

Full Size

8.5 x 11

11 x 17

(site plan, landscape, elevations)

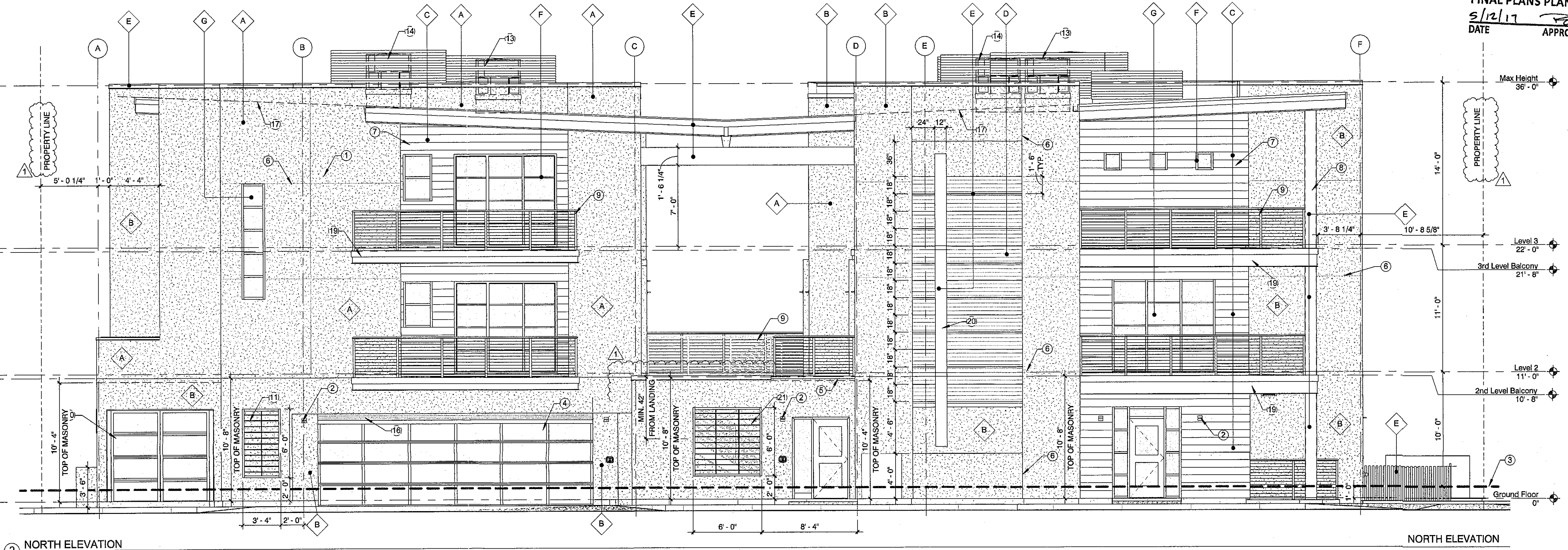
- SHEET KEYED NOTES**
- 1 STUCCO FINISH SYSTEM
 - 2 WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
 - 3 BUILDING HEIGHT REFERENCE LINE (PER 3.100 C.O.S. ZONING ORDINANCE)
 - 4 REMOTE CONTROLLED OVERHEAD ROLL UP DOOR
 - 5 METAL DRIP EDGE
 - 6 STUCCO CONTROL JOINT
 - 7 ALUMINUM WALL SIDING
 - 8 COLUMN
 - 9 3'-6" HIGH GUARD RAIL, TYP.
 - 10 REFUSE ENCLOSURE GATES
 - 11 DECORATIVE METAL FEATURE
 - 12 EXHAUST FAN - SEE MECHANICAL DRAWINGS
 - 13 SCREEN WALL AT ALL MECHANICAL UNITS.
 - 14 MECHANICAL UNIT, TYP.
 - 15 PROPOSED LOCATION OF GAS METERS
 - 16 EXPOSED GLU-LAM BEAM
 - 17 LINE OF ROOF BEYOND
 - 18 OVERFLOW SCUPPER @ BALCONY
 - 19 METAL FASCIA
 - 20 METAL CLAD VERTICAL ELEMENT
 - 21 DECORATIVE METAL FEATURE OPEN TO STAIR

- EXTERIOR ELEVATION GENERAL NOTES**
- A. ALL ROOF TOP UNITS TO BE SCREENED.
 - B. AVERAGE TOP OF CURB ELEVATION = 52.29
 - C. EXPOSED GLU LAM BEAMS TO BE TREATED WITH WATER REPELLANT WOOD SEALER

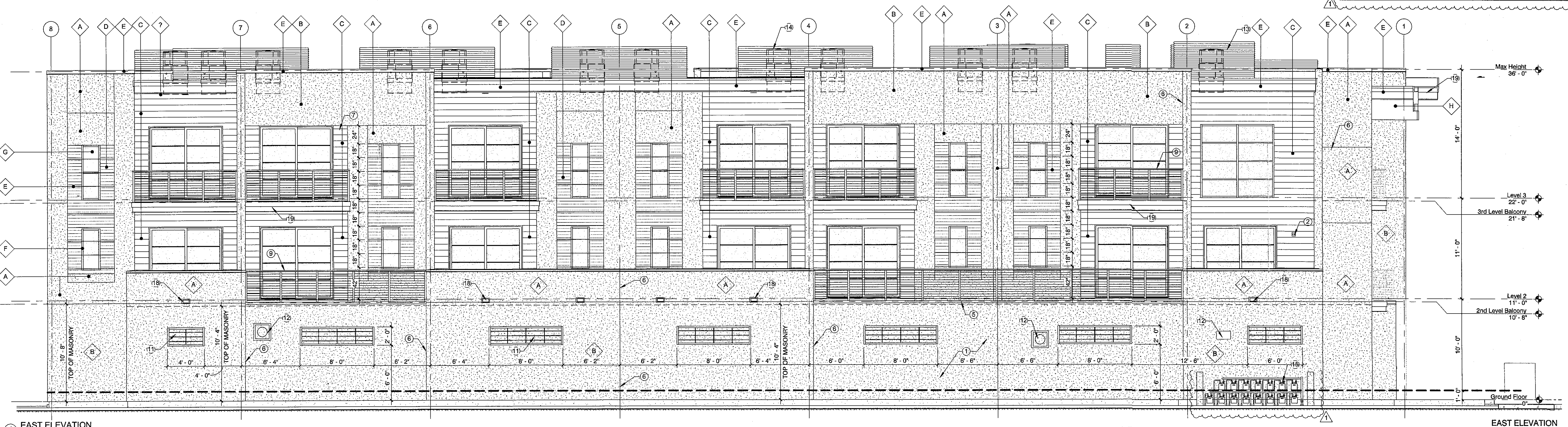
EXTERIOR ELEVATION LEGEND

NAME	MANUF.	FINISH	COLOR	FINISH
A	PAINTED STUCCO FINISH	SHERWIN WILLIAMS	FLAT	DET672 INSTANT CLASSIC (LRV=70) 2.7Y / 8.8 / 1.4
B	PAINTED STUCCO FINISH	SHERWIN WILLIAMS	FLAT	SW7019 GAUNTLET GRAY (LRV=17) 7.5GY / 5 / 2
C	ALUMINUM WALL SIDING	MBCI (OR APPROVED EQUAL)	SMOOTH	CHARCOAL GRAY
D	CERAMIC TILE	DAL TILE	WOOD GRAIN	CHERRY P104
E	METAL TRIM	TO BE SELECTED	BLACK	
F	MULLIONS	TO BE SELECTED	DARK BRONZE	
G	GLAZING	TO BE SELECTED	CLEAR	LOW-E
H	ALUMINUM SIDING	LONGBOARD (OR APPROVED EQUAL)	CORDOBA CHERRY	

APPROVED
FINAL PLANS PLANNING
 DATE: 5/12/17
 APPROVED BY: [Signature]



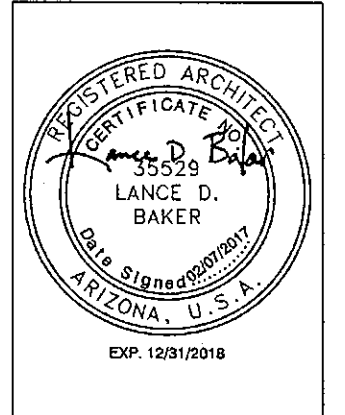
② NORTH ELEVATION
 3/16" = 1'-0"



① EAST ELEVATION
 3/16" = 1'-0"

**3425 N 70TH STREET LOFTS
 MULTI-FAMILY**

3425 N 70TH STREET
 SCOTTSDALE AZ 85251



REVISIONS

NO.	DATE	DESCRIPTION
1	5/12/2017	CITY COMMENTS

Phase: CD
 Drawn By: AF
 Reviewed By: LB
 SDI Project No: 3524
 Date: 2017/02/07
 Sheet: 31-DR-2016

A3.1
 EXTERIOR ELEVATIONS

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SHEET KEYED NOTES

- 1 STUCCO FINISH SYSTEM
- 2 METAL DRIP EDGE
- 3 BUILDING HEIGHT REFERENCE LINE (PER 3.100 C.O.S. ZONING ORDINANCE)
- 4 STUCCO CONTROL JOINT
- 5 3'-6" HIGH GUARD RAIL TYP.
- 6 LOW WALL AT BALCONY, TYP.
- 7 COLUMN
- 8 ALUMINUM WALL SIDING
- 9 FIRE DEPARTMENT CONNECTION
- 10 PARAPET CAP
- 11 PATIO RAILING - 42" HIGH
- 12 WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
- 13 SCREEN WALL AT ALL MECHANICAL UNITS.
- 14 MECHANICAL UNIT, TYP.
- 15 LINE OF ROOF BEYOND
- 16 METAL FASCIA
- 17 EXPOSED GLU-LAM BEAM
- 18 PROPOSED APS TRANSFORMER

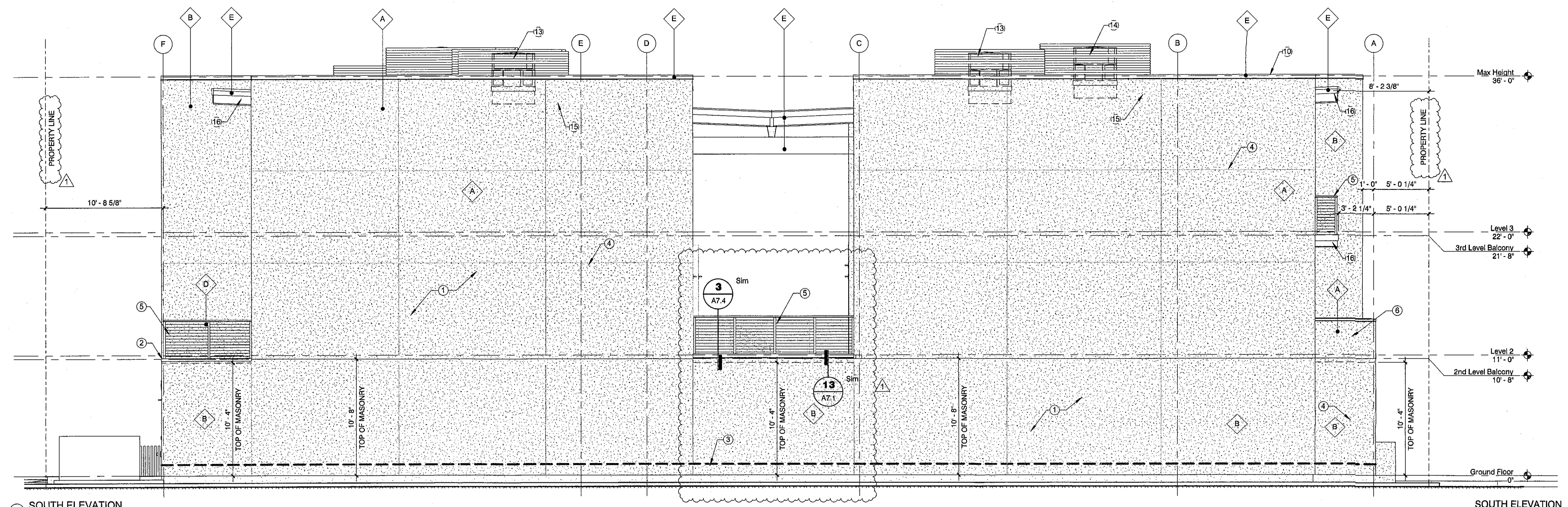
EXTERIOR ELEVATION GENERAL NOTES

- A. ALL ROOF TOP SURFACES TO BE SCREENED.
- B. AVERAGE TOP OF CURB ELEVATION = 52.29
- C. EXPOSED GLU LAM BEAMS TO BE TREATED WITH WATER REPELLANT WOOD SEALER

EXTERIOR ELEVATION LEGEND

A	NAME MANUF. FINISH COLOR HUE/V/CH	PAINTED STUCCO FINISH SHERWIN WILLIAMS FLAT DET672 INSTANT CLASSIC (LRV=70) 2.7Y / 8.6 / 1.4
B	NAME MANUF. STYLE COLOR HUE/V/CH	PAINTED STUCCO FINISH SHERWIN WILLIAMS FLAT SW7019 GAUNTLET GRAY (LRV=17) 7.5GY / 5 / 2
C	NAME MANUF. STYLE COLOR	ALUMINUM WALL SIDING MBCI (OR APPROVED EQUAL) SMOOTH CHARCOAL GRAY
D	NAME MANUF. FINISH COLOR	CERAMIC TILE DAL TILE WOOD GRAIN CHERRY P104
E	NAME MANUF. COLOR	METAL TRIM TO BE SELECTED BLACK
F	NAME MANUF. COLOR FINISH	MULLIONS TO BE SELECTED DARK BRONZE
G	NAME MANUF. COLOR FINISH	GLAZING TO BE SELECTED CLEAR LOW-E
H	NAME MANUF. COLOR FINISH	ALUMINUM SIDING LONGBOARD (OR APPROVED EQUAL) CORDOBA CHERRY

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② SOUTH ELEVATION
3/16" = 1'-0"

SOUTH ELEVATION

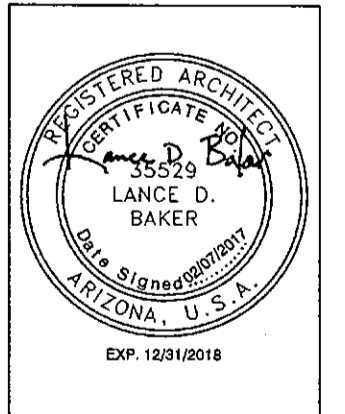


① WEST ELEVATION
3/16" = 1'-0"

WEST ELEVATION

**3425 N 70TH STREET LOFTS
MULTI-FAMILY**

3425 N 70TH STREET
SCOTTSDALE AZ 85251



REVISIONS

1	5/12/2017	JEV/COMMENTS
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Phase: CD
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Reviewed By: LB
SDI Project No: 3524
Date: 2017/02/07

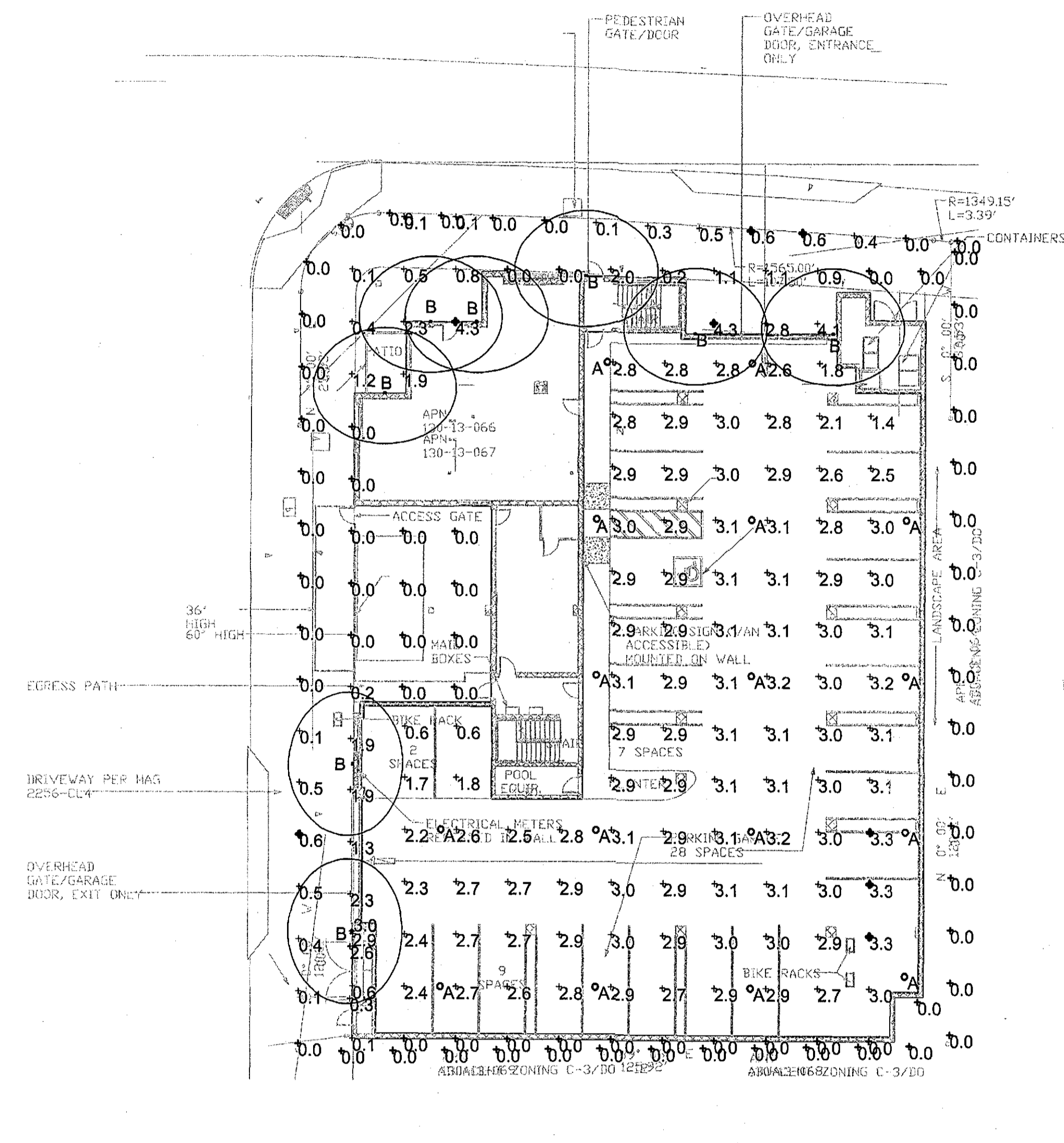
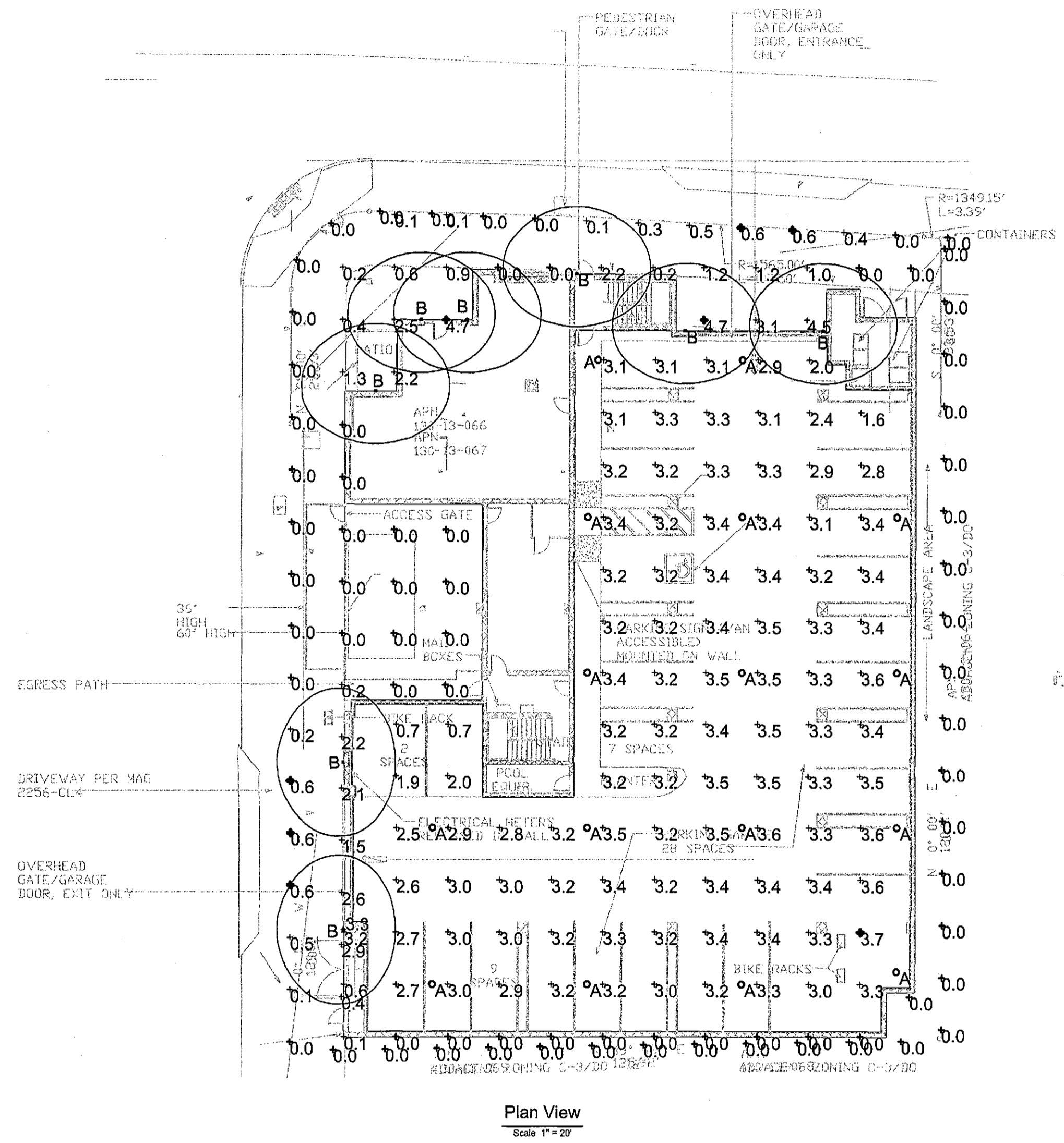
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EXTERIOR ELEVATIONS

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LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS
○	A	16	MCGRAW EDISON TT B1 LED E1 WQ	TOPTIER LED PARKING GARAGE LUMINAIRE WIDE DISTRIBUTION	4000K LED	TT-B1-LED-E1- WQ.IES	Absolute	1.00	28
□	B	8	LUMIERE 303-W1- LEDB1-4000-UNV- T2-DIM10-BK	LUMIERE EON 303-W1, WALL MOUNTED LUMINAIRE, SINGLE LED BAR, TYPE II LATERAL THROW OPTICS, FROSTED GLASS LENS.	4000K LED	303-W1- LEDB1-4000- UNV-T2-DIM10- -BK.IES	Absolute	1.00	8.38

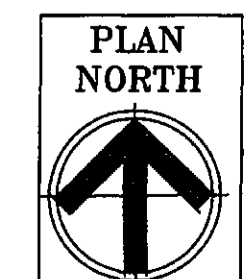
LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS
○	A	16	MCGRAW EDISON TT B1 LED E1 WQ	TOPTIER LED PARKING GARAGE LUMINAIRE WIDE DISTRIBUTION	4000K LED	TT-B1-LED-E1- WQ.IES	ABSOLUTE	0.90	28
□	B	8	LUMIERE 303-W1- LEDB1-4000-UNV- T2-DIM10-BK	LUMIERE EON 303-W1, WALL MOUNTED LUMINAIRE, SINGLE LED BAR, TYPE II LATERAL THROW OPTICS, FROSTED GLASS LENS.	4000K LED	303-W1- LEDB1-4000- UNV-T2-DIM10- -BK.IES	ABSOLUTE	0.90	8.38



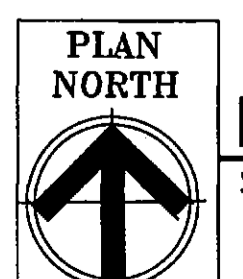
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DATE APPROVED BY

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
C	+	3.3 FC	3.3 FC	3.3 FC	1.0:1	1.0:1
GARAGE	+	2.8 FC	3.7 FC	0.0 FC	N/A	N/A
MAX SPILL PROPERTY LINE AT 6' AFG	+	0.1 FC	0.6 FC	0.0 FC	N/A	N/A
SITE	+	1.0 FC	4.7 FC	0.0 FC	N/A	N/A

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
C	+	3.0 FC	3.0 FC	3.0 FC	1.0:1	1.0:1
GARAGE	+	2.5 FC	3.3 FC	0.0 FC	N/A	N/A
MAX SPILL PROPERTY LINE AT 6' AFG	+	0.1 FC	0.6 FC	0.0 FC	N/A	N/A
SITE	+	0.9 FC	4.3 FC	0.0 FC	N/A	N/A



ELECTRICAL SITE PHOTOMETRIC PLAN - INITIAL
SCALE: 1" = 20'-0"

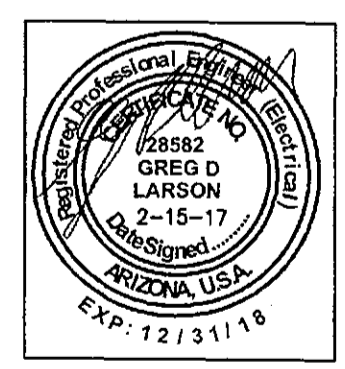


ELECTRICAL SITE PHOTOMETRIC PLAN - MAINTAINED
SCALE: 1" = 20'-0"



**3425 N 70TH STREET LOFTS
MULTI-FAMILY**

3425 N 70TH STREET
SCOTTSDALE AZ 85251



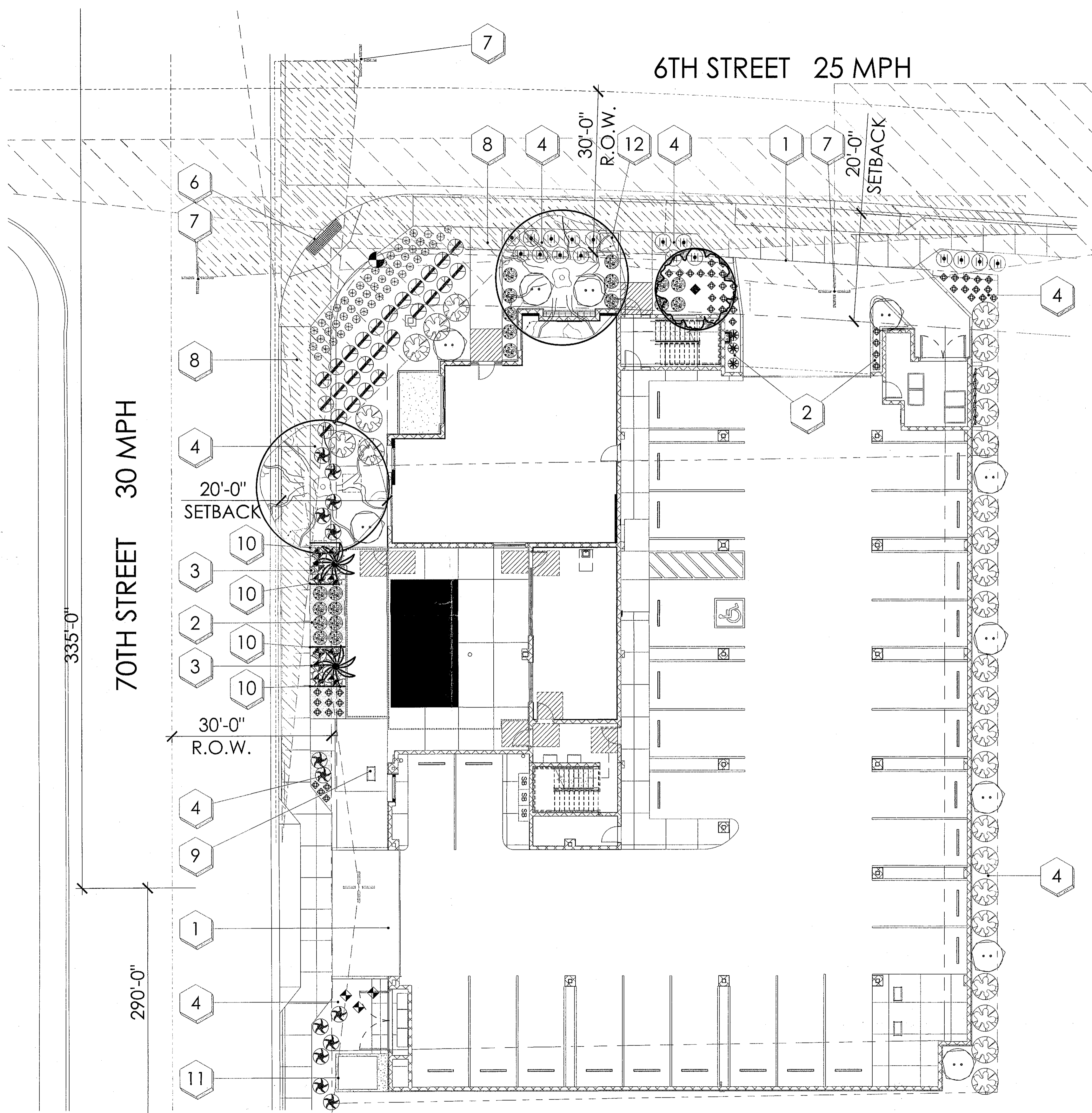
REVISIONS	
NO.	DESCRIPTION / ENTRY COMMENTS

Phase: CD
Drawn By: Author
Reviewed By: Checker
SDI Project No:
Date: ###
Sheet:

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JOB NO:
018-150
DFT: SF
DSN: AP
CHK: GL

ES.1
ELECTRICAL SITE
PHOTOMETRIC PLAN -
INITIAL & MAINTAINED



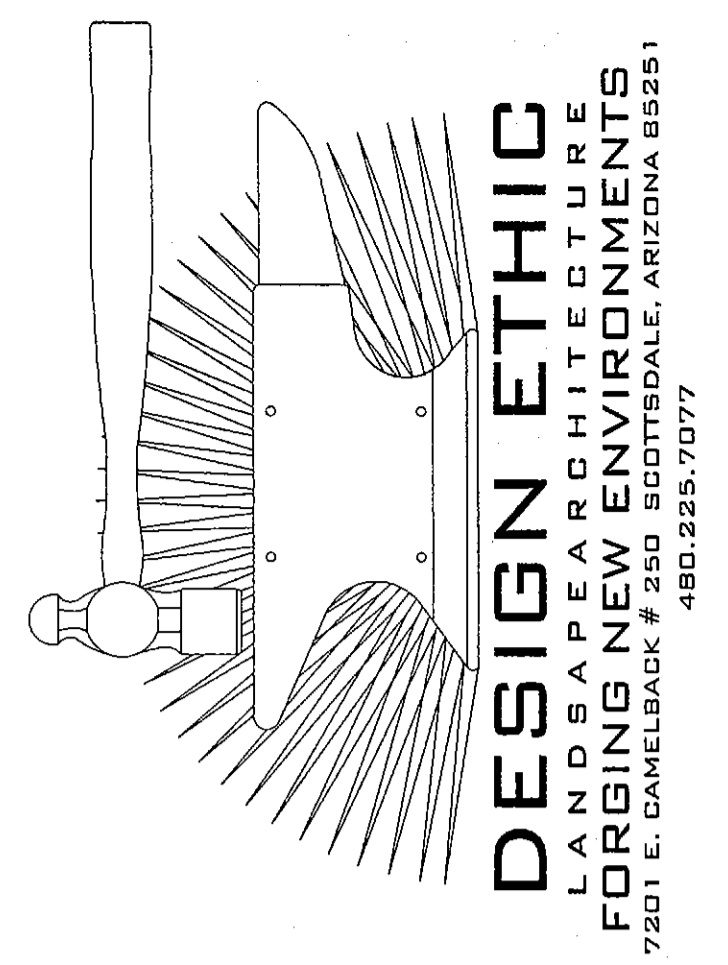
plant legend

botanical name common name	emitters	size	qty	comments
trees				
ACACIA ANEURA MULGA	(5 @ 1.0 GPH)	48" BOX	1	10.0' H., 7.0' W., 3.0" CAL.
PROSOPIS SEEDLESS HYBRID 'AZT™' 'AZT™' SEEDLESS HYBRID MESQUITE	(5 @ 1.0 GPH)	36" BOX	2	11.0 H., 9.0 W., 3.0 CAL.
palms				
BIZMARKIA NOBILIS BIZMARK PALM	(2 @ 1.0 GPH)	15 GAL.	2	STAKE IN PLACE
shrubs				
CORDIA PARVIFOLIA LITTLELEAF CORDIA	(1 @ 1.0 GPH)	5 GAL.	10	
ERICAMERIA LARICIFOLIA TURPENTINE BUSH	(1 @ 1.0 GPH)	5 GAL.	26	
accents				
AGAVE PARRYI NEOMEXICANA PARRY'S AGAVE	(1 @ 1.0 GPH)	5 GAL.	13	
ALOE X. BLUE ELF BLUE ELF ALOE	(1 @ 1.0 GPH)	5 GAL.	47	
ALOE BARBADENSIS ALOE VERA	(1 @ 1.0 GPH)	5 GAL.	13	
DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	27	
NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	(1 @ 2.0 GPH)	5 GAL.	48	
PEDILANTHUS MACROCARPUS SLIPPER PLANT	(1 @ 2.0 GPH)	5 GAL.	20	
groundcover				
LANTANA 'NEW GOLD' NEW GOLD LANTANA	(1 @ 1.0 GPH)	5 GAL.	18	
inerts				
3/4" MINUS DECOMPOSED GRANITE TABLE MESA GOLD		1"-MINUS	3,008 SF	2" MINIMUM IN ALL PLANTERS
3"- 4" ANGULAR RIP-RAP TABLE MESA BROWN		3" - 4"	82 SF	2" MINIMUM IN ALL PLANTERS
1/4" PEA GRAVEL GRAY TONES		1/4"	153	
STEEL HEADER			22 L.F.	

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5/12/17
DATE APPROVED BY

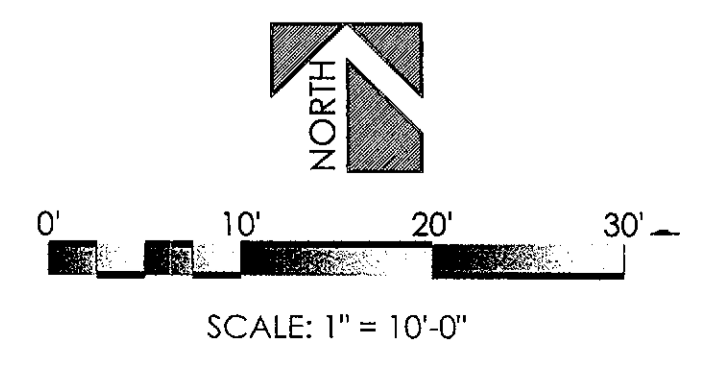
planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 1/4" PEA GRAVEL TOP DRESSING IN PLANTING AREA.
- 3 3" - 4" ROUND RIVER ROCK (TYPICAL)
- 4 3/4" MINUS DECOMPOSED GRANITE IN PLANTING AREA
- 5 FIRE HYDRANT - NO PLANT MATERIAL WITHIN 3'
- 6 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 7 SIGHT DISTANCE LINE PER CITY REQUIREMENTS
- 8 SIDEWALK.
- 9 BIKE RACK - SEE ARCHITECT'S SITE PLAN
- 10 STEEL HEADER
- 11 PROPOSED TRANSFORMER
- 12 EXISTING TRANSFORMER TO REMAIN



3425 N 70TH STREET - MULTI-FAMILY
SCOTTSDALE, ARIZONA
PLANTING PLAN

PROJECT:
JOB NO: 16-033
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 07.01.2017
REVISED:



CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

ZONING STIPULATIONS CASE # 3-ZN-2016

SITE DESIGN

1. CONFORMANCE TO THE CONCEPTUAL SITE PLAN. DEVELOPMENT SHALL CONFORM WITH THE CONCEPTUAL SITE PLAN SUBMITTED BY SYNECTIC DESIGN AND WITH THE CITY STAFF DATE OF AUGUST 4, 2016. ANY PROPOSED SIGNIFICANT CHANGE TO THE CONCEPTUAL SITE PLAN AS DETERMINED BY THE ZONING ADMINISTRATOR, SHALL BE SUBJECT TO ADDITIONAL ACTION AND PUBLIC HEARINGS BEFORE THE PLANNING COMMISSION AND CITY COUNCIL.

