



To: Dan Klocke
Gorman & Company

Date: March 3, 2026

From: Shelly Sorensen, PE, PTOE

Job Number: 24.5678

RE: United Methodist Church Residential
Development
Parking Study



INTRODUCTION

Lōkahi, LLC (Lōkahi) has prepared a Parking Study for the proposed United Methodist Church Residential Development, located at 4140 N. Miller Road in Scottsdale, Arizona. See **Figure 1** for the vicinity map.

The proposed residential site will be comprised of 82 affordable housing dwelling units. See **Attachment A** and **Figure 2** for the site plan.

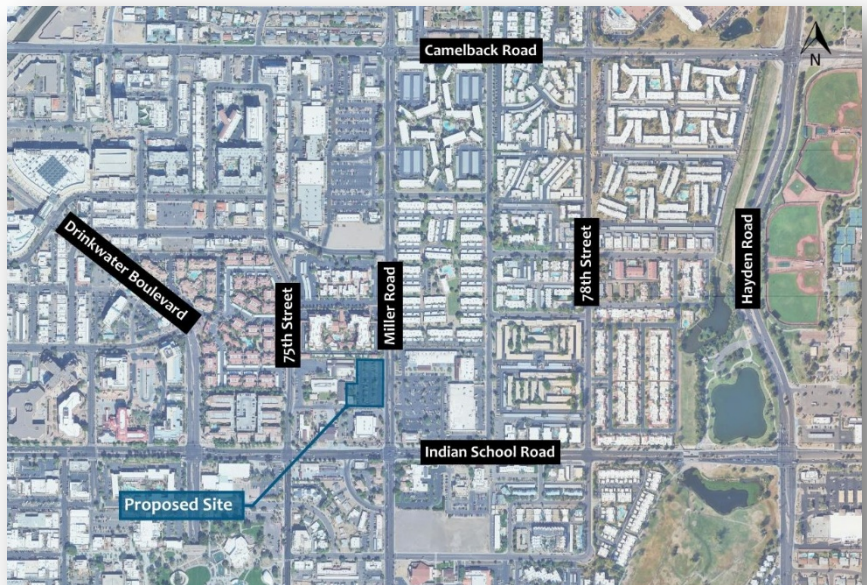


Figure 1 - Vicinity Map

The objective of this Parking Study is to establish that the 163 parking spaces will provide sufficient parking to meet the anticipated demand of the proposed residential development and the existing church and day care center.





PROPOSED DEVELOPMENT

The proposed development will consist of 82 affordable housing dwelling units. Of the 82 dwelling units, there will be 48 one-bedroom, 16 two-bedroom, and 18 three-bedroom dwelling units. See **Figure 2** for the proposed site plan.

Existing Church

The site also contains an existing church that will be reconfigured with a transept/chancel that provides 87 fixed seats with 2,156 square feet of additional classroom area.

Existing Day Care Center

The site also contains an existing day care center that has approximately 8 staff and 60 students.

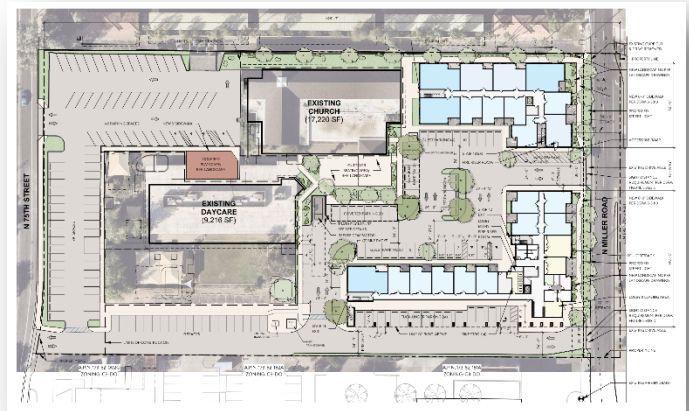


Figure 2 - Site Plan

CITY OF SCOTTSDALE REQUIRED PARKING

Table 9.103.A *Schedule of Shared Parking Requirements* within the City of Scottsdale Code of Ordinances provides the minimum off-street parking spaces required for individual stand-alone land uses. [Error! Reference source not found.](#) below provides a summary of the parking requirements within the United Methodist Church development.

