

**Marked Agendas  
Approved Minutes  
Approved Reports**

**The May 18, 2017  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

**<http://www.scottsdaleaz.gov/boards/development-review-board>**

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: May 18, 2017

Item No. 3

General Plan Element: *Character and Design*

General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

## ACTION

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**Bellissima Estates**  
4-PP-2016

**Request to consider the following:**

1. Request approval of the preliminary plat for a residential subdivision with 6 lots, including the future walls exhibit, the drainage report and plan, and the water and waste water reports, all on a 5.79-acre site.

## OWNER

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Deacetis-Francis Custom Homes  
480-695-4404

## APPLICANT CONTACT

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Wayne Rosendahl  
Rosendahl Engineering  
480-599-1263

## LOCATION

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9830 East Jenan Drive

## BACKGROUND

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### **Zoning**

The site is zoned Single-family Residential (R1-35) district. The R1-35 zoning district is intended to promote and preserve residential development, and allows single-family development with a minimum lot size of 35,000 square feet.

### General Plan

The General Plan Land Use Element designates the property as Suburban Neighborhoods. This category includes medium to small-lot single-family neighborhoods or subdivisions.

### Context

The subject property is located south of the southeast corner of East Cactus Road and North 98<sup>th</sup> Street and is surrounded by single-family detached residential units with an equestrian character.

### Adjacent Uses and Zoning

- North Single-family residential, zoned R1-35.
- South Single-family residential, zoned R1-43 PRD.
- East Single-family residential, zoned R1-35.
- West Single-family residential, zoned R1-35.

### Key Items for Consideration

- Staff has received emails and phone calls from surrounding property owners with concerns regarding removal of equestrian uses in the neighborhood

## APPLICANTS PROPOSAL

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### Development Information

The development proposal includes a preliminary plat for a new 6-lot single-family residential subdivision on a 5.79 acre site. The existing public streets (North 98<sup>th</sup> Street and East Jenan Drive) will provide access to the new lots. The owner will construct half street improvements in conformance with the Transportation Master Plan.

- Existing Use: Vacant (prior use was horse stables and arenas)
- Proposed Use: Single-family residential subdivision
- Parcel Size: 252,193 square feet / 6.54 gross acres / 5.79 net acres
- Building Height Allowed: 30 feet
- Building Height Proposed: Up to 30 feet
- Density Allowed: 1.25 dwelling units per acre
- Density Proposed: 1.09 dwelling units per acre
- Number of Lots Allowed: 8 lots
- Number of Lots Proposed: 6 lots

## **IMPACT ANALYSIS**

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### **Traffic**

Access will be provided to the 6 lots through the existing public streets. The existing street network has been designed to accommodate anticipated traffic that will be generated by this subdivision. The owner will construct half-street improvements in conformance with the Transportation Master Plan.

### **Trails**

The City of Scottsdale Trails Master Plan identifies a planned trail along the east side of North 98<sup>th</sup> Street. As part of the improvements for the subdivision, the property owner will be constructing an 8-foot-wide unpaved trail adjacent to the 98<sup>th</sup> Street paved improvements in accordance with the requirements of the Design Standards & Policies Manual. The trail will be located within the existing right-of-way for North 98<sup>th</sup> Street.

### **Water/Sewer**

The developer is responsible for new water and sewer service infrastructure to the site, and there are no anticipated impacts to service in the area.

### **Public Safety**

The Scottsdale Public Safety departments have reviewed the proposed subdivision plat, and there are no adverse impacts to police and fire services anticipated as a result of this subdivision.

### **School District Comments/Review**

The Scottsdale Unified School District was notified of this application and there is no density increase to the area plan that would impact schools.

### **Open Space**

There is no specific common open space required for the subdivision. Open space is generally created on individual lots within an R1-35 subdivision by the required front yard and rear yard setbacks.

### **Community Involvement**

Surrounding property owners within 750 feet of the site have been notified and the site has been posted. Staff has received emails and phone calls from surrounding property owners with concerns regarding drainage and removal of equestrian uses in the neighborhood. These correspondence have been included in this report under Attachment #8

## **OPTIONS & STAFF RECOMMENDATION**

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### **Recommended Approach:**

Staff recommends that the Development Review Board approve the Bellissima Estates preliminary plat per the attached stipulations, finding that the provisions of the General Plan, the Land Division Ordinance, and the Development Review Criteria have been met.

**RESPONSIBLE DEPARTMENT(S)**

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Planning and Development Services  
Current Planning Services

**STAFF CONTACT**

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Bryan Cluff Senior Planner 480-312-2258 E-mail: [bcluff@ScottsdaleAZ.gov](mailto:bcluff@ScottsdaleAZ.gov)

**APPROVED BY**

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Bryan Cluff, Report Author, [bcluff@scottsdaleaz.gov](mailto:bcluff@scottsdaleaz.gov)

5/8/17  
Date



Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: [svenker@ScottsdaleAZ.gov](mailto:svenker@ScottsdaleAZ.gov)

5/8/17  
Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, [rgrant@scottsdaleaz.gov](mailto:rgrant@scottsdaleaz.gov)

5/11/17  
Date

## ATTACHMENTS

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1. Stipulations
2. Context Aerial
- 2A. Aerial Close-Up
3. Applicant's Narrative
4. Zoning Map
5. Preliminary Plat
6. Future Walls Plan
7. Grading & Drainage Plan
8. Citizen Involvement
9. City Notification Map

**Stipulations for Case:  
Bellissima Estates  
Case: 4-PP-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**Bold CAPS and Strikethrough indicate changes made by the Development Review Board at the hearing.**

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
  - a. The Preliminary Plat submitted by Rosendahl Engineