LIGHT
CTR	CABLE TV RISER	RD	ROOF DRAIN
CTV	CABLE TV	RIM	RIM ELEVATION
DW	DRYWELL	S	SLOPE
E.S.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT	SCO	SEWER CLEANOUT
ECB	ELECTRICAL CABINET BOX	SD	STORM DRAIN
EJB	ELECTRICAL JUNCTION BOX	SE	SEWER EASEMENT
EO	ELECTRICAL OUTLET	SL	STREET LIGHT
EVT	ELECTRICAL VAULT	SLM	STREET LIGHT MAST ARM
EX	EXISTING	SS	SANITARY SEWER
FF	FINISH FLOOR	STD	STANDARD
FG	FINISH GRADE	TB	TOP OF BANK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TF	TOP OF FOOTING
G	GUTTER ELEVATION	TW	TOP OF WALL
GB	GRADE BREAK	U.E.	UTILITY EASEMENT
GR	GAS REGULATOR	UG	UNDERGROUND
JB	IRRIGATION JUNCTION BOX	W.I.	WROUGHT IRON
INV	INVERT	WF	WIRE FENCE
IRR	IRRIGATION	WM	WATER METER
IV	IRRIGATION VALVE	WV	WATER VALVE
IVB	IRRIGATION VALVE BOX		
LF	LENIER FEET		
LFF	LOWEST FINISH FLOOR		



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**FAIRMONT SCOTTSDALE PRINCESS CONFERENCE CENTER/ EVENT LAWN PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
NOTES AND QUANTITIES

DATE	DESCRIPTION	REV

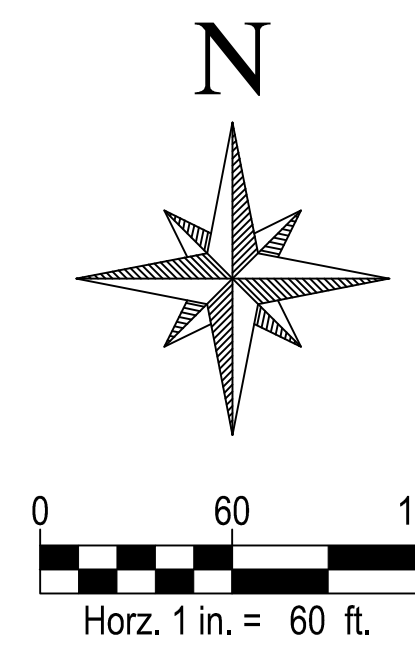
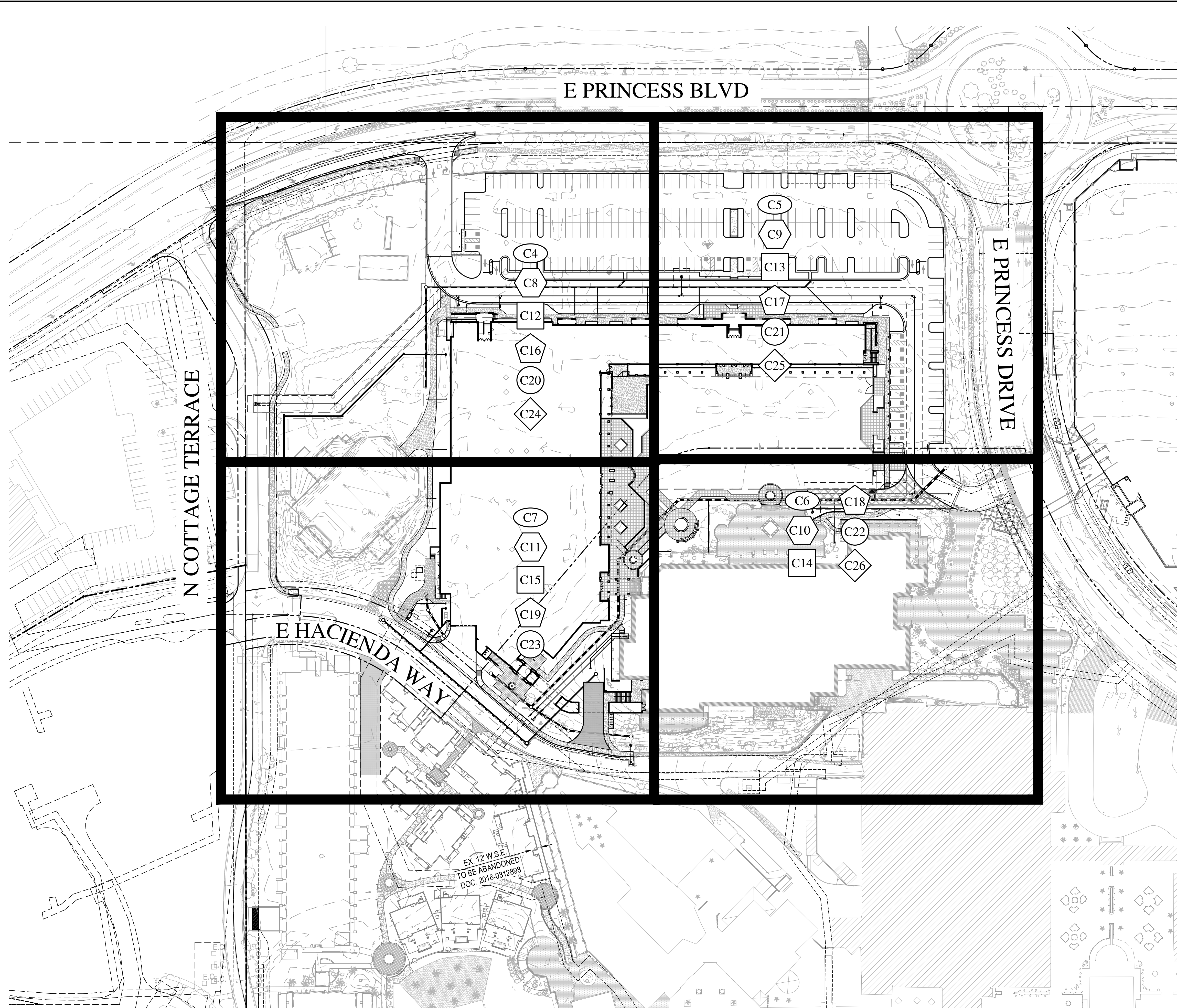
  

SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	05/09/2025
JOB NUMBER	215319.30
SHEET	C2 OF 28









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**INDEX MAP LEGEND**

-  DEMOLITION
-  GRADING & DRAINAGE
-  PAVING
-  STORM DRAIN
-  WATER & SEWER
-  SIGNING & STRIPING



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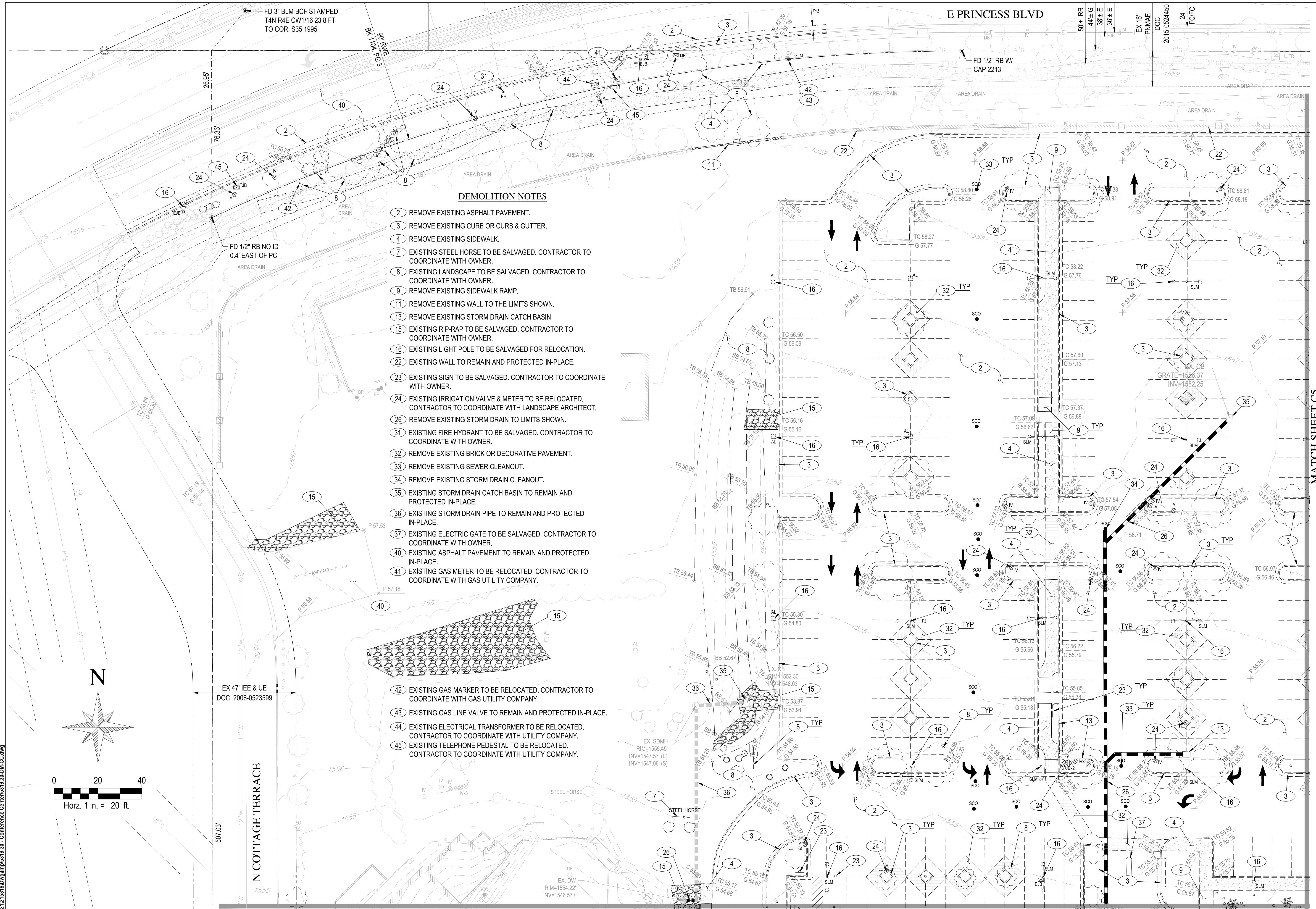


**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 INDEX MAP

REV	DESCRIPTION	DATE



SCALE (HORIZ.) 1"=60'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C3 OF 28



**DEMOLITION NOTES**

- 2 REMOVE EXISTING ASPHALT PAVEMENT.
- 3 REMOVE EXISTING CURB OR CURB & GUTTER.
- 4 REMOVE EXISTING SIDEWALK.
- 7 EXISTING STEEL HORSE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 8 EXISTING LANDSCAPE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 9 REMOVE EXISTING SIDEWALK RAMP.
- 11 REMOVE EXISTING WALL TO THE LIMITS SHOWN.
- 13 REMOVE EXISTING STORM DRAIN CATCH BASIN.
- 15 EXISTING RIP-RAP TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 16 EXISTING LIGHT POLE TO BE SALVAGED FOR RELOCATION.
- 22 EXISTING WALL TO REMAIN AND PROTECTED IN-PLACE.
- 23 EXISTING SIGN TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 24 EXISTING IRRIGATION VALVE & METER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT.
- 26 REMOVE EXISTING STORM DRAIN TO LIMITS SHOWN.
- 31 EXISTING FIRE HYDRANT TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 32 REMOVE EXISTING BRICK OR DECORATIVE PAVEMENT.
- 33 REMOVE EXISTING SEWER CLEANOUT.
- 34 REMOVE EXISTING STORM DRAIN CLEANOUT.
- 35 EXISTING STORM DRAIN CATCH BASIN TO REMAIN AND PROTECTED IN-PLACE.
- 36 EXISTING STORM DRAIN PIPE TO REMAIN AND PROTECTED IN-PLACE.
- 37 EXISTING ELECTRIC GATE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 40 EXISTING ASPHALT PAVEMENT TO REMAIN AND PROTECTED IN-PLACE.
- 41 EXISTING GAS METER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH GAS UTILITY COMPANY.
- 42 EXISTING GAS MARKER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH GAS UTILITY COMPANY.
- 43 EXISTING GAS LINE VALVE TO REMAIN AND PROTECTED IN-PLACE.
- 44 EXISTING ELECTRICAL TRANSFORMER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- 45 EXISTING TELEPHONE PEDESTAL TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.



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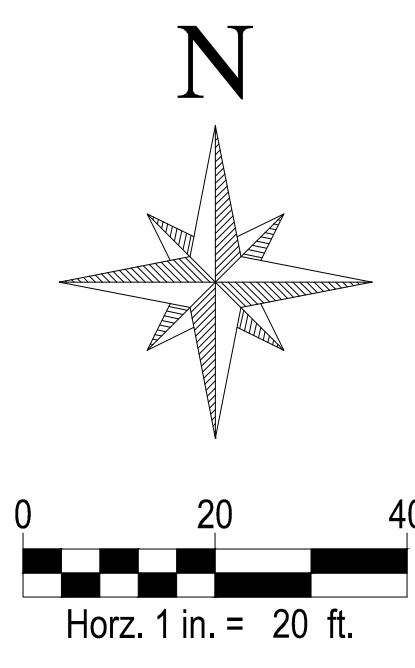
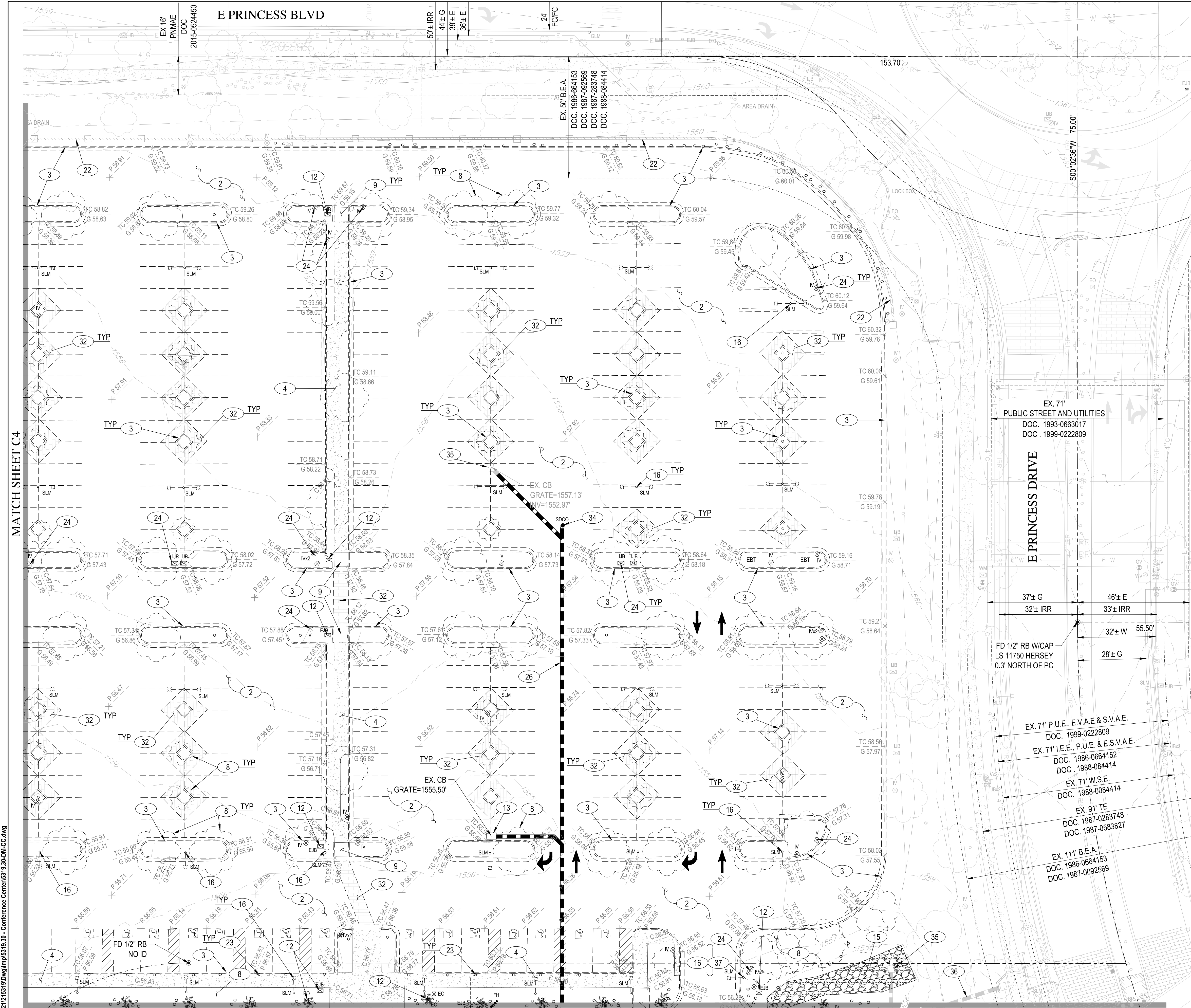
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 DEMOLITION PLAN**

REV	DATE	DESCRIPTION

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C4 OF 28

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

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**DEMOLITION NOTES**

- (2) REMOVE EXISTING ASPHALT PAVEMENT.
- (3) REMOVE EXISTING CURB OR CURB & GUTTER.
- (4) REMOVE EXISTING SIDEWALK.
- (8) EXISTING LANDSCAPE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- (9) REMOVE EXISTING SIDEWALK RAMP.
- (12) EXISTING ELECTRICAL LINE AND EQUIPMENT TO BE REMOVED. CONTRACTOR TO COORDINATE WITH APS PRIOR TO REMOVALS.
- (13) REMOVE EXISTING STORM DRAIN CATCH BASIN.
- (15) EXISTING RIP-RAP TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- (16) EXISTING LIGHT POLE TO BE SALVAGED FOR RELOCATION.
- (22) EXISTING WALL TO REMAIN AND PROTECTED IN-PLACE.
- (23) EXISTING SIGN TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- (24) EXISTING IRRIGATION VALVE & METER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT.
- (26) REMOVE EXISTING STORM DRAIN TO LIMITS SHOWN.
- (32) REMOVE EXISTING BRICK OR DECORATIVE PAVEMENT.
- (34) REMOVE EXISTING STORM DRAIN CLEANOUT.
- (35) EXISTING STORM DRAIN CATCH BASIN TO REMAIN AND PROTECTED IN-PLACE.
- (37) EXISTING ELECTRIC GATE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.

MATCH SHEET C4

MATCH SHEET C6

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 Arizona Blue Stakes, Inc.  
 Ditch & Utility Marking  
 In Maricopa County (602) 963-1100

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 DEMOLITION PLAN**

REV	DESCRIPTION	DATE

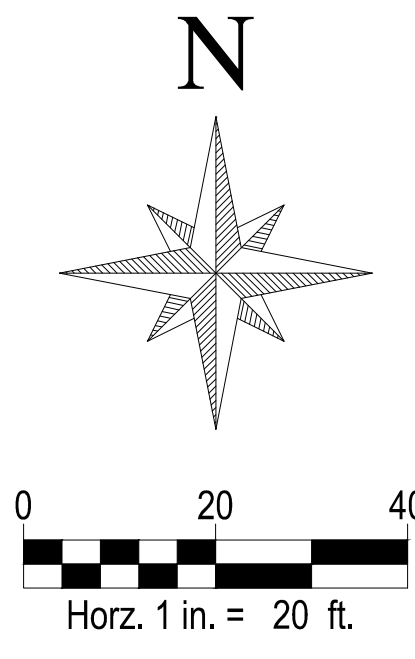
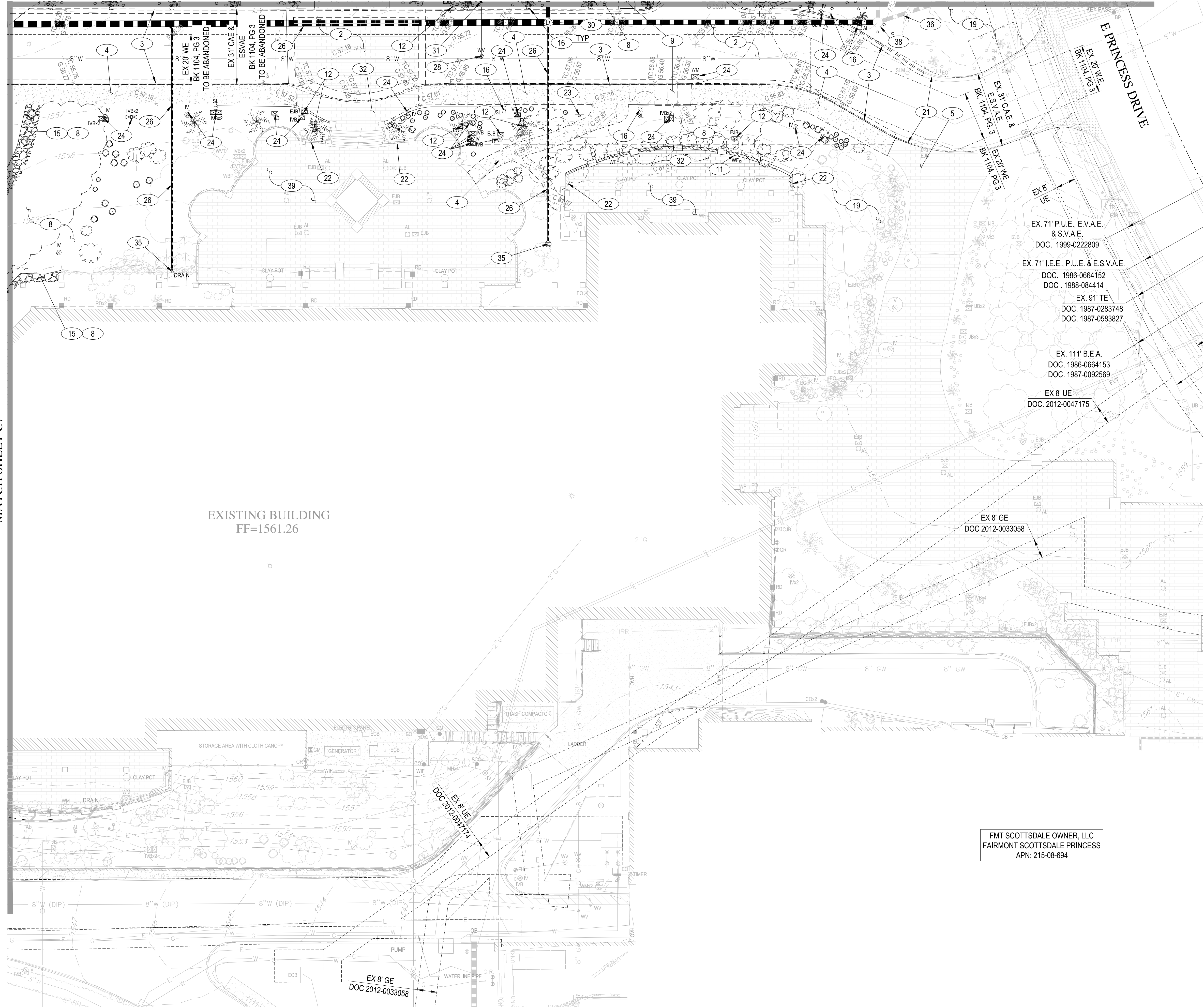
Professional Engineer  
 36382  
 DARRYL L. MOORE  
 05/09/2025  
 ARIZONA, U.S.A.  
 EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C5 OF 28

MATCH SHEET C7

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MATCH SHEET C5



DEMOLITION NOTES

- 2 REMOVE EXISTING ASPHALT PAVEMENT.
- 3 REMOVE EXISTING CURB OR CURB & GUTTER.
- 4 REMOVE EXISTING SIDEWALK.
- 5 EXISTING SIDEWALK TO REMAIN AND PROTECTED IN-PLACE.
- 8 EXISTING LANDSCAPE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 9 REMOVE EXISTING SIDEWALK RAMP.
- 11 REMOVE EXISTING WALL TO THE LIMITS SHOWN.
- 12 EXISTING ELECTRICAL LINE AND EQUIPMENT TO BE REMOVED. CONTRACTOR TO COORDINATE WITH APS PRIOR TO REMOVALS.
- 15 EXISTING RIP-RAP TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 16 EXISTING LIGHT POLE TO BE SALVAGED FOR RELOCATION.
- 19 EXISTING LANDSCAPE TO REMAIN AND PROTECTED IN-PLACE.
- 21 EXISTING CURB OR CURB AND GUTTER TO REMAIN AND PROTECTED IN-PLACE.
- 22 EXISTING WALL TO REMAIN AND PROTECTED IN-PLACE.
- 23 EXISTING SIGN TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 24 EXISTING IRRIGATION VALVE & METER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT.
- 26 REMOVE EXISTING STORM DRAIN TO LIMITS SHOWN.
- 28 REMOVE EXISTING WATER VALVE & METER.
- 30 REMOVED EXISTING STORM DRAIN MANHOLE.
- 31 EXISTING FIRE HYDRANT TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 32 REMOVE EXISTING BRICK OR DECORATIVE PAVEMENT.
- 36 EXISTING STORM DRAIN PIPE TO REMAIN AND PROTECTED IN-PLACE.
- 38 EXISTING STORM DRAIN MANHOLE TO REMAIN AND PROTECTED IN-PLACE.
- 39 EXISTING BRICK OR DECORATIVE PAVEMENT TO REMAIN AND PROTECTED IN-PLACE.