Table 1 – City of Scottsdale Parking Requirement

Land Use	Rate				Quantity	Units	Parking Spaces
Multifamily - One Bedroom	1.3	per	1	DU	48	DU	63
Multifamily - Two Bedroom	1.7	per	1	DU	16	DU	28
Multifamily - Three Bedroom	1.9	per	1	DU	18	DU	35
Multifamily - Guest Parking	1.0	per	6	DU	82	DU	14
Church - Fixed Seating	1.0	per	4	Seats	87	Seats	22
Church - Classroom/Meeting Area	1.0	per	300	SF	2,156	SF	7
Day Care Center - Employee	1.0	per	1	Employee	8	Employee	8
Day Care Center - Students	1.0	per	15	Student	60	Students	4
Total							181



Utilizing the criteria provided in Table 9.103A *Schedule of Parking Requirements* within the City of Scottsdale Code of Ordinances, the City of Scottsdale requires 181 parking spaces for the existing development with the proposed residential component. **With 163 parking spaces provided, this represents a deficit of 18 (9.9%) parking spaces.**

CITY OF SCOTTSDALE SHARED PARKING MODEL

Table 9.104.A *Schedule of Shared Parking Requirements* within the City of Scottsdale Code of Ordinances provides shared parking model that can be applied when uses operate at different times throughout the day.

The City of Scottsdale Shared Parking Model for a typical weekday and weekend is shown in **Table 2** and **Table 3**, respectively.

Table 2 – City of Scottsdale Shared Parking Model (Weekday)

Land Use	Spaces Required per Scottsdale Code	12 AM - 7 AM	7 AM - 6 PM	6 PM - 12 AM
Residential	140	140	77	119
Churches and places of worship	29	0	3	9
Day Care	12	12	12	12
Parking Needed		152	92	140

Table 3 – City of Scottsdale Shared Parking Model (Weekend)

Land Use	Spaces Required per Scottsdale Code	12 AM - 7 AM	7 AM - 6 PM	6 PM - 12 AM
Residential	140	140	91	105
Churches and places of worship	29	0	29	9
Day Care	12	0	0	0
Parking Needed		140	120	114

Utilizing the shared parking model provided in Table 9.104.A *Schedule of Shared Parking Requirements* within the City of Scottsdale Code of Ordinances, the peak parking demand is 152 and 140 parking spaces for the existing development with the proposed residential component on a weekday and weekend, respectively. **With 163 parking spaces provided, this represents a surplus of 11 (7.2%) and a surplus of 23 (16.4%) parking stalls on a weekday and weekend, respectively.**



SUMMARY

The proposed United Methodist Church Residential Development site is located at 4140 N. Miller Road in Scottsdale, Arizona, and is comprised of a maximum of 82 affordable housing dwelling units.

