

WHEN RECORDED RETURN TO:

CITY OF SCOTTSDALE
ONE STOP SHOP RECORDS

(_____)

7447 East Indian School Road, Suite 100
Scottsdale, AZ 85251

MEMORANDUM OF MIXED-USE SHARED PARKING PROGRAM

C.O.S. Case No. 14-DR-2025

Q.S.17-45

APN: _ 173-52-001A

This Memorandum of Mixed-Use Shared Parking Program (“Memorandum”) is executed as of June 1, 2026 (“Effective Date”) by Scottsdale United Methodist Church, a non-profit business incorporated in the State of Arizona (“Property Owner”) with respect to that real property located in Maricopa County, Arizona and more particularly described and depicted on the attached Exhibit A (“Property”). This Memorandum shall serve as constructive notice of the parking program described herein, which shall be appurtenant to and encumber the Property as long as this Memorandum is in effect.

The City of Scottsdale (the “City”) requires that certain parking requirements be met for the use of all property in the City. Pursuant to Case # 14-DR-2025 approved on [INSERT DATE], 2026 (the “Case”), City granted Property Owner the use of a shared parking program in accordance with S.R.C. § 9.104.E. The parking tabulations associated with the shared parking program are attached hereto as Exhibit B / on file with the City of Scottsdale Records Department (the “Parking Requirements”). The Parking Requirements are based on the buildings, tenants, and uses in effect on the Case’s approval date.

Pursuant to the Case, Property Owner shall physically maintain the on-site parking spaces. If Property Owner changes any use, building, or tenants of the Property or intends to provide alternative parking, Property Owner shall obtain City’s prior approval.

Upon receipt of a written request from Property Owner to City’s Zoning Administrator, City may release this Memorandum after verification by City’s Zoning Administrator that the Parking Requirements are no longer required. Property Owner shall demonstrate in writing to the Zoning Administrator the methodology Property Owner will use to comply with City’s Ordinance requirements for parking prior to the release of this Memorandum. In no event may this Memorandum be released by Property Owner, its successors or assigns, or any other person or entity other than City.

[END OF TEXT – SIGNATURE PAGE TO FOLLOW]

DATED the day and year first above written,

PROPERTY OWNER:

Scottsdale United Methodist Church
an Arizona nonprofit corporation

By: LeAnn E. Boman

Name: Leann Boman

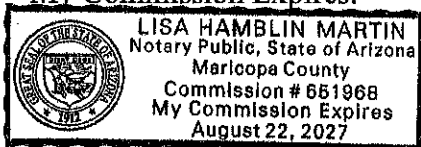
Its: Trustee Chairperson

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this 7th day of June,
2026 by Le Ann E. Boman, the
Chairperson of Scottsdale United Methodist Church Trustees.

Lisa H. Martin
Notary Public

My Commission Expires:



APPROVED AS TO FORM:

Luis Santaella, City Attorney

Exhibit A – Legal Description

DESCRIPTION

The North 331.59 feet of the South 631.59 feet of the East half of the Southeast quarter of the Southwest quarter of Section Twenty three (23), Township Two (2) North, Range Four (4) East of the Gila and Salt River Base and Meridian.

EXCEPT that portion conveyed to the City of Scottsdale in Warranty Deed recorded August 23, 1973 as Docket 10287, Page 551, records of Maricopa County. Arizona.

Exhibit B – Parking Requirements

PROJECT INFORMATION

PROJECT NAME: SCOTTSDALE UMC MULTI-FAMILY
PARCEL ADDRESS: 4140 N MILLER ROAD
SCOTTSDALE, AZ 85251
PARCEL NUMBER: 173-52-001A
ZONING CASE: N/A
DRB NUMBER: 840-PA-2024

PROJECT DATA

CURRENT ZONING: C-3/DO

GROSS SITE AREA: 208,863 SF (4.795 ACRES)
NET LOT AREA: 195,600 SF (4.490 ACRES)

ALLOWABLE GFAR: 0.80/1.3
PROPOSED GFAR: 0.49

EXISTING CHURCH 17,220 SF
EXISTING DAYCARE 9,216 SF
GROUND FLOOR AREA 28,288 SF
RESIDENTIAL AT GROUND FLOOR = 15,825 SF
% OF RESIDENTIAL (AT GROUND FLOOR) 29%
GROSS BUILDING AREA 101,656 SF