EX. 71' P.U.E., E.V.A.E. & S.V.A.E.  
DOC. 1999-0222809

EX. 71' I.E.E., P.U.E. & E.S.V.A.E.  
DOC. 1986-0664152  
DOC. 1988-084414

EX. 91' TE  
DOC. 1987-0283748  
DOC. 1987-0583827

EX. 111' B.E.A.  
DOC. 1986-0664153  
DOC. 1987-0092569

EX. 8' UE  
DOC. 2012-0047175

EX. 8' GE  
DOC 2012-0033058

FMT SCOTTSDALE OWNER, LLC  
FAIRMONT SCOTTSDALE PRINCESS  
APN: 215-08-694

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Call at least two full working days before you begin excavation.

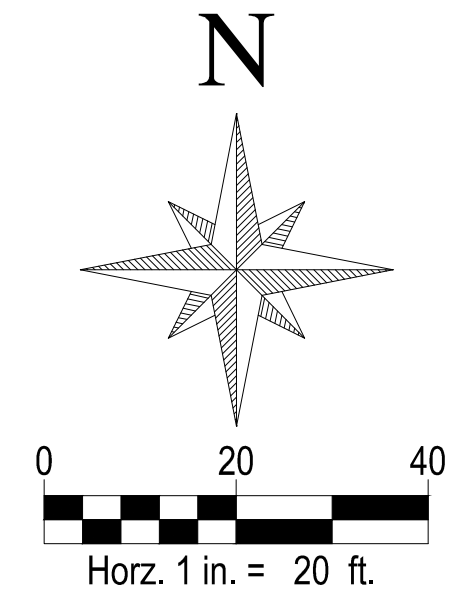
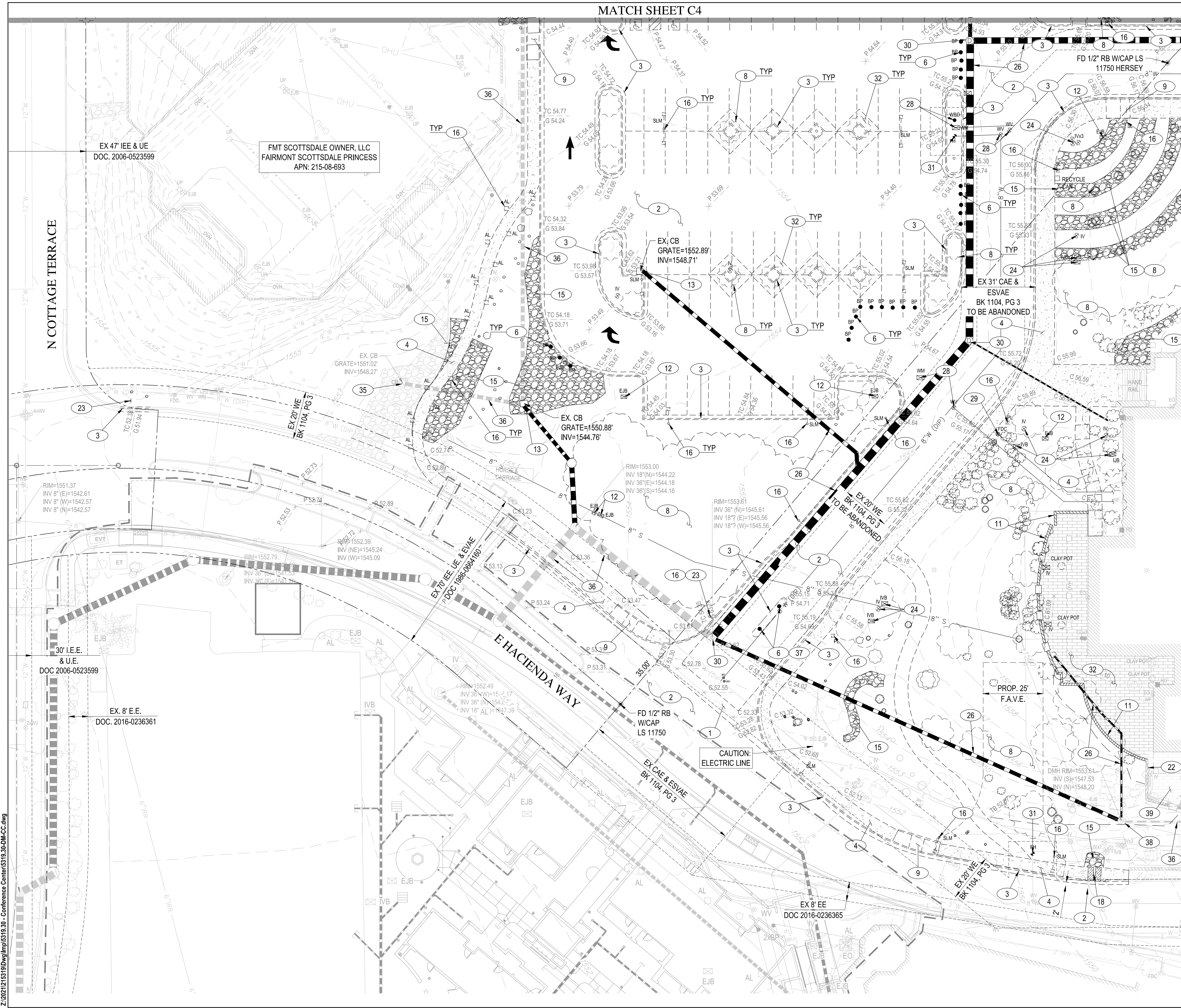
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In Maricopa County (602) 953-1100

**FAIRMONT SCOTTSDALE PRINCESS  
CONFERENCE CENTER/ EVENT LAWN  
PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
DEMOLITION PLAN

REV	DESCRIPTION	DATE

Professional Engineer  
36382  
DARIN L. MOORE  
EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
SCALE (VERT.) N/A  
DATE 05/09/2025  
JOB NUMBER 215319.30  
SHEET C6 OF 28



**DEMOLITION NOTES**

- 1 REMOVE EXISTING VALLEY GUTTER.
- 2 REMOVE EXISTING ASPHALT PAVEMENT.
- 3 REMOVE EXISTING CURB OR CURB & GUTTER.
- 4 REMOVE EXISTING SIDEWALK.
- 6 REMOVE EXISTING BOLLARDS.
- 8 EXISTING LANDSCAPE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 9 REMOVE EXISTING SIDEWALK RAMP.
- 12 EXISTING ELECTRICAL LINE AND EQUIPMENT TO BE REMOVED. CONTRACTOR TO COORDINATE WITH APSP PRIOR TO REMOVALS.
- 13 REMOVE EXISTING STORM DRAIN CATCH BASIN.
- 15 EXISTING RIP-RAP TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 16 EXISTING LIGHT POLE TO BE SALVAGED FOR RELOCATION.
- 18 REMOVE EXISTING SCUPPER.
- 23 EXISTING SIGN TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 24 EXISTING IRRIGATION VALVE & METER TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT.
- 26 REMOVE EXISTING STORM DRAIN TO LIMITS SHOWN.
- 28 REMOVE EXISTING WATER VALVE & METER.
- 29 REMOVE EXISTING FDC.
- 30 REMOVE EXISTING STORM DRAIN MANHOLE.
- 31 EXISTING FIRE HYDRANT TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 32 REMOVE EXISTING BRICK OR DECORATIVE PAVEMENT.
- 35 EXISTING STORM DRAIN CATCH BASIN TO REMAIN AND PROTECTED IN-PLACE.
- 36 EXISTING STORM DRAIN PIPE TO REMAIN AND PROTECTED IN-PLACE.
- 37 EXISTING ELECTRIC GATE TO BE SALVAGED. CONTRACTOR TO COORDINATE WITH OWNER.
- 38 EXISTING STORM DRAIN MANHOLE TO REMAIN AND PROTECTED IN-PLACE.
- 39 EXISTING BRICK OR DECORATIVE PAVEMENT TO REMAIN AND PROTECTED IN-PLACE.

MATCH SHEET C6

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**ARIZONA**  
 Arizona Blue Stakes, Inc.  
 602-955-1111 or 1-800-528-5417 (TOLL FREE)  
 In Maricopa County (602) 955-1100

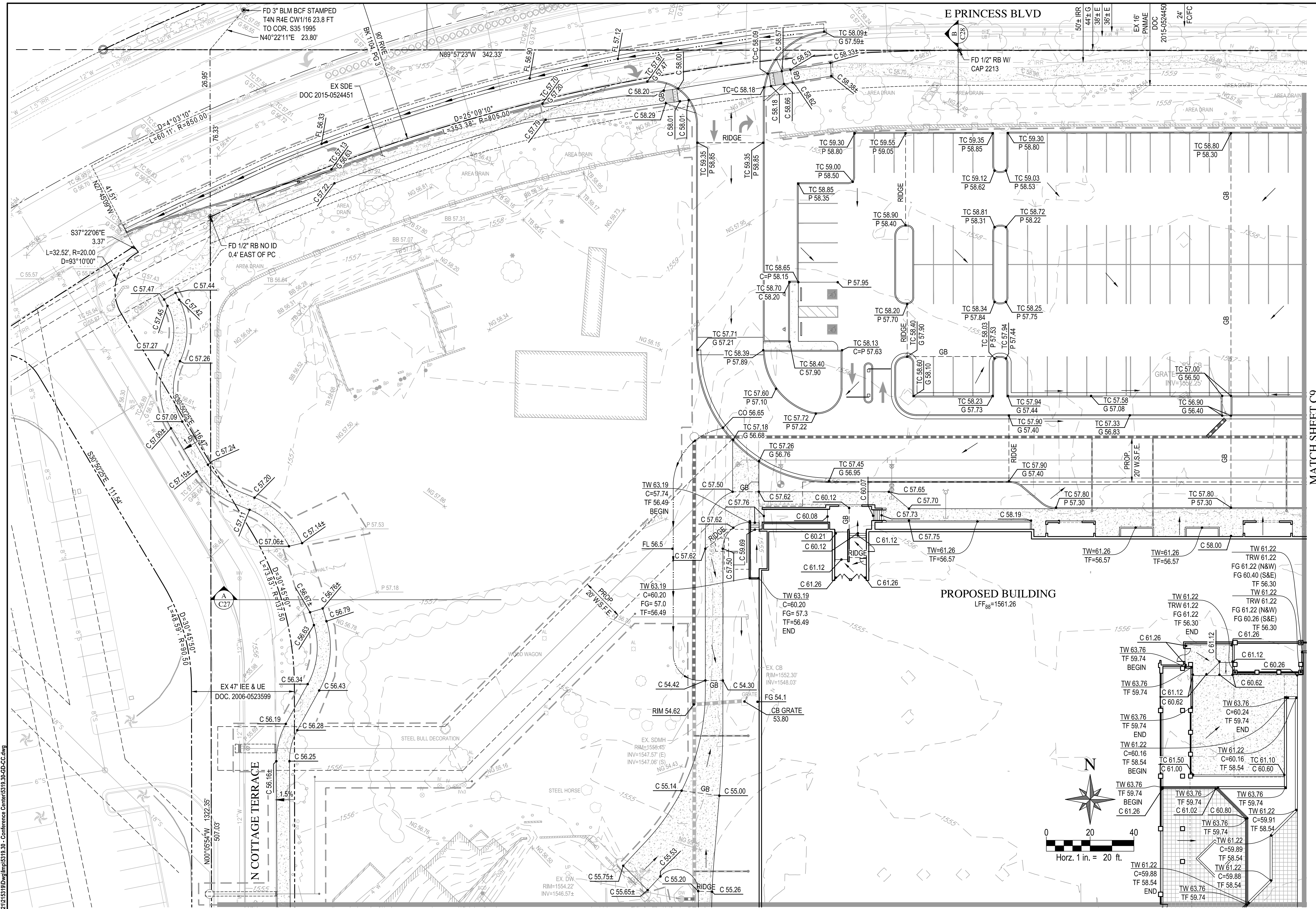
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 DEMOLITION PLAN**

REV	DESCRIPTION	DATE

Professional Engineer  
 36382  
 DARRYL L. MOORE  
 05/09/2025  
 ARIZONA  
 DARRYL L. MOORE  
 EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C7 OF 28

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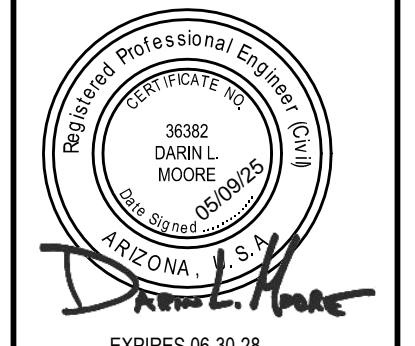


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**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 GRADING AND DRAINAGE PLAN

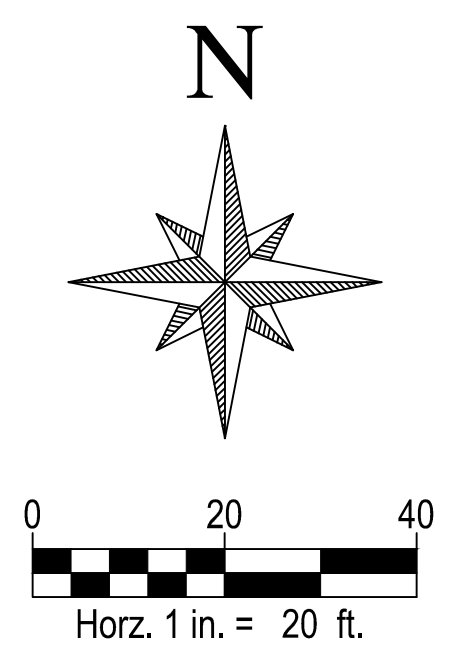
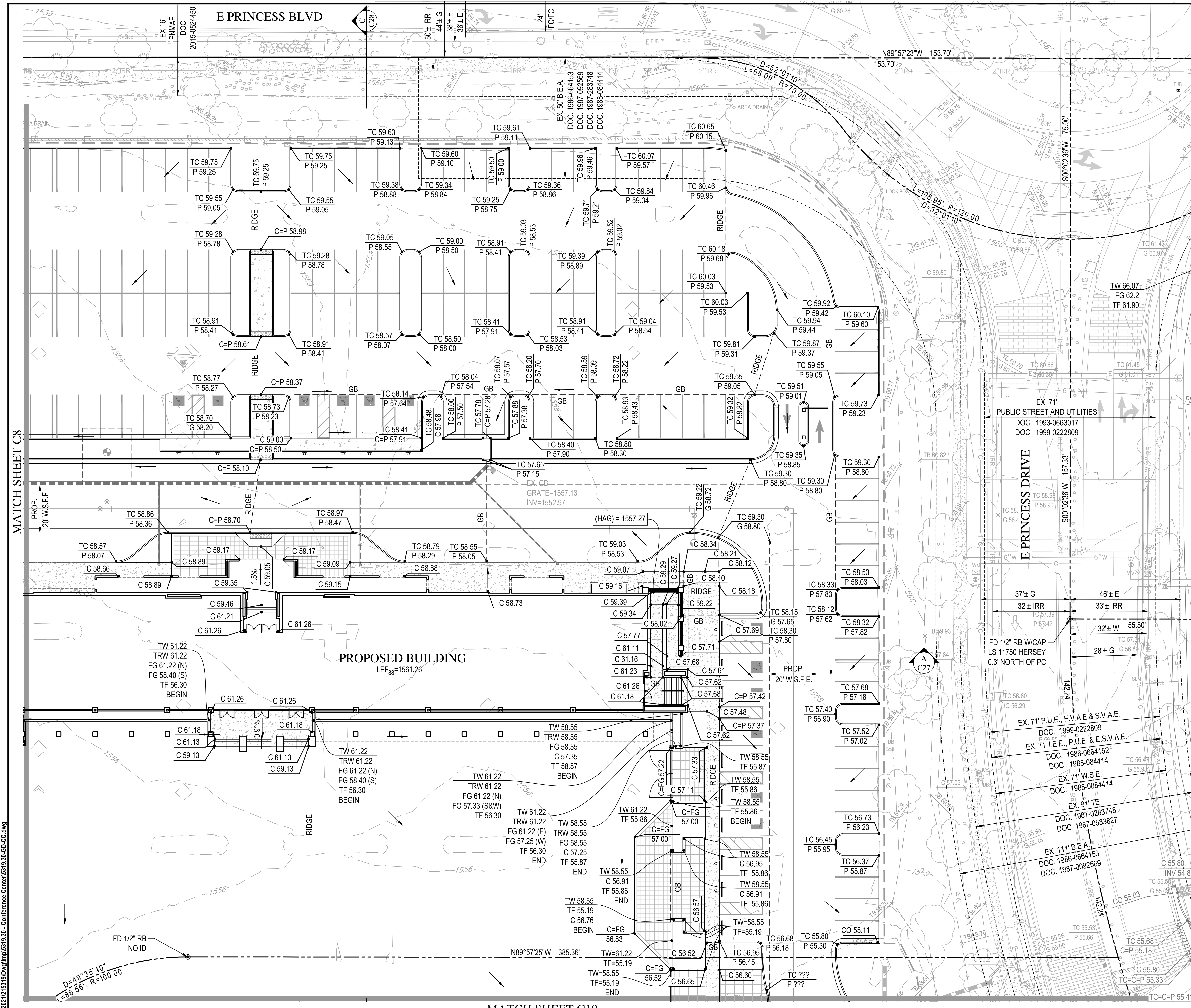
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 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C8 OF 28

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**ARIZONA**  
 Arizona State Board of Professional Engineers and Land Surveyors  
 License No. 36382  
 DANIEL L. MOORE  
 05/09/2025

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 GRADING AND DRAINAGE PLAN

REV	DATE	DESCRIPTION

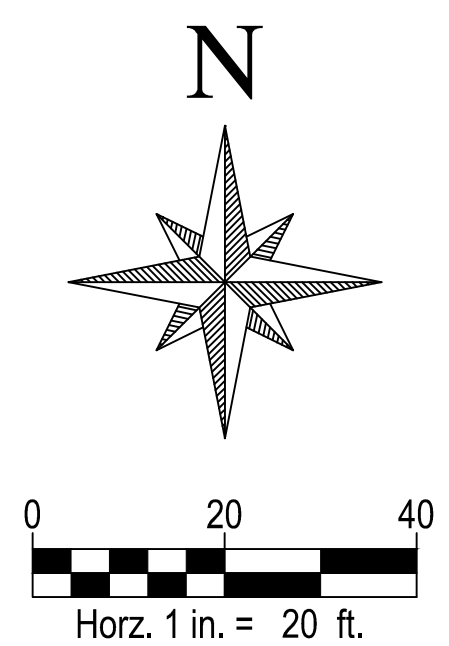
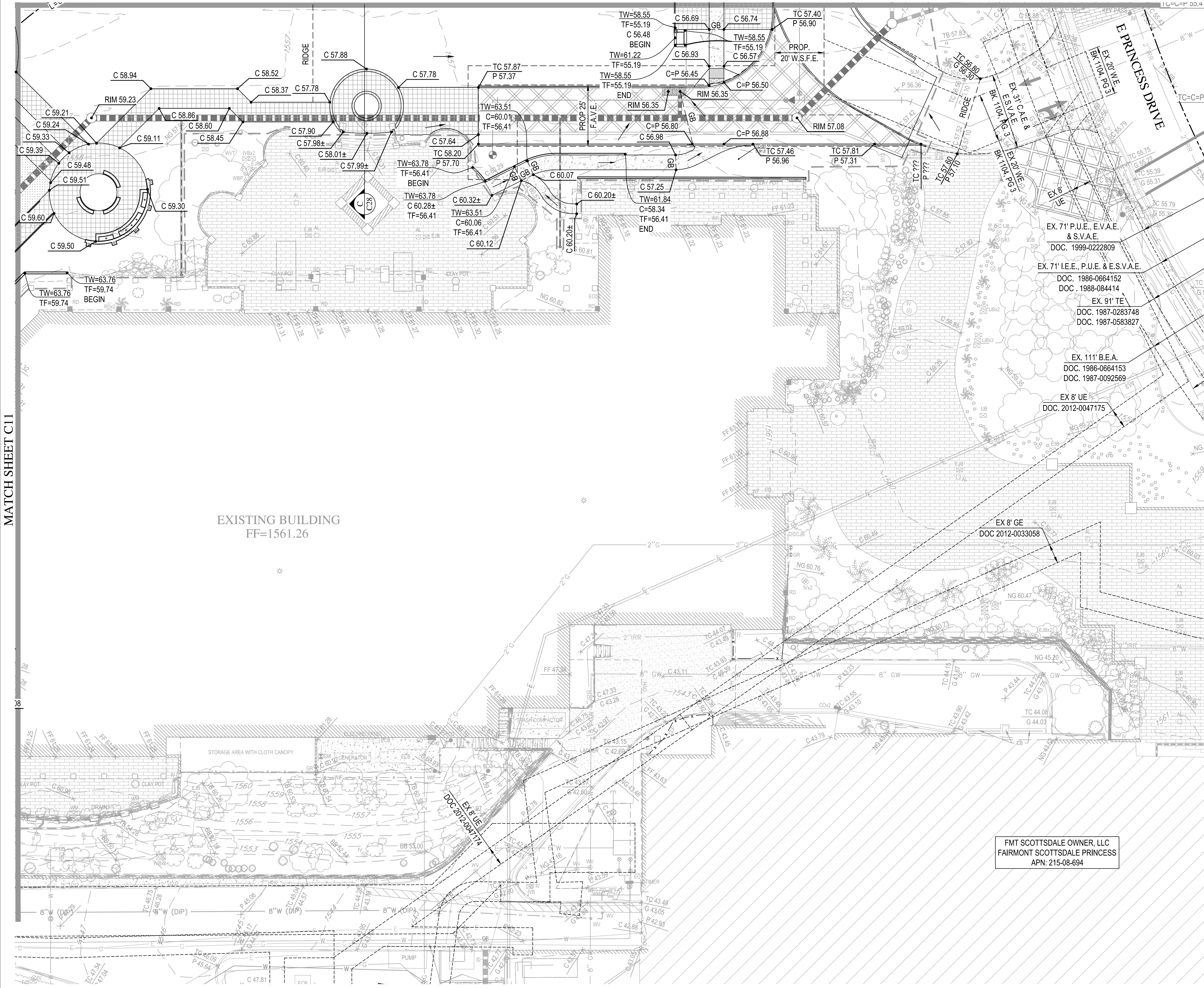


SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C9 OF 28

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MATCH SHEET C9



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**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 GRADING AND DRAINAGE PLAN