City of Scottsdale Required Parking

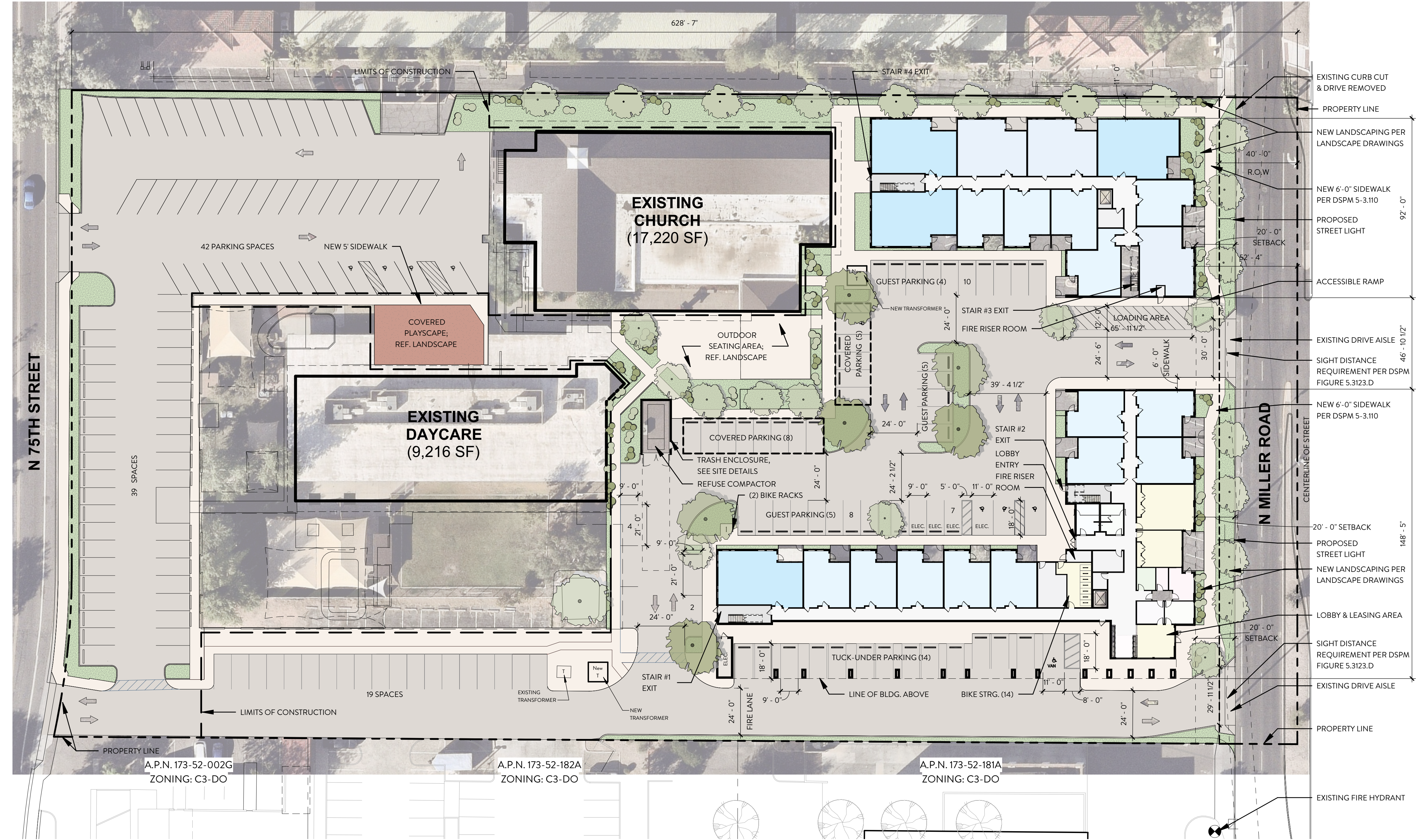
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Utilizing the shared parking model provided in Table 9.104.A *Schedule of Shared Parking Requirements* within the *City of Scottsdale Code of Ordinances*, the peak parking demand is 152 and 140 parking spaces for the existing development with the proposed residential component on a weekday and weekend, respectively. **With 163 parking spaces provided, this represents a surplus of 11 (7.2%) and a surplus of 23 (16.4%) parking stalls on a weekday and weekend, respectively.**

In conclusion, the 163 parking spaces provided will meet and exceed the parking demand associated with the existing development, the proposed residential component.



ATTACHMENT A – PROPOSED SITE PLAN



PROJECT INFORMATION

PROJECT NAME: SCOTTSDALE UMC MULTI-FAMILY
PARCEL ADDRESS: 4140 N MILLER ROAD
SCOTTSDALE, AZ 85251
PARCEL NUMBER: 173-52-001A
ZONING CASE: N/A
DRB NUMBER: 840-PA-2024

PROJECT DATA

CURRENT ZONING: C-3/DO

GROSS SITE AREA: 208,863 SF (4.795 ACRES)
NET LOT AREA: 195,600 SF (4.490 ACRES)