INFRASTRUCTURE AND DEDICATIONS

2. CIRCULATION MOVEMENTS. BEFORE ANY CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE SITE, THE OWNER SHALL MAKE THE REQUIRED DEDICATIONS AND PROVIDE THE FOLLOWING IMPROVEMENTS IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICIES MANUAL AND ALL OTHER APPLICABLE CITY CODES AND POLICIES.

a. STREETS. DEDICATE THE FOLLOWING RIGHT OF WAY AND CONSTRUCT THE FOLLOWING STREET IMPROVEMENTS:

STREET NAME	STREET TYPE	DEDICATIONS	IMPROVEMENTS	NOTES
NORTH 70TH STREET	LOCAL STREET	1. EXISTING 30' EAST HALF STREET	1. EXISTING 30' CURBS, GUTTERS, SIDEWALKS, STREETLIGHTS	A.1, A.2, A.3, A.4, A.5, A.6, A.7 & A.8
NORTH 6TH STREET	LOCAL STREET	1. EXISTING 30' EAST HALF STREET	1. EXISTING 30' CURBS, GUTTERS, SIDEWALKS, STREETLIGHTS	A.1, A.2, A.3, A.4, A.5, A.6, A.7 & A.9

A.1 THE PROPERTY OWNER SHALL DEDICATE TO THE CITY OF SCOTTSDALE A SIGHT DISTANCE EASEMENT ACROSS THE SIGHT VISIBILITY TRIANGLE AND TRAFFIC SAFETY TRIANGLES WITH THE CONFIGURATION IN ACCORDANCE WITH DESIGN STANDARDS & POLICIES MANUAL.

A.2 THE PROPERTY OWNER SHALL DEDICATE TO THE CITY A PUBLIC NON-MOTORIZED ACCESS EASEMENT ACROSS THE PROPERTY TO CONTAIN THE PEDESTRIAN SIDEWALK FRONTING ON NORTH 70TH STREET, EAST 6TH STREET, AND THE INTERSECTION OF NORTH 70TH STREET AND EAST 6TH STREET WHERE THE SIDEWALK CROSSES ON TO THE PROPERTY.

A.3 THE PROPERTY OWNER SHALL REMOVE AND REPLACE ALL EXISTING SIDEWALKS WITH A MINIMUM SIX (6) FOOT WIDE SIDEWALK ADJACENT TO NORTH 70TH STREET, EAST 6TH STREET.

A.4 THE PROPERTY OWNER SHALL REMOVE AND RECONSTRUCT THE SIDEWALK CURB RAMP ON THE SOUTHEAST CORNER OF NORTH 70TH STREET AND EAST 6TH STREET IN ACCORDANCE WITH THE CITY OF SCOTTSDALE (COS) SUPPLEMENTS TO MAG SPECIFICATION AND DETAILS AS DETERMINED BY THE DEVELOPMENT REVIEW BOARD.

A.5 THE PROPERTY OWNER SHALL REMOVE THE EXISTING DRIVEWAY CURB RAMP AND CONSTRUCT CURB AND GUTTER IN ACCORDANCE WITH THE APPLICABLE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION CITY OF SCOTTSDALE (COS) SUPPLEMENTS TO MAG SPECIFICATIONS AND DETAILS, AS DETERMINED BY THE TRANSPORTATION DIRECTOR, OR DESIGNEE.

A.6 THE PROPERTY OWNER SHALL CONSTRUCT THE DRIVEWAY RAMPS IN ACCORDANCE WITH THE APPLICABLE CITY OF SCOTTSDALE (COS) SUPPLEMENTS TO MAG SPECIFICATIONS AND DETAILS AS DETERMINED BY THE DEVELOPMENT REVIEW BOARD.

A.7 THE PROPERTY OWNER SHALL REMOVE AND RECONSTRUCT ALL CURB AND GUTTER ON THE EAST SIDE OF NORTH 70TH STREET, AND THE SOUTH SIDE OF EAST 6TH STREET. THE OWNER SHALL MAKE AN IN-LIEU PAYMENT TO THE CITY INSTEAD OF CONSTRUCTING ANY SPECIFIED STREET IMPROVEMENT(S). BEFORE ANY FINAL APPROVAL, THE OWNER SHALL SUBMIT AN ENGINEER'S ESTIMATE FOR PLAN PREPARATION, DESIGN AND CONSTRUCTION COSTS, SUBJECT TO CITY STAFF APPROVAL.

A.8 THE PROPERTY OWNER SHALL REMOVE AND RELOCATE THE STREET LUMINARIES AND POLES ON THE EAST SIDE OF NORTH 70TH STREET TO ACCOMMODATE THE DEVELOPMENT. ALL NEW AND RELOCATED POWERLINES SHALL BE PLACED UNDERGROUND. IF DETERMINED BY THE INSPECTION SERVICES DIRECTOR OR DESIGNEE, THAT THE STREET LIGHTS AND POLES CANNOT BE RELOCATED SAFELY AND WITHIN RANGE TO THE EXISTING POLES AND LUMINARIES, THE PROPERTY OWNER SHALL REPLACE THE EXISTING POLES AND FIXTURES WITH NEW POLES AND LUMINARIES.

A.9 THE PROPERTY OWNER SHALL PROVIDE STREET LUMINARIES AND POLES ON THE SOUTH SIDE OF EAST 6TH STREET TO ACCOMMODATE THE DEVELOPMENT, AS DETERMINED BY THE TRANSPORTATION DIRECTOR, OR DESIGNEE. ALL NEW AND RELOCATED POWERLINE SHALL BE PLACED UNDERGROUND.

3. IN LIEU PAYMENTS. BEFORE ANY BUILDING PERMIT IS ISSUED OF THE SITE, IF DIRECTED BY CITY STAFF, THE OWNER SHALL MAKE AN IN-LIEU PAYMENT TO THE CITY INSTEAD OF CONSTRUCTING ANY SPECIFIED STREET IMPROVEMENT(S). BEFORE ANY FINAL APPROVAL, THE OWNER SHALL SUBMIT AN ENGINEER'S ESTIMATE FOR PLAN PREPARATION, DESIGN AND CONSTRUCTION COSTS, SUBJECT TO CITY STAFF APPROVAL.

4. ACCESS RESTRICTIONS. EXCEPT FOR EMERGENCY VEHICULAR ACCESS TO THE DEVELOPMENT, NORTH 70TH STREET DRIVEWAY AND VEHICULAR ACCESS SHALL BE LIMITED TO ONLY VEHICULAR TRAFFIC FROM THE DEVELOPMENT. NO VEHICULAR ACCESS TO ENTER THE DEVELOPMENT FROM NORTH 70TH STREET SHALL BE PERMITTED.

5. ACCESS RESTRICTION COVENANT. BEFORE ANY BUILDING PERMIT TO CONSTRUCT THE DEVELOPMENT, IN A FORM SATISFACTORY TO THE CITY ATTORNEY, OR DESIGNEE, THE PROPERTY OWNER SHALL RECORD A COVENANT IN FAVOR OF THE CITY OF SCOTTSDALE THAT PROHIBITS NON-EMERGENCY VEHICULAR ACCESS FROM ENTERING THE DEVELOPMENT FROM NORTH 70TH STREET. IN ADDITION, IN A FORM SATISFACTORY TO THE CITY ATTORNEY, OR DESIGNEE, THE PROPERTY OWNER SHALL INCLUDE THE NORTH 70TH STREET NON-EMERGENCY VEHICULAR ACCESS RESTRICTION IN ANY COVENANTS, CONDITIONS AND RESTRICTIONS FOR A CONDOMINIUM, AND INCLUDE A NOTE ON ANY SUBDIVISION PLAT THE PERTAINING TO THE RECORDED COVENANT.