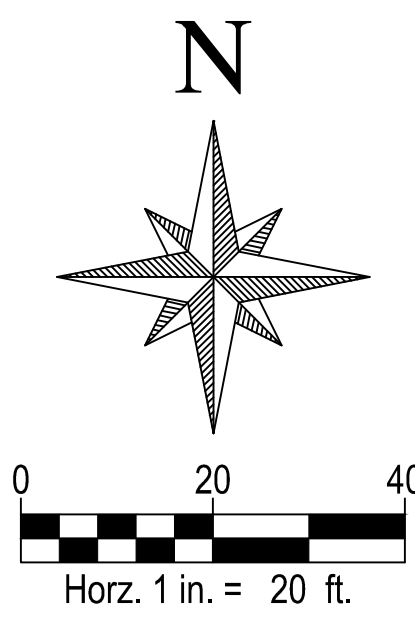
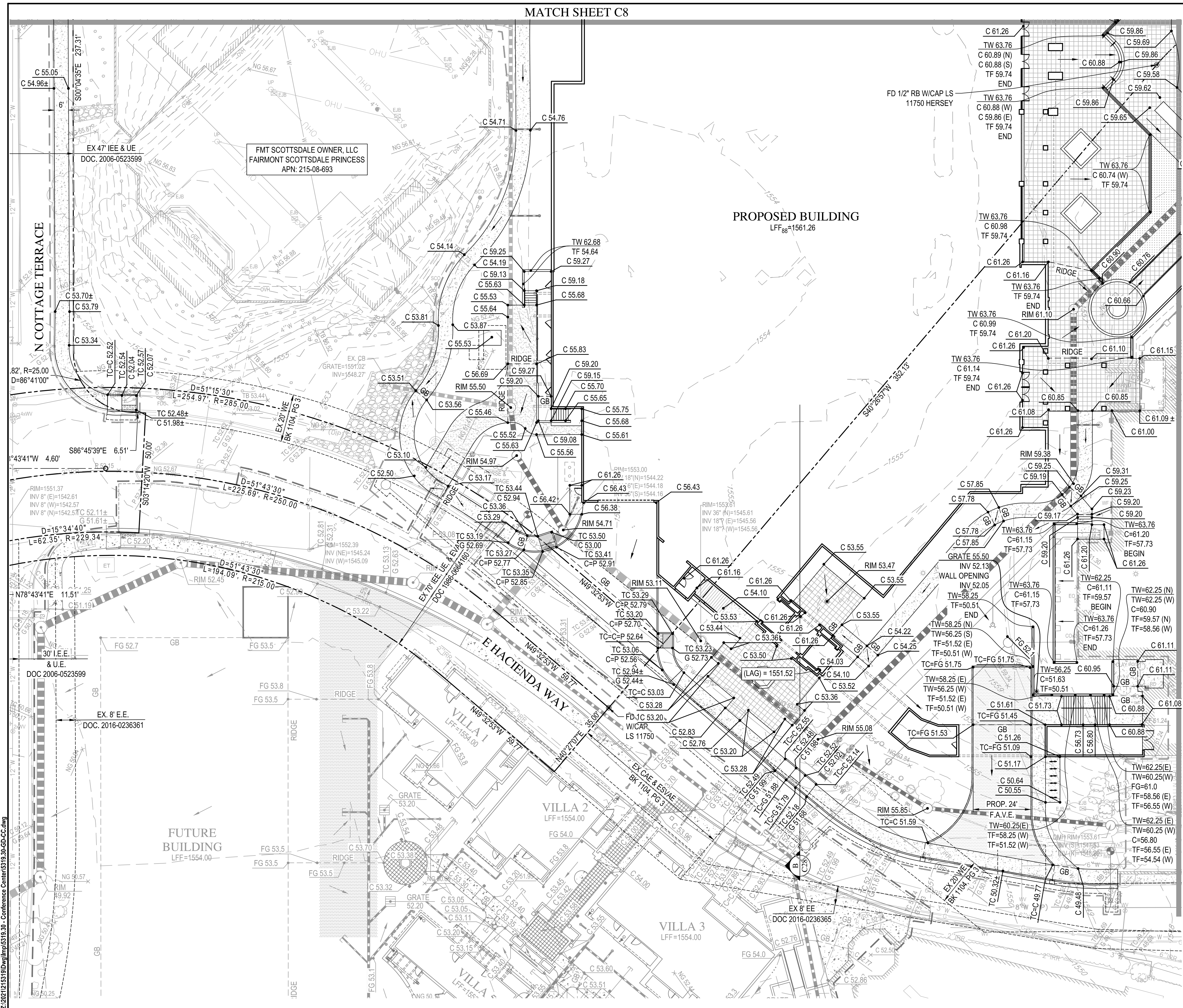
REV	DESCRIPTION	DATE



SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C10 OF 28

FMT SCOTTSDALE OWNER, LLC  
 FAIRMONT SCOTTSDALE PRINCESS  
 APN: 215-08-694

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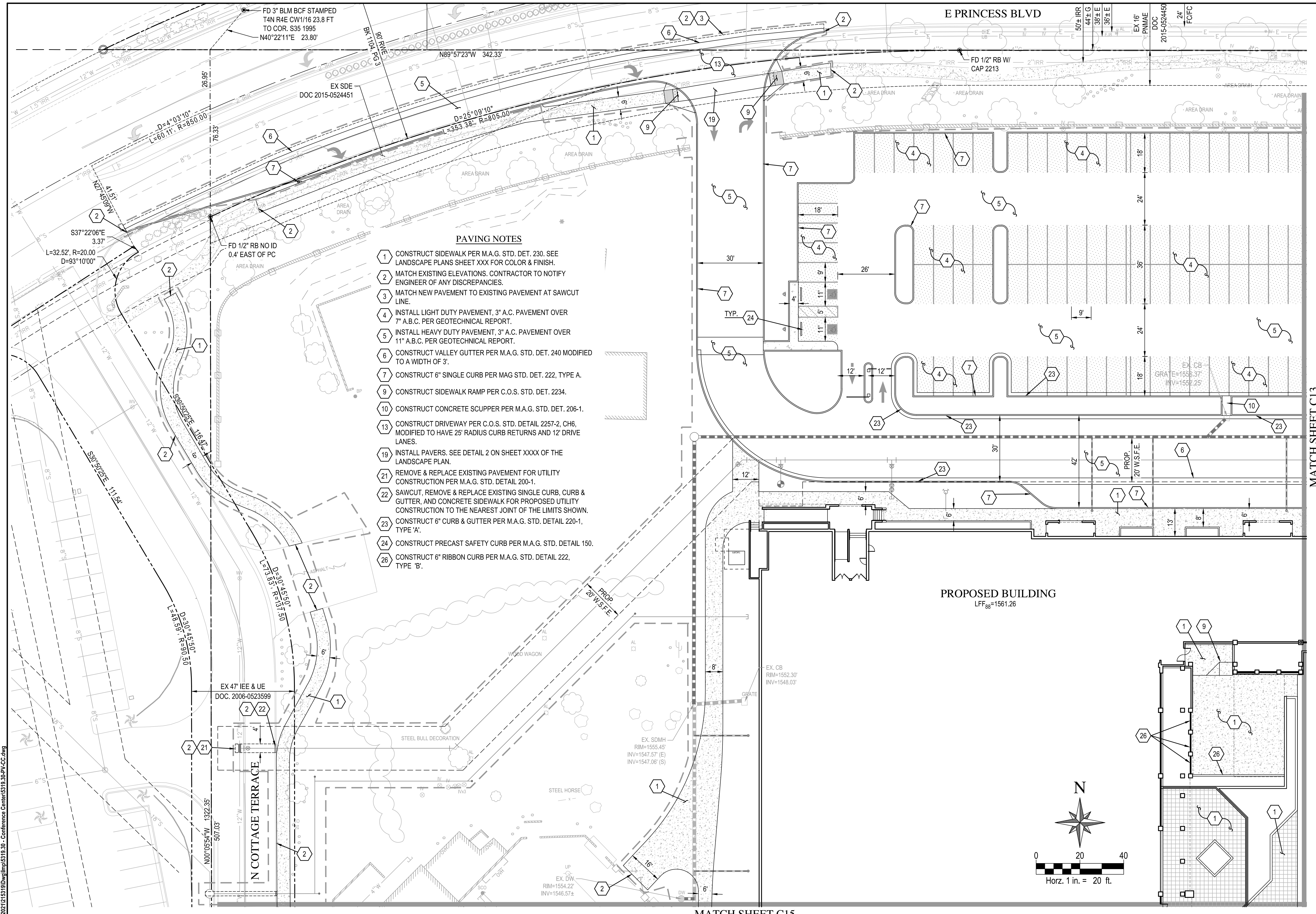
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 GRADING AND DRAINAGE PLAN

DATE	DESCRIPTION	REV

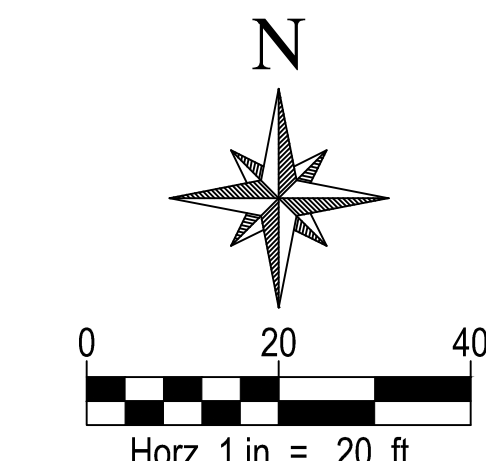


SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C11 OF 28

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS



- PAVING NOTES**
- 1 CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS SHEET XXX FOR COLOR & FINISH.
  - 2 MATCH EXISTING ELEVATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - 3 MATCH NEW PAVEMENT TO EXISTING PAVEMENT AT SAWCUT LINE.
  - 4 INSTALL LIGHT DUTY PAVEMENT, 3" A.C. PAVEMENT OVER 7" A.B.C. PER GEOTECHNICAL REPORT.
  - 5 INSTALL HEAVY DUTY PAVEMENT, 3" A.C. PAVEMENT OVER 11" A.B.C. PER GEOTECHNICAL REPORT.
  - 6 CONSTRUCT VALLEY GUTTER PER M.A.G. STD. DET. 240 MODIFIED TO A WIDTH OF 3".
  - 7 CONSTRUCT 6" SINGLE CURB PER MAG STD. DET. 222, TYPE A.
  - 9 CONSTRUCT SIDEWALK RAMP PER C.O.S. STD. DET. 2234.
  - 10 CONSTRUCT CONCRETE SCUPPER PER M.A.G. STD. DET. 206-1.
  - 13 CONSTRUCT DRIVEWAY PER C.O.S. STD. DETAIL 2257-2, CH6, MODIFIED TO HAVE 25' RADIUS CURB RETURNS AND 12' DRIVE LANES.
  - 19 INSTALL PAVERS. SEE DETAIL 2 ON SHEET XXXX OF THE LANDSCAPE PLAN.
  - 21 REMOVE & REPLACE EXISTING PAVEMENT FOR UTILITY CONSTRUCTION PER M.A.G. STD. DETAIL 200-1.
  - 22 SAWCUT, REMOVE & REPLACE EXISTING SINGLE CURB, CURB & GUTTER, AND CONCRETE SIDEWALK FOR PROPOSED UTILITY CONSTRUCTION TO THE NEAREST JOINT OF THE LIMITS SHOWN.
  - 23 CONSTRUCT 6" CURB & GUTTER PER M.A.G. STD. DETAIL 220-1, TYPE 'A'.
  - 24 CONSTRUCT PRECAST SAFETY CURB PER M.A.G. STD. DETAIL 150.
  - 26 CONSTRUCT 6" RIBBON CURB PER M.A.G. STD. DETAIL 222, TYPE 'B'.



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 Arizona Blue Stamp, Inc.  
 Draft 8-11 or 1-800-STAMP-IT (782-3461)  
 In Maricopa County (602) 953-1100

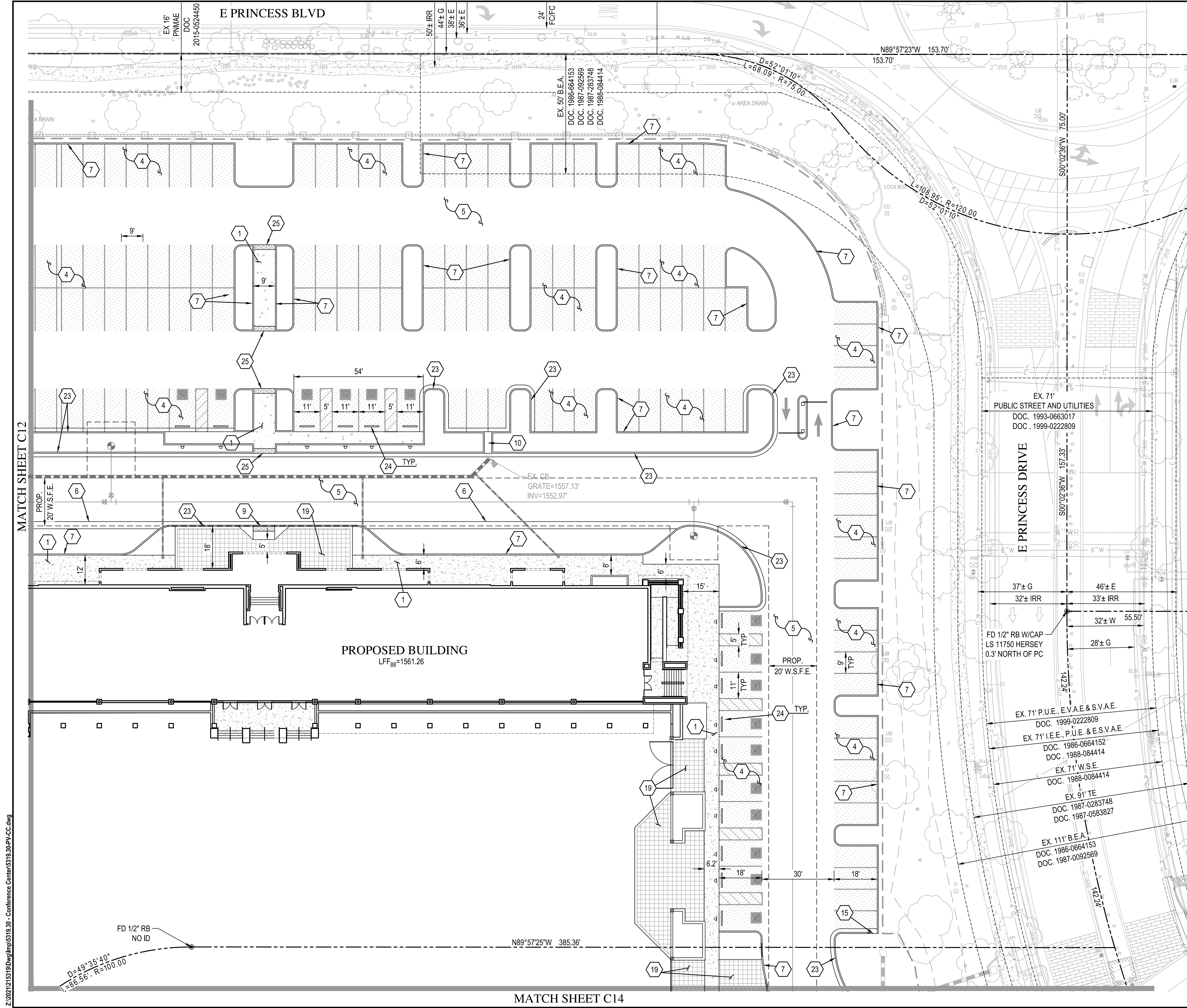
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 PAVING PLAN

REV	DESCRIPTION	DATE

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C12 OF 28

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- PAVING NOTES**
- 1 CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS SHEET XXX FOR COLOR & FINISH.
  - 4 INSTALL LIGHT DUTY PAVEMENT, 3" A.C. PAVEMENT OVER 7" A.B.C. PER GEOTECHNICAL REPORT.
  - 5 INSTALL HEAVY DUTY PAVEMENT, 3" A.C. PAVEMENT OVER 11" A.B.C. PER GEOTECHNICAL REPORT.
  - 7 CONSTRUCT 6" SINGLE CURB PER MAG STD. DET. 222, TYPE A.
  - 10 CONSTRUCT CONCRETE SCUPPER PER M.A.G. STD. DET. 206-1.
  - 15 CONSTRUCT CURB OPENING PER THE DETAIL ON SHEET C27.
  - 19 INSTALL PAVERS. SEE DETAIL 2 ON SHEET XXXX OF THE LANDSCAPE PLAN.
  - 23 CONSTRUCT 6" CURB & GUTTER PER M.A.G. STD. DETAIL 220-1, TYPE 'A'.
  - 24 CONSTRUCT PRECAST SAFETY CURB PER M.A.G. STD. DETAIL 150.
  - 25 INSTALL DETECTABLE WARNING PER M.A.G. STD. DETAIL 234.

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**ARIZONA811**  
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 Dial 8-1-1 or 1-800-STAKE-IT (1-800-782-5263)  
 In Maricopa County (602) 953-1100

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 PAVING PLAN

REV	DESCRIPTION	DATE

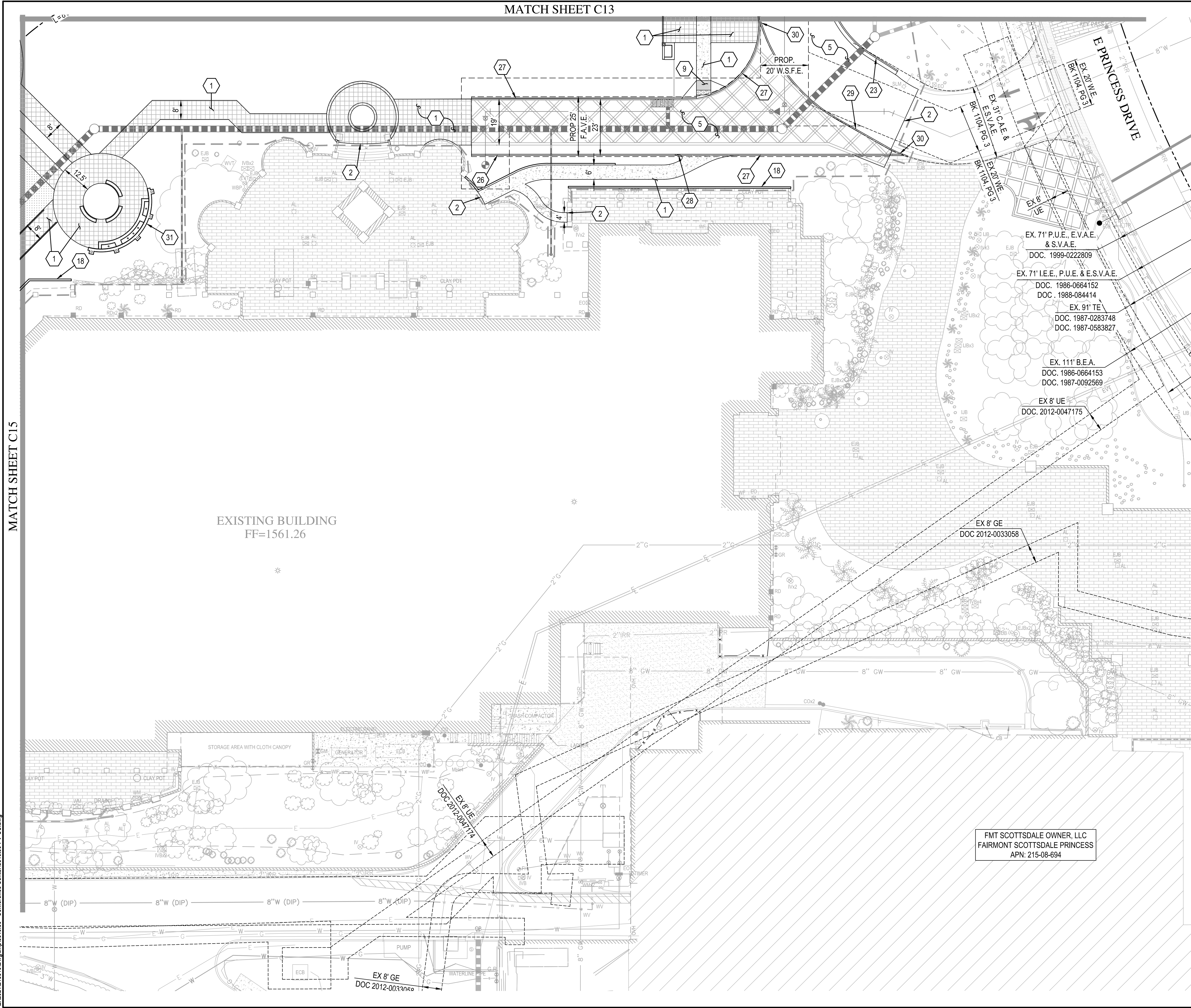
  

SCALE (HORIZ.)	1" = 20'
SCALE (VERT.)	N/A
DATE	05/09/2025
JOB NUMBER	215319.30
SHEET	C13 OF 28

Professional Engineer  
 36382  
 DARRIN L. MOORE  
 05/09/2025  
 ARIZONA, U.S.A.  
 DARRIN L. MOORE

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- PAVING NOTES**
- 1 CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS SHEET XXX FOR COLOR & FINISH.
  - 2 MATCH EXISTING ELEVATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - 3 MATCH NEW PAVEMENT TO EXISTING PAVEMENT AT SAWCUT LINE.
  - 5 INSTALL HEAVY DUTY PAVEMENT, 3" A.C. PAVEMENT OVER 11" A.B.C. PER GEOTECHNICAL REPORT.
  - 7 CONSTRUCT 6" SINGLE CURB PER MAG STD. DET. 222, TYPE A.
  - 9 CONSTRUCT SIDEWALK RAMP PER C.O.S. STD. DET. 2234.
  - 18 CONSTRUCT RETAINING WALL. SEE DETAIL XX ON SHEET XXX OF THE ARCHITECTURAL PLANS.
  - 19 INSTALL PAVERS. SEE DETAIL 2 ON SHEET XXXX OF THE LANDSCAPE PLAN.
  - 23 CONSTRUCT 6" CURB & GUTTER PER M.A.G. STD. DETAIL 220-1, TYPE 'A'.
  - 26 CONSTRUCT 6" RIBBON CURB PER M.A.G. STD. DETAIL 222, TYPE 'B'.
  - 27 CONSTRUCT RIBBON CURB MODIFIED TO BE FLUSH WITH PAVEMENT PER M.A.G. STD. DETAIL 222, TYPE 'B'.
  - 28 CONSTRUCT CURB TERMINATION PER M.A.G. STD. DETAIL 222.
  - 29 CONSTRUCT MOUNTABLE CURB MODIFIED BY REMOVING THE GUTTER PER M.A.G. STD. DETAIL 220-2, TYPE 'E'.
  - 30 CONSTRUCT MOUNTABLE CURB TRANSITION PER M.A.G. STD. DETAIL 220-2, TYPE 'E' TO TYPE 'A'.
  - 31 CONSTRUCT WATER FEATURE. SEE LANDSCAPE PLAN FOR DETAILS.

REV	DESCRIPTION	DATE

FMT SCOTTSDALE OWNER, LLC  
 FAIRMONT SCOTTSDALE PRINCESS  
 APN: 215-08-694

Professional Engineer  
 36382  
 DARRYL L. MOORE  
 ARIZONA  
 EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C14 OF 28

**WOOD PATEL**

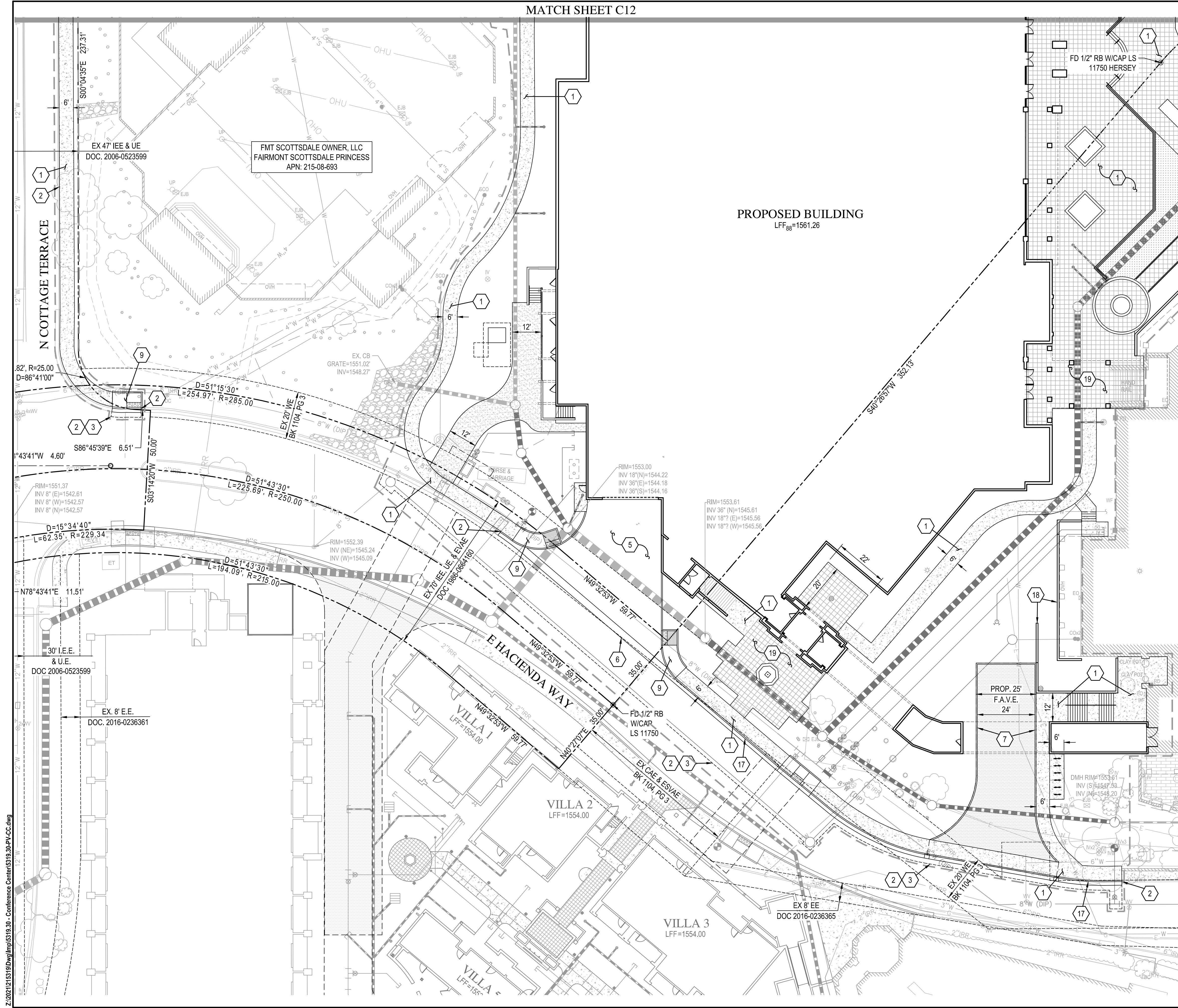
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 In Maricopa County (602) 953-1100

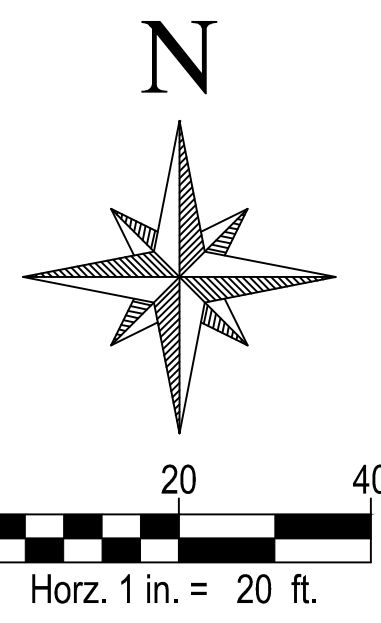
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 PAVING PLAN**

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MATCH SHEET C12

MATCH SHEET C14



**PAVING NOTES**

- 1 CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS SHEET XXX FOR COLOR & FINISH.
- 2 MATCH EXISTING ELEVATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3 MATCH NEW PAVEMENT TO EXISTING PAVEMENT AT SAWCUT LINE.
- 5 INSTALL HEAVY DUTY PAVEMENT, 3" A.C. PAVEMENT OVER 11" A.B.C. PER GEOTECHNICAL REPORT.
- 6 CONSTRUCT VALLEY GUTTER PER M.A.G. STD. DET. 240 MODIFIED TO A WIDTH OF 3'.
- 7 CONSTRUCT 6" SINGLE CURB PER MAG STD. DET. 222, TYPE A.
- 9 CONSTRUCT SIDEWALK RAMP PER C.O.S. STD. DET. 2234.
- 17 CONSTRUCT 6" CURB & GUTTER PER M.A.G. STD. DET. 220, TYPE A.
- 18 CONSTRUCT RETAINING WALL. SEE DETAIL XX ON SHEET XXX OF THE ARCHITECTURAL PLANS.
- 19 INSTALL PAVERS. SEE DETAIL 2 ON SHEET XXXX OF THE LANDSCAPE PLAN.