ALLOWABLE GFAR: 0.80/1.3
PROPOSED GFAR: 0.49

EXISTING CHURCH: 17,220 SF
EXISTING DAYCARE: 9,216 SF
GROUND FLOOR AREA: 28,288 SF
RESIDENTIAL AT GROUND FLOOR = 15,825 SF
% OF RESIDENTIAL (AT GROUND FLOOR): 29%
GROSS BUILDING AREA: 101,656 SF

ALLOWABLE BUILDING HEIGHT: 36'-0"
PROPOSED BUILDING HEIGHT: 36'-0"

ALLOWABLE DENSITY: 23 DU PER ACRE
PROPOSED DENSITY: 18 DU PER ACRE

REQUIRED OPEN SPACE: NONE

PUBLIC OPEN SPACE REQUIRED: NONE

MILLER ROAD SETBACKS
PER 5.3006.C 20'-0" MEASURED FROM BACK OF CURB
TOTAL UNITS: 82 UNITS

PARKING TABULATIONS (TABLE 9.103.A & 9.103.B)
MULTI-FAMILY: 82 UNITS
1.3/ ONE BEDROOM (48 DU X 1.3): 63 SPACES
1.7/ TWO BEDROOM (16 DU X 1.7): 28 SPACES
1.9/ THREE BEDROOM (18 DU X 1.9): 35 SPACES
TOTAL REQUIRED: 126 SPACES
GUEST PARKING (1 PER 6 UNITS): 14 SPACES
TOTAL REQUIRED (MULTIFAMILY): 140 SPACES

MULTI-FAMILY PARKING REQUIRED: 140 SPACES
CHURCH/DAYCARE PARKING REQUIRED: 41 SPACES

TOTAL PARKING REQUIRED: 181 SPACES

181 SPACES X 10% SHARED PARKING REDUCTION: 163 SPACES
(SEE PAGE 5 FOR SHARED PARKING REDUCTION)

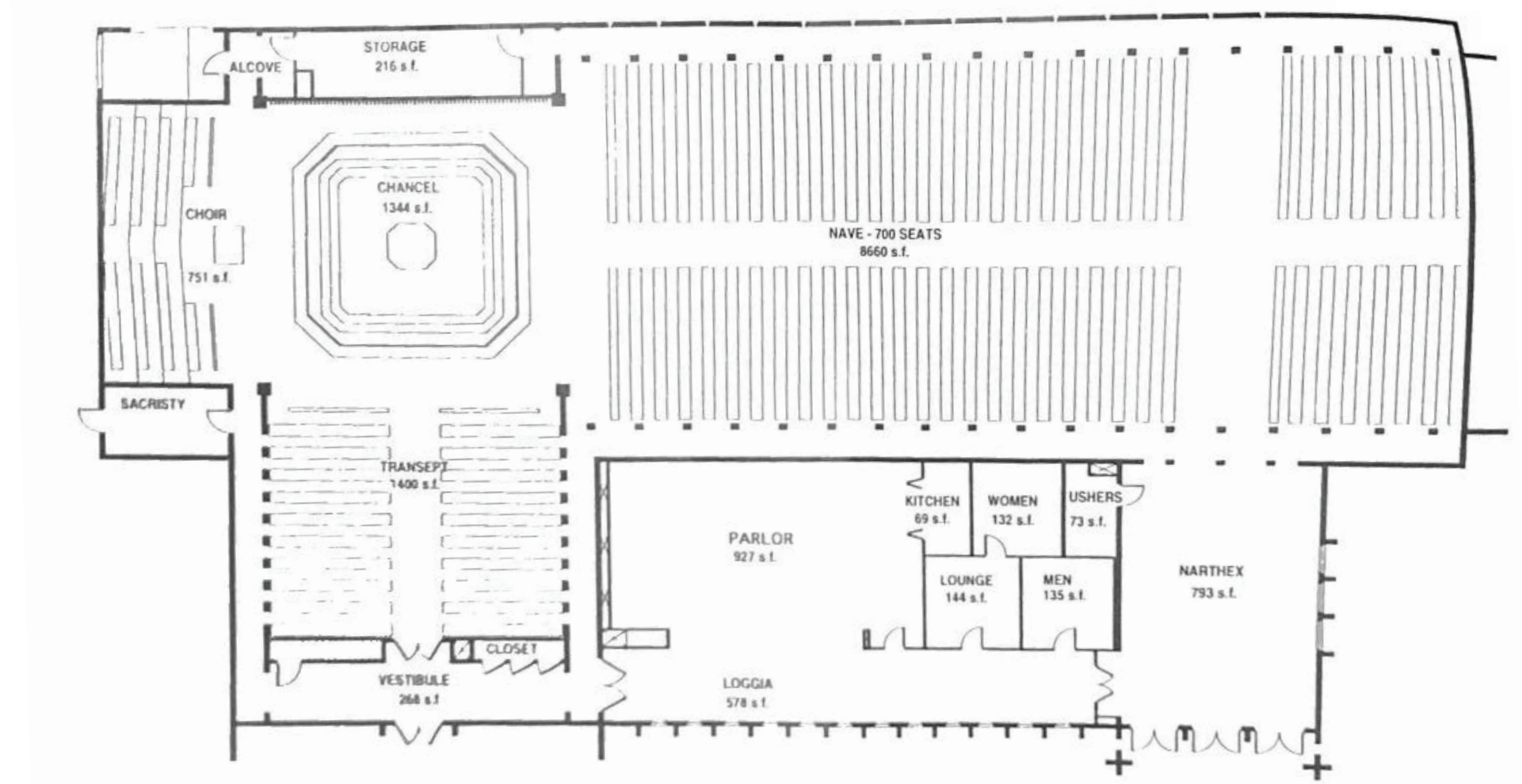
MF PARKING PROVIDED:
SURFACE: 36 SPACES
TUCK-UNDER: 14 SPACES
COVERED: 13 SPACES
TOTAL PARKING PROVIDED: 63 SPACES

