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- EXHIBIT 1 Vicinity Map
- EXHIBIT 2 Wastewater Exhibit



## 1.0 EXECUTIVE SUMMARY

The Fairmont Scottsdale Princess Guest Room Addition (Site) is a proposed resort/hotel with underground parking on approximately 0.89 acres of the approximate 34-acre parcel of the Fairmont Scottsdale Princess in the City of Scottsdale (APN#215-08-695). The project will include 155 rooms plus underground parking, hardscape, landscape, and utility improvements to support the development. The Site is located approximately 1,300-feet to the east of Scottsdale Road and directly south of East Hacienda Way within Section 35, Township 4 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. Refer to Exhibit 1 – *Vicinity Map* for the project location. The existing property, currently zoned C-2, is primarily developed with buildings, parking lots, pools, sidewalks, and a variety of landscaping (desert and grass).

The design criteria used to estimate wastewater demands and evaluate system hydraulics are based on Wood, Patel & Associates, Inc's (WOODPATEL's) understanding of the requirements listed in the *City of Scottsdale Design Standards and Policies Manual, 2018*.

The following is a summary of the design criteria utilized:

Average Day Wastewater Demand, Resort/Hotel: .....	380 gpd / DU
Peak Factor, Resort/Hotel:.....	4.5
Minimum Mean Full Flow Velocity: .....	2.50 fps
Maximum Peak Full Flow Velocity: .....	10.0 fps
<u>Maximum Peak Flow d/D Ratio (12-inch diameter or less sewers): .....</u>	<u>d/D = 0.65</u>

Abbreviations: gpd = gallons per day; fps = feet per second; P = population/1,000

## 2.0 INTRODUCTION

### 2.1 General Background

Fairmont Scottsdale Princess Guest Room Addition (Site) is a proposed resort/hotel with underground parking consisting of 155 rooms on approximately 0.89-acres of an approximate 34-acre parcel of the Fairmont Scottsdale Princess in the City of Scottsdale (APN#215-08-695), This project will include hardscape, landscape, and utility improvements to support the development.

### 2.2 Project Location

The Site is located approximately 1,300-feet to the east of Scottsdale Road and directly south of East Hacienda Way within Section 35, Township 4 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. Refer to Exhibit 1 – *Vicinity Map* for the project location.

### 2.3 Purpose of Report

This Wastewater Collection System Basis of Design Report has been prepared with WOODPATEL's understanding of the City of Scottsdale Wastewater Collection System Design requirements, as applicable for the Site. The purpose of this Report is to address the following wastewater design considerations:

- Average-day and Peak Wastewater flow determination
- Capacity analysis of the proposed wastewater collection system

### **3.0 EXISTING WASTEWATER INFRASTRUCTURE**

#### **3.1 Existing Utility System Conditions**

The existing wastewater infrastructure adjacent to the Site includes an existing public 18-inch sewer main in Cottage Terrace. In addition, there is an existing private 8-inch sewer main in Hacienda Way north of the Site. Please refer to Exhibit 2 – *Wastewater Exhibit* for a depiction of the existing wastewater infrastructure surrounding the Site.

Between September 5, 2022, and September 25, 2022, sewer flows within the existing Cottage Terrace public 18-inch sewer main were monitored by Western Environmental Equipment Company at Manhole EX SSMH #9 from the Concept Master Wastewater Report (Ref. 2). The results provided on November 4, 2022, show the peak flow of 1,471,162 gpd. The flow data has been applied to an upstream manhole at the intersection of Cottage Terrace and Hacienda Way for the purposes of this analysis. Refer to Exhibit 2 – *Wastewater Exhibit*.

### **4.0 PROPOSED WASTEWATER INFRASTRUCTURE**

#### **4.1 Proposed Utility System Conditions**

The proposed infrastructure includes an 8-inch service connection into the existing 18-inch sewer main in Cottage Terrace through a proposed manhole. Refer to Exhibit 2 – *Wastewater Exhibit* for proposed infrastructure layout.

#### **4.2 Modeling and Results**

Based on the current City of Scottsdale design criteria, the projected Average Day flow for the proposed Site is calculated to be 58,900 gallons per day (gpd), or 40.9 gallon per minute (gpm). The peak flow is projected to be 265,050 gpd, or 184 gpm. Refer to Appendix A – *Wastewater Demand Calculations* for a summary of the proposed sewer slopes, projected flow velocities, and flow capacities.

### **5.0 CONCLUSIONS**

Based on our analysis for the proposed Site, the following conclusions are made:

1. The design criteria used to estimate wastewater flows and evaluate system hydraulics are based on WOODPATEL's understanding of the published City of Scottsdale Design Standards and Policies Manual, 2018.
2. The projected Average Day flow for the proposed Site is calculated to be 58,900 gallons per day (gpd), or 40.9 gallon per minute (gpm). The Peak Flow is projected to be 265,050 gpd, or 184 gpm.
3. The d/D for the Peak Flow is approximately 0.36 which is less than the maximum of 0.65 allowed.
4. The Highest velocity calculated is 3.8 fps, which is within the allowable range of 2.5 to 10.0 fps.

## 6.0 REFERENCES

1. City of Scottsdale Design Standards and Policies Manual, 2018
2. *Master Wastewater Report for Fairmont Scottsdale Princess*, by Wood, Patel & Associates, Inc., dated November 22, 2023.

## **APPENDIX A – WASTEWATER DEMAND CALCULATIONS**



**TABLE 1**  
WASTEWATER DESIGN CRITERIA

**Project** Fairmont Scottsdale Princess - Guest Room Addition  
**Location** Scottsdale AZ  
**Project Number** 215319.50  
**Project Engineer** Andrew J. Sanchez E.I.T.  
**References** City of Scottsdale Design Standards and Policies Manual (2018)

<b>WASTEWATER DEMANDS</b>			
LAND USE	AVERAGE DAILY DEMAND (ADD)		POPULATION <sup>1</sup>
	VALUE	UNITS	
Commercial/Retail	0.50	gpd/sf	0.005 Persons per sf
Office	0.40	gpd/sf	0.004 Persons per sf
Restaurant	1.20	gpd/sf	0.012 Persons per sf
High Density Condominiums	140	gpd/DU	1.4 Persons per DU
School: without Cafeteria	30	gpd/Student	0.3 Persons per Student
School: with Cafeteria	50	gpd/Student	0.5 Persons per Student
Resort Hotel	380	gpd/Room	3.8 Persons per Room
Cultural	0.1	gpd/sf	0.001 Persons per sf
Fitness Center/Spa/ Health Club	0.8	gpd/sf	0.008 Persons per sf

<b>HYDRAULIC MODELING CRITERIA</b>	
DESCRIPTION	VALUE <sup>2</sup>
<b>PEAK FLOW</b>	
Peak Flow = Peaking Factor (PF) x ADD	
Commercial/Retail	3.0
Fitness Center/Spa/Health Club	3.5
High Density Condominium	4.5
Resort Hotel (includes site amenities)	4.5
Restaurant	6.0
Resort Hotel	4.5
Clubhouse for Subdivision Golf Course	4.5
<b>HYDRAULICS</b>	
Minimum Pipe Diameter (in)	6
Manning's "n" value	0.013
Maximum d/D ratio at peak flow	0.65

PIPE SIZE (in)	MEAN VELOCITY <sup>2</sup>		DESIGN SLOPE <sup>2</sup>	
	Minimum (ft/sec)	Maximum (ft/sec)	Minimum (%)	Maximum (%)
8	2.5	10.0	0.521	8.336
10	2.5	10.0	0.387	6.191
12	2.5	10.0	0.303	4.855

- Notes**
1. Per Arizona Administrative Code, Title 18, Chapter 9
  2. Per City of Scottsdale Design Standards and Policies Manual (2018)

TABLE 2  
WASTEWATER MODEL, FULL BUILD-OUT  
CONDITION  
**PROPOSED WASTEWATER MODEL**

**Project** Fairmont Scottsdale Princess - Guest Room Addition  
**Location** Scottsdale AZ  
**Project Number** 215319.50  
**Project Engineer** Andrew J. Sanchez E.I.T.  
**References** City of Scottsdale Design Standards and Policies Manual (2018)  
 Arizona Administrative Code, Title 18, Chapter 9

FROM NODE	TO NODE	Resort Hotel (DU)	SEWER NODE ADD (GPD)	PEAKING FACTOR	PEAK FLOW (GPD)	TOTAL PEAK FLOW (GPM)	TOTAL PEAK FLOW (GPM)
<b>Outfall</b>							
Guest Room Addition	Outfall	155	58,900	4.5	265,050	265,050	184
<b>Total Outfall</b>		<b>155</b>	<b>58,900</b>		<b>265,050</b>		<b>184</b>



**TABLE 3**  
CALCULATED PIPE CAPACITIES, FULL BUILD-OUT CONDITION

**Project** Fairmont Scottsdale Princess - Guest Room Addition  
**Location** Scottsdale AZ  
**Project Number** 215319.50  
**Project Engineer** Andrew J. Sanchez E.I.T.  
**References** City of Scottsdale Design Standards and Policies Manual (2018)  
 ADEQ Bulletin No. 11

FROM NODE	PIPE SIZE (in)	MODELED PIPE SLOPE (ft/ft)	PIPE CAPACITY (FULL) (gpd) (gpm)		PEAK FLOW RESULTS					
					PEAK FLOW (gpd)	PEAK FLOW (gpm)	d/D	MEAN VELOCITY (at d/D=0.75)	SURPLUS CAPACITY (gpd)	PERCENT OF CAPACITY (%)
								(ft/sec)		
<b>Outfall</b>										
Guest Room Addition	8	0.0143	936,535	650	265,050	184.1	0.36	3.8	671,485	28.3%

**APPENDIX B – FAIRMONT SCOTTSDALE PRINCESS GUEST ROOM ADDITION GRADING,  
DRAINAGE, WATER & SEWER PLAN, PREPARED BY WOOD, PATEL &  
ASSOCIATES, INC., DATED MAY 9, 2025**

**ENGINEER'S NOTES**

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR GENERAL INFORMATIONAL PURPOSES ONLY AND MIGHT NOT REFLECT ACTUAL QUANTITIES AND SITE CONDITIONS. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL BE AWARE THAT CERTAIN UTILITIES REQUIRE PROPER ATTENTION AND CAREFUL PLANNING DURING SITE CONSTRUCTION. PLEASE NOTE THAT UTILITIES ON THESE PLANS MAY NOT EXHIBIT THE FULL PROTECTIVE COVER REQUIRED DURING THE SUBGRADE PREPARATION PHASE OF THE CONSTRUCTION. IN SUCH INSTANCES, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION (SUCH AS RAMPING) OR INCREASED PIPE STRENGTH TO PROVIDE THE NECESSARY PROTECTION REQUIRED TO PREVENT DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL HOLD THE ENGINEER HARMLESS IN ALL CASES FOR DAMAGES TO UTILITIES WHERE INADEQUATE PROTECTIVE MEASURES OCCUR.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECT'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN TWO FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- SEWER LINES DESIGNED IN PROFILE AND PUBLIC WATER LINES ARE REQUIRED TO BE ASBUILT AND THE INSTALLATION AND TESTING WITNESSED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODES R18-9-E301 "4.01 GENERAL PERMIT: SEWAGE COLLECTIONS SYSTEMS" AND R18-5-507 AND 508 "APPROVAL OF CONSTRUCTION" AND "RECORD DRAWINGS", RESPECTIVELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER 72 HOURS IN ADVANCE WHEN THOSE SYSTEMS ARE READY TO BE WITNESSED.
- THE WORK PRODUCT PRESENTED IS BELIEVED TO BE COMPLIANT WITH THE INTENT OF THE CURRENT AMERICANS DISABILITIES ACT (ADA) REQUIREMENTS AS INTERPRETED BY THE REVIEWING AGENCY(S). IF CONSTRUCTION OF THE PROJECT IS DELAYED, THIS WORK PRODUCT SHOULD BE UPDATED TO ACCOUNT FOR ANY RELEVANT ADA UPDATES BEFORE CONSTRUCTION BEGINS.
- LOWEST FLOOR (LF) REFERS TO EITHER FLOOR/SLAB ELEVATION OR TOP OF BASEMENT SLAB. LF ELEVATIONS ON THE GRADING AND DRAINAGE PLANS FOR RESIDENTIAL UNITS REFLECT SLAB ON GRADE CONDITIONS AND CANNOT BE LOWERED WITHOUT AGENCY APPROVAL IN LOCATIONS WHERE 'SPECIAL FLOOD HAZARD AREAS' EXIST. IN NON-FLOOD HAZARD LOCATIONS, TO ENSURE THAT ADEQUATE RESIDENTIAL LOT DRAINAGE CAN BE ACHIEVED, A PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF THE LF FOR THE SLAB IS PROPOSED TO BE LOWERED, OR IF A BASEMENT IS TO BE CONSTRUCTED.

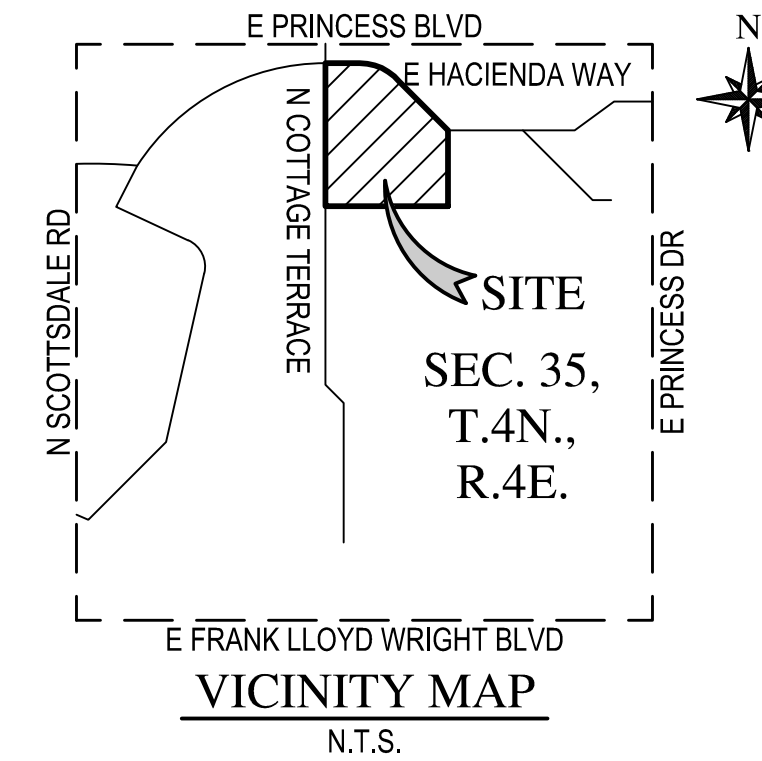
# FAIRMONT SCOTTSDALE PRINCESS

## GUEST ROOM ADDITION

### PRELIMINARY IMPROVEMENT PLANS

#### SCOTTSDALE, ARIZONA

A PORTION OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST  
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**WOOD PATEL**  
Wood, Patel & Associates, Inc.  
Civil Engineering  
Water Resources  
Land Survey  
Construction Management  
602.335.8500  
www.woodpatel.com

**ARIZONA811**  
Arizona Blue Stakes, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-5241)  
In Maricopa County (602) 953-1100

**EARTHWORK QUANTITIES (ESTIMATED)**

RAW CUT:	11,351 CY
RAW FILL:	1,165 CY

QUANTITIES ARE ESTIMATED IN PLACE. NO PRECOMPACTION, SHRINK OR SWELL IS ASSUMED.

**M.C.E.S.D. APPROVAL**

ALL POTABLE WATERLINES AND FITTINGS SHALL HAVE A NFS-PW SEAL. ALL MATERIALS AND PRODUCTS USED IN THE POTABLE WATER SYSTEM SHALL CONFORM TO NSF STANDARDS 60 AND 61 IN ACCORDANCE WITH AAC R18-4-213. ALL MATERIALS SHALL BE LEAD FREE AS DEFINED IN AAC R18-5-504 AND R18-4-101.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPT.

**SHEET INDEX**

C1	COVER SHEET
C2	DETAILS, NOTES AND QUANTITIES
C3	INDEX MAP
C4-C5	GRADING AND DRAINAGE PLAN
C6	WATER AND SEWER PLAN
C7-C9	SECTIONS & DETAILS

**PARCEL DESCRIPTION**

PLEASE REFER TO SHEET C2 FOR PARCEL DESCRIPTION.

**BENCHMARK**

CITY OF SCOTTSDALE BRASS CAP FLUSH 450'± NORTH OF PRINCESS DRIVE ON SCOTTSDALE ROAD, BEING THE WEST QUARTER CORNER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST.  
CITY OF SCOTTSDALE DATUM, NAVD88 DATUM  
ELEVATION=1553.22'

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD 1988, MCDOT, AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

**PUBLIC UTILITIES**

WATER	CITY OF SCOTTSDALE
SEWER	CITY OF SCOTTSDALE
ELECTRIC	APS
TELEPHONE	LUMEN
NATURAL GAS	SOUTHWEST GAS
CABLE TV	COX COMMUNICATIONS

**SOILS REPORT NOTE**

A SOILS GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT TITLED FAIRMONT CASITAS ADDITION BY ALPHA GEOTECHNICAL & MATERIALS, INC. DATED DECEMBER 15, 2021. REPORT NO. 21-G-12692.

**STIPULATION CONFORMANCE STATEMENT**

"THE ENGINEER OF RECORD ON THESE PLANS HAS RECEIVED A COPY OF THE APPROVED STIPULATIONS FOR THIS PROJECT AND HAS DESIGNED THESE PLANS IN CONFORMANCE WITH THE APPROVED STIPULATIONS."

*Darin L. Moore* 05/09/2025  
ENGINEER SIGNATURE DATE

**CITY OF SCOTTSDALE NOTES**

PLEASE REFER TO SHEET C2 FOR CITY OF SCOTTSDALE NOTES.

**QUANTITIES**

PLEASE REFER TO SHEET C2 FOR ESTIMATED QUANTITIES FOR WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS.

**LEGEND**

PLEASE REFER TO SHEET C2 FOR LEGEND AND LIST OF ABBREVIATIONS.

**UTILITY NOTES**

- THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR APPROVAL WITHIN THEIR AREA OF INTEREST. THE SIZE AND LOCATIONS, AS SHOWN, OF THE GAS, TELEPHONE AND POWER LINES, AND CONNECTIONS AGREE WITH THE FURNISHED INFORMATION CONTAINED IN THE UTILITY COMPANY'S RECORDS. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.
- THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

**FEMA FIRM NOTE (ZONE AO)**

ACCORDING TO FEMA FLOOD INSURANCE RATE MAPPING, THE SUBJECT PROPERTY IS LOCATED IN 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD' "ZONE AO". ZONE AO IS DESCRIBED AS: "FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED."

**FLOOD INSURANCE RATE MAP (FIRM) INFORMATION**

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	1320	L	07/20/2021	AO	1

**ENGINEER'S CERTIFICATION**

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37-FLOODPLAIN AND STORMWATER REGULATIONS.

*Darin L. Moore* 05/09/2025  
ENGINEER SIGNATURE DATE

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

SEAL

NO CONFLICT SIGNATURE BLOCK					
UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE CONTACTED	DATE SIGNED
ELECTRIC	ARIZONA PUBLIC SERVICE	HAILEY PARKS	602-493-4401	08/22/2022	
TELEPHONE	LUMEN	JEANETTE DEBOARD	480-221-7810	08/22/2022	
NATURAL GAS	SOUTHWEST GAS	ANDY SAKS	480-730-3857	08/22/2022	
CABLE TV	COX COMMUNICATIONS	JACOB HORSMAN	-	08/22/2022	
OTHER	MCI	RICHARD YOUNG	602-615-8995	08/22/2022	

ENGINEER'S CERTIFICATION  
I, DARIN L. MOORE, P.E., AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.

*Darin L. Moore* 05/09/2025  
SIGNATURE DATE

CITY OF SCOTTSDALE CIVIL APPROVAL			
REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		SIGNS & MARKINGS	
GRADING & DRAINAGE		PLANNING	
WATER & SEWER		FIRE	
RETAINING WALLS		SIGNALS & STREET	
ENGINEERING DEPARTMENT MANAGER		DATE	

**FAIRMONT SCOTTSDALE PRINCESS GUEST ROOM ADDITION PRELIMINARY IMPROVEMENT PLANS SCOTTSDALE, ARIZONA COVER SHEET**

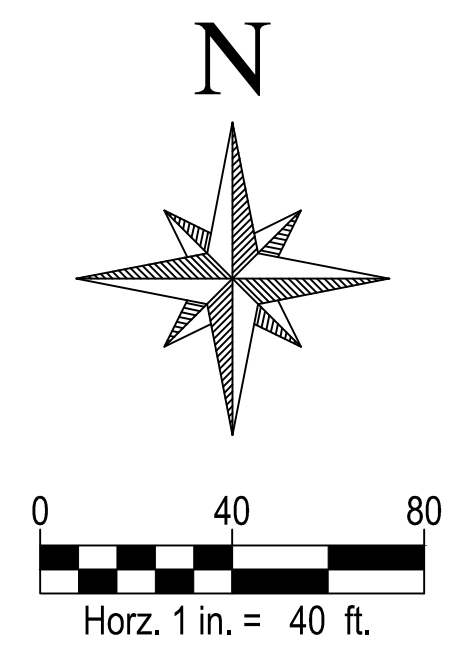
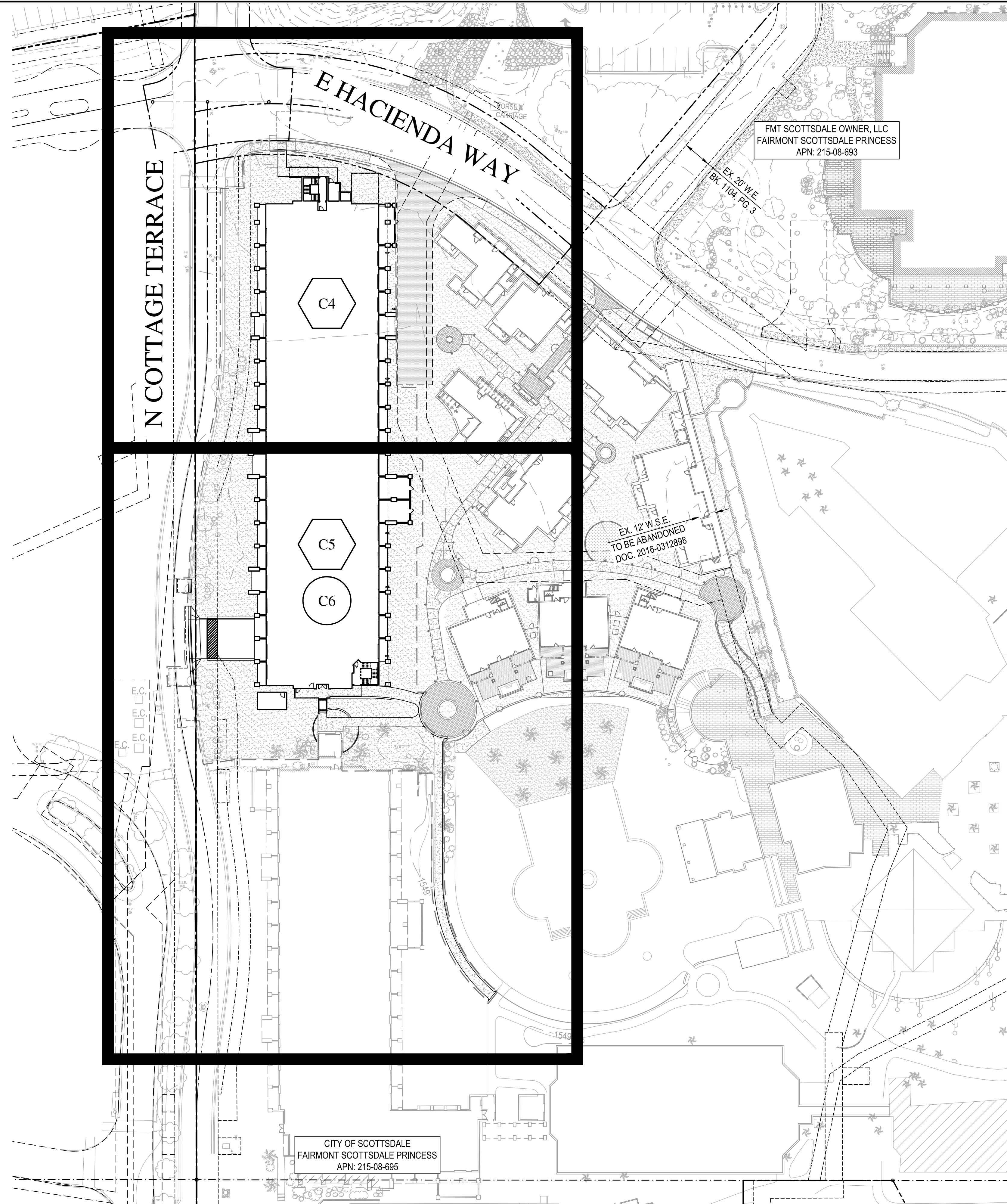
DATE	DESCRIPTION	REV

Professional Engineer Seal: Darin L. Moore, No. 36382, State of Arizona, Expires 06-30-28.



SCALE (HORIZ.) N/A  
SCALE (VERT.) N/A  
DATE 05/09/2025  
JOB NUMBER 215319.50  
SHEET C1 OF 9



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**INDEX MAP LEGEND**

-  GRADING & DRAINAGE
-  WATER & SEWER

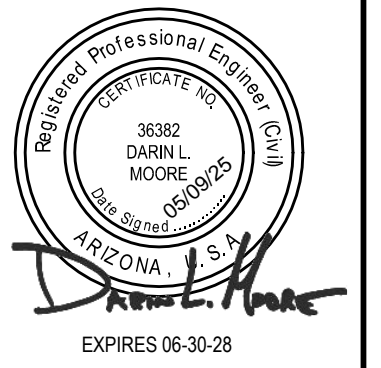


Wood, Patel & Associates, Inc.  
 Civil Engineering  
 Water Resources  
 Land Survey  
 Construction Management  
 602.335.8500  
 www.woodpatel.com



**FAIRMONT SCOTTSDALE PRINCESS  
 GUEST ROOM ADDITION  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 INDEX MAP**

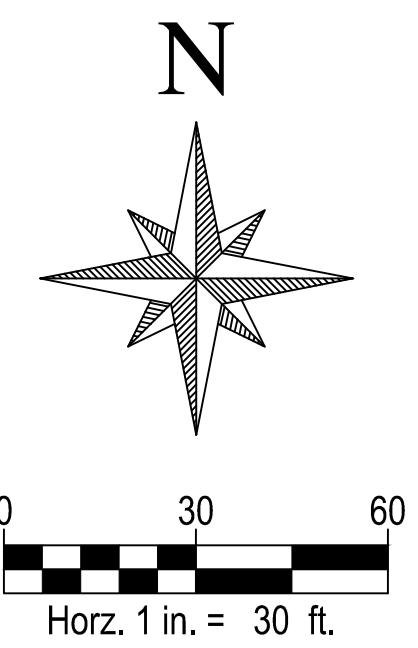
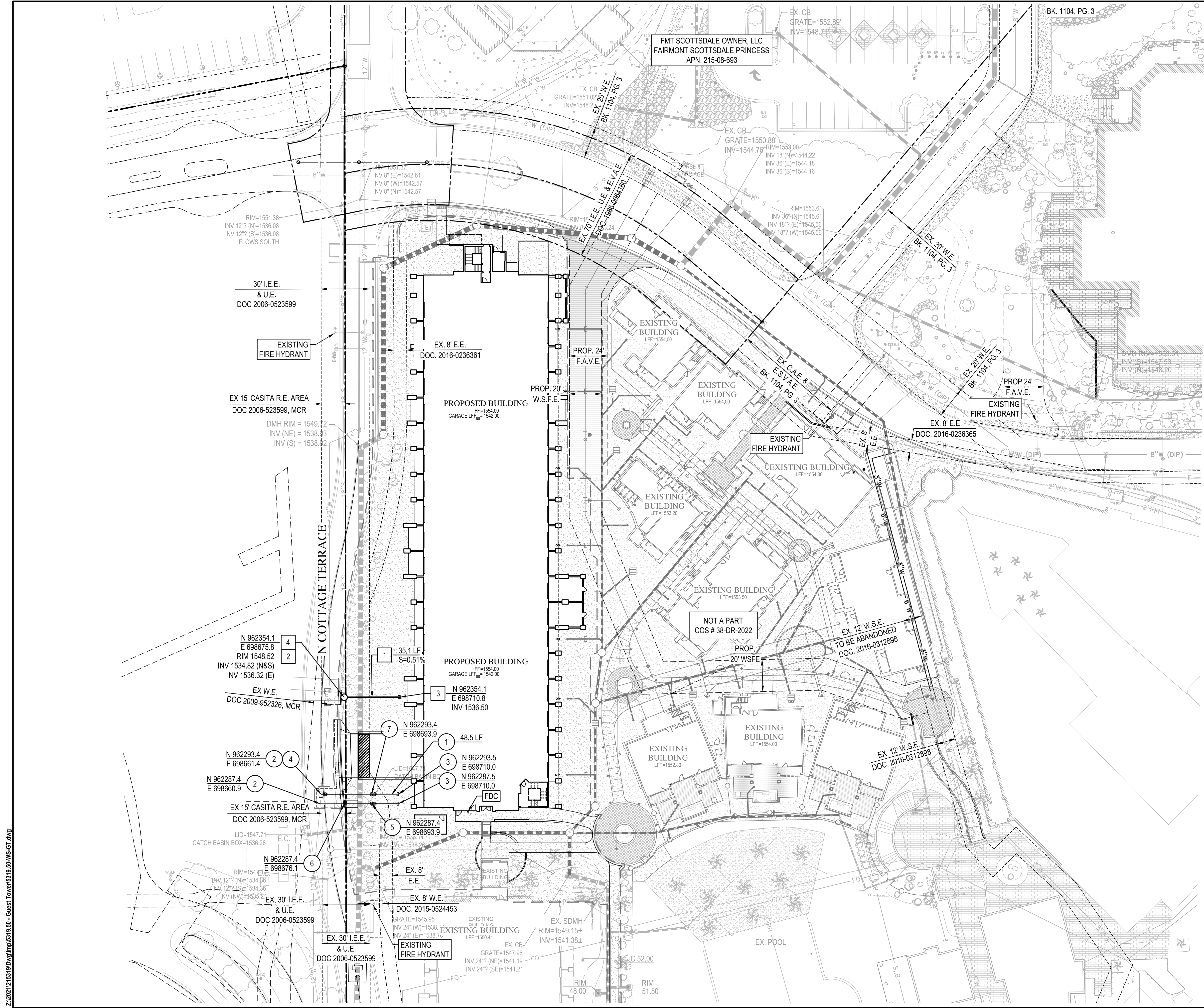
REV	DESCRIPTION	DATE



SCALE (HORIZ.) 1" = 40'  
 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.50  
 SHEET C3 OF 9







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 Land Survey  
 Construction Management  
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 www.woodpatel.com



Call at least two full working days before you begin excavation.  
 ARIZONA811  
 Arizona Blue Stakes, Inc.  
 Dial 8-1-1 or 1-800-STAKE-11 (1-800-782-5241)  
 In Maricopa County (602) 953-1100

**FAIRMONT SCOTTSDALE PRINCESS  
 GUEST ROOM ADDITION  
 PRELIMINARY IMPROVEMENT PLANS  
 SCOTTSDALE, ARIZONA  
 WATER AND SEWER PLAN**

**WATER NOTES**

1. INSTALL 6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
2. CONNECT TO EXISTING WATER LINE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. INSTALL GATE VALVE WITH FLANGES, VALVE BOX, AND COVER PER M.A.G. STD. DETAIL 391-1 (VALVE TO MATCH WATERLINE SIZE).
5. INSTALL 3" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DTL. 2353.
6. INSTALL 3" DOMESTIC WATER METER & SERVICE. METER VAULT AND COVER PER COS STD DETAILS 2345-1 & 2345-2. ALL METERS TO BE INSTALLED BY COS AFTER PAYMENT OF ALL FEES.
7. INSTALL 6" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DTL. 2353.

**SEWER NOTES**

1. INSTALL 8" POLYWRAPPED DIP PRESSURE CLASS 350 WITH EPOXY LINING FOR SANITARY SEWER PER MAG SPEC SECTION 615.
2. CONNECT TO EXISTING 18" SANITARY SEWER. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. INSTALL 48" SANITARY SEWER MANHOLE PER M.A.G. STD. DTL. 419-1 WITH COVER PER COS STD. DTL. 2421. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

**CITY OF SCOTTSDALE FIRE  
 GENERAL NOTES:**

1. NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM SHALL BE REQUIRED.
2. KEY SWITCH/PIRE-EMPTION SENSOR PER FIRE ORDINANCE 4562, SECTION 503.

REV	DATE	DESCRIPTION



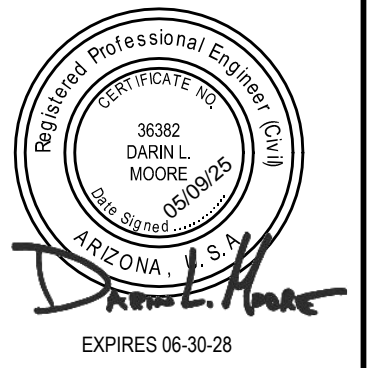
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 SCALE (VERT.) N/A  
 DATE 05/09/2025  
 JOB NUMBER 215319.50  
 SHEET C6 OF 9

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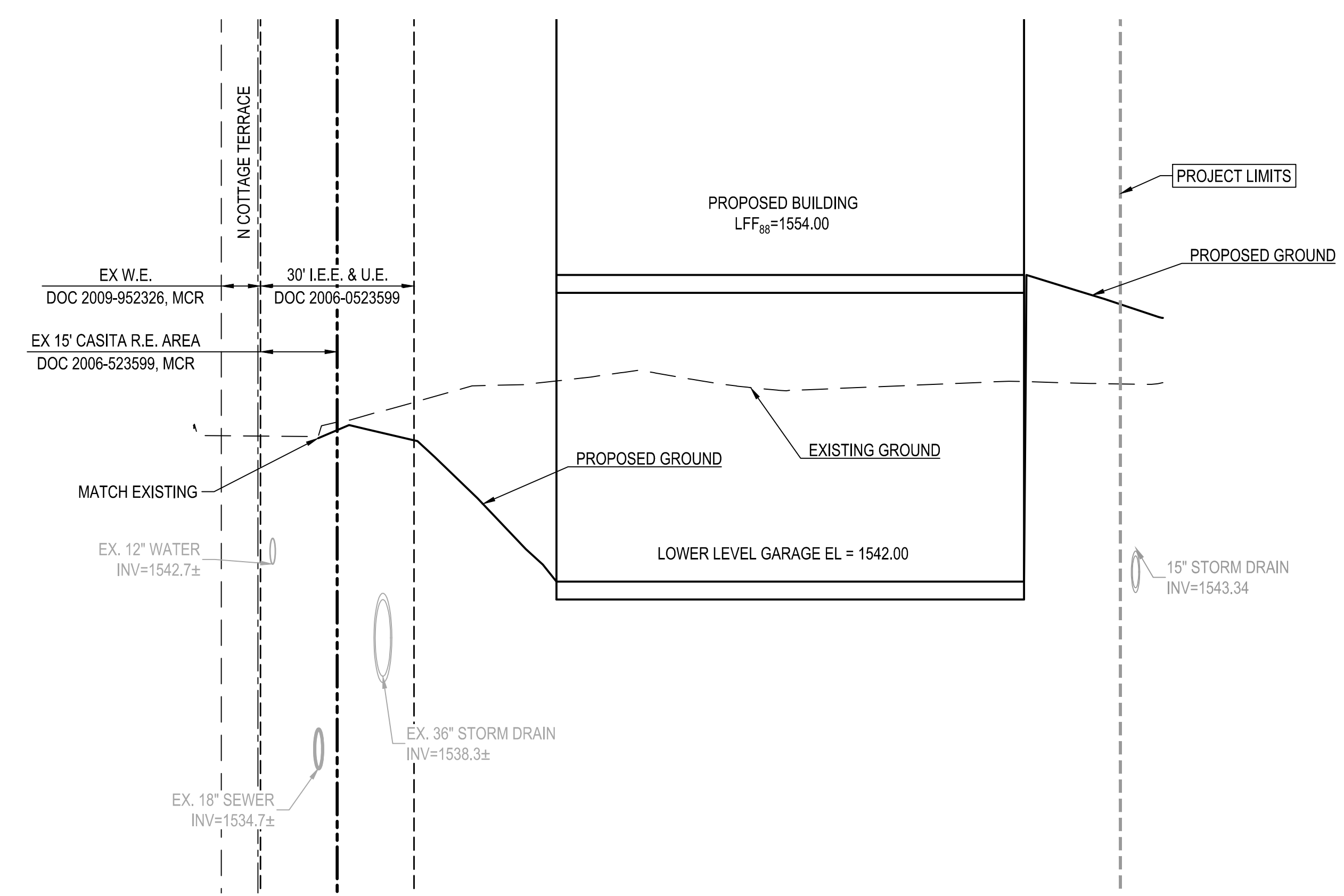
CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

**FAIRMONT SCOTTSDALE PRINCESS  
GUEST ROOM ADDITION  
PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
SECTIONS

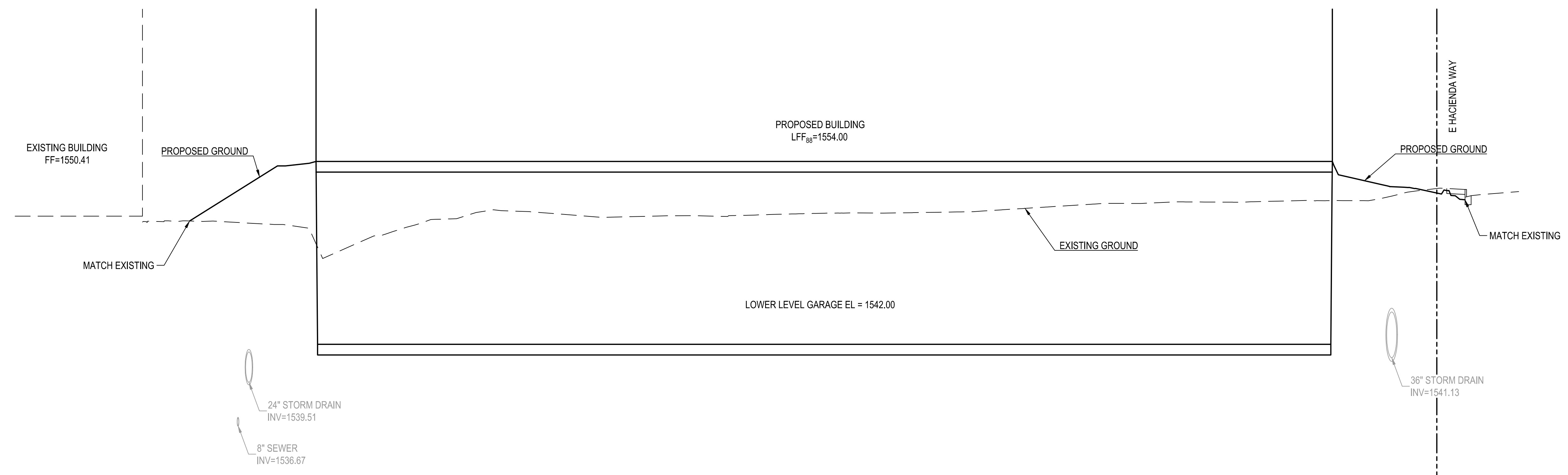
REV	DESCRIPTION	DATE



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SCALE (VERT.)	N/A
DATE	05/09/2025
JOB NUMBER	215319.50
SHEET	C7 OF 9



**SECTION A**  
N.T.S.

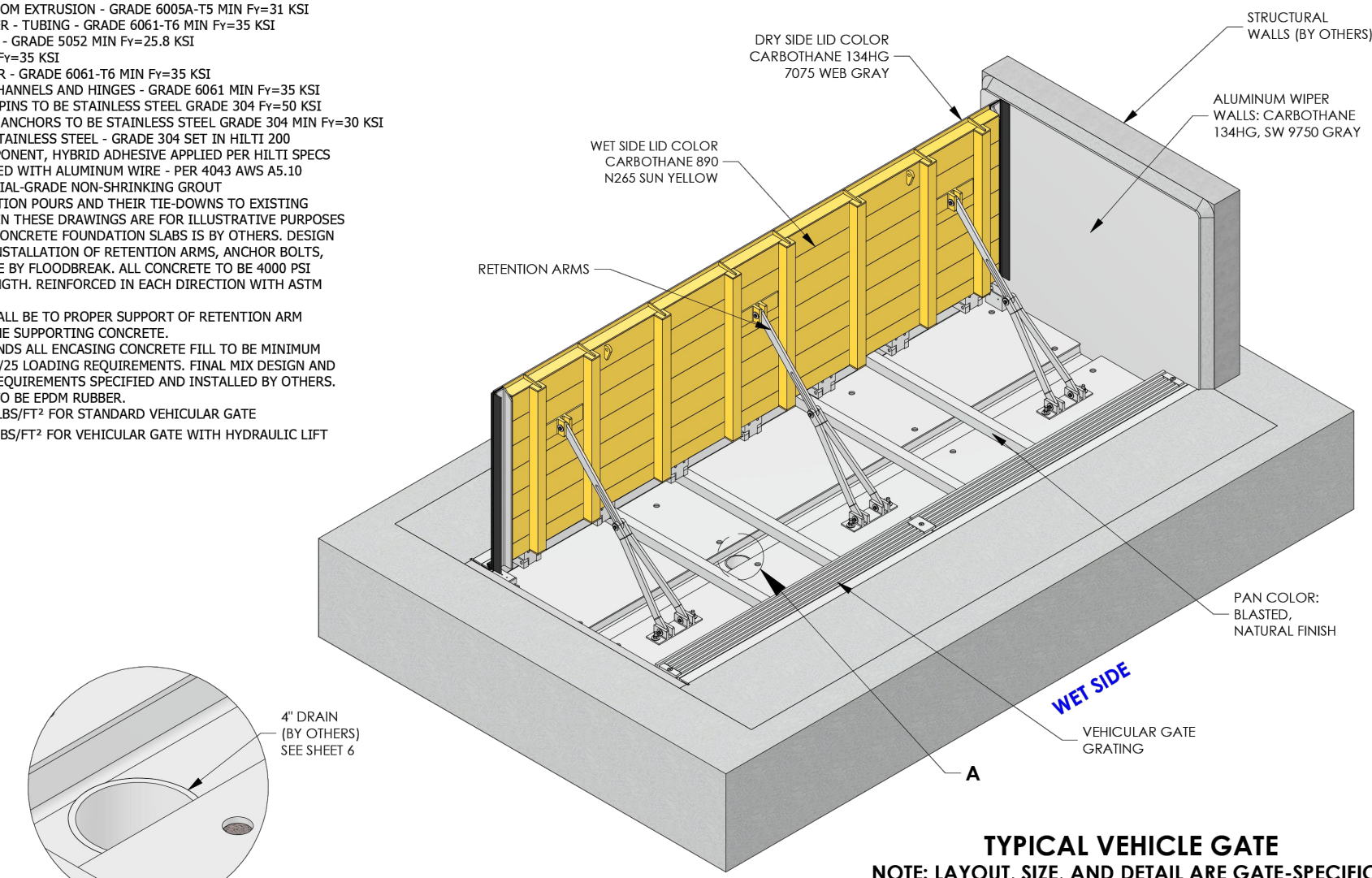


**SECTION B**  
N.T.S.

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**STRUCTURAL SPECIFICATIONS:**

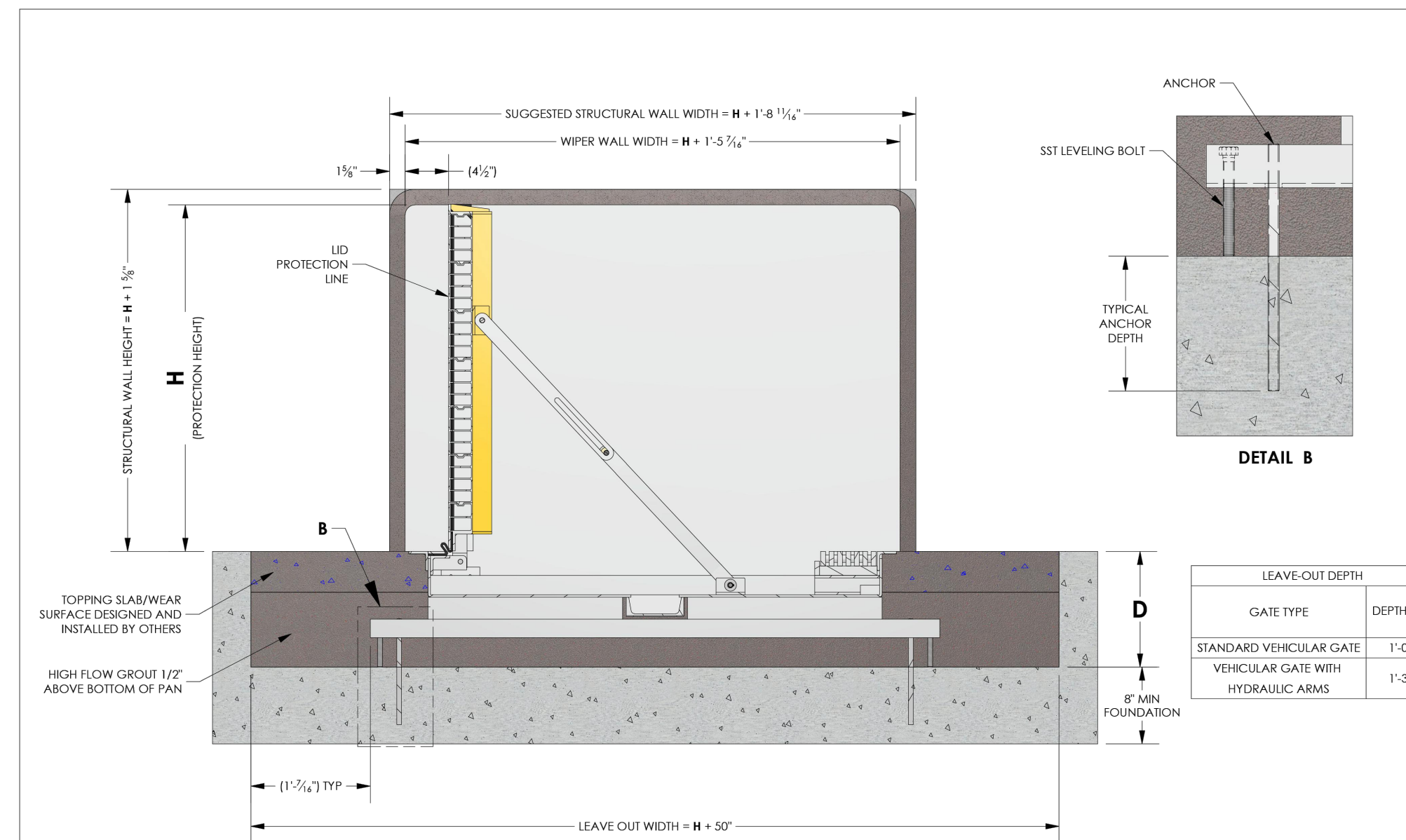
- FLOODGATE MATERIAL TO BE ALUMINUM AS FOLLOWS:
  - LID EXTRUSION - CUSTOM EXTRUSION - GRADE 6061-T6 MIN F<sub>y</sub>=31 KSI
  - LID AND PAN STIFFENERS - TUBING - GRADE 6061-T6 MIN F<sub>y</sub>=31 KSI
  - SMOOTH SHEET/PAN - GRADE 5052 MIN F<sub>y</sub>=25.8 KSI AND GRADE 6061 MIN F<sub>y</sub>=35 KSI
- RETENTION ARMS - BAR - GRADE 6061-T6 MIN F<sub>y</sub>=35 KSI
- FLAT BARS, ANGLES, CHANNELS AND RINGS - GRADE 6061 MIN F<sub>y</sub>=35 KSI
- HEDGE AND RETENTION PINS TO BE STAINLESS STEEL GRADE 304 F<sub>y</sub>=50 KSI
- BOLTS, FASTENERS AND ANCHORS TO BE STAINLESS STEEL GRADE 304 F<sub>y</sub>=50 KSI
- ANCHOR BOLTS TO BE STAINLESS STEEL - GRADE 304 SET IN HDL11 200
- ALUMINUM TO BE WELDED WITH ALUMINUM WELD - PER 409 ASME AS 10
- INJECTABLE, TWO-COMPONENT, HYBRID ADHESIVE APPLIED PER HLT1 200
- ALUMINUM TO BE WELDED WITH ALUMINUM WELD - PER 409 ASME AS 10
- GROUT TO BE COMMERCIAL GRADE NON-SHRINKING GROUT
- ALL CONCRETE FOUNDATION POURS AND THEIR TIE-BOLDS TO EXISTING FOUNDATIONS SHOWN IN THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. DESIGN OF THE CONCRETE FOUNDATION SLABS IS BY OTHERS. DESIGN AND SUPERVISION OF INSTALLATION OF RETENTION ARMS, ANCHOR BOLTS, AND GATE ANCHORS ARE BY FLOODBREAK. ALL CONCRETE TO BE 4000 PSI MINIMUM 28-DAY STRENGTH, REINFORCED IN EACH DIRECTION WITH ASTM A615 MIN F<sub>y</sub>=40 KSI. SPECIAL ATTENTION SHALL BE TO PROPER SUPPORT OF RETENTION ARM ANCHOR BOLTS INTO THE SUPPORTING CONCRETE.
- FLOODBREAK RECOMMENDS ALL ENCASED CONCRETE FILL TO BE MINIMUM 3000PSI TO MEET HS-20/25 LOADING REQUIREMENTS. FINAL MIX DESIGN AND ANY REINFORCEMENT REQUIREMENTS SPECIFIED AND INSTALLED BY OTHERS.
- ALL GASKET MATERIAL TO BE EPDM RUBBER.
- TOTAL WEIGHT: ~18.6 LBS/FT FOR STANDARD VEHICULAR GATE
- TOTAL WEIGHT: ~23.0 LBS/FT FOR VEHICULAR GATE WITH HYDRAULIC LIFT



DETAIL A

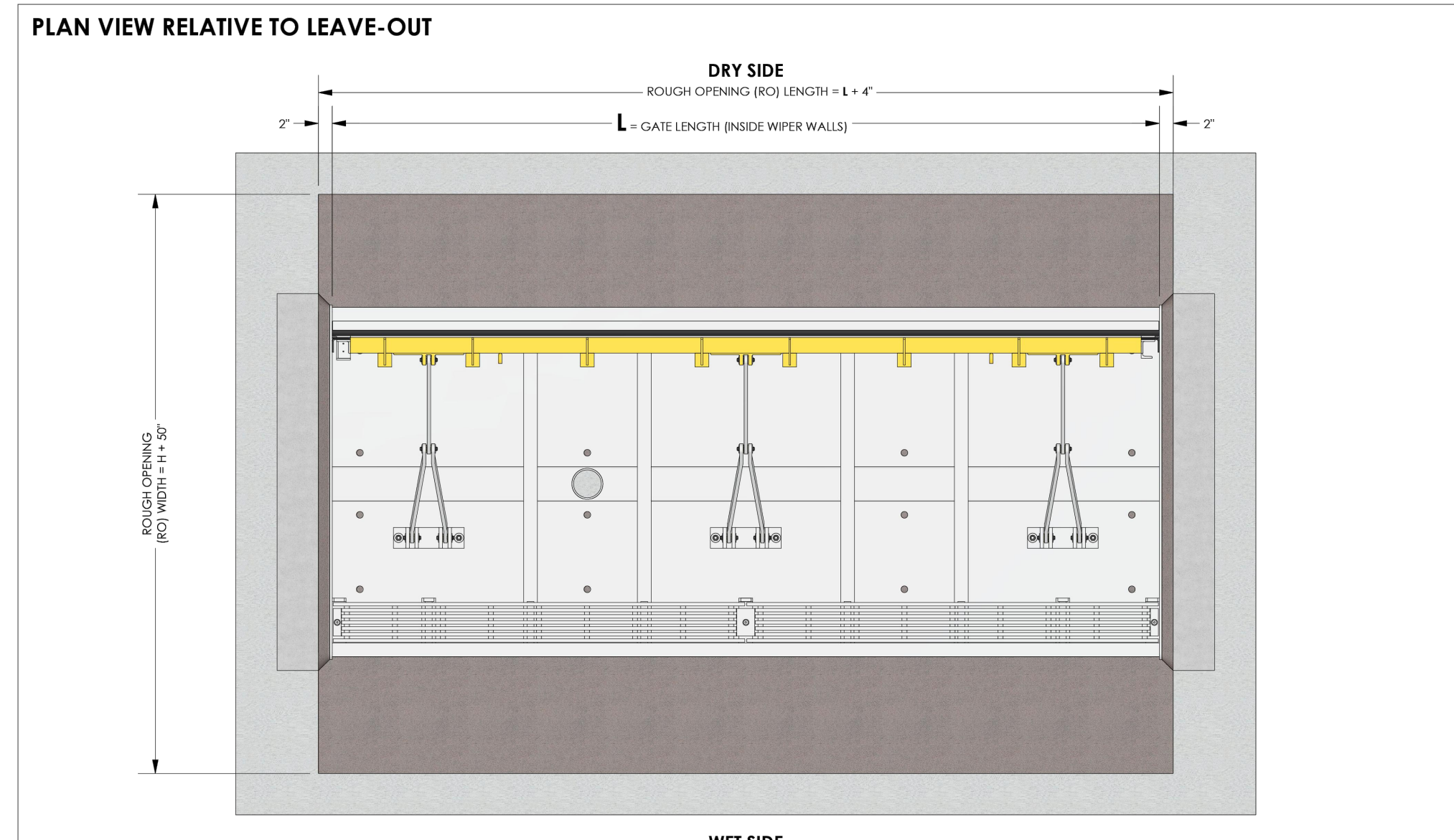
**TYPICAL VEHICLE GATE**  
NOTE: LAYOUT, SIZE, AND DETAIL ARE GATE-SPECIFIC  
LEFT WALL HIDDEN FOR CLARITY

FINISH	SEE WO	CONTRACT	TBD	PRODUCT	VEHICLE GATE
SERIAL	TBD	PRODUCT	VEHICLE GATE	NAME	DATE
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE INTELLECTUAL PROPERTY OF FLOODBREAK LLC, AND IS COVERED BY U.S. PATENTS AT PAT: <a href="http://floodbreak.com/patents/">HTTP://FLOODBREAK.COM/PATENTS/</a> AND PATENTS PENDING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF FLOODBREAK LLC IS PROHIBITED.					
DO NOT SCALE DRAWING					
A XXXXX-VGEX-00000-00 0					
N/A 1 OF 6					



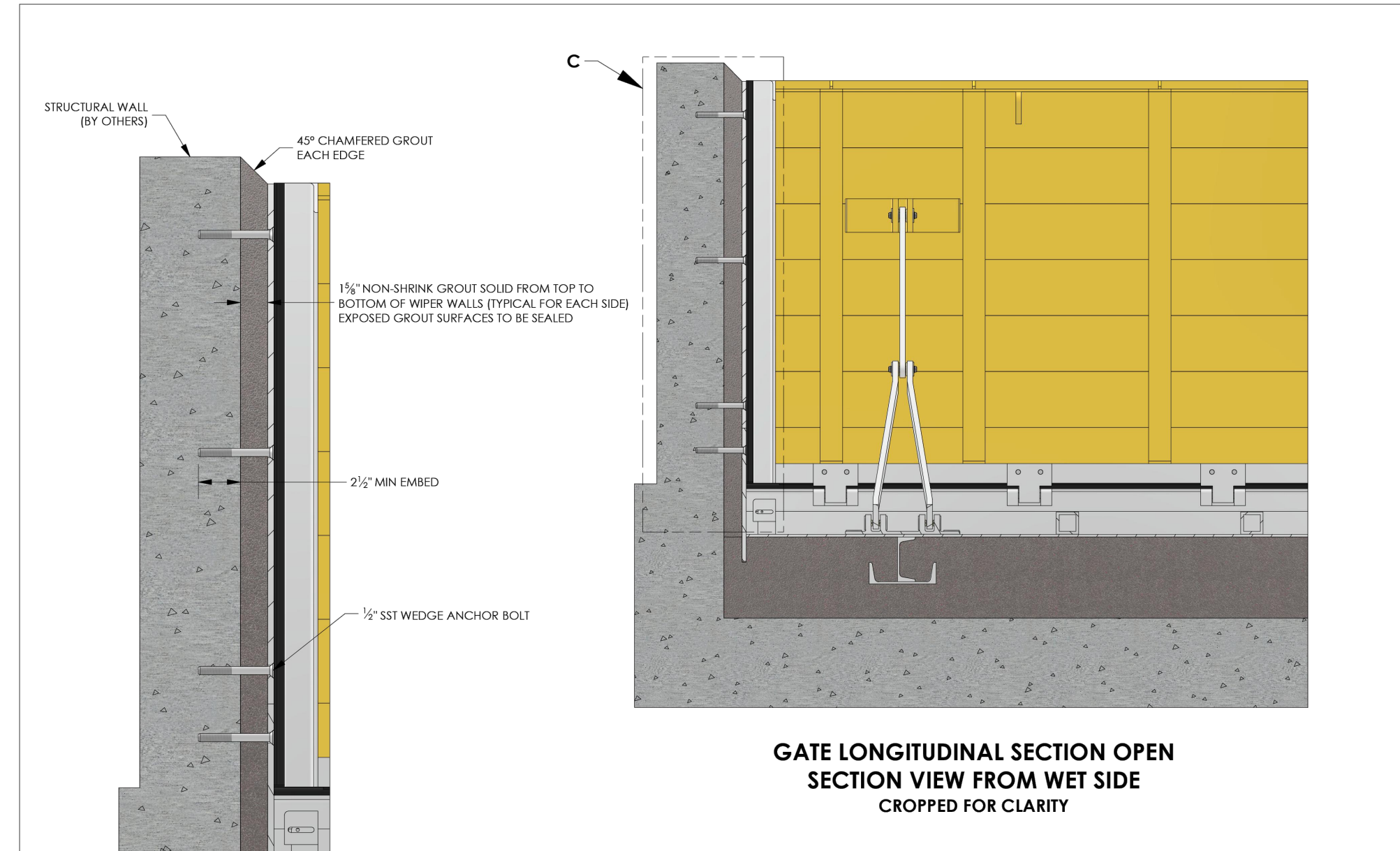
DETAIL B

FINISH	SEE WO	CONTRACT	TBD	PRODUCT	VEHICLE GATE
SERIAL	TBD	PRODUCT	VEHICLE GATE	NAME	DATE
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DO NOT SCALE DRAWING					
A XXXXX-VGEX-00000-00 0					
N/A 2 OF 6					



WET SIDE

FINISH	SEE WO	CONTRACT	TBD	PRODUCT	VEHICLE GATE
SERIAL	TBD	PRODUCT	VEHICLE GATE	NAME	DATE
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE INTELLECTUAL PROPERTY OF FLOODBREAK LLC, AND IS COVERED BY U.S. PATENTS AT PAT: <a href="http://floodbreak.com/patents/">HTTP://FLOODBREAK.COM/PATENTS/</a> AND PATENTS PENDING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF FLOODBREAK LLC IS PROHIBITED.					
DO NOT SCALE DRAWING					
A XXXXX-VGEX-00000-00 0					
N/A 3 OF 6					



**GATE LONGITUDINAL SECTION OPEN**  
SECTION VIEW FROM WET SIDE  
CROPPED FOR CLARITY

DETAIL C  
WIPER WALL FRONT SECTION

FINISH	SEE WO	CONTRACT	TBD	PRODUCT	VEHICLE GATE
SERIAL	TBD	PRODUCT	VEHICLE GATE	NAME	DATE
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DO NOT SCALE DRAWING					
A XXXXX-VGEX-00000-00 0					
N/A 4 OF 6					

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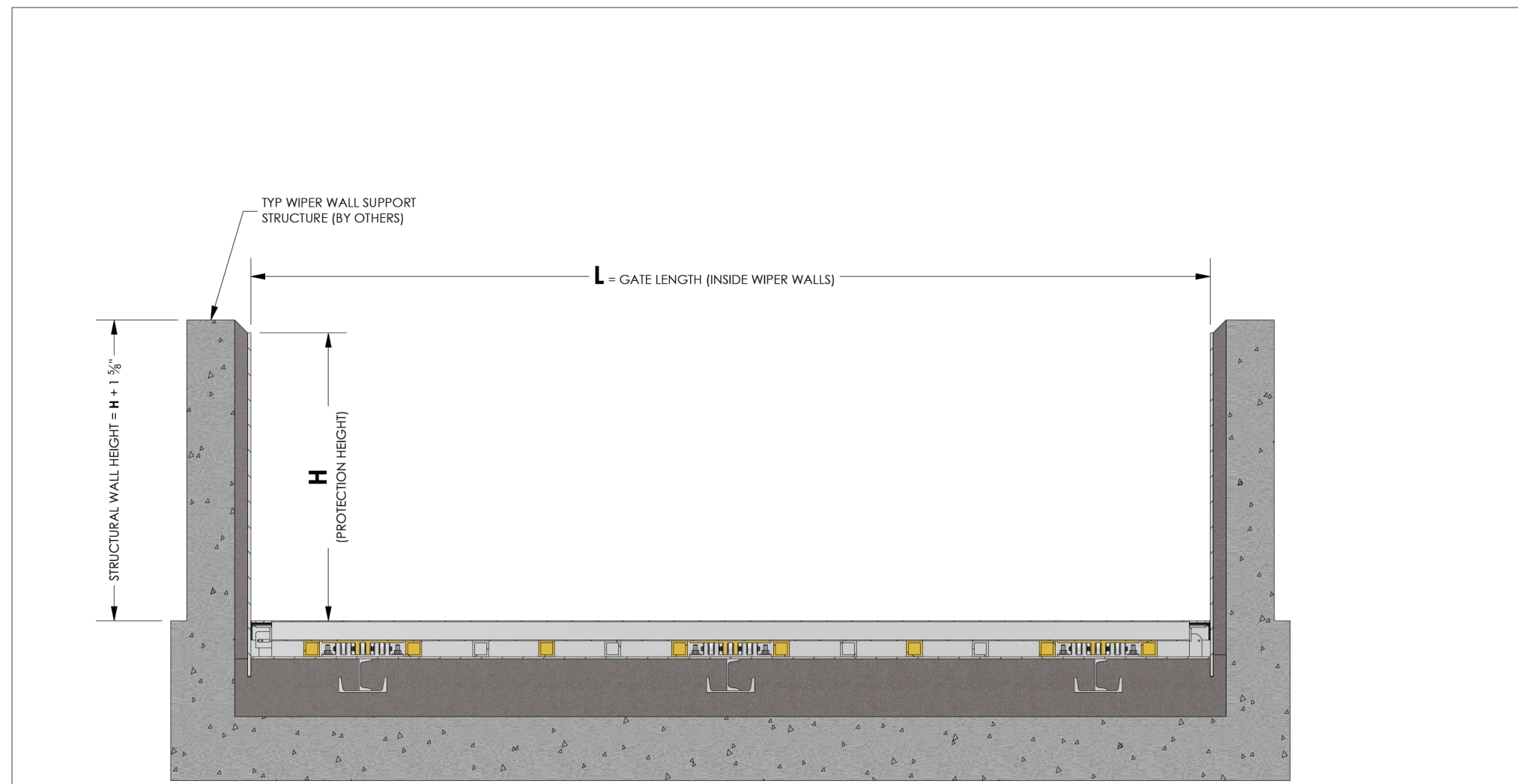
**FAIRMONT SCOTTSDALE PRINCESS  
GUEST ROOM ADDITION  
PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
DETAILS

REV	DESCRIPTION	DATE



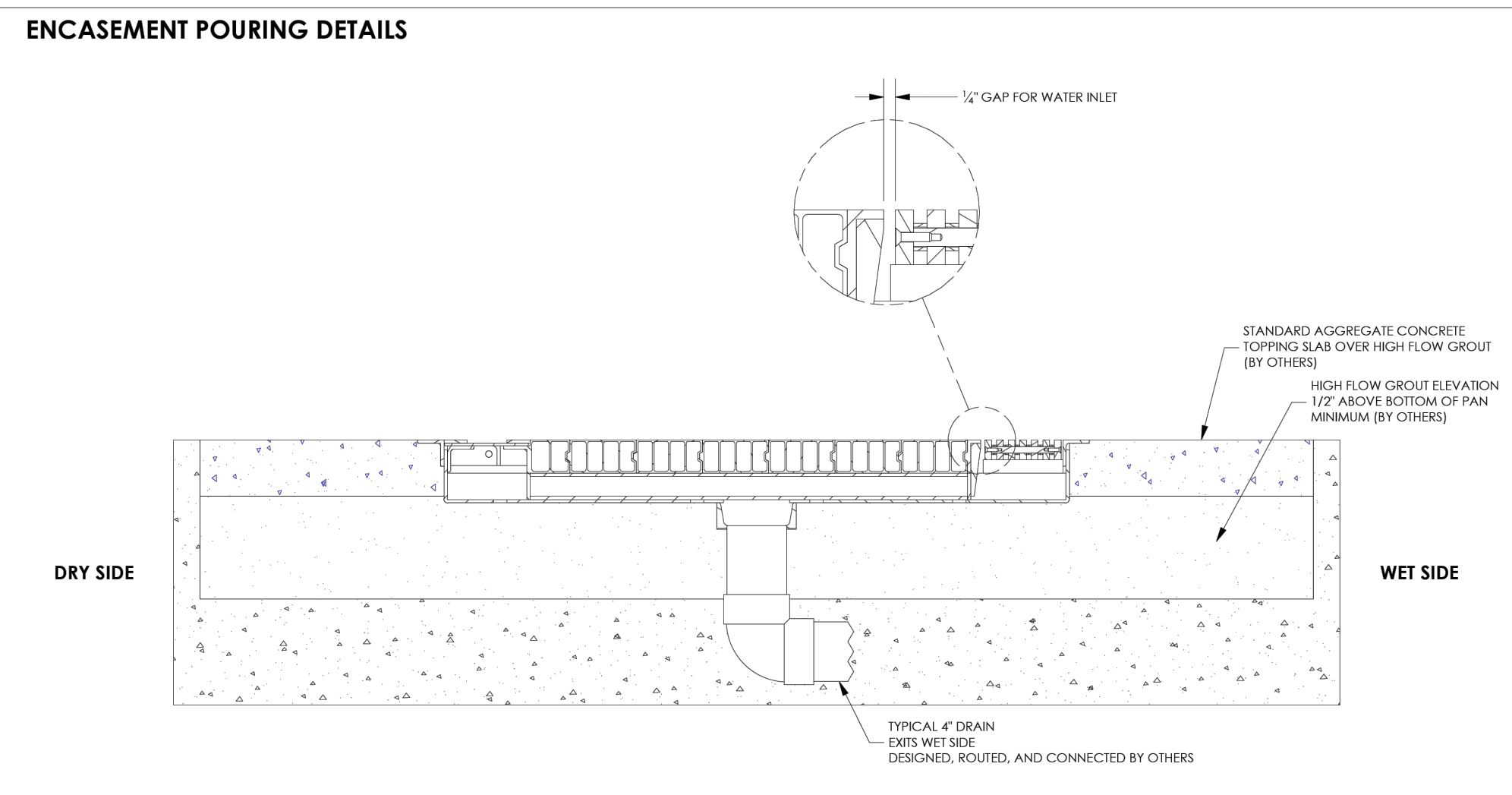
SCALE (HORIZ.) N/A  
SCALE (VERT.) N/A  
DATE 05/09/2025  
JOB NUMBER 215319.50  
SHEET C8 OF 9

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS



LONGITUDINAL SECTION IN CLOSED POSITION  
(VIEW FROM WET SIDE)

FINISH	SEE W/O	CONTRACT	TBD	<b>FloodBreak</b>	
SERIAL	TBD	PRODUCT	VEHICLE GATE	REVOLUTIONARY FLOOD CONTROL <a href="http://floodbreak.com">http://floodbreak.com</a>	
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE INTELLECTUAL PROPERTY OF FLOODBREAK, LLC, AND IS COVERED BY U.S. PATENTS BY: <a href="http://floodbreak.com/PATENTS/">HTTP://FLOODBREAK.COM/PATENTS/</a> AND PATENTS PENDING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF FLOODBREAK, LLC IS PROHIBITED.					
DRAWN		CHECKED		EXAMPLE VEHICULAR GATE	
APPROVED				DO NOT SCALE DRAWING	
A		XXXXX-VGEX-00000-00		0	
N/A				5 OF 6	



DRY SIDE

WET SIDE

FINISH	SEE W/O	CONTRACT	TBD	<b>FloodBreak</b>	
SERIAL	TBD	PRODUCT	VEHICLE GATE	REVOLUTIONARY FLOOD CONTROL <a href="http://floodbreak.com">http://floodbreak.com</a>	
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE INTELLECTUAL PROPERTY OF FLOODBREAK, LLC, AND IS COVERED BY U.S. PATENTS BY: <a href="http://floodbreak.com/PATENTS/">HTTP://FLOODBREAK.COM/PATENTS/</a> AND PATENTS PENDING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF FLOODBREAK, LLC IS PROHIBITED.					
DRAWN		CHECKED		EXAMPLE VEHICULAR GATE	
APPROVED				DO NOT SCALE DRAWING	
A		XXXXX-VGEX-00000-00		0	
N/A				6 OF 6	