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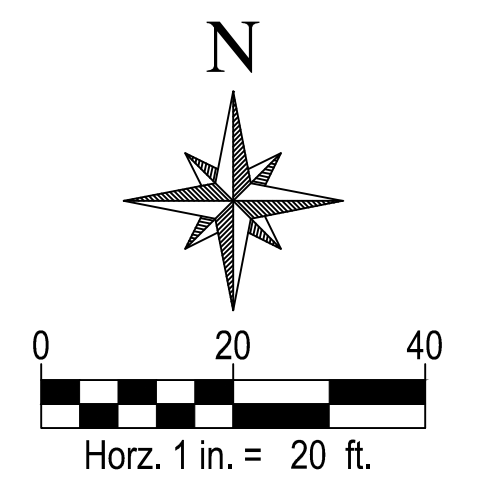
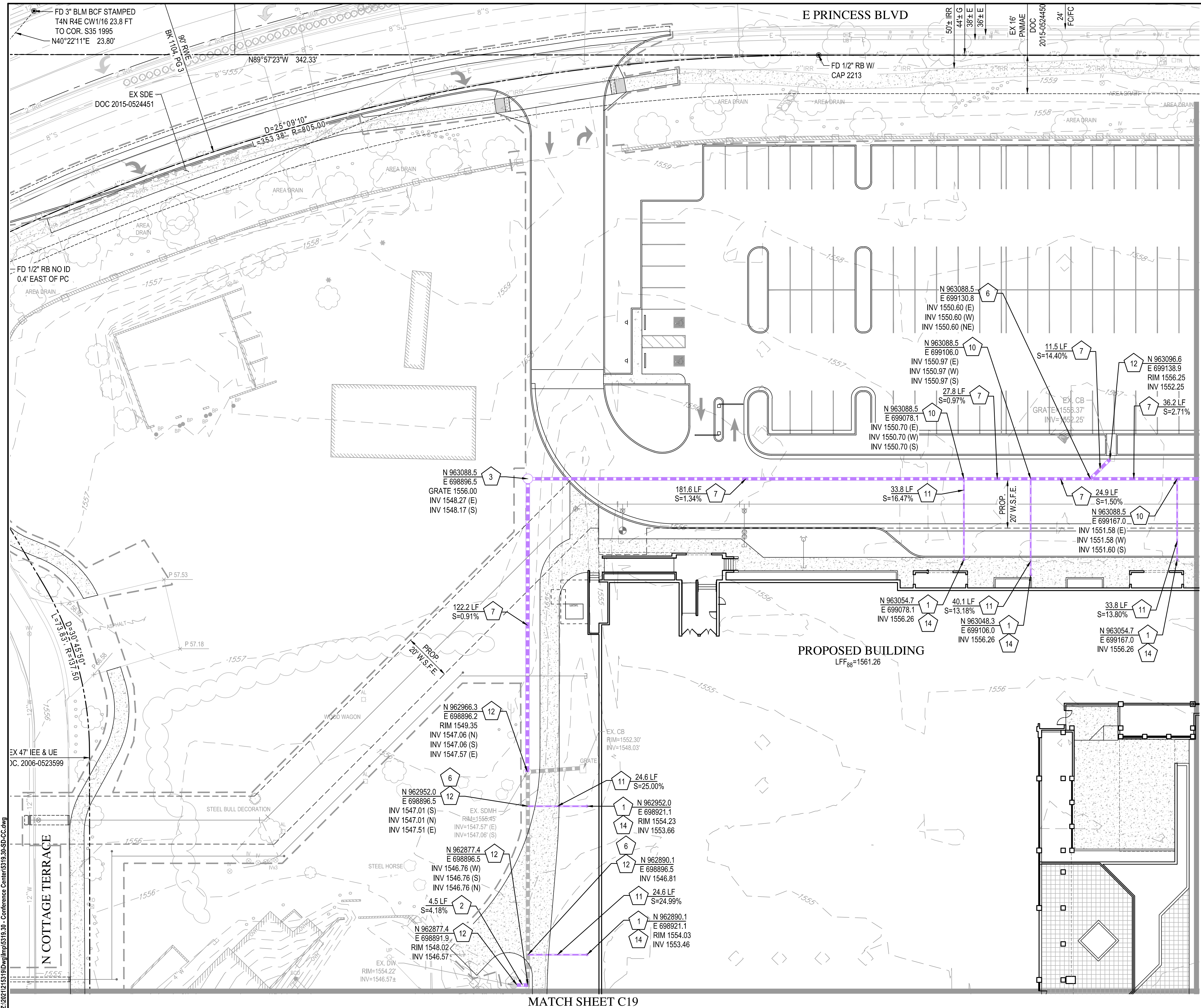
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 PAVING PLAN

REV	DESCRIPTION	DATE

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 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C15 OF 28

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**STORM DRAIN NOTES**

- 1 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 INSTALL 18" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 3 CONSTRUCT STORM DRAIN MANHOLE PER M.A.G. STD. DETAIL 520 & 522 WHERE NECESSARY. CONTRACTOR TO ROTATE COVER TO PREVENT CONFLICT WITH ADJACENT SIDEWALK.
- 6 INSTALL WYE, SIZE PER ADJOINING PIPE DIAMETER.
- 7 INSTALL 15" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 10 INSTALL TEE, SIZE PER ADJOINING PIPE DIAMETER.
- 11 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 12 CONNECT TO EXISTING STORM DRAIN. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 14 INSTALL AIRBREAK PER DETAIL ON SHEET C27.

**WOOD PATEL**

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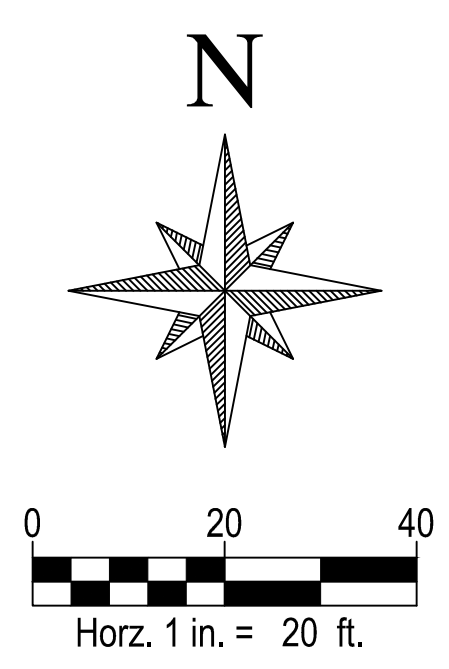
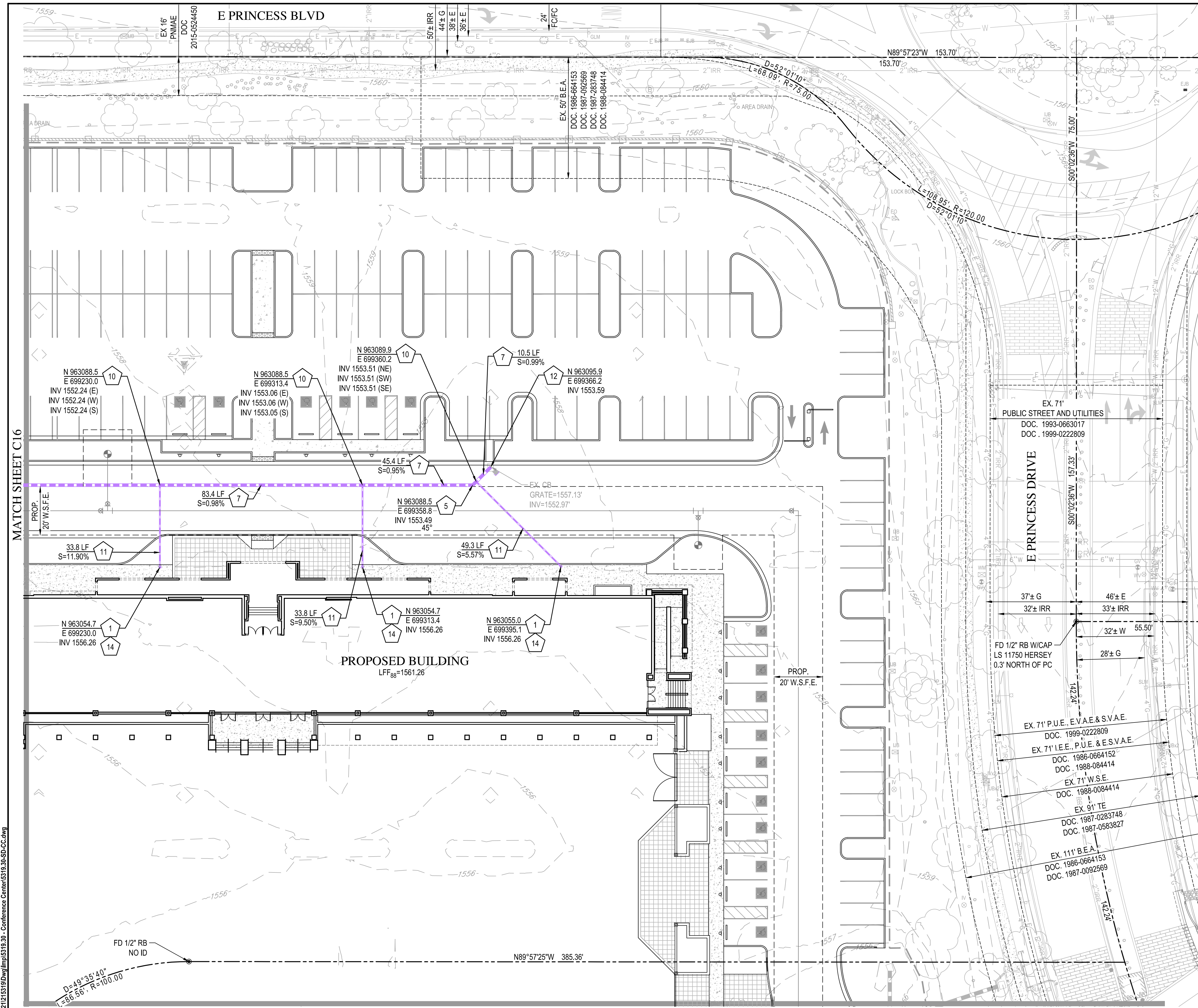
**ARIZONA**

Professional Engineer  
 License No. 36382  
 DARRYL L. MOORE  
 Expires 06/30/28

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 STORM DRAIN PLAN**

REV	DATE	DESCRIPTION

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**STORM DRAIN NOTES**

- 1 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 5 INSTALL BEND. SIZE PER ADJOINING PIPE DIAMETER. ANGLE PER PLAN.
- 7 INSTALL 15" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 10 INSTALL TEE. SIZE PER ADJOINING PIPE DIAMETER.
- 11 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 12 CONNECT TO EXISTING STORM DRAIN. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 14 INSTALL AIRBREAK PER DETAIL ON SHEET C27.

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 602.335.8500  
 www.woodpatel.com

Call at least two full working days before you begin excavation.  
**ARIZONA**  
 Arizona Blue Stakes, Inc.  
 Dual 8-11 or 100-STAKE#1 (102-384)  
 In Maricopa County (602) 953-1100

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 STORM DRAIN PLAN

REV	DESCRIPTION	DATE

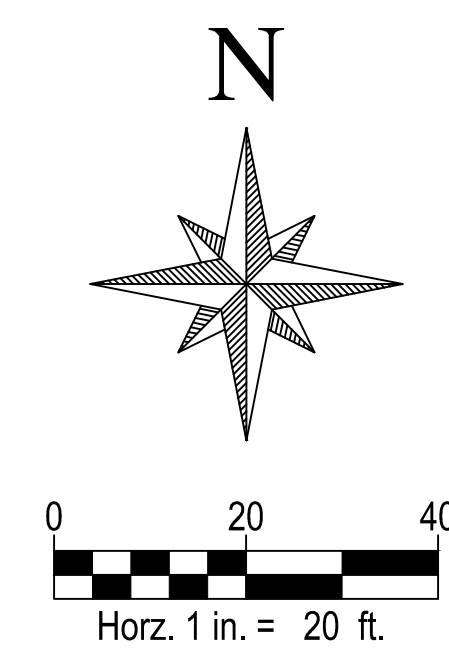
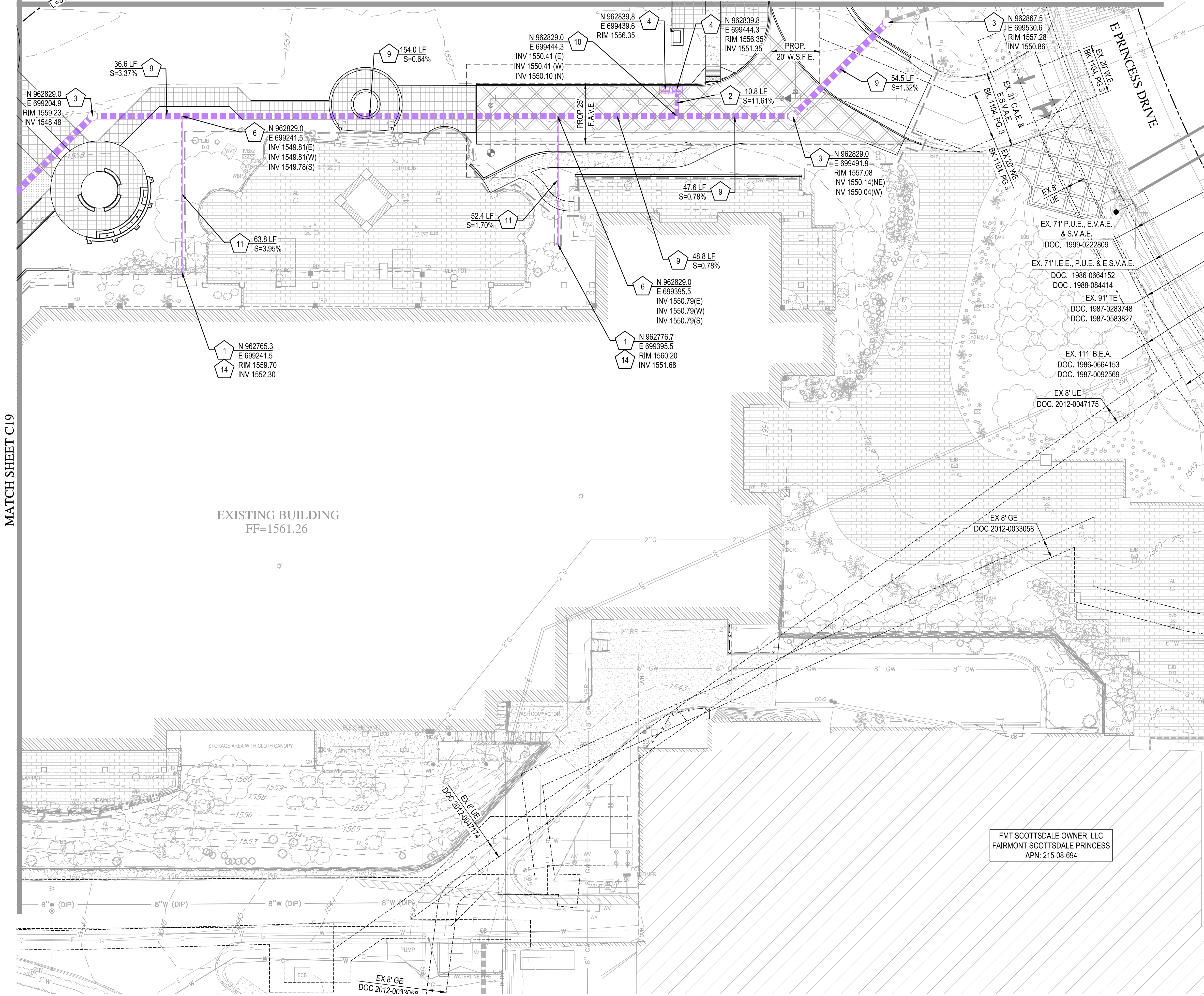
Professional Engineer  
 36382  
 DARRIN L. MOORE  
 05/09/2025  
 ARIZONA  
 DARRIN L. MOORE  
 EXPIRES 06-30-28

SCALE (HORZ.)	1" = 20'
SCALE (VERT.)	N/A
DATE	05/09/2025
JOB NUMBER	215319.30
SHEET	C17 OF 28

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MATCH SHEET C17



STORM DRAIN NOTES

- 1 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 INSTALL 18" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 3 CONSTRUCT STORM DRAIN MANHOLE PER M.A.G. STD. DETAIL 520 & 522 WHERE NECESSARY, CONTRACTOR TO ROTATE COVER TO PREVENT CONFLICT WITH ADJACENT SIDEWALK.
- 4 INSTALL CATCH BASIN PER M.A.G. STD. DETAIL 535.
- 6 INSTALL WYE, SIZE PER ADJOINING PIPE DIAMETER.
- 9 INSTALL 30" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 10 INSTALL TEE, SIZE PER ADJOINING PIPE DIAMETER.
- 11 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 14 INSTALL AIRBREAK PER DETAIL ON SHEET C27.

MATCH SHEET C19

EXISTING BUILDING  
FF=1561.26

FMT SCOTTSDALE OWNER, LLC  
FAIRMONT SCOTTSDALE PRINCESS  
APN: 215-08-694

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In Maricopa County (602) 963-1100

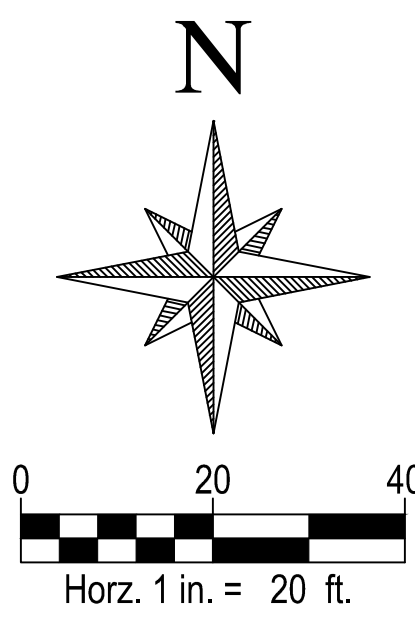
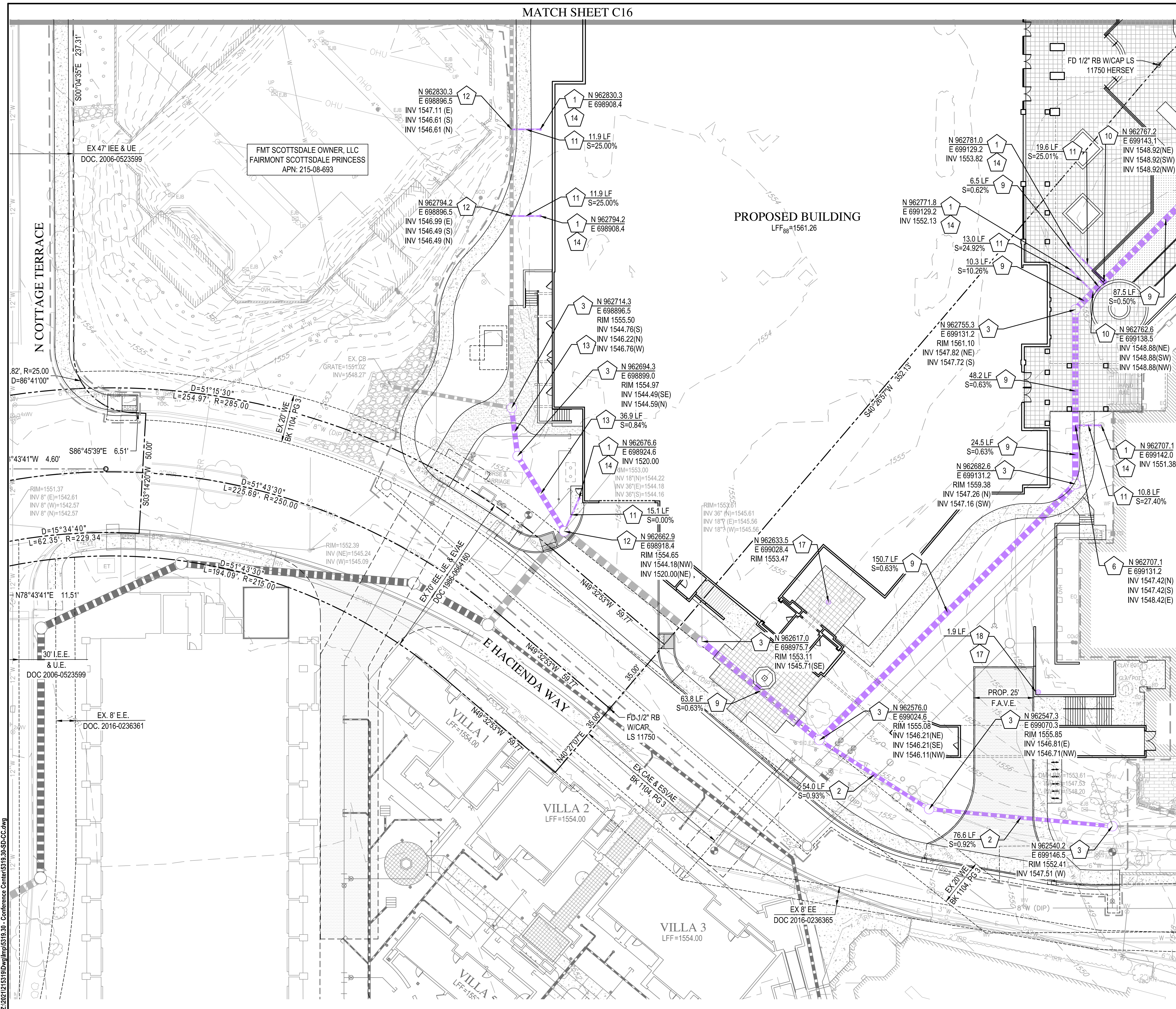
**FAIRMONT SCOTTSDALE PRINCESS  
CONFERENCE CENTER/ EVENT LAWN  
PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
STORM DRAIN PLAN

REV	DESCRIPTION	DATE

Professional Engineer  
36382  
DARIN L. MOORE  
ARIZONA  
EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
SCALE (VERT.) N/A  
DATE 05/09/2025  
JOB NUMBER 215319.30  
SHEET C18 OF 28

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STORM DRAIN NOTES

- 1 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 INSTALL 18" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 3 CONSTRUCT STORM DRAIN MANHOLE PER M.A.G. STD. DETAIL 520 & 522 WHERE NECESSARY. CONTRACTOR TO ROTATE COVER TO PREVENT CONFLICT WITH ADJACENT SIDEWALK.
- 6 INSTALL WYE, SIZE PER ADJOINING PIPE DIAMETER.
- 9 INSTALL 30" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 10 INSTALL TEE, SIZE PER ADJOINING PIPE DIAMETER.
- 11 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 12 CONNECT TO EXISTING STORM DRAIN. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 13 INSTALL 24" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 14 INSTALL AIRBREAK PER DETAIL ON SHEET C27.
- 17 INSTALL INLINE DRAIN PER THE DETAIL ON SHEET C27. PIPE WILL DAYLIGHT THROUGH THE PROPOSED WALL WITH A "COWS TONGUE" ROOF DRAIN OUTLET.
- 18 INSTALL 4" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.