TOTAL CHURCH PARKING PROVIDED: 100 SPACES

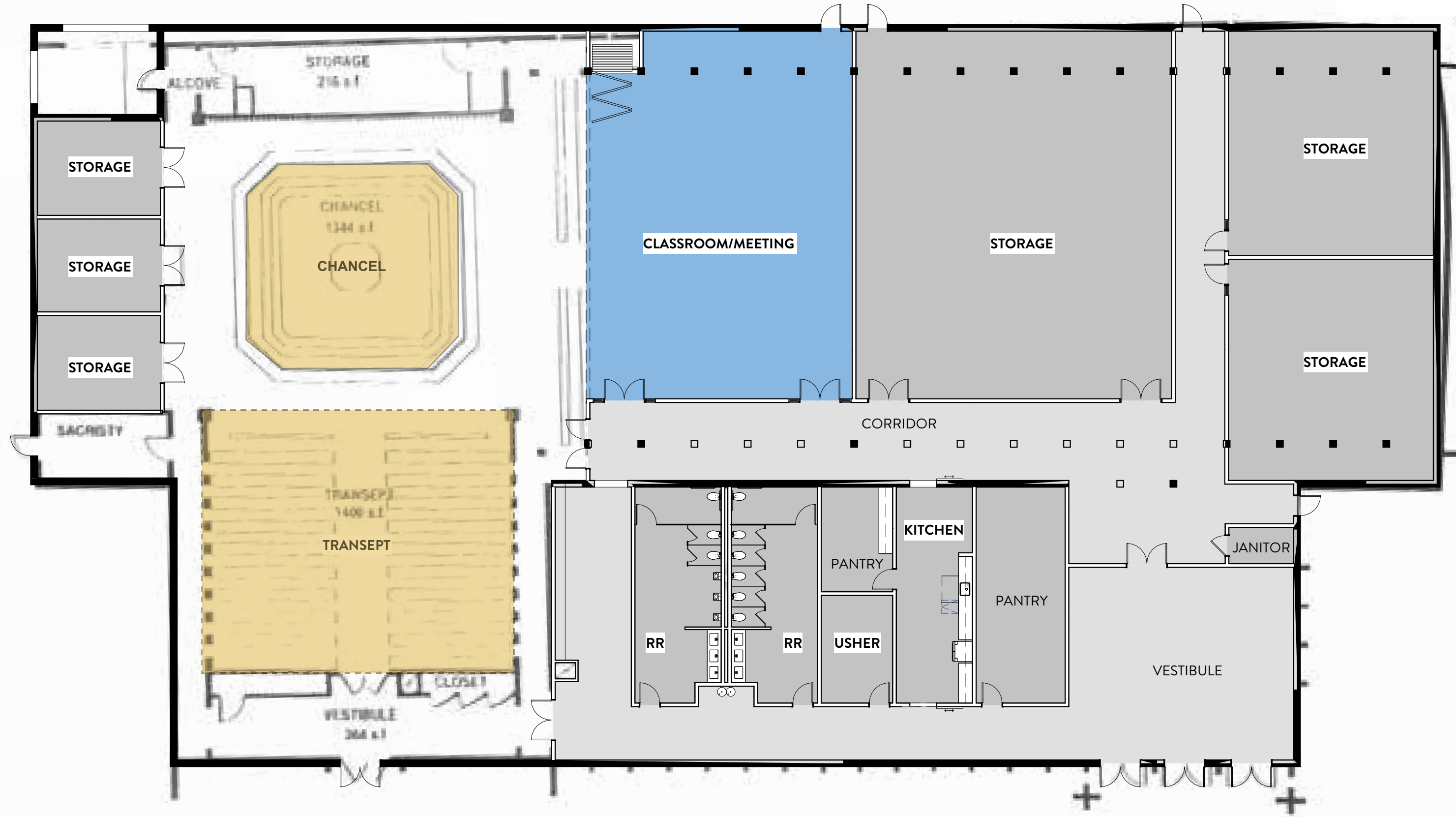
TOTAL PARKING PROVIDED: 163 SPACES

ACCESSIBLE PARKING
REQUIRED (82 X 4%): 4 SPACES
PROVIDED (4 + 1 VAN ACCESSIBLE): 5 SPACES