6. EASEMENTS. a. EASEMENTS DEDICATED BY PLAT. THE OWNER SHALL DEDICATE TO THE CITY ON THE FINAL PLAT, ALL EASEMENTS NECESSARY TO SERVE THE SITE, IN CONFORMANCE WITH THE SCOTTSDALE REVISED CODE AND THE DESIGN STANDARDS AND POLICIES MANUAL.

b. EASEMENTS CONVEYED BY SEPARATE INSTRUMENT. BEFORE ANY BUILDING PERMIT IS ISSUED FOR THE SITE, EACH EASEMENT CONVEYED TO THE CITY SEPARATE FROM A FINAL PLAT SHALL BE CONVEYED BY AN INSTRUMENT OR MAP OF DEDICATION SUBJECT TO CITY STAFF APPROVAL AND ACCOMPANIED BY A TITLE POLICY IN FAVOR OF THE CITY, IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICIES MANUAL.

7. CONSTRUCTION COMPLETED. BEFORE ANY CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE SITE, THE OWNER SHALL COMPLETE ALL THE INFRASTRUCTURE AND IMPROVEMENTS REQUIRED BY THE SCOTTSDALE REVISED CODE AND THESE STIPULATIONS, IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICIES MANUAL AND OTHER APPLICABLE STANDARDS.

SHEET KEYED NOTES

- PROPERTY LINE
- BUILDING SETBACK LINE
- NEW SIDEWALK, 6'-0" WIDE TYP. - CROSS SLOPE NOT TO EXCEED 2%
- LANDSCAPE AREA
- EXISTING FIRE HYDRANT
- COLUMN
- CONCRETE PAVING
- CONCRETE CURB
- EXTERIOR PATIO
- EXTERIOR SUN PATIO
- 3'-0" HIGH STEEL PIPE FENCE
- 5'-0" HIGH STEEL PIPE FENCE WITH GATE
- BIKE RACK PER C.O.S. DETAIL 2285
- PROVIDE KNOX BOX AT THIS ENTRY
- PROVIDE KNOX SWITCH AT THIS LOCATION
- PROPOSED MAIL BOX LOCATION
- POOL - BY OTHERS, UNDER SEPARATE SUBMITTAL
- STAIRS
- TRASH COMPACTOR WITH SIDE ACCESS
- TRASH CONTAINERS
- POOL EQUIPMENT BY OTHERS
- PARKING SPACE, 9'-0" X 18'-0" TYP.
- VAN ACCESSIBLE SPACE 13'-0" X 18'-0"
- VAN ACCESSIBLE SIGN PER C.O.S. DETAIL 2124 - WALL MOUNTED
- ACCESSIBLE RAMP
- 5'-0" X 5'-0" PAINTED ACCESSIBLE SIGN
- CONCRETE WHEEL STOP
- CONCRETE DRIVEWAY PER MAG 2256-CL4 - SEE SITE DETAILS
- CONCRETE DRIVEWAY PER MAG 2256-CL3 - SEE SITE DETAILS
- SHARED CURB SIDEWALK RAMP PER MAG 2234 - SEE SITE DETAILS
- SERVICE ENTRANCE SECTION
- FIRE RISER
- EXISTING TRANSFORMER TO BE REMOVED
- EXISTING GAS METER TO BE REMOVED
- EXISTING TRANSFORMER TO REMAIN
- SIGHT VISIBILITY EASEMENT
- PROPOSED ACCESSIBLE ROUTE - WALKING SURFACE MUST HAVE RUNNING SLOPES NOT STEEPER THAN 1:20. OTHER COMPONENTS OF ACCESSIBLE ROUTES, SUCH AS RAMPS AND CURB RAMPS, ARE PERMITTED TO BE MORE STEEPLY SLOPED. CHANGES IN LEVEL TO COMPLY WITH ADA 303. CLEAR WIDTH SHALL BE MIN. 36" WIDE. PATH SHOWN WITH DASHED LINE - SHOWN WHEN APPLICABLE
- CONCRETE LANDING. CROSS SLOPE NOT TO EXCEED 2% IN ANY DIRECTION
- CONSTRUCTION JOINT, TYP.
- ROOF DRAIN DISCHARGE LOCATION - COORDINATE WITH CIVIL AND PLUMBING DRAWINGS
- PROPOSED LOCATION OF GAS METERS
- FIRE DEPARTMENT CONNECTION
- REMOTE CONTROLLED OVERHEAD ROLL UP DOOR
- ELECTRICAL METERS (MULTI-METER PANELS)
- PROPOSED APS TRANSFORMER
- ROLL CURB IN FRONT OF TRANSFORMER

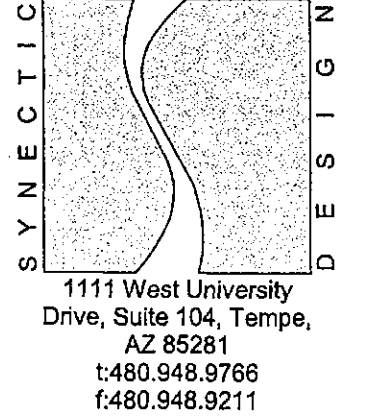
CITY OF SCOTTSDALE SITE PLAN NOTES

- SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE APPLICABLE STREET LINE ELEVATION.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
- ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UNIT. (DETAILS ARE STILL REQUIRED.)
- ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
- NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- NO TURF AREAS SHALL BE PROVIDED.

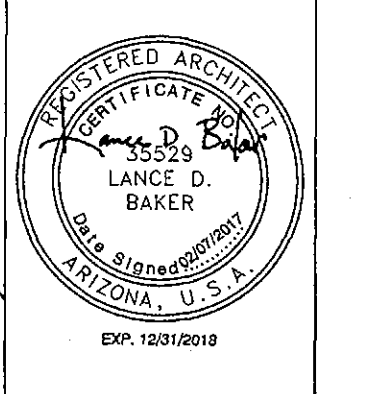
GROSS FLOOR LIVABLE AREA	
LEVEL	AREA
Ground Floor	2321 SF
Level 2	10188 SF
Level 3	10371 SF
TOTAL	22881 SF

ACCESSIBILITY NOTES:

- ACCESSIBLE ENTRANCES TO THE BUILDING SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- EXTERIOR EXITS WHICH ARE LOCATED ADJACENT TO ACCESSIBLE AREAS AND WITHIN 6 FT. OF ADJACENT GROUND LEVEL SHALL BE ACCESSIBLE.
- ACCESSIBLE RAMPS REQUIRED BY ANSI SHALL NOT HAVE SLOPES EXCEED 1 FT. IN 12 FT.
- THE SURFACE OF RAMPS AND GROUND SURFACES SHALL BE ROUGHENED OR SHALL BE OF SLIP RESISTANT MATERIALS.
- AN ACCESSIBLE ROUTE OF TRAVEL 3 FT. WIDE MIN. MUST BE PROVIDED TO ALL PORTIONS OF THE BUILDING, BETWEEN THE BUILDING AND THE PUBLIC WAY. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM SLOPE OF 1:20 AND A MAXIMUM CROSS SLOPE OF 1:50.
- THRESHOLD MUST BE 6 INCHES IN HEIGHT OR LESS.
- THE PRIMARY ENTRANCE TO THE BUILDING MUST BE ACCESSIBLE. ALL OTHER REQUIRED ENTRANCES MUST BE ACCESSIBLE.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SLOPE NOT EXCEEDING 1:50.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SIGN (MINIMUM 5 FT. ABOVE FINISH GRADE IN FRONT OF THE SPACE) WHICH INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- SIGNS DESIGNATING PERMANENT ROOMS AND SPACES SHALL MEET ACCESSIBILITY REQUIREMENTS.
- ALL ELECTRICAL RECEPTACLES AND CONTROLS SHALL BE 18 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE FINISHED FLOOR.
- ALL ALARMS SHALL BE AUDIBLE AND VISUAL, MEETING ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE ROUTE SHALL BE WITHOUT STEPS OR CHANGES IN LEVEL GREATER THAN 6 INCHES WITHOUT AN APPROVED RAMP.
- ACCESSIBLE ROUTES SHALL SERVE AS EXITS OR CONNECT TO AREAS OF RESCUE ASSISTANCE.
- LANDINGS AT ALL ACCESSIBLE ENTRANCES SHALL HAVE 2% MAXIMUM SLOPE IN ANY DIRECTION. MINIMUM WIDTH AND DEPTH OF LANDING PER IAT1.3



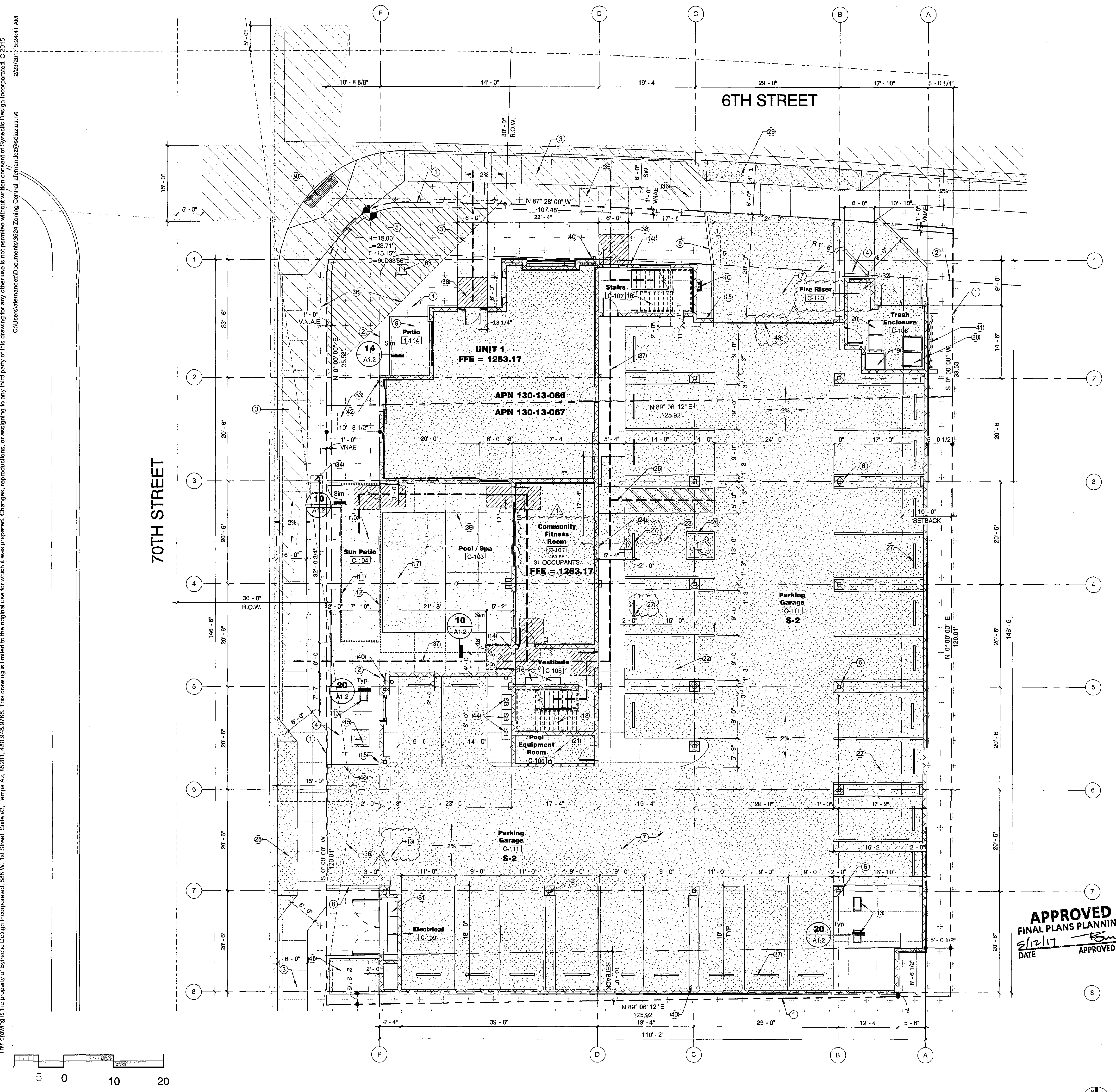
3425 N 70TH STREET LOFTS
MULTI-FAMILY
 3425 N 70TH STREET
 SCOTTSDALE AZ 85251



REVISIONS	
NO.	DATE
1	01/21/2017

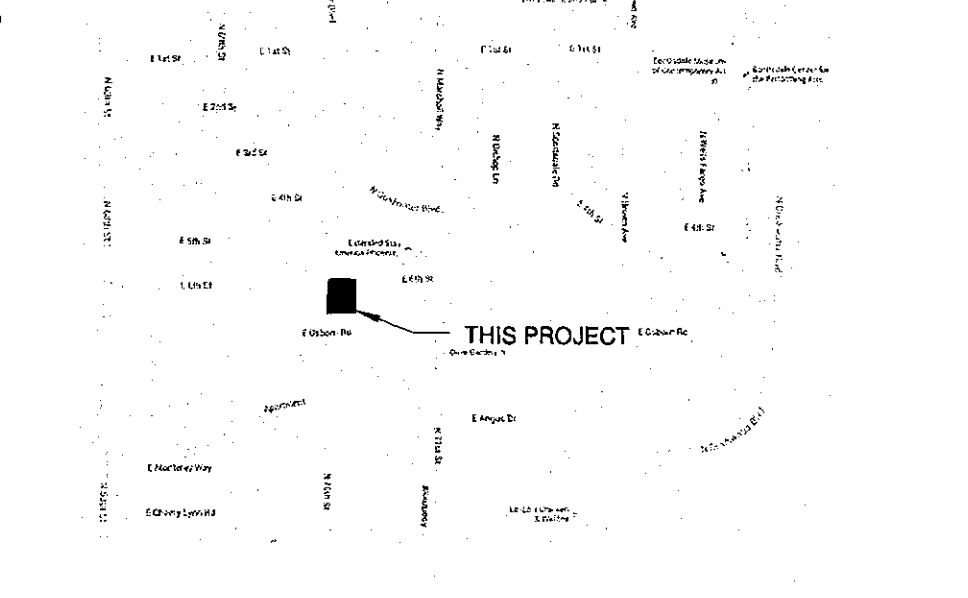
Phase: CD
 Drawn By: AF
 Reviewed By: LB
 SDI Project No: 3524
 Date: 2017/02/07
 Sheet: 3-24-2016

A1.1
 ARCHITECTURAL SITE PLAN



APPROVED
FINAL PLANS PLANNING
 5/12/17
 DATE APPROVED BY

VICINITY MAP



1 Site Plan/Ground Floor Plan
 1" = 10'-0"

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