MATCH SHEET C18

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 www.woodpatel.com

**ARIZONA**  
 Arizona Blue Stamp, Inc.  
 Draft 1-11 or 1-10-STATE#1 (01/23/24)  
 In Maricopa County (602) 953-1100

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA**  
 STORM DRAIN PLAN

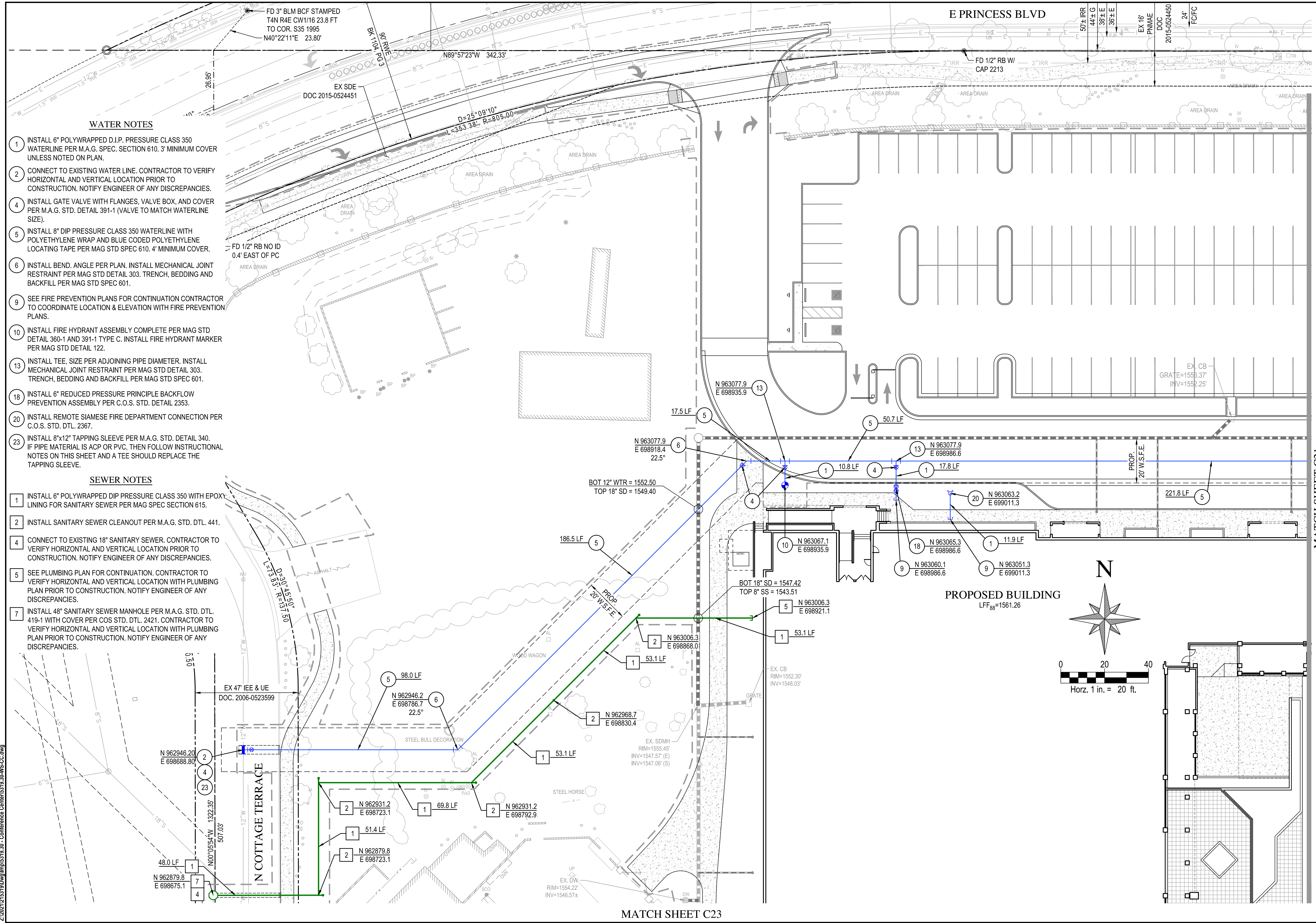
REV	DESCRIPTION	DATE

Professional Engineer  
 3638  
 DARRYL L. MOORE  
 ARIZONA  
 EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C19 OF 28

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**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 WATER AND SEWER PLAN

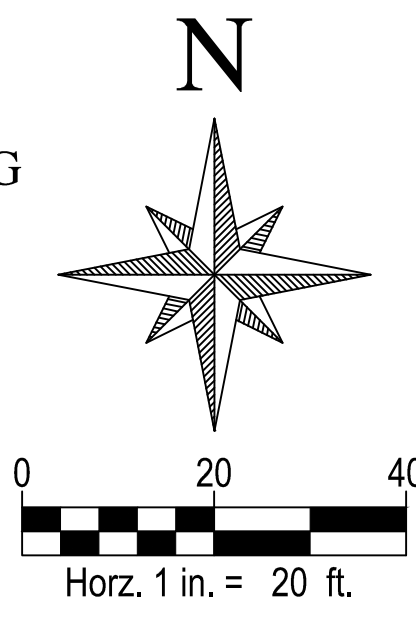


**WATER NOTES**

- 1 INSTALL 6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
- 2 CONNECT TO EXISTING WATER LINE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL GATE VALVE WITH FLANGES, VALVE BOX, AND COVER PER M.A.G. STD. DETAIL 391-1 (VALVE TO MATCH WATERLINE SIZE).
- 5 INSTALL 8" DIP PRESSURE CLASS 350 WATERLINE WITH POLYETHYLENE WRAP AND BLUE CODED POLYETHYLENE LOCATING TAPE PER MAG STD SPEC 610. 4' MINIMUM COVER.
- 6 INSTALL BEND. ANGLE PER PLAN. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.
- 9 SEE FIRE PREVENTION PLANS FOR CONTINUATION CONTRACTOR TO COORDINATE LOCATION & ELEVATION WITH FIRE PREVENTION PLANS.
- 10 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER MAG STD DETAIL 360-1 AND 391-1 TYPE C. INSTALL FIRE HYDRANT MARKER PER MAG STD DETAIL 122.
- 13 INSTALL TEE. SIZE PER ADJOINING PIPE DIAMETER. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.
- 18 INSTALL 6" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DETAIL 2353.
- 20 INSTALL REMOTE SIAMESE FIRE DEPARTMENT CONNECTION PER C.O.S. STD. DTL. 2367.
- 23 INSTALL 8"x12" TAPPING SLEEVE PER M.A.G. STD. DETAIL 340. IF PIPE MATERIAL IS ACP OR PVC, THEN FOLLOW INSTRUCTIONAL NOTES ON THIS SHEET AND A TEE SHOULD REPLACE THE TAPPING SLEEVE.

**SEWER NOTES**

- 1 INSTALL 6" POLYWRAPPED DIP PRESSURE CLASS 350 WITH EPOXY LINING FOR SANITARY SEWER PER MAG SPEC SECTION 615.
- 2 INSTALL SANITARY SEWER CLEANOUT PER M.A.G. STD. DTL. 441.
- 4 CONNECT TO EXISTING 18" SANITARY SEWER. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 5 SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 7 INSTALL 48" SANITARY SEWER MANHOLE PER M.A.G. STD. DTL. 419-1 WITH COVER PER COS STD. DTL. 2421. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.



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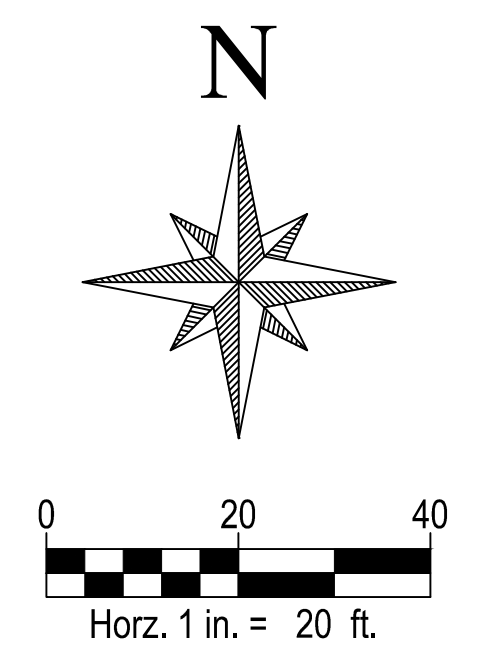
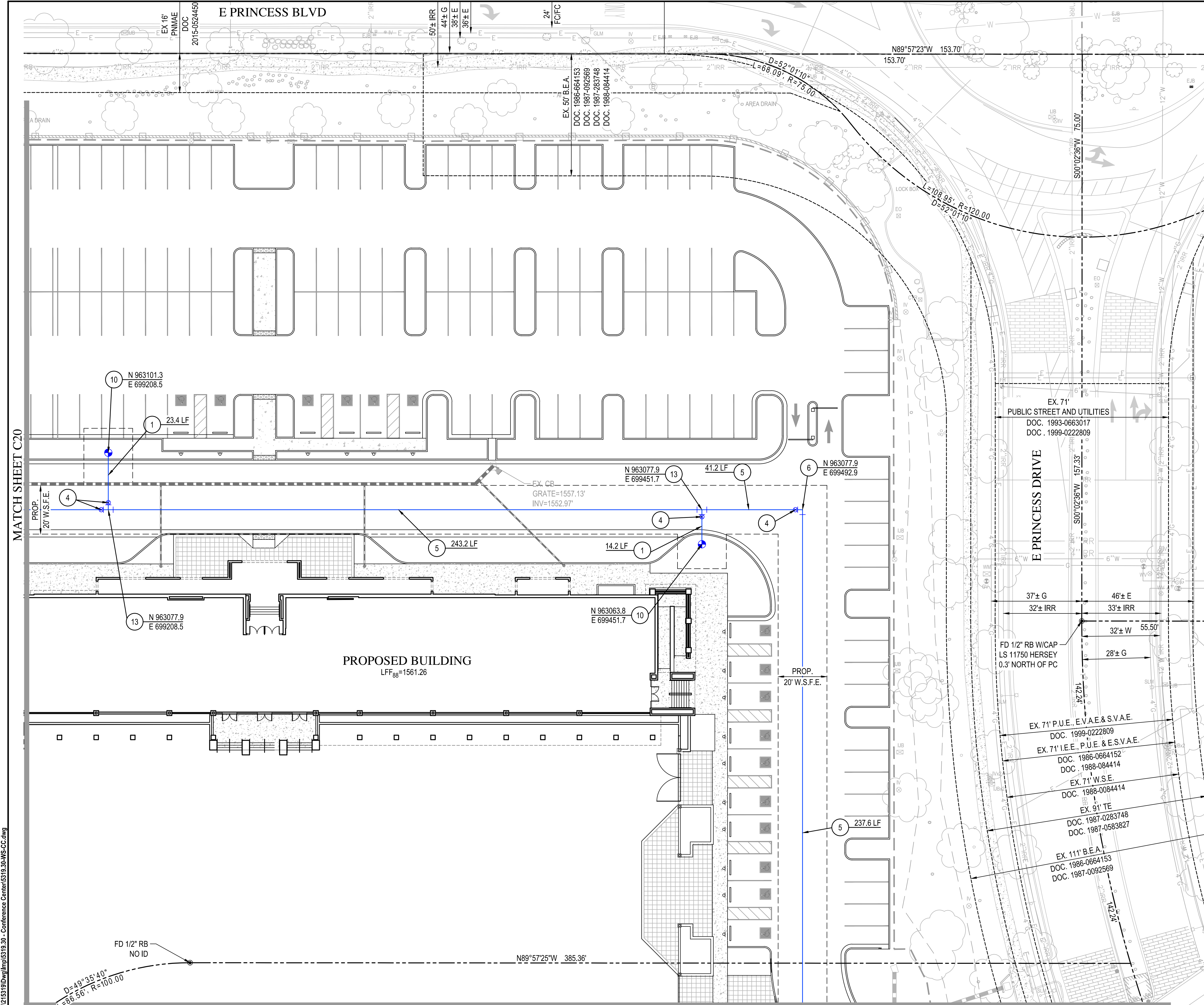
MATCH SHEET C23

MATCH SHEET C21

DATE	DESCRIPTION	REV



SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C20 OF 28



**WATER NOTES**

- 1 INSTALL 6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
- 4 INSTALL GATE VALVE WITH FLANGES, VALVE BOX, AND COVER PER M.A.G. STD. DETAIL 391-1 (VALVE TO MATCH WATERLINE SIZE).
- 5 INSTALL 8" DIP PRESSURE CLASS 350 WATERLINE WITH POLYETHYLENE WRAP AND BLUE CODED POLYETHYLENE LOCATING TAPE PER MAG STD SPEC 610. 4' MINIMUM COVER.
- 6 INSTALL BEND. ANGLE PER PLAN. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.
- 10 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER MAG STD DETAIL 360-1 AND 391-1 TYPE C. INSTALL FIRE HYDRANT MARKER PER MAG STD DETAIL 122.
- 13 INSTALL TEE. SIZE PER ADJOINING PIPE DIAMETER. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.



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**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 WATER AND SEWER PLAN

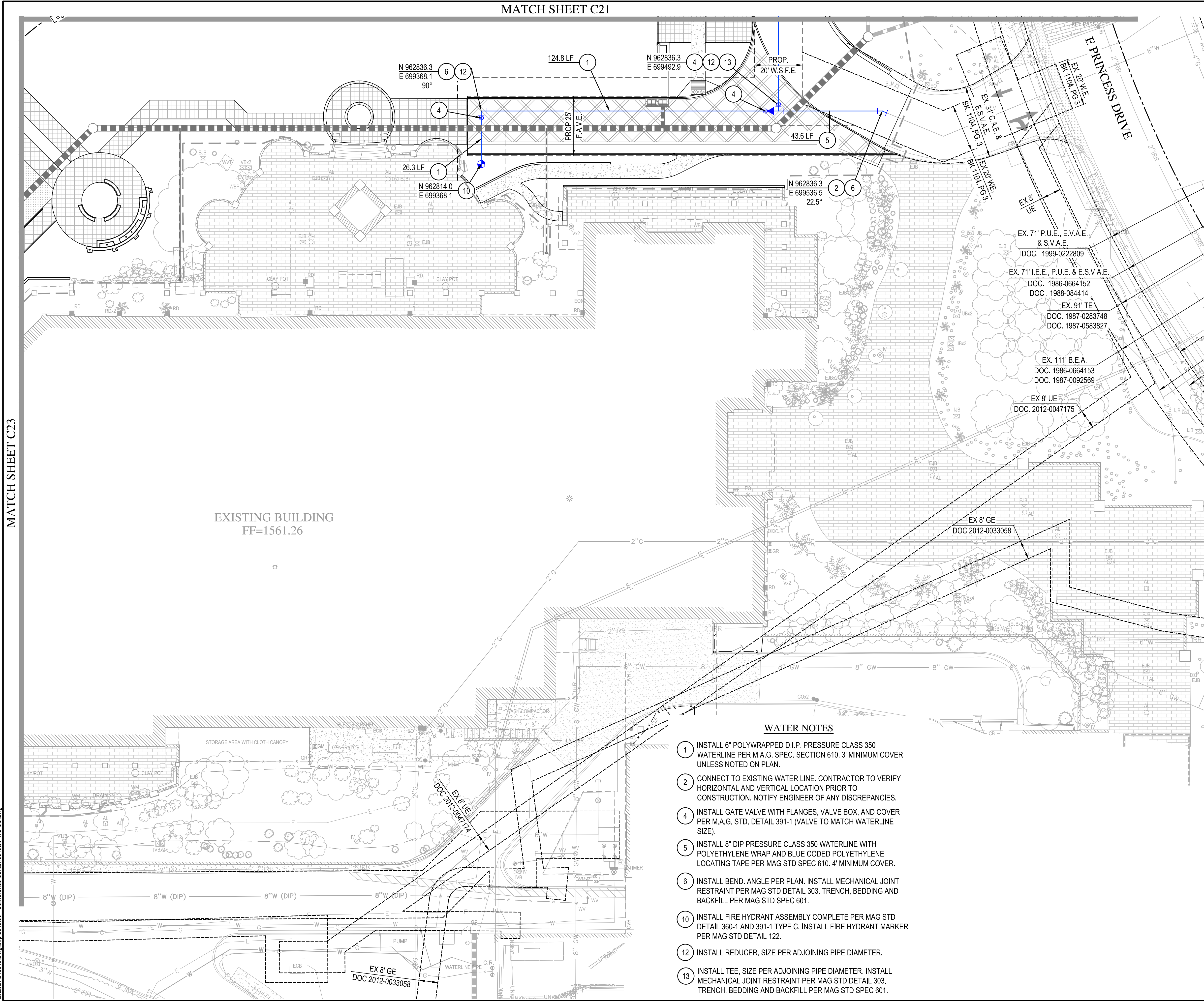
REV	DESCRIPTION	DATE



SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C21 OF 28

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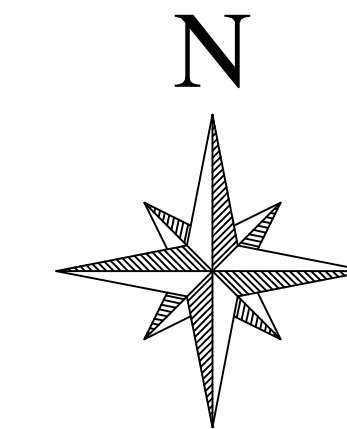
MATCH SHEET C21



EXISTING BUILDING  
FF=1561.26

**WATER NOTES**

- 1 INSTALL 6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
- 2 CONNECT TO EXISTING WATER LINE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL GATE VALVE WITH FLANGES, VALVE BOX, AND COVER PER M.A.G. STD. DETAIL 391-1 (VALVE TO MATCH WATERLINE SIZE).
- 5 INSTALL 8" DIP PRESSURE CLASS 350 WATERLINE WITH POLYETHYLENE WRAP AND BLUE CODED POLYETHYLENE LOCATING TAPE PER MAG STD SPEC 610. 4' MINIMUM COVER.
- 6 INSTALL BEND, ANGLE PER PLAN. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.
- 10 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER MAG STD DETAIL 360-1 AND 391-1 TYPE C. INSTALL FIRE HYDRANT MARKER PER MAG STD DETAIL 122.
- 12 INSTALL REDUCER, SIZE PER ADJOINING PIPE DIAMETER.
- 13 INSTALL TEE, SIZE PER ADJOINING PIPE DIAMETER. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.



0 20 40  
 Horz. 1 in. = 20 ft.

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**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 WATER AND SEWER PLAN

DATE

DESCRIPTION

REV

DATE

DESCRIPTION

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DESCRIPTION

REV

DATE

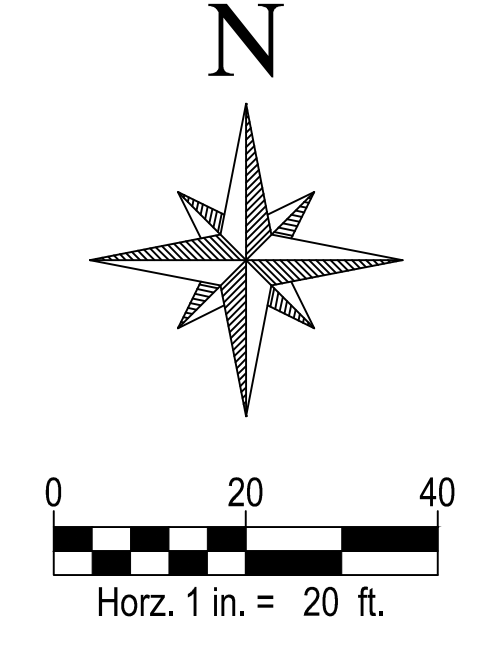
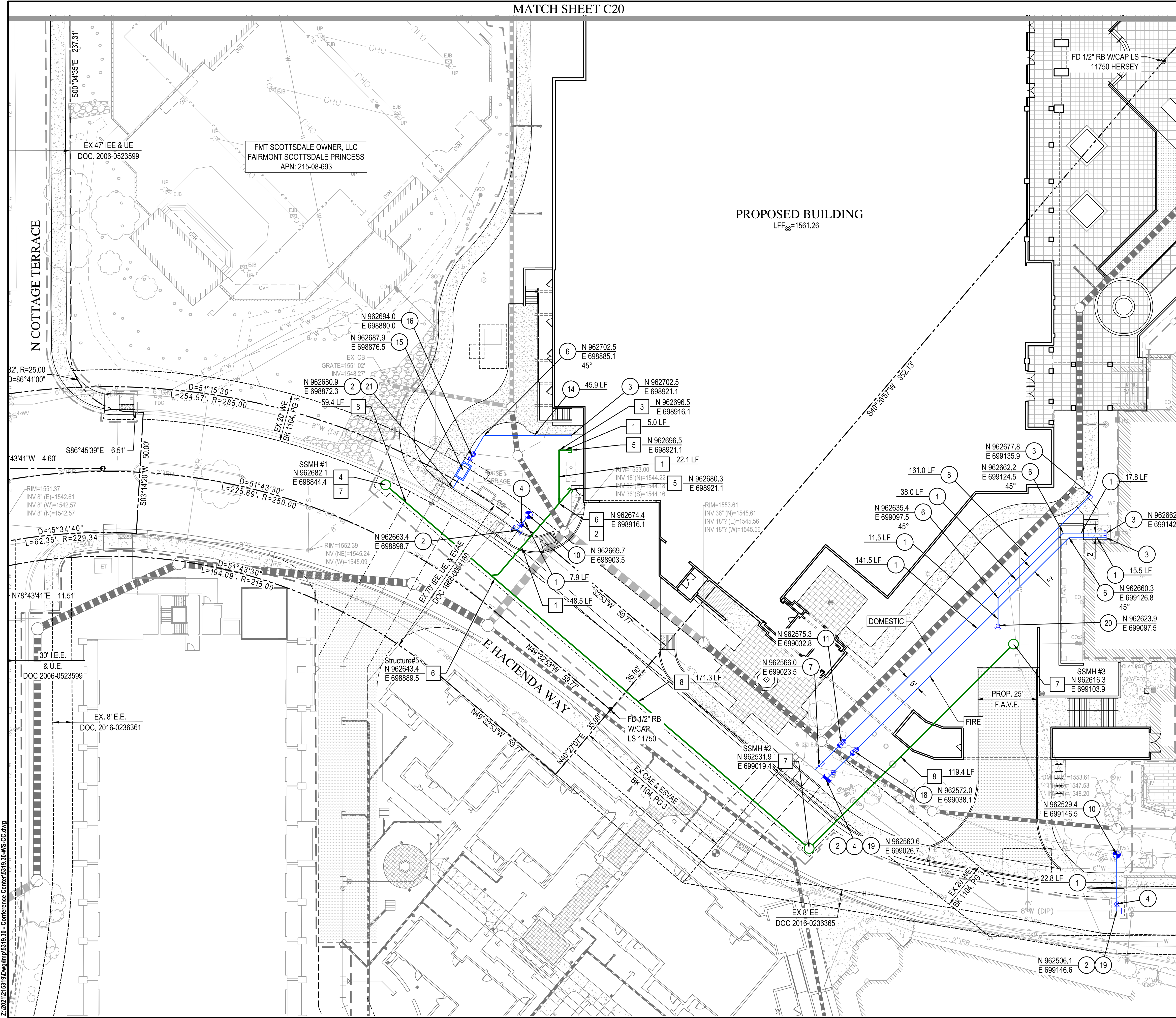
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SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C22 OF 28

MATCH SHEET C23

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SEWER NOTES

- 1 INSTALL 6" POLYWRAPPED DIP PRESSURE CLASS 350 WITH EPOXY LINING FOR SANITARY SEWER PER MAG SPEC SECTION 615.
- 2 INSTALL SANITARY SEWER CLEANOUT PER M.A.G. STD. DTL. 441.
- 3 INSTALL BEND ANGLE PER PLAN, SIZE PER ADJOINING PIPE DIAMETER.
- 4 CONNECT TO EXISTING 18" SANITARY SEWER. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 5 SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 6 INSTALL WYE AND 45° BEND WHEN APPLICABLE. SIZE PER ADJOINING PIPE DIAMETER.
- 7 INSTALL 48" SANITARY SEWER MANHOLE PER M.A.G. STD. DTL. 419-1 WITH COVER PER COS STD. DTL. 2421. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 8 INSTALL 8" POLYWRAPPED DIP PRESSURE CLASS 350 WITH EPOXY LINING FOR SANITARY SEWER PER MAG SPEC SECTION 615.