ALLOWABLE BUILDING HEIGHT: 36'-0"
PROPOSED BUILDING HEIGHT: 36'-0"

ALLOWABLE DENSITY: 23 DU PER ACRE
PROPOSED DENSITY: 18 DU PER ACRE

REQUIRED OPEN SPACE: NONE

PUBLIC OPEN SPACE REQUIRED: NONE

MILLER ROAD SETBACKS
PER 5.3006.C 20'-0" MEASURED FROM BACK OF CURB

TOTAL UNITS 82 UNITS

PARKING TABULATIONS (TABLE 9.103.A & 9.103.B)		
MULTI-FAMILY: 82 UNITS		
1.3/ ONE BEDROOM (48 DU X 1.3)	63 SPACES	
1.7/ TWO BEDROOM (16 DU X 1.7)	28 SPACES	
1.9/ THREE BEDROOM (18 DU X 1.9)	35 SPACES	
TOTAL REQUIRED	126 SPACES	
GUEST PARKING (1 PER 6 UNITS)	14 SPACES	
TOTAL REQUIRED (MULTIFAMILY)	140 SPACES	

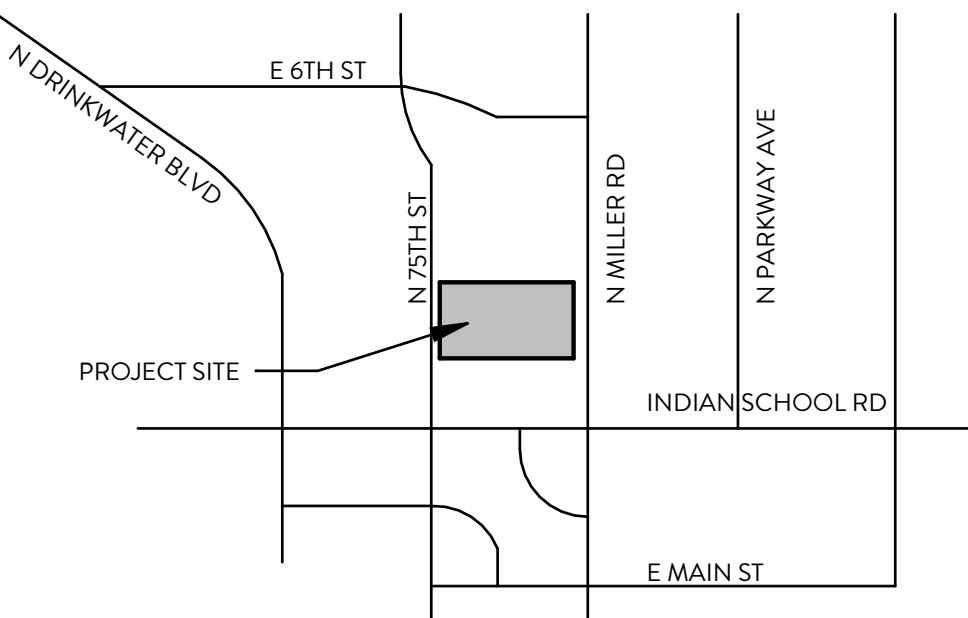
MULTI-FAMILY PARKING REQUIRED 140 SPACES
CHURCH/DAYCARE PARKING REQUIRED 41 SPACES
TOTAL PARKING REQUIRED: 181 SPACES

181 SPACES X 10% SHARED PARKING REDUCTION
163 SPACES
(SEE PAGE 5 FOR SHARED PARKING REDUCTION)

PARKING PROVIDED
SURFACE: 136 SPACES
TUCK-UNDER: 14 SPACES
COVERED: 13 SPACES
TOTAL PARKING PROVIDED 163 SPACES

ACCESSIBLE PARKING
REQUIRED (82 X 4%) 4 SPACES
PROVIDED (4 + 1 VAN ACCESSIBLE) 5 SPACES
ELECTRIC INSTALLED REQ. (4%) 4 SPACES
(82 X 4%)

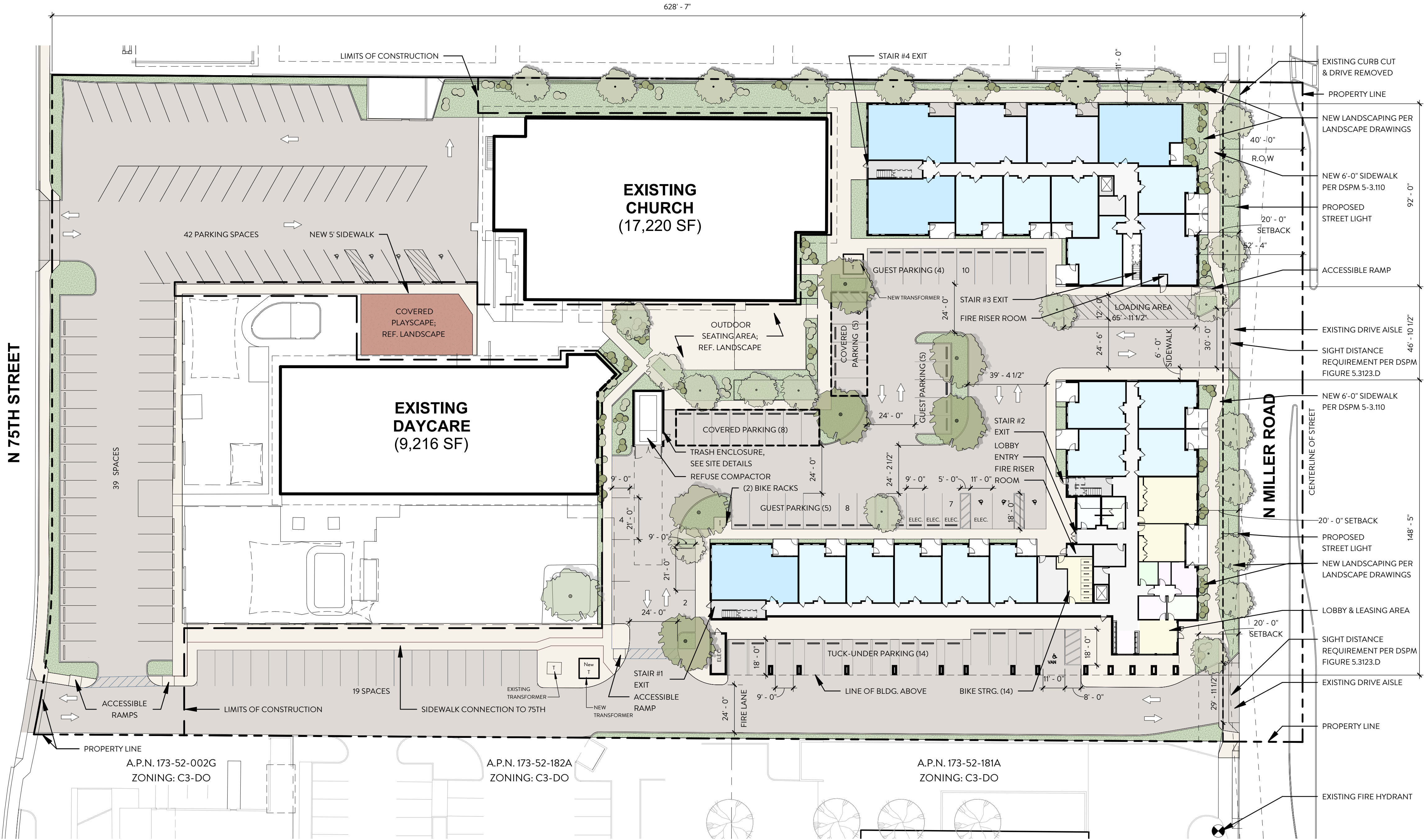
REQUIRED BICYCLE PARKING 13 SPACES
(2 PER 10 CARS)
PROVIDED BICYCLE PARKING 18 SPACES



01 VICINITY MAP

SCALE: NTS

REF: 01 / DRB-203



02 LEVEL 01 - SITE PLAN

SCALE: 1" = 30'-0"

REF: 02 / DRB-203