



WATER BASIS OF DESIGN REPORT

Scottsdale UMC Multifamily

Parcel 173-52-001A

4140 North Miller Road
Scottsdale, AZ 85251

RICK Job No. 7251
October 2, 2025



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Water Basis of Design Report
COS #: 14-DR-2025

Prepared For:

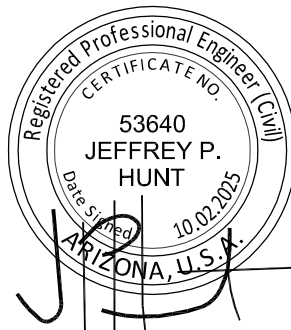
Gorman & Company

608 E Missouri Ave

Phoenix Az, 85012

P: 602-430-8345

Attn: Dan Klocke



Jeff Hunt, P.E.
October 2nd, 2025

Prepared By:

RICK ENGINEERING COMPANY

2401 W. Peoria Ave, Ste 130

Phoenix, Arizona 85029

(602) 957-3350

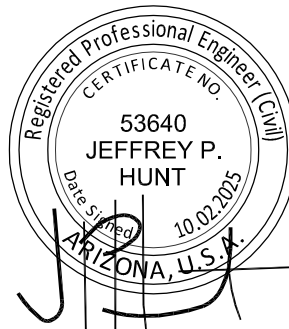
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- A Location Map
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I. INTRODUCTION

1. PROJECT NAME AND LOCATION

The Project is known as 'Scottsdale UMC Multifamily' and is located at 4140 N Miller Road in Scottsdale, Arizona. Refer to Appendix A for a Location Map.

The project site is a portion of a developed parcel bounded by N Miller Road to the east, N 75th St to the west, a condominium complex to the north, and commercial development to the south. The proposed Project consists of two new buildings that make up an 83-unit multifamily residential housing complex and associated paved parking, fire system and drainage infrastructure.

The City of Scottsdale is the water service provider for this site.

2. EXISTING STUDIES

No existing studies could be found for this project that would impact the analysis of the proposed water system.

3. GOVERNING JURISDICTIONS

The project lies within the City of Scottsdale service area. The project is governed by and is design in accordance with the following requirements:

- Arizona Administrative Code Title 18 Chapter 5, "Department of Environmental Quality Environmental Reviews and Certification"
- Arizona Department of Environmental Quality, Engineering Bulletin No. 10, "Guidelines for Construction of Water Systems".
- Arizona Department of Environmental Quality, Engineering Bulletin No. 8, "Disinfection of Water Systems".
- City of Scottsdale Design Standards & Policy Manual

II. EXISTING CONDITIONS

1. WATER SYSTEM

According to utility system maps and as-built records, the existing water infrastructure consists of a two (2) 1-1/2" domestic water meters, backflow preventer and service line extending from the 8" water main within Miller Road to the existing onsite buildings, as well as an 8" backflow preventer 8" fire line that reduces to a 6" fire line to the existing buildings from the 8" water main located along the western, 75th Street, boundary of the project.

2. FLOW TEST OF EXISTING SYSTEM

A fire hydrant flow test will be conducted on the 8" main within Miller Road. It is anticipated that the line will yield adequate gpm at an approved static pressure that will be able to serve the project and continue to serve the existing buildings onsite. The test will be attached to the report at time of completion.

III. PROPOSED CONDITIONS

1. PROPOSED WATER SYSTEM

The proposed water system consists of a 166 LF 8-inch ductile iron pipe fire service, 390 LF of 2-inch domestic service line, two (2) new 2" domestic water meters and two (2) existing 1-1/2" domestic water meters, and 4 domestic backflow preventers and one new 1" landscape water meter. The northern building will be served via a new 2" service, meter, and backflow preventer located at the northeast corner of the site. The southern building will be served via a new 2" service, meter, and backflow preventer located at the northeast corner of the building. Both new services connect to the existing 8" main located in Miller Road. Both buildings get fire service from 8" lines that connect to backflow preventers located within their respective fire riser rooms. These 8" lines tie in to one new 8" line that connects to the 8" main in Miller Road. The 2 existing buildings will continue to be served by their existing fire services but relocated domestic meters and backflows will be installed on the east side of the site to accommodate new sidewalk going in. These relocated meters and backflows will connect to existing services within the site. Refer to Appendix B for the Water System Exhibit.

2. DEMANDS

Water demand is a schedule of water requirements and according to ADEQ design guidelines, and, when a water system is to serve fire protection requirements, the total system demand shall be computed by adding the required fire flow in gallons per minute (gpm) for the specified duration to the general service requirements (drinking, cooking, cleansing, toilet flushing, etc). The demands for each component are summarized below.

Domestic

Guidance for demand and peaking flow rates is taken from the 2018 City of Scottsdale Design Standards & Policies Manual.

Proposed Buildings

Building 1

Total Dwelling Units.....	53 DU
Total Site Area.....	4.49 AC
Water Usage (gallons per minute per unit).....	0.27 gpm/DU
Average Daily Demand	14.31 gpm
Max Day Factor	2.0 x ADD
Max Daily Demand	28.62 gpm
Peak Hour Factor	3.5 x ADD
Peak Hour Demand	50.09 gpm

Building 2

Total Dwelling Units.....	29 DU
Total Site Area.....	4.49 AC
Water Usage (gallons per minute per unit).....	0.27 gpm/DU
Average Daily Demand	7.83 gpm
Max Day Factor	2.0 x ADD
Max Daily Demand	15.66 gpm
Peak Hour Factor	3.5 x ADD
Peak Hour Demand	27.41 gpm

Existing Buildings (to remain)

Total Building Area.....	24,400 SF
Water Usage (gallons per minute per unit).....	0.000834 gpm/SF
Average Daily Demand	20.35 gpm
Max Day Factor	2.0 x ADD
Max Daily Demand	40.70 gpm
Peak Hour Factor	3.5 x ADD
Peak Hour Demand	71.23 gpm

The peak daily demand for this project, including existing and proposed buildings, is 149.73 gpm.

Fire

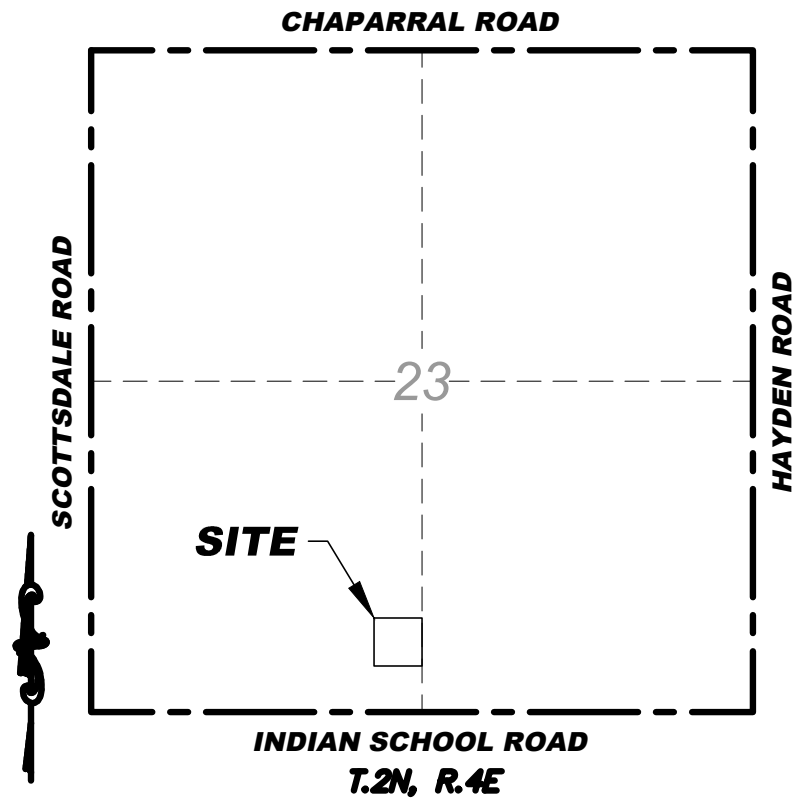
The required fire flow for the project is provided by the 2018 International Fire Code (IFC). The required flow is based on construction type of the structure and the square footage of the building. The code allows for a 75% of the fire required flow if automatic sprinklers are provided, with a minimum flow of 1,500 gpm for 2 hours with a minimum pressure of 20 psi. The following is based on data found in Appendix B of the IFC:

Building Construction Type	VB
Automatic Sprinklers	Yes
Total Building Area	25,940 SF
Required Fire Flow (unreduced)	4,250 gpm
Allowable Reduction for automatic sprinklers	75%
Required Fire Flow (reduced, minimum COS value)	1,500.00 gpm

IV. CONCLUSION

The fire flow test results will show that the resultant pressure under fire flow condition is capable of providing the project with the required fire flow under max day demands (MDD) while maintaining a system pressure of at least 20 psi at all points.