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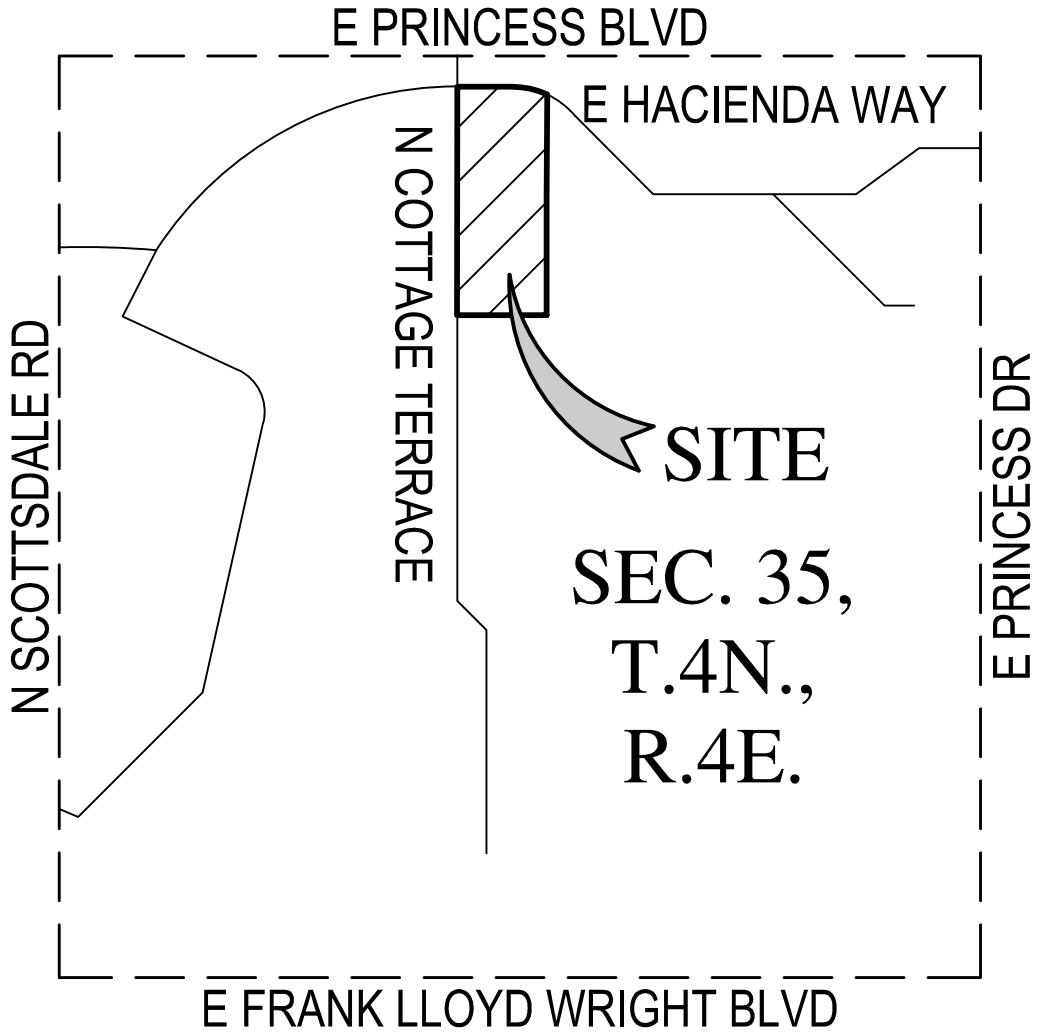
**FAIRMONT SCOTTSDALE PRINCESS  
GUEST ROOM ADDITION  
PRELIMINARY IMPROVEMENT PLANS**  
SCOTTSDALE, ARIZONA  
DETAILS

REV	DESCRIPTION	DATE



SCALE (HORIZ.) N/A  
SCALE (VERT.) N/A  
DATE 05/09/2025  
JOB NUMBER 215319.50  
SHEET  
C9 OF 9

**EXHIBIT 1 – VICINITY MAP**



**SITE**  
**SEC. 35,**  
**T.4N.,**  
**R.4E.**

**VICINITY MAP**  
 N.T.S.

**NOT**  
 FOR  
 CONSTRUCTION  
 OR RECORDING

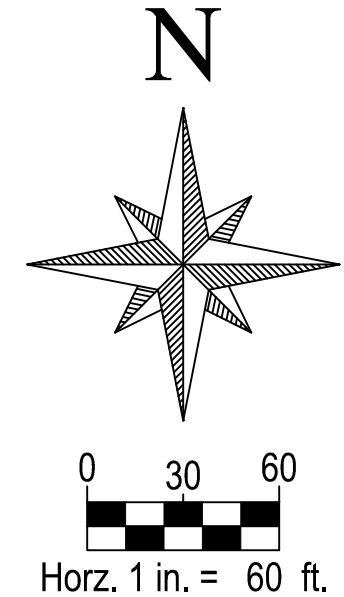
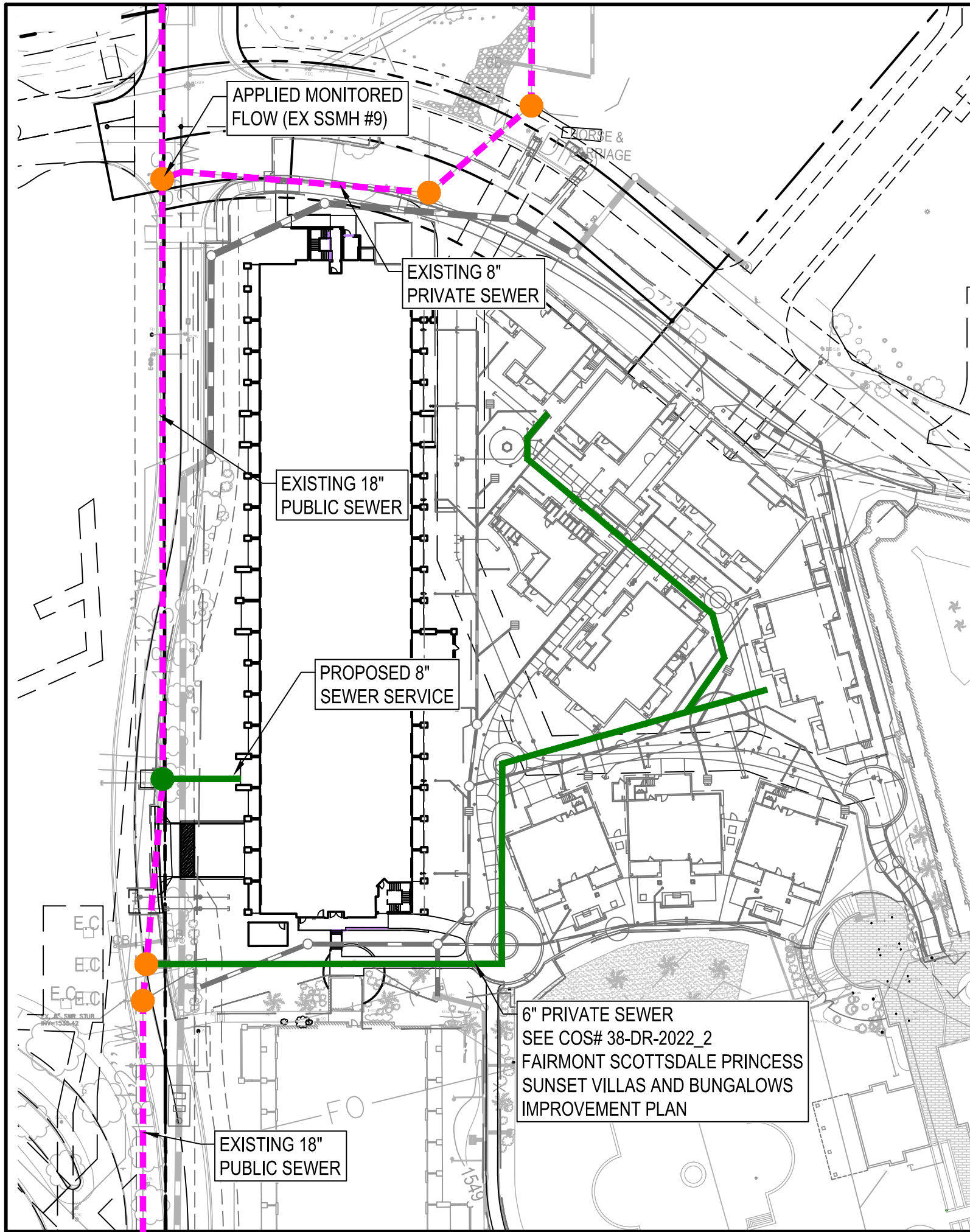


FAIRMONT SCOTTSDALE PRINCESS

**GUEST ROOM ADDITION**  
**VICINITY MAP**

DATE	05/09/2025	SCALE	N.T.S	SHEET	1 OF 1
JOB NO.	215319.50	DESIGN	AJS	CHECK	RS
		DRAWN	AJS	RFI #	

**EXHIBIT 2 – WASTEWATER EXHIBIT**



### LEGEND

- - - - - EXISTING SEWER PIPE
- PROPOSED SEWER PIPE
- PROPERTY BOUNDARY
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE

6" PRIVATE SEWER  
 SEE COS# 38-DR-2022\_2  
 FAIRMOUNT SCOTTSDALE PRINCESS  
 SUNSET VILLAS AND BUNGALOWS  
 IMPROVEMENT PLAN

**NOT  
 FOR  
 CONSTRUCTION  
 OR RECORDING**



FAIRMOUNT SCOTTSDALE PRINCESS

GUEST ROOM ADDITION  
 WASTEWATER EXHIBIT

DATE	05/09/2025	SCALE	1" = 60'	SHEET	1 OF 1
JOB NO.	215319.50	DESIGN	AJS	DRAWN	AJS