WATER NOTES

- 1 INSTALL 6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
- 2 CONNECT TO EXISTING WATER LINE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL GATE VALVE WITH FLANGES, VALVE BOX, AND COVER PER M.A.G. STD. DETAIL 391-1 (VALVE TO MATCH WATERLINE SIZE).
- 6 INSTALL BEND ANGLE PER PLAN. INSTALL MECHANICAL JOINT RESTRAINT PER MAG STD DETAIL 303. TRENCH, BEDDING AND BACKFILL PER MAG STD SPEC 601.
- 7 INSTALL 2" WATER SERVICE AND METER BOX PER C.O.S. STD. DETAIL 2330.
- 8 INSTALL 2" TYPE 'K' HARD COPPER PER MAG SPEC. 754.
- 10 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER MAG STD DETAIL 360-1 AND 391-1 TYPE C. INSTALL FIRE HYDRANT MARKER PER MAG STD DETAIL 122.
- 11 INSTALL 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DETAIL 2354.
- 14 INSTALL 4" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
- 15 INSTALL 4" WATER METER PER C.O.S. STD. DTL. 2345.
- 16 INSTALL 4" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DETAIL 2353.
- 18 INSTALL 6" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DETAIL 2353.
- 19 INSTALL 6"x8" TAPPING SLEEVE PER M.A.G. STD. DETAIL 340. IF PIPE MATERIAL IS ACP OR PVC, THEN FOLLOW INSTRUCTIONAL NOTES ON THIS SHEET AND A TEE SHOULD REPLACE THE TAPPING SLEEVE.
- 20 INSTALL REMOTE SIAMASE FIRE DEPARTMENT CONNECTION PER C.O.S. STD. DTL. 2367.
- 21 INSTALL 4"x8" TAPPING SLEEVE PER M.A.G. STD. DETAIL 340. IF PIPE MATERIAL IS ACP OR PVC, THEN FOLLOW INSTRUCTIONAL NOTES ON THIS SHEET AND A TEE SHOULD REPLACE THE TAPPING SLEEVE.

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 In Maricopa County (602) 953-1100

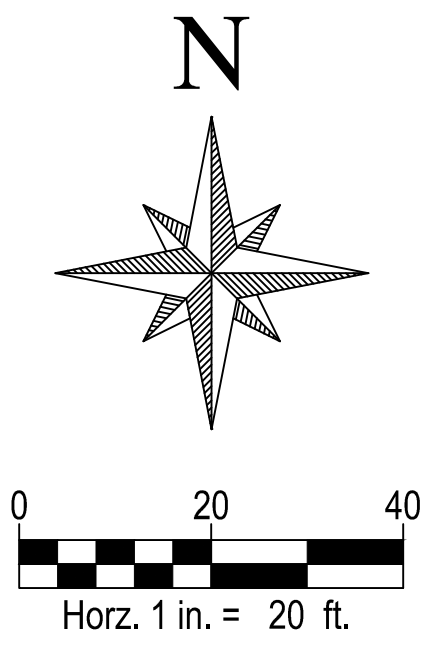
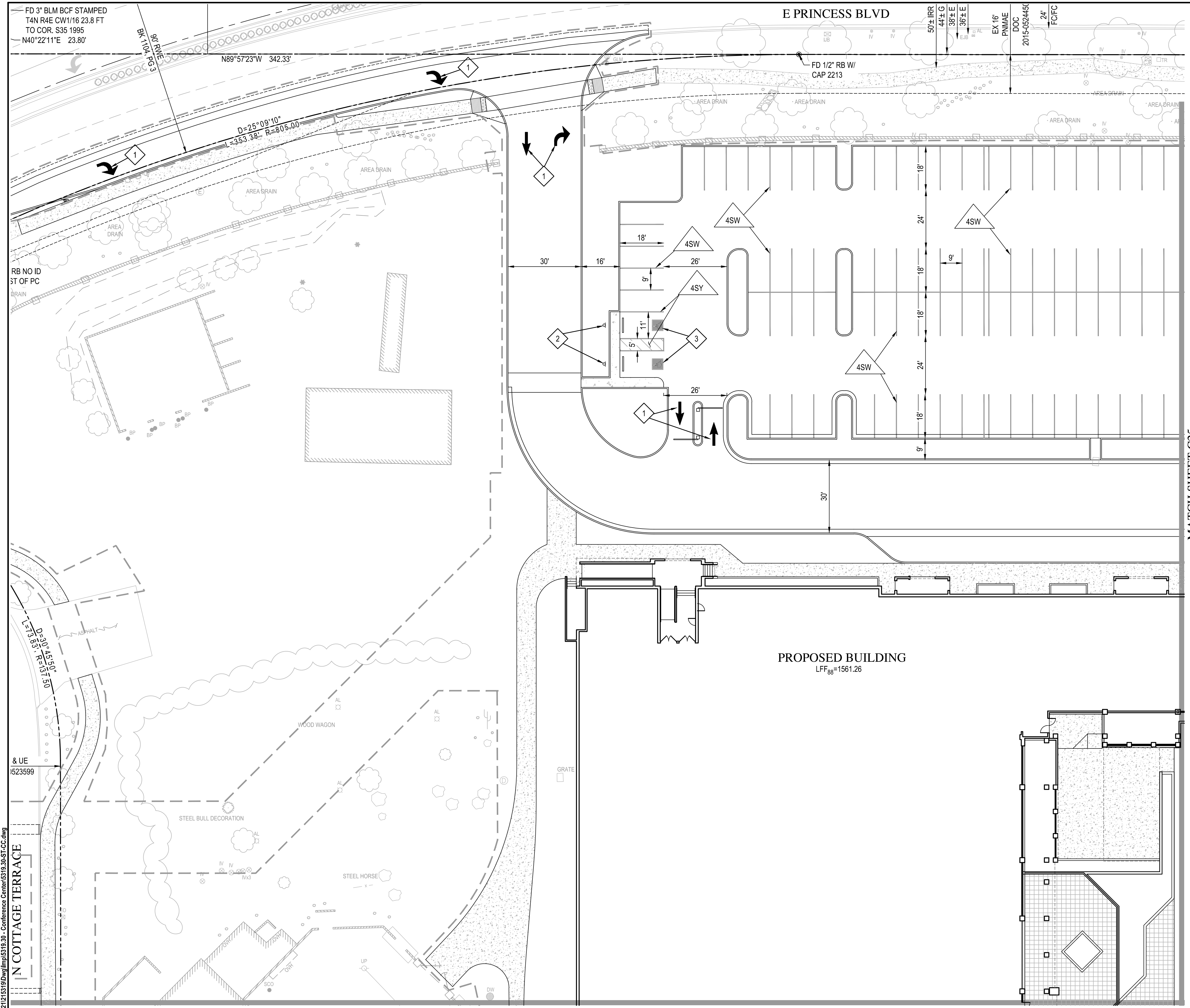
**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 WATER AND SEWER PLAN

DATE	DESCRIPTION	REV

SCALE (HORIZ.)	1" = 20'
SCALE (VERT.)	N/A
DATE	05/09/2025
JOB NUMBER	215319.30
SHEET	C23 OF 28

Professional Engineer  
 3632  
 DANIEL L. MOORE  
 ARIZONA  
 EXPIRES 06-30-28



**SIGNAGE NOTES**

- 1 INSTALL PAVEMENT SYMBOL PER ADOT STD. DETAIL M-10.
- 2 INSTALL ACCESSIBLE PARKING SIGN AND POST PER C.O.S. DETAILS 2124 AND 2131. SIGN HEIGHT MEASURED FROM FINISH GRADE TO THE BOTTOM OF THE SIGN IS 80".
- 3 PROVIDE HANDICAP SYMBOLS PER DETAILS ON SHEET C27.

MATCH SHEET C25

**STRIPING LEGEND**

- 4DY ——— 4" DOUBLE YELLOW LINE
- 4SY ——— 4" SOLID YELLOW LINE
- 4SW ——— 4" SOLID WHITE LINE
- 12SW ——— 12" SOLID WHITE LINE
- 18SW ——— 18" SOLID WHITE LINE
- 4SBYM ——— 4" DOUBLE YELLOW LINE, ONE SOLID, ONE BROKEN W/ A 10' LINE SEGMENT AND 30' GAP
- 4BW ——— 4" BROKEN WHITE LINE W/ A 10' LINE SEGMENT AND A 30' GAP



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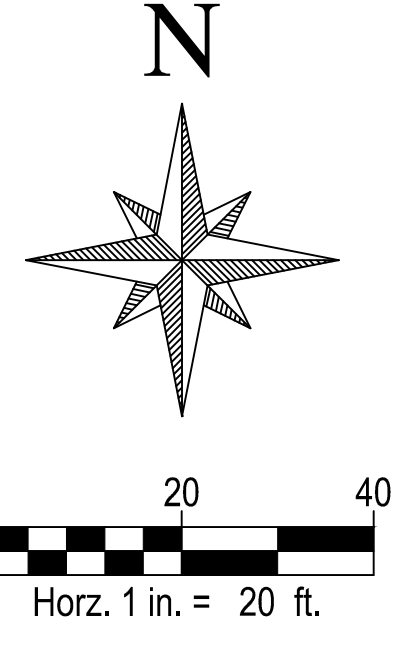
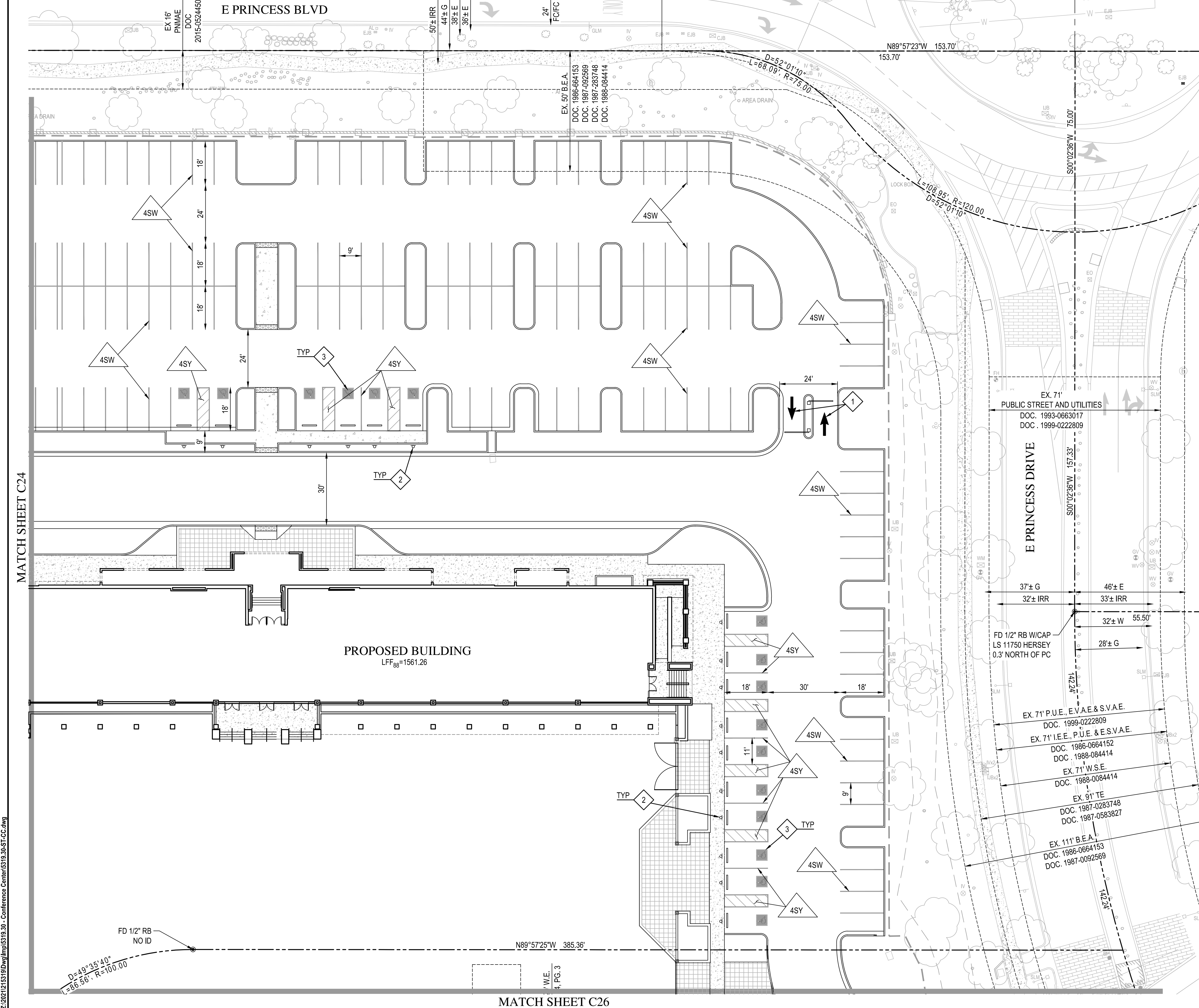


**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 SIGNING AND STRIPING PLAN

REV	DESCRIPTION	DATE

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C24 OF 28

Z:\2025\12\15\19\DWG\1930 - Conference Center\519.30-ST-CC.dwg



**SIGNAGE NOTES**

- 1 INSTALL PAVEMENT SYMBOL PER ADOT STD. DETAIL M-10.
- 2 INSTALL ACCESSIBLE PARKING SIGN AND POST PER C.O.S. DETAILS 2124 AND 2131. SIGN HEIGHT MEASURED FROM FINISH GRADE TO THE BOTTOM OF THE SIGN IS 80".
- 3 PROVIDE HANDICAP SYMBOLS PER DETAILS ON SHEET C27.

**STRIPING LEGEND**

4DY	4" DOUBLE YELLOW LINE
4SY	4" SOLID YELLOW LINE
4SW	4" SOLID WHITE LINE
12SW	12" SOLID WHITE LINE
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**ARIZONA**  
 Arizona Blue Stakes, Inc.  
 602-953-1111 or 1-800-STAKE-IT (782-3247)  
 In Maricopa County (602) 953-1100

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 SIGNING AND STRIPING PLAN

REV	DESCRIPTION	DATE

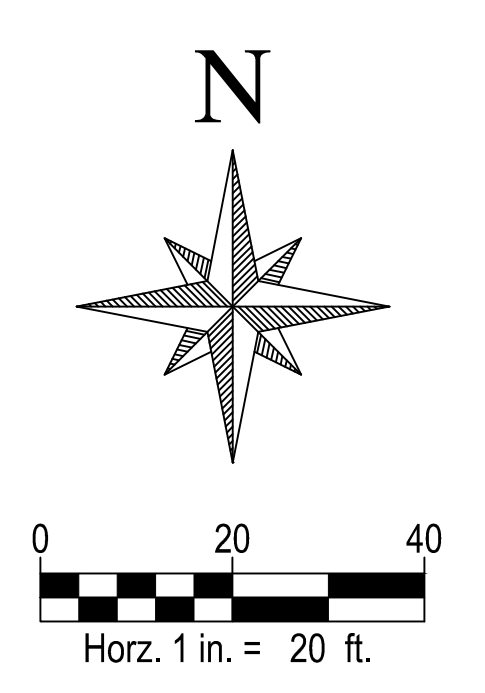
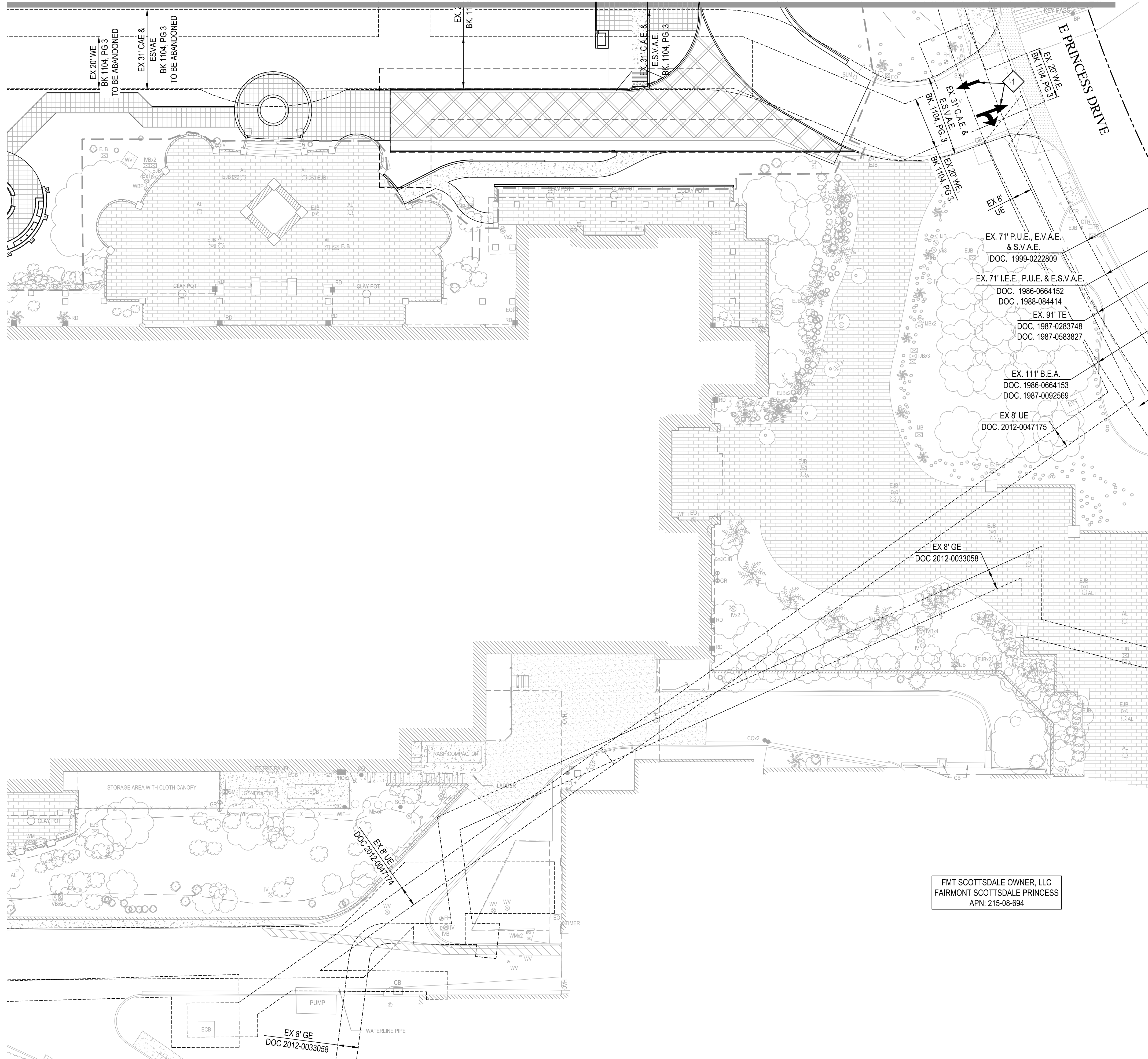
Professional Engineer Seal:  
 Registered Professional Engineer  
 36382  
 DARRYL L. MOORE  
 ARIZONA  
 EXPIRES 06-30-28

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C25 OF 28

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CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

MATCH SHEET C25



**SIGNAGE NOTES**

- 1 INSTALL PAVEMENT SYMBOL PER ADOT STD. DETAIL M-10.

**STRIPING LEGEND**

- 4DY 4" DOUBLE YELLOW LINE
- 4SY 4" SOLID YELLOW LINE
- 4SW 4" SOLID WHITE LINE
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FMT SCOTTSDALE OWNER, LLC  
 FAIRMONT SCOTTSDALE PRINCESS  
 APN: 215-08-694

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 1400 STATE ST. #100  
 MARICOPA COUNTY, AZ 85202