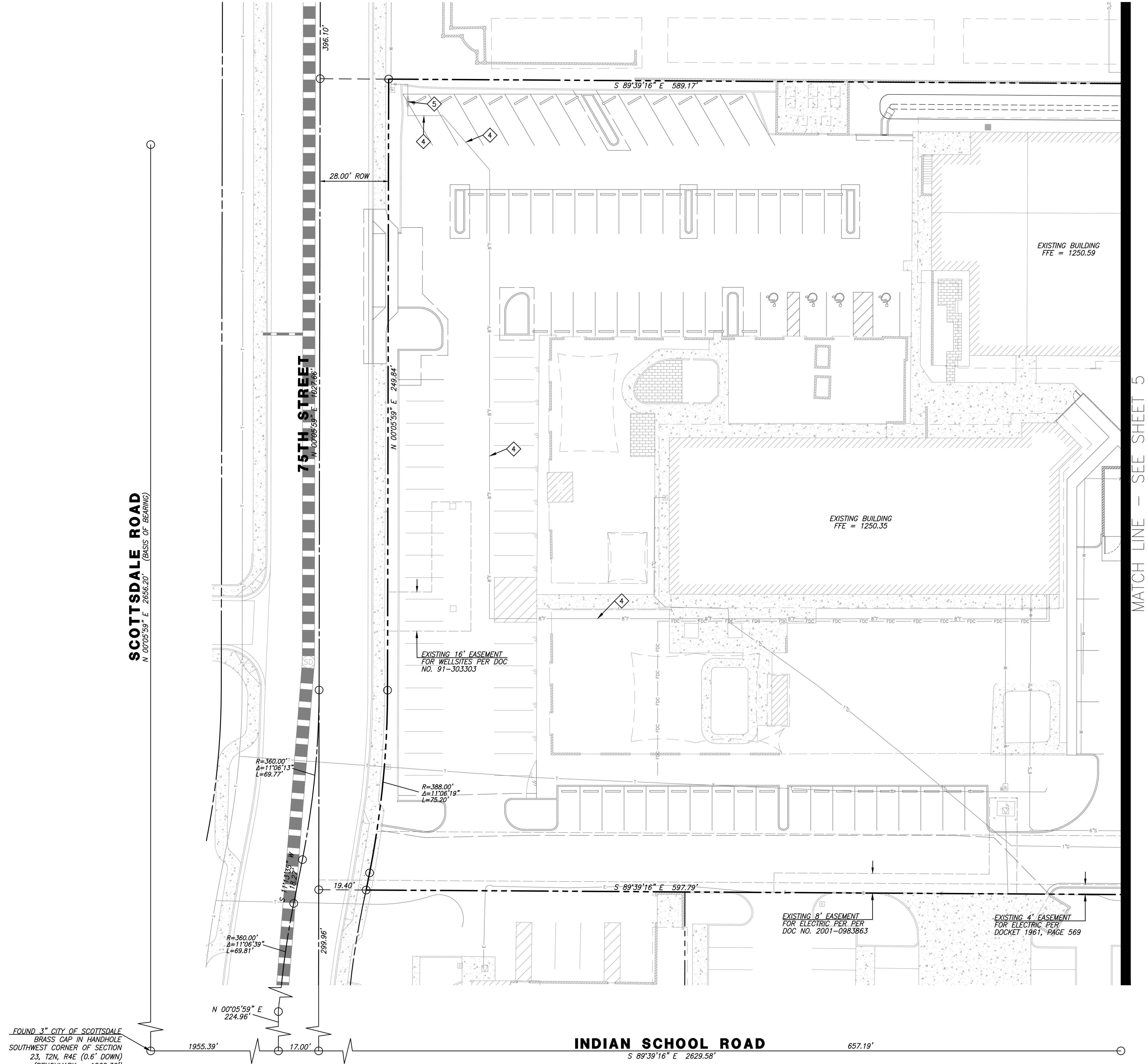
ATTACHMENT A
LOCATION MAP



VICINITY MAP

N.T.S.