ELECTRIC INSTALLED REQ. (4%): 4 SPACES
(82 X 4%)

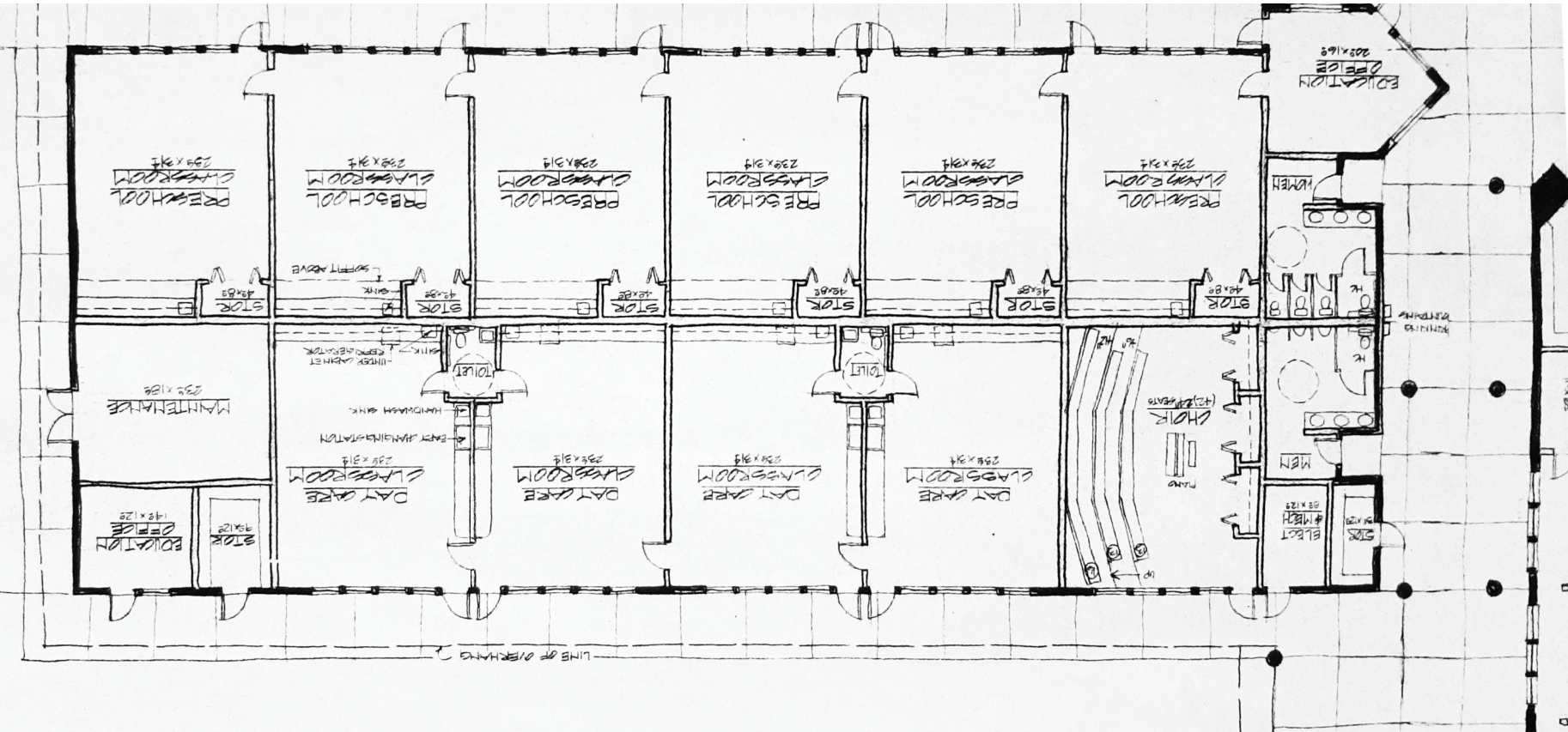
REQUIRED BICYCLE PARKING: 13 SPACES
(2 PER 10 CARS)
PROVIDED BICYCLE PARKING: 18 SPACES



EXISTING CHURCH PLAN
NTS



PROPOSED CHURCH PLAN
NTS



EXISTING DAYCARE PLAN
NTS

PER TABLE 9.103A	
CHURCH	A.) WITH FIXED SEATING - (1) SPACE (4) SEATS IN MAIN SANCTUARY
	B.) WITHOUT FIXED SEATING - (1) SPACE FOR EACH 30 SF OF GROSS FLOOR AREA IN MAIN SANCTUARY
	C.) (1) SPACE PER EACH 300 SF GROSS FLOOR AREA OF CLASSROOMS AND OTHER MEETING AREAS
DAYCARE	(1) PARKING SPACE FOR EACH EMPLOYEE; PLUS (1) SPACE FOR EVERY (15) STUDENTS
OFFICE	(1) PARKING SPACE PER 300 SF OF GROSS FLOOR AREA

EXISTING CHURCH					
NAME	AREA	PROPOSED AREA	SEATS	EXISTING PARKING	PROPOSED PARKING
TRANSEPT/CHANCEL	2,744 SF		87	42	22
CHOIR	751 SF		46	12	-
NAVE/CLASSROOMS	8,660 SF	2,156 SF	532	133	7
TOTAL PARKING				188	29
EXISTING DAYCARE					
# OF STAFF			8		8
# OF CHILDREN			60		4
TOTAL PARKING					12

PER TABLE 9.104A	WEEKDAYS						WEEKENDS					
	12 AM - 7 AM		7 AM - 6 PM		6 PM - 12 AM		12 AM - 7 AM		7 AM - 6 PM		6 PM - 12 AM	
GENERAL LAND USE CLASS												
RESIDENTIAL	100%	140	55%	77	85%	119	100%	140	65%	91	75%	105
CHURCHES AND PLACES OF WORSHIP	0%	0	10%	3	30%	9	0%	0	100%	29	30%	9
DAYCARE	100%	12	100%	12	100%	12	0%	0	0%	0	0%	0
TOTAL PARKING		152		92		140		140		120		114

181 SPACES REQUIRED (RESI + CHURCH + DAYCARE)
181 X 10% PARKING REDUCTION = 163 SPACES
163 PARKING TOTAL PROVIDED