**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 SIGNING AND STRIPING PLAN

REV	DESCRIPTION	DATE

SCALE (HORIZ.) 1" = 20' SCALE (VERT.) N/A DATE 05/09/2025 JOB NUMBER 215319.30 SHEET C26 OF 28

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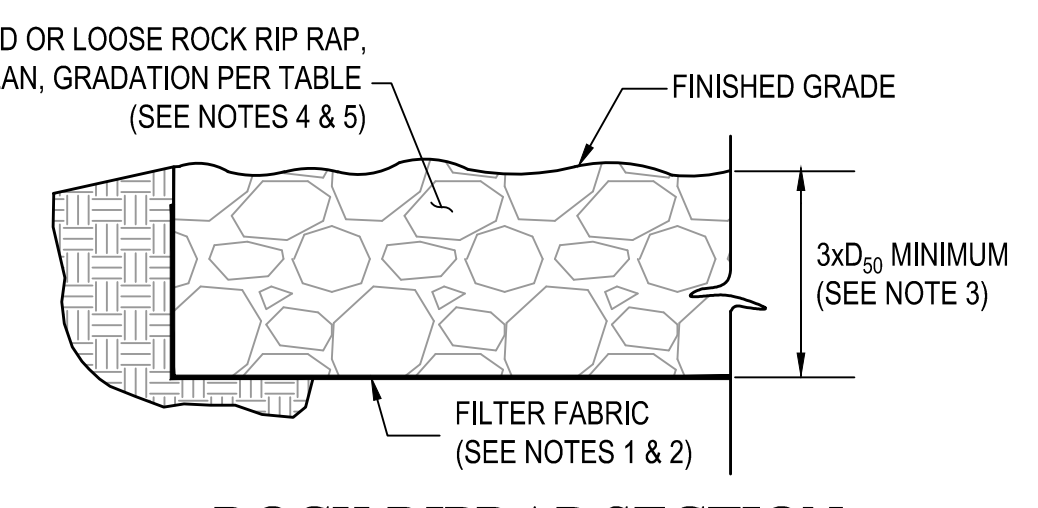
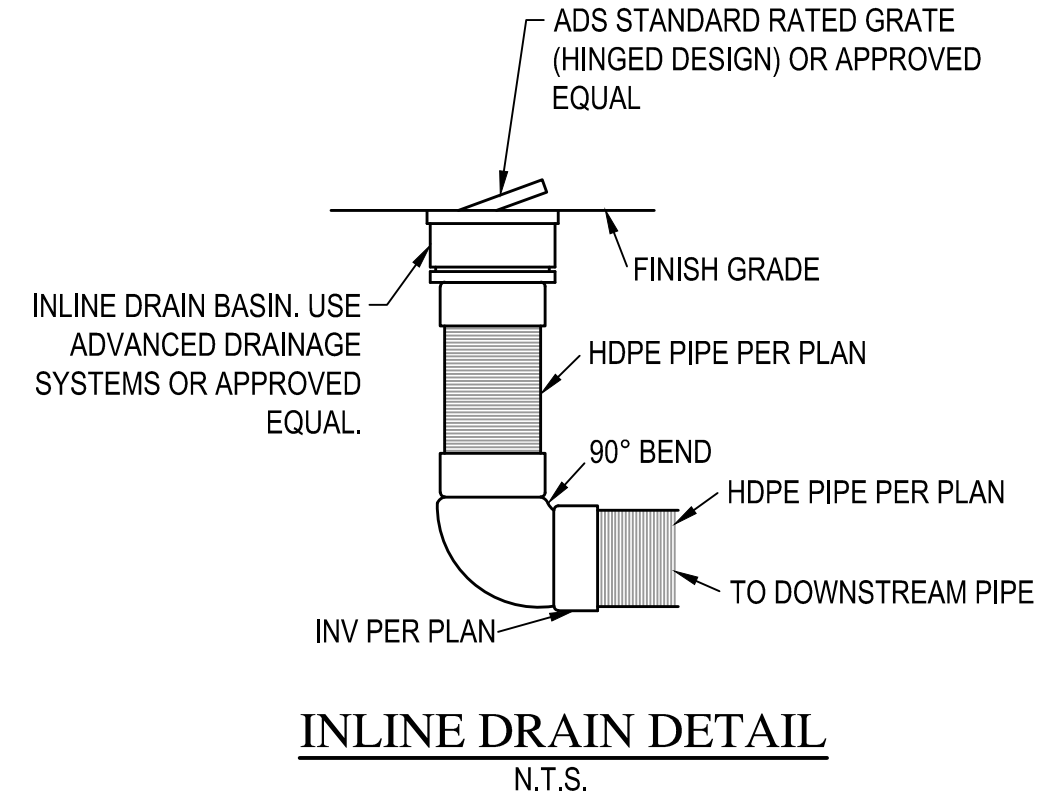
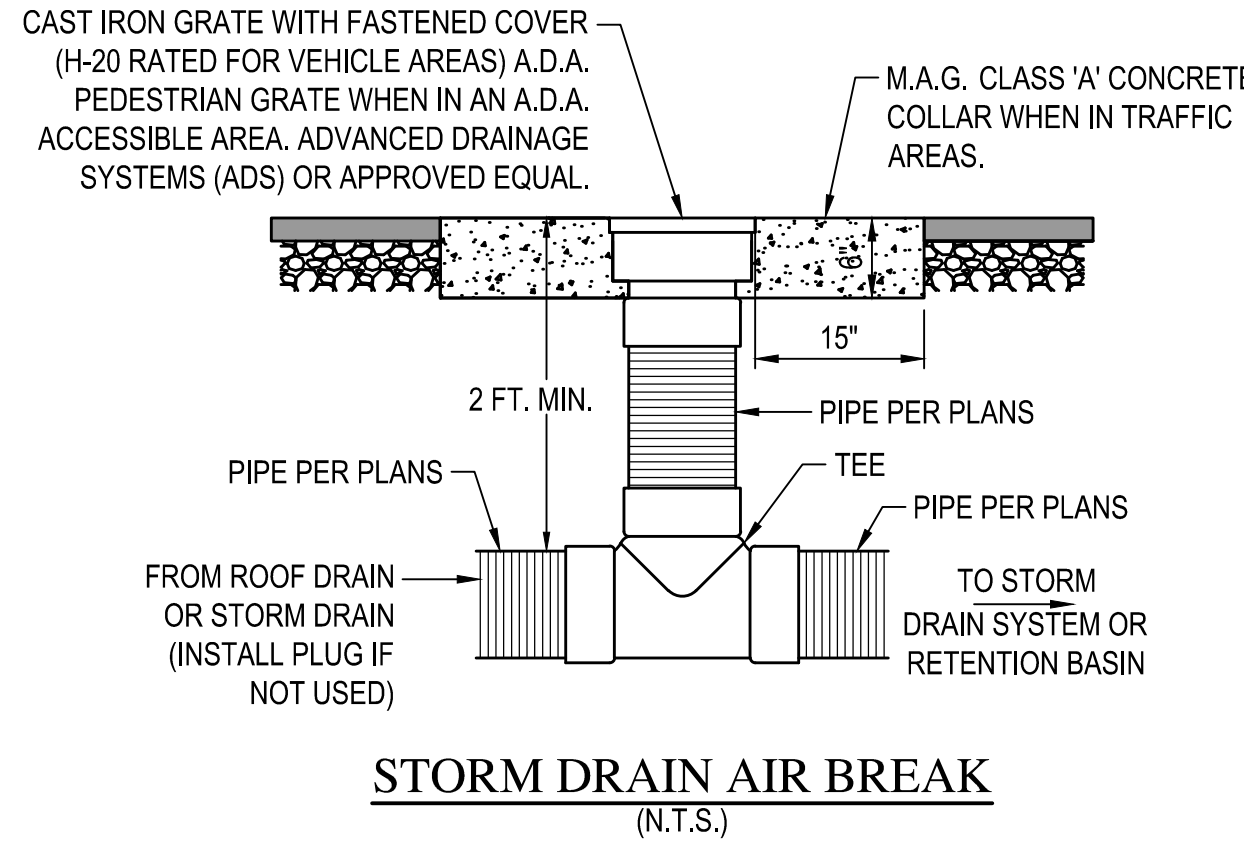
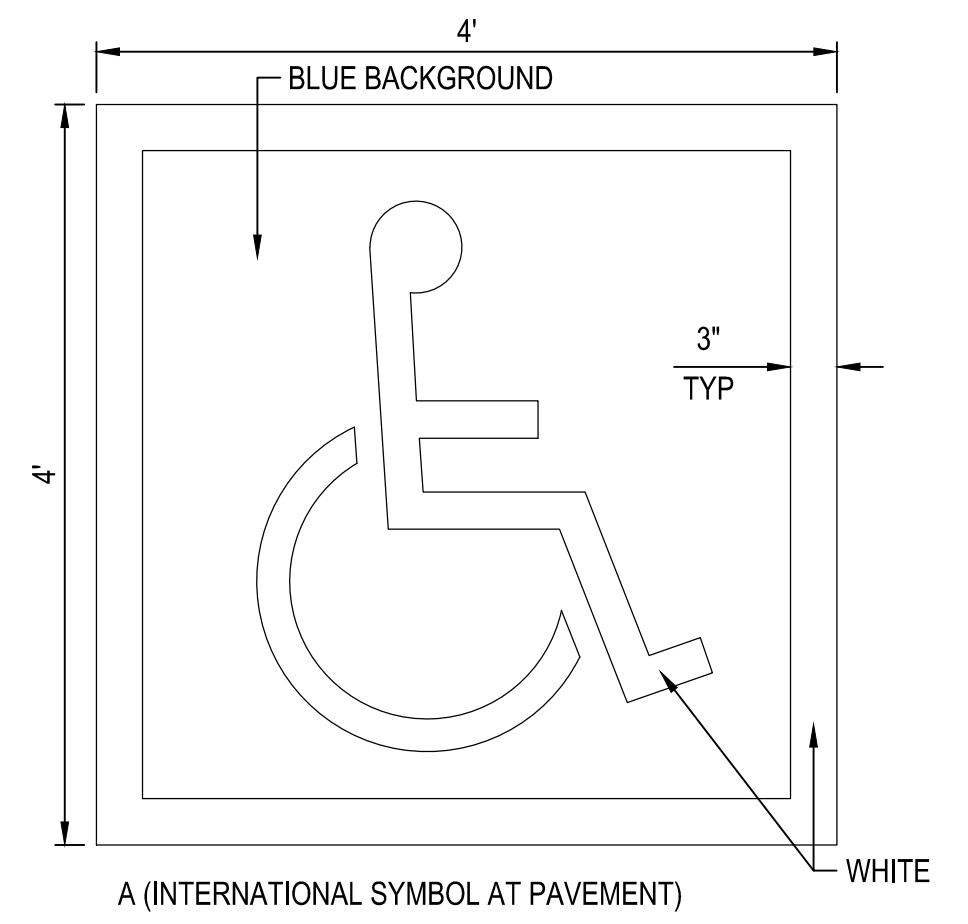
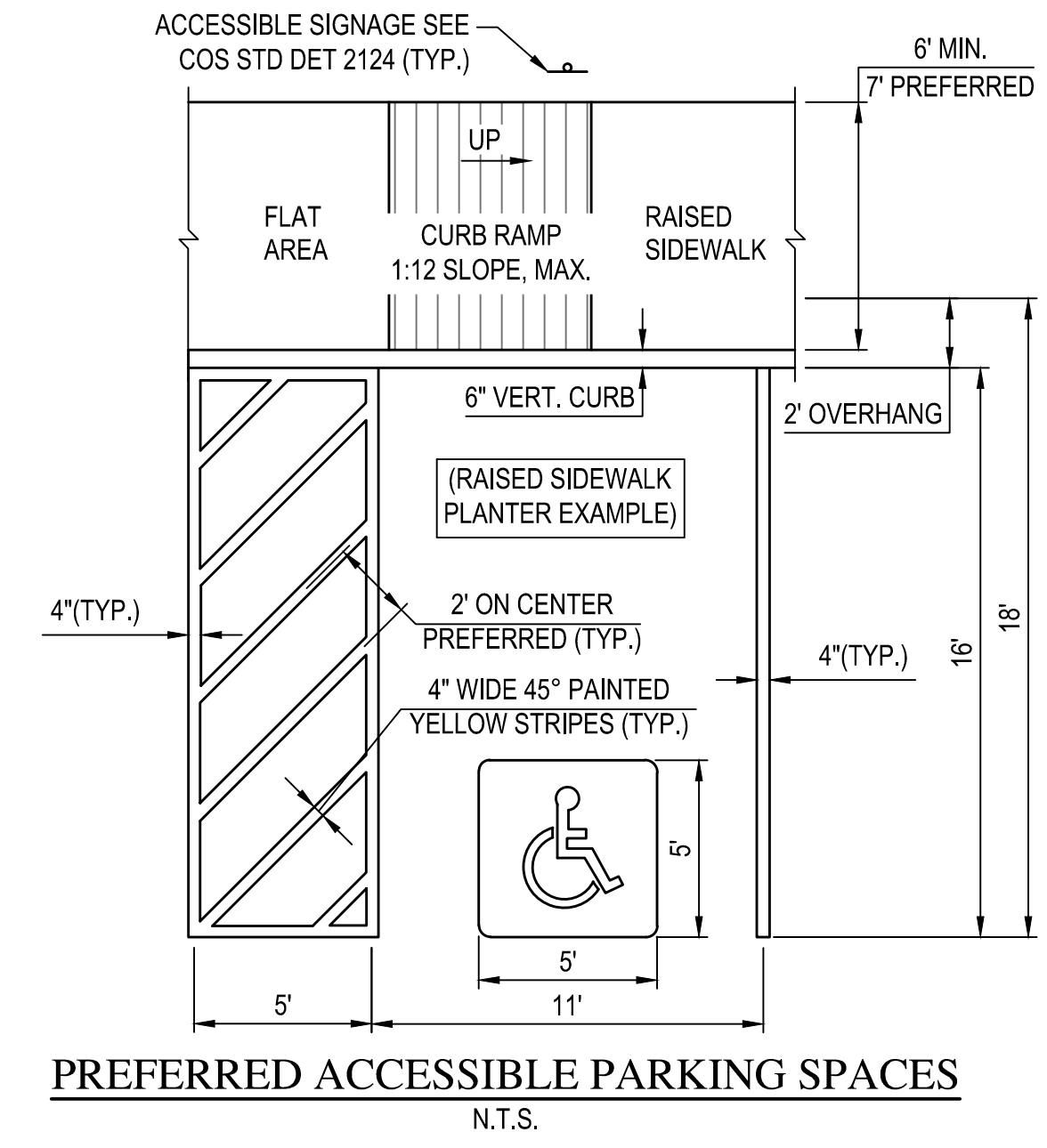
**FAIRMONT SCOTTSDALE PRINCESS  
CONFERENCE CENTER/ EVENT LAWN  
PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
DETAILS AND SECTIONS

REV	DATE	DESCRIPTION



SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	05/09/2025
JOB NUMBER	215319.30
SHEET	C27 OF 28

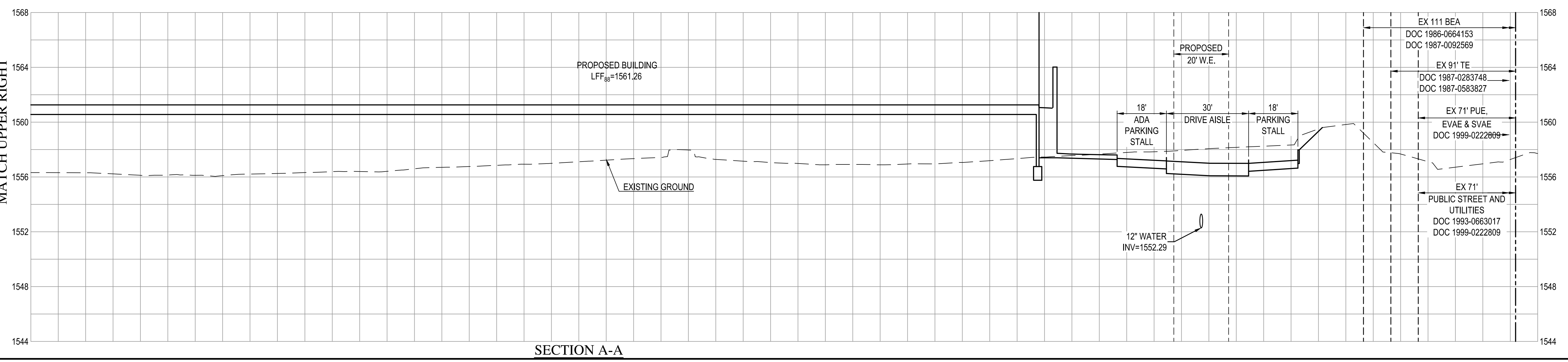
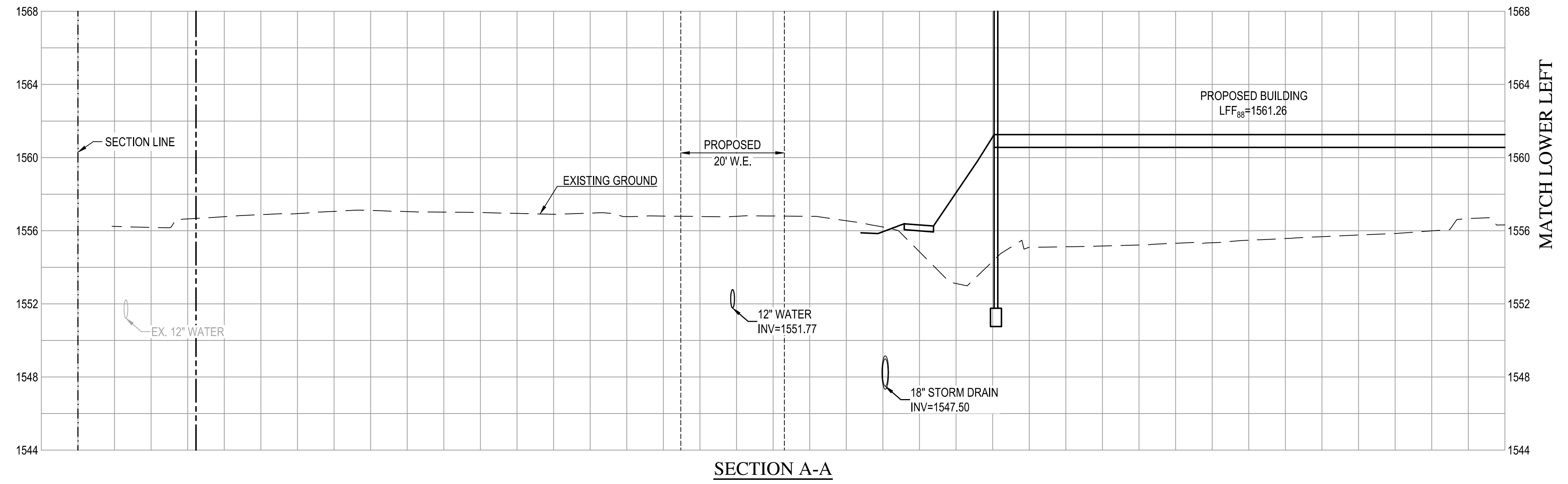
CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS



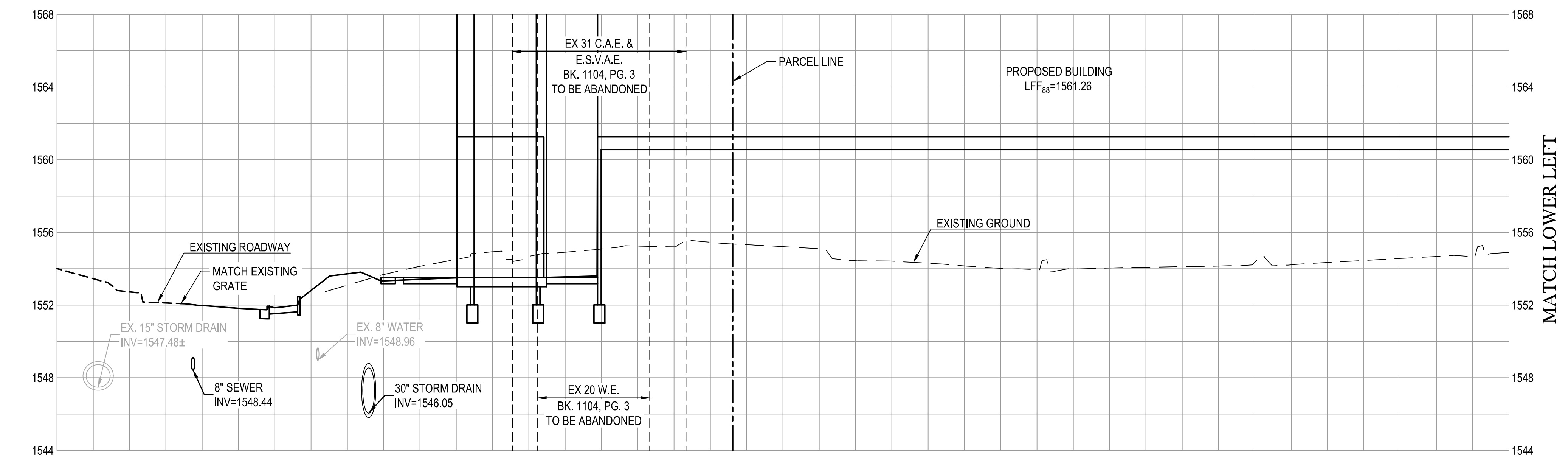
**ROCK RIPRAP GRADATION TABLE**

PERCENT PASSING	ROCK SIZE (IN.)			
	D <sub>10</sub> =4"	D <sub>30</sub> =6"	D <sub>50</sub> =8"	D <sub>100</sub> =12"
100 TO 90	8	12	16	24
85 TO 70	6	9	12	18
50 TO 30	4	6	8	12
15 TO 5	3	4	5	8
5 TO 0	1	2	3	4

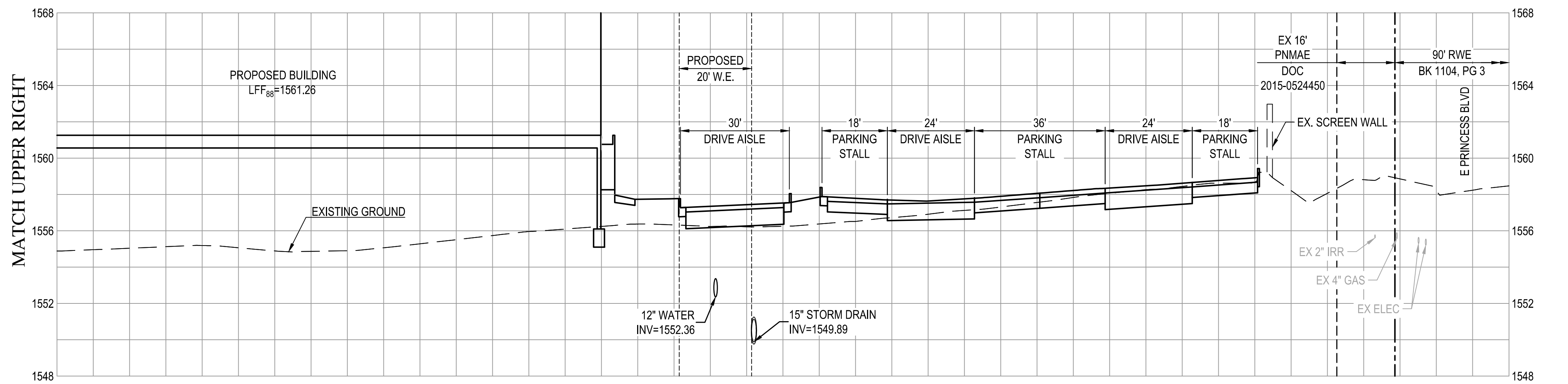
- NOTES:**
- FOR LOOSE RIPRAP APPLICATIONS INSTALL "MIRAFI 140NL" FILTER FABRIC, OR APPROVED EQUAL, UNDER ALL LOOSE RIPRAP.
  - FOR GROUTED RIPRAP APPLICATIONS OMIT FILTER FABRIC.
  - DEPTH OF LOOSE RIPRAP SHALL BE 3xD<sub>10</sub> MINIMUM UNLESS OTHERWISE SPECIFIED. DEPTH OF GROUTED RIPRAP SHALL BE 2xD<sub>10</sub> MINIMUM UNLESS OTHERWISE SPECIFIED.
  - RIPRAP SHALL BE ANGULAR ROCK.
  - REFER TO LANDSCAPE PLAN FOR RIPRAP COLOR.



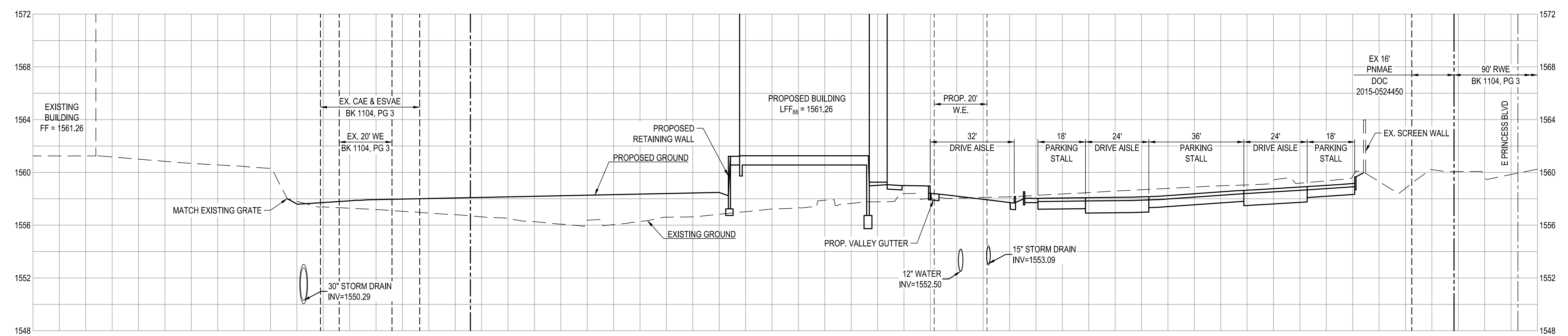
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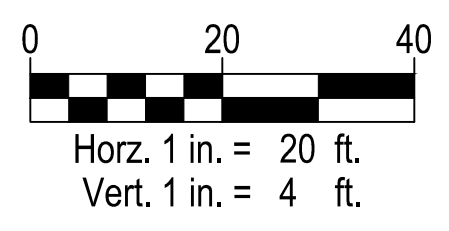
SECTION B-B



SECTION B-B



SECTION C-C



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**FAIRMONT SCOTTSDALE PRINCESS  
 CONFERENCE CENTER/ EVENT LAWN  
 PRELIMINARY IMPROVEMENT PLANS**  
 SCOTTSDALE, ARIZONA  
 SECTIONS

DATE	DESCRIPTION

REV	DESCRIPTION

SCALE (HORIZ.) 1" = 20'  
 SCALE (VERT.) 1" = 4'  
 DATE 05/09/2025  
 JOB NUMBER 215319.30  
 SHEET C28 OF 28

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**APPENDIX C – CITY OF SCOTTSDALE DEVELOPMENT WATER DEMAND EXHIBIT**

**INSTRUCTIONS**

INPUT DEVELOPMENT NAME, CASE NUMBER, AND QUANTITY VALUES TO DETERMINE TOTAL AVERAGE DAILY WATER USE PER THE 2018 DESIGN STANDARDS AND POLICY MANUAL (DS7PM) CHAPTER 6 USING GALLONS PER DAY (GPD) VALUES FROM FIGURE 6-1.2

**TABLE 1: QUANTITY INPUT TABLE FOR THE DEVELOPMENT**

**FAIRMONT SCOTTSDALE PRINCESS**

WATER USE DEVELOPMENT TYPE/CATEGORY	AVERAGE UNIT WATER USE PER DS&PM CH. 6 (GPD/UNIT)	INPUT APPLICABLE QUANTITY FOR DEVELOPMENT IN THIS COLUMN	NUMERICAL UNIT	TOTAL AVERAGE WATER USE (GPD)	NOTES
<b>Category: Residential/ Commerical Residential/ Hotel</b>					
< 2 DU/ac	485.6	-	DU	-	Community pool demands not included here. Refer to separate category.
2 – 2.9 DU/ac	470.4	-	DU	-	
3 – 7.9 DU/ac	248.2	-	DU	-	
8 – 11.9 DU/ac	227.6	-	DU	-	
12 – 22 DU/ac	227.6	-	DU	-	
High Density Condominium (condo)	185.3	-	DU	-	
Resort Hotel	446.3	198	ROOM	88,367	Includes site amenities such as 1 "standard" restaurant w/ associated dedicated kitchen, laundry service, landscaping, fountains, and 1 medium capacity pool. Large event venues/kitchens or multiple/large pools and multiple restaurants are not included.
<b>Category: Commerical/ Other</b>					
Restaurant	1.3	29,719	FT2	38,635	
Commercial/Retail	0.80	94,357	FT2	75,486	
Commerical High Rise	0.60	-	FT2	-	per IBC highrise is at or over 75 feet to highest finished floor
Office	0.60	-	FT2	-	
Institutional	1,340	-	ACRE	-	
Industrial	1,027	-	ACRE	-	
Research and Development	1,284	-	ACRE	-	
<b>Category: Special Use Areas</b>					
Natural Area Open Space	-	-	ACRE	-	Zero water demand
Developed Open Space - Parks	1,786	-	ACRE	-	
Developed Open Space- Golf Course	4,285	-	ACRE	-	
<b>Category: Evaporation from Swimming Pools/Spas, Cooling, Turf Area Irrigation, Other Outdoor Consumptive Uses</b>					
Extra large pool (60k to 100k gallons)	274	-	EA	-	Annual mean ETo = 74.75 in as collected by AZ Met. Kc = 1.1. Average pool size of 400 sq. ft. loses 20,490 gallons per year, or 51.23 gallons per sq ft, not including backwashing or leaks, per AMWUA calculator.
Large pool (above 30k to 60k gallons)	154	-	EA	-	
Medium pool (15k to 30k gallons)	75	-	EA	-	
Small pool or spa (under 15k gallons)	51	3	EA	154	
Total Bermuda Turf Area	0.10	4,885	FT2	468	1 sq ft of non-overseeded turf at 60% efficiency with increased Kc is 35 gallons per sq ft per year, per AMWUA calculator.
Total Overseeded Turf Area	0.02	-	FT2	-	1 sq ft of overseeded turf at 60% efficiency with increased Kc is 9 gallons per sq ft per year, per AMWUA calculator.
Evaporative Cooling/ Cooling Towers	-	-	TOTAL COOLING TONNAGE	-	Baed on 1.50 cycles of concentration and average annual daily utilization of 68%. Water use is linear with respect to total cooling capacity tonnage. Based on US Dept of Energy Efficiency and Renewable Energy data.
<b>Category: Filter Backwash Flows &amp; Make-up Water from Pools &amp; Spas (rapid sand filters)</b>					
Extra large pool (60k to 100k gallons)	229	-	EA	-	Based on once per 7 day backwash @ 50,100, and 150gpm, respectively for each size pool category for 8 minute duration. Quantity values used from pool input values above.
Large pool (above 30k to 60k gallons)	171	-	EA	-	
Medium pool (15k to 30k gallons)	114	-	EA	-	
Small pool or spa (under 15k gallons)	57	3	EA	171	

**A. TOTAL AVERAGE DAILY WATER USE FOR THIS DEVELOPMENT** **203,282** GPD

**NOTES:**  
 GPD=GALLONS PER DAY, DU=DWELLING UNITS, FT2=SQUARE FEET, AC=ACRE, EA=EACH UNIT, ETo=EVAPOTRANSPIRATION, Kc=CROP COEFFICIENT, AZMET=ARIZONA METEOROLOGICAL NETWORK, AMWUA=ARIZONA MUNICIPAL WATER USERS ASSOCIATION  
 NONE OF THE VALUES OR CALCULATIONS HEREIN ARE INTENDED TO BE USED FOR INFRASTRUCTURE DESIGN, PEAK FLOW DETERMINATION, OR SYSTEM CAPACITY ANALYSIS. FOR THESE PURPOSES REFER TO CH.6 & 7 OF THE CITY'S DESIGN STANDARDS AND POLICY MANUAL FOR THE RESPECTIVE DESIGN VALUES AND PEAKING FACTORS.

**INSTRUCTIONS**

IDENTIFY WATER CONSERVATION MEASURES ABOVE THOSE REQUIRED BY CITY CODE THAT THE DEVELOPMENT(S) PROPOSE TO IMPLEMENT. ENTER AN "X" FOR EACH PROPOSED MEASURE.

TABLE 2: APPROVED SUPPLEMENTAL WATER CONSERVATION MEASURES		
FAIRMONT SCOTTSDALE PRINCESS		
PROPOSED FOR THIS DEVELOPMENT (ENTER "X")	MEASURE	DESCRIPTION
	1. Submetering	Multi-family and mixed-use developments SUBMETER UNITS for leak detection and for occupants ability to manage their own water use
	2. No outdoor water features	Decorative water features outdoors can be a source of water use that is not functional
	3. Indoor water features submetered	Water features have proven to be a source of leaks. Submetering that is capable of alerts to the building monitoring system greatly reduce water waste
x	4. Limitation on functional turf grass	Functional grass turf are areas used for congregation of large number of people and should be limited to up to 10% of the landscapable area
	5. Limitations on artificial turf	Artificial turf is a large source of heat especially during summer months.
	6. Landscaped Rainwater harvesting	Earthworks, such as berms and basins, are encouraged to promote passive rainwater harvesting for planned plants and trees
	7. Cooling tower controllers with monitoring technology	Arizona high evapotranspiration rates, cooling towers use significantly more water here than in other states. Monitory systems can optimize this water use.
	8. Pools and splashpads submeters with monitoring technology	Pools and splashpad can be a source of leaks. Submetering that is capable of alerts to the building monitoring system greatly reduce water waste. Timers on Splash pads
<p><b>NOTES:</b>                      Greywater systems and large areas of artificial turf are not recommended by water conservation.                      This list represents water conservation measures that the conservation office has approved and has shown to provide proven water savings.</p>		
TABLE INPUT VALUES LAST UPDATED:		11/29/2023

# Water Demand Exhibit Summary

## FAIRMONT SCOTTSDALE PRINCESS

### 1. Total Estimated Water Use per Day on a Sustainable Basis (gallons per day, gpd)

**203,282** gpd

### 2. Net Water (NW) / Consumptive Use (gallons per day, gpd)

**41,698** gpd

### 3. Proposed Water Conservation Measures Above Those Required By City Code

	1. Submetering	NOT PROPOSED
	2. No outdoor water features	NOT PROPOSED
	3. Indoor water features submetered	NOT PROPOSED
X	4. Limitation on functional turf grass	Functional grass turf are areas used for congregation of large number of people and should be limited to up to 10% of the landscapable area
	5. Limitations on artificial turf	NOT PROPOSED
	6. Landscaped Rainwater harvesting	NOT PROPOSED
	7. Cooling tower controllers with monitoring technology	NOT PROPOSED
	8. Pools and splashpads submeters with monitoring technology	NOT PROPOSED

### 4. Annual Economic Value of the Development on a per Gallon of Use Basis (Applies to Commercial or Mixed Use, To be Completed by City)

1. Major City Revenues  \$/1,000 gallons

2. Total Annual Output Impact  \$/1,000 gallons

## TABLE 4: WATER USE SUMMARY

### FAIRMONT SCOTTSDALE PRINCESS

#### WATER USE SUMMARY FOR THE DEVELOPMENT

USE CATEGORY	AMOUNT	UNITS	% OF TOTAL USE	CALCULATION NOTES
<b>A. TOTAL DAILY AVERAGE WATER USE</b>	<b>203,282</b>	<b>GPD</b>	<b>100.0%</b>	A=B+C, C=D+E, F=B+D
B. OUTDOOR CONSUMPTIVE USE	21,861	GPD	10.8%	
C. TOTAL INDOOR USE	181,421	GPD	89.2%	
D. INDOOR CONSUMPTIVE USE	19,837	GPD	9.8%	
E. WASTEWATER TO SEWER	161,584	GPD	79.5%	
F. TOTAL CONSUMPTIVE USE (NET USE)	41,698	GPD	20.5%	

NOTES:  
 GPD=GALLONS PER DAY  
 ALL VALUES ARE FOR AVERAGE WATER USE ANALYSIS ONLY. THIS CALCULATION IS NOT INTENDED TO BE USED FOR INFRASTRUCTURE DESIGN, PEAK FLOW DETERMINATION, OR SYSTEM CAPACITY ANALYSIS. FOR THESE PURPOSES REFER TO CH.6 & 7 OF THE CITY'S DESIGN STANDARDS AND POLICY MANUAL FOR THE RESPECTIVE DESIGN VALUES, PEAKING FACTORS, AND DESIGN REQUIREMENTS.

TOTAL AVERAGE WATER USE (GALLONS PER DAY, GPD)

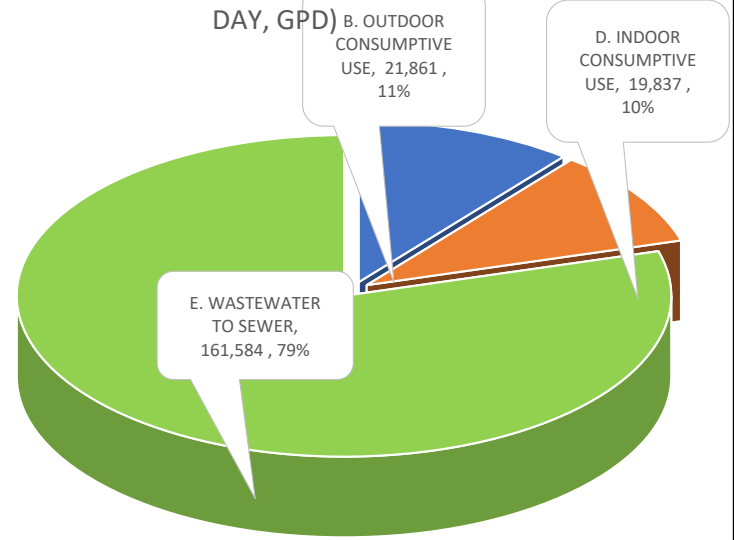


TABLE INPUT VALUES LAST UPDATED: 11/29/2023

**TABLE 5: DETAILED WATER USE BREAKDOWN FOR THE DEVELOPMENT**

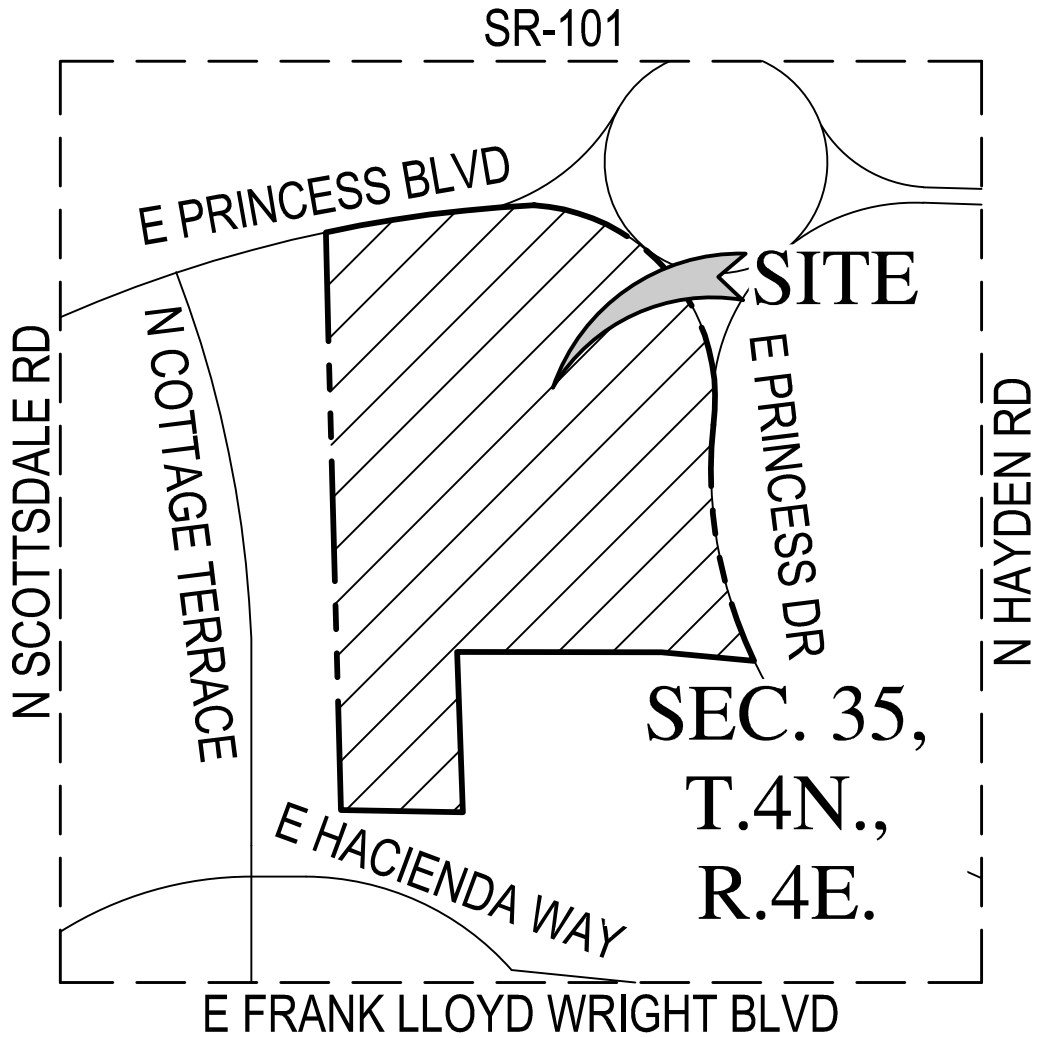
**FAIRMONT SCOTTSDALE PRINCESS**

TO RIGHT: WATER USE ALLOCATION- --->		B. AVERAGE OUTDOOR CONSUMPTIVE WATER USE <sup>(1)</sup>			C. AVERAGE INDOOR TOTAL WATER USE <sup>(1)</sup>			D. AVERAGE INDOOR CONSUMPTIVE WATER USE <sup>(2)</sup>			E. AVERAGE WASTEWATER FLOWS TO SEWER <sup>(3)</sup>		
BELOW: WATER USE DEVELOPMENT TYPE/CATEGORY	A. TOTAL AVERAGE WATER USE (GPD)	UNIT OUTDOOR CONSUMPTIVE WATER USE (GPD/UNIT)	OUTDOOR CONSUMPTIVE USE (GPD)	OUTDOOR CONSUMPTIVE USE (% OF TOTAL USE)	UNIT TOTAL INDOOR WATER USE (GPD/UNIT)	INDOOR TOTAL USE (GPD)	INDOOR TOTAL USE (% OF TOTAL USE)	UNIT CONSUMPTIVE INDOOR WATER USE (GPD/UNIT)	INDOOR CONSUMPTIVE USE (GPD)	INDOOR CONSUMPTIVE USE (% OF TOTAL USE)	WASTEWATER FLOW (GPD/UNIT)	WASTEWATER FLOW (GPD)	WASTEWATER (% OF TOTAL USE)
		<b>Category: Residential/ Commerical Residential/ Hotel</b>											
< 2 DU/ac	-	276.7	-	0.0%	208.9	-	0.0%	20.9	-	0.0%	188	-	0.0%
2 – 2.9 DU/ac	-	276.7	-	0.0%	193.7	-	0.0%	19.4	-	0.0%	174	-	0.0%
3 – 7.9 DU/ac	-	72.3	-	0.0%	175.9	-	0.0%	17.6	-	0.0%	158	-	0.0%
8 – 11.9 DU/ac	-	72.3	-	0.0%	155.3	-	0.0%	15.5	-	0.0%	140	-	0.0%
12 – 22 DU/ac	-	72.3	-	0.0%	155.3	-	0.0%	15.5	-	0.0%	140	-	0.0%
High Density Condominium (condo)	-	30.0	-	0.0%	155.3	-	0.0%	15.5	-	0.0%	140	-	0.0%
Resort Hotel	88,367	44.6	8,831	4.3%	401.7	79,536.6	39.1%	32.1	6,362.9	3.1%	370	73,174	36.0%
<b>Category: Commerical/ Other</b>													
Restaurant	38,635	0.10	2,972	1.5%	1.20	35,662.8	17.5%	0.12	3,566.3	1.8%	1.08	32,097	15.8%
Commercial/Retail	75,486	0.10	9,436	4.6%	0.70	66,049.9	32.5%	0.11	9,907.5	4.9%	0.60	56,142	27.6%
Commerical High Rise	-	0.10	-	0.0%	0.50	-	0.0%	0.05	-	0.0%	0.45	-	0.0%
Office	-	0.10	-	0.0%	0.50	-	0.0%	0.05	-	0.0%	0.45	-	0.0%
Institutional	-	670	-	0.0%	670.0	-	0.0%	100.50	-	0.0%	569.50	-	0.0%
Industrial	-	154	-	0.0%	873.0	-	0.0%	130.95	-	0.0%	742.05	-	0.0%
Research and Development	-	192	-	0.0%	1,092.0	-	0.0%	163.80	-	0.0%	928.20	-	0.0%
<b>Category: Special Use Areas</b>													
Natural Area Open Space	-	-	-	0.0%							-	-	0.0%
Developed Open Space - Parks	-	1,786	-	0.0%							-	-	0.0%
Developed Open Space- Golf Course	-	4,285	-	0.0%							-	-	0.0%
<b>Category: Evaporation from Swimming Pools/Spas, Cooling, Turf Area Irrigation, Other Outdoor Consumptive Uses</b>													
Extra large pool (60k to 100k gallons)	-	274	-	0.0%							-	-	0.0%
Large pool (above 30k to 60k gallons)	-	154	-	0.0%							-	-	0.0%
Medium pool (15k to 30k gallons)	-	75	-	0.0%							-	-	0.0%
Small pool or spa (under 15k gallons)	154	51	154	0.1%							-	-	0.0%
Total Bermuda Turf Area	468	0.10	468	0.2%							-	-	0.0%
Total Overseeded Turf Area	-	0.02	-	0.0%							-	-	0.0%
Evaporative Cooling/ Cooling Towers	-	-	-	0.0%							-	-	0.0%
<b>Category: Filter Backwash Flows &amp; Make-up Water from Pools &amp; Spas (rapid sand filters)</b>													
Extra large pool (60k to 100k gallons)	-				228.6	-	0.0%				229	-	0.0%
Large pool (above 30k to 60k gallons)	-				171.4	-	0.0%				171	-	0.0%
Medium pool (15k to 30k gallons)	-				114.3	-	0.0%				114	-	0.0%
Small pool or spa (under 15k gallons)	171				57.1	171.4	0.1%				57	171	0.1%
<b>TOTALS</b>		<b>203,282</b>	<b>21,861</b>	<b>10.8%</b>	<b>181,421</b>	<b>89.2%</b>	<b>19,837</b>	<b>9.8%</b>	<b>161,584</b>	<b>79.5%</b>			

**F. TOTAL CONSUMPTIVE/NET WATER USE FOR THIS DEVELOPMENT (B. + D.) 41,698 GPD 20.5% OF TOTAL USE**

**NOTES:**  
 (1) PER 2018 DS&PM CHAPTER 6, FIGURE 6-1.2  
 (2) VARIES FROM 8% TO 15%, TYPICALLY 10%  
 (3) WASTEWATER FLOWS TO SEWER ARE CALCULATED AS C. MINUS D.  
 GPD=GALLONS PER DAY, DU=DWELLING UNIT, FT2=SQUARE FEET, AC=ACRE, EA=EACH UNIT  
 NONE OF THE VALUES OR CALCULATIONS HEREIN ARE INTENDED TO BE USED FOR INFRASTRUCTURE DESIGN, PEAK FLOW DETERMINATION, OR SYSTEM CAPACITY ANALYSIS. FOR THESE PURPOSES REFER TO CH.6 & 7 OF THE CITY'S DESIGN STANDARDS AND POLICY MANUAL FOR THE RESPECTIVE DESIGN VALUES AND PEAKING FACTORS.

**EXHIBIT 1 – VICINITY MAP**



**SITE**

**SEC. 35,  
T.4N.,  
R.4E.**

**VICINITY MAP**

N.T.S.

**NOT  
FOR  
CONSTRUCTION  
OR RECORDING**

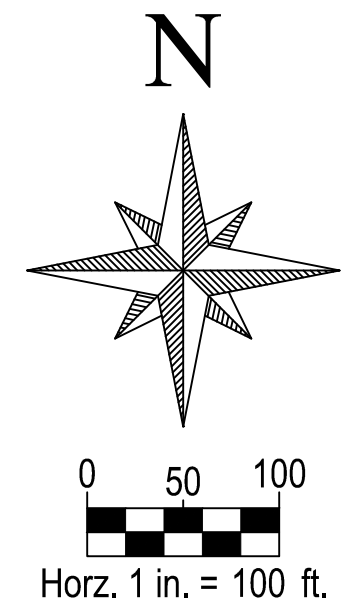
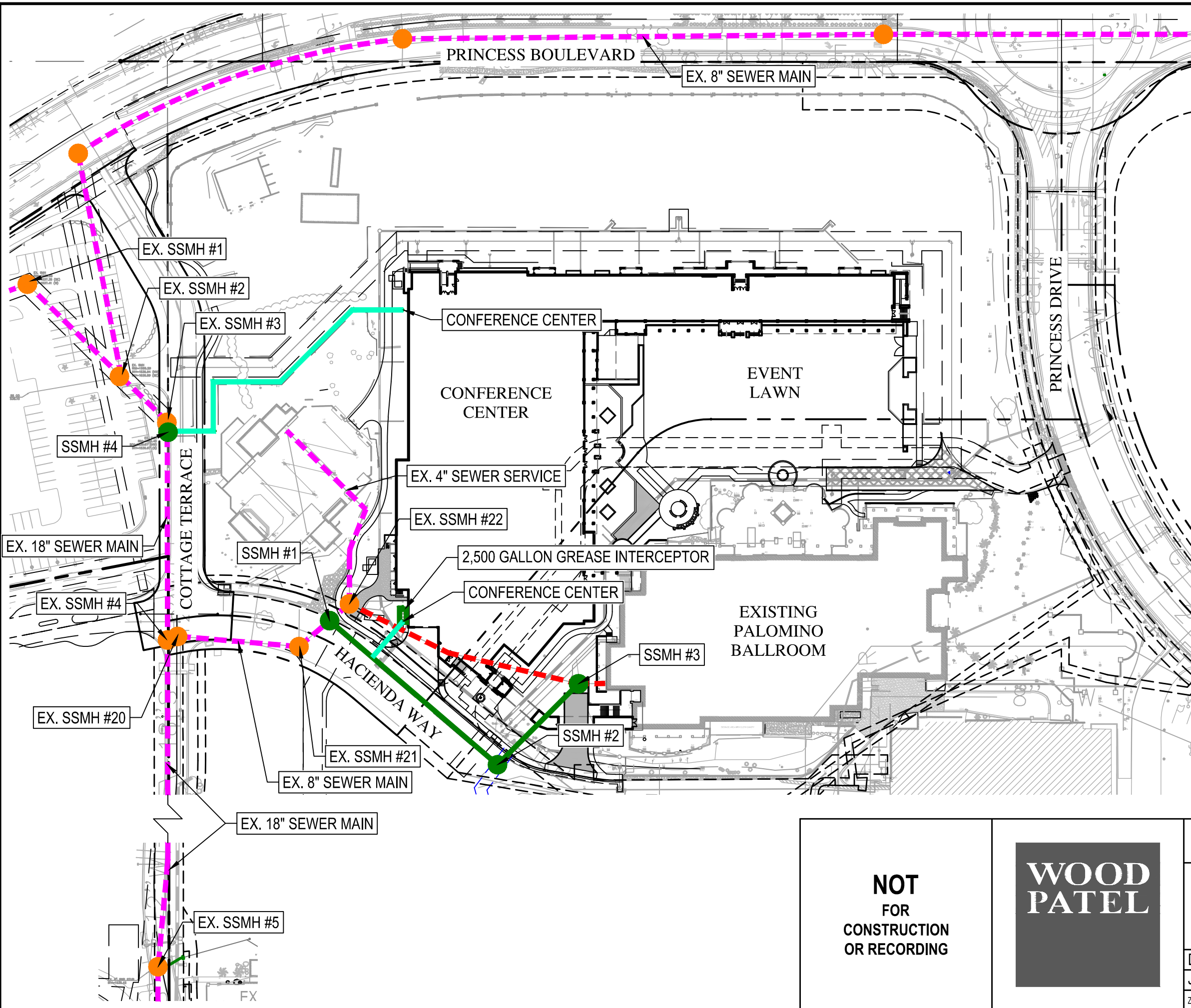


FAIRMONT SCOTTSDALE PRINCESS

**CONFERENCE CENTER & EVENT LAWN  
VICINITY MAP**

DATE	05/09/2025	SCALE	N.T.S	SHEET	1 OF 1
JOB NO.	215319.30	DESIGN	AJS	CHECK	AJS
		DRAWN	DLH	RFI #	

**EXHIBIT 2 – WASTEWATER EXHIBIT**



**LEGEND**

- - - EXISTING SEWER PIPE TO BE REMOVED
- - - EXISTING SEWER PIPE
- PROPOSED 6" SEWER SERVICE
- PROPOSED 8" SEWER MAIN
- - - PROPERTY BOUNDARY
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- PROPOSED 2,500 GALLON GREASE INTERCEPTOR

**NOT  
FOR  
CONSTRUCTION  
OR RECORDING**



FAIRMONT SCOTTSDALE PRINCESS			
CONFERENCE CENTER & EVENT LAWN WASTEWATER EXHIBIT			
DATE	05/09/2025	SCALE	1" = 100'
JOB NO.	215319.30	DESIGN	AJS
		DRAWN	AJS
Z:\2021\215319\Project Support\Reports\5319.30 - Conference Center\Sewer BOD\Exhibits\5319.30-Sewer Layout.dwg			