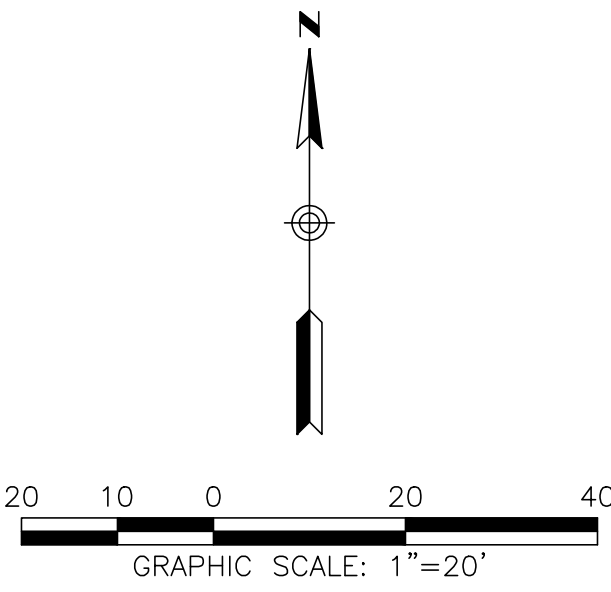
ATTACHMENT B
PRELIMINARY UTILITY PLAN



- WATER KEYNOTES**
- 1 NEW 2" SERVICE AND METER FOR DOMESTIC WATER SERVICE.
 - 2 NEW 2" DOMESTIC WATER LINE.
 - 3 NEW RPPB DOMESTIC BACKFLOW PREVENTER PER CITY OF SCOTTSDALE DETAIL 2354.
 - 4 EXISTING 1-1/2" SERVICE TO REMAIN. RELOCATE METER TO OUTSIDE PUBLIC SIDEWALK AND PRESERVE SERVICE TO EXISTING BUILDING.
 - 5 EXISTING DOMESTIC WATER LINE TO REMAIN.
 - 6 NEW 1" SERVICE AND METER FOR IRRIGATION SERVICE.

- FIRE LINE KEYNOTES**
- 1 CONNECT TO EXISTING 8" WATER MAIN USING CUT-IN TEE FOR FIRE SERVICE. INSTALL PER CITY OF SCOTTSDALE DETAIL 2362-2.
 - 2 NEW 8" DIP FIRE LINE.
 - 3 NEW 8" FIRE BACKFLOW PREVENTER IN RISER ROOM.
 - 4 EXISTING FIRE LINE TO REMAIN
 - 5 EXISTING BACKFLOW PREVENTER TO REMAIN.

- PRIVATE SEWER KEYNOTES**
- 1 CONNECT TO EXISTING 8" PVC SEWER MAIN PER MAG DETAIL 440-3.
 - 2 NEW 6" PVC SDR-35 SEWER LINE.
 - 3 CONNECT TO BUILDING SANITARY SEWER.



PRELIMINARY IMPROVEMENT PLAN PREPARED FOR:
SCOTTSDALE UMC MULTIFAMILY
4140 NORTH MILLER ROAD
SCOTTSDALE, ARIZONA 85251
CITY OF SCOTTSDALE
ONSITE UTILITY PLAN

602-957-3350
rickengineering.com

RICK

2401 W PEORIA AVE, SUITE 130
PHOENIX, AZ 85029

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: 7251
DATE: 10/02/2025
DRAWN/DESIGNED BY: JH
CHECKED BY: CN

SEAL:

NO.	BY	DATE	REVISION

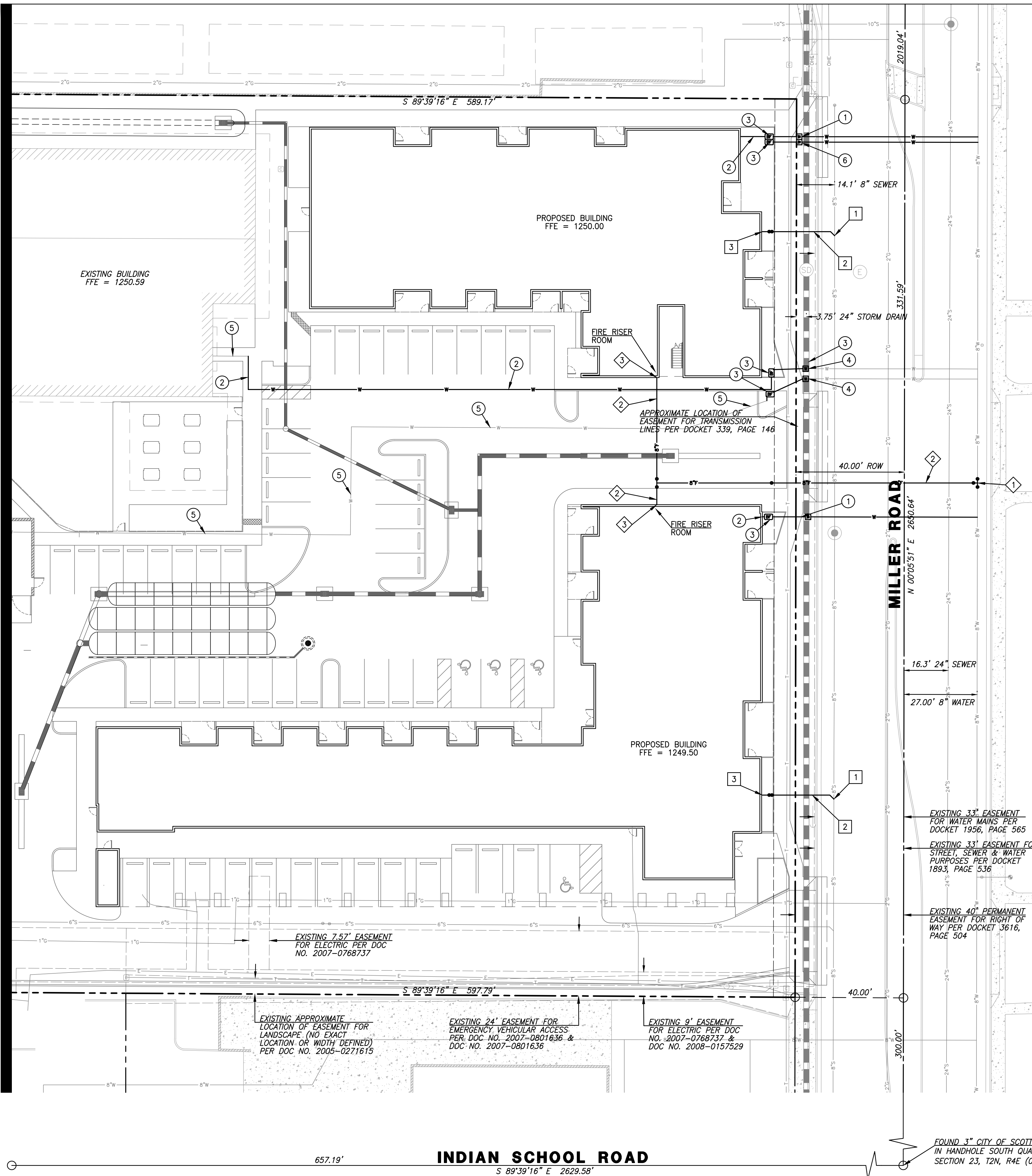
Arizona811
Call 811 or click Arizona811.com

Contact Arizona 811 at least two full working days before you begin excavation

DRAWING NO.
UT1
SHEET NO. 4 OF 6

14-DR-2025

MATCH LINE — SEE SHEET 4



WATER KEYNOTES

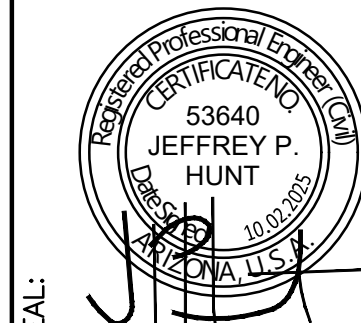
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DRAWING NO.
UT2
SHEET NO. 5 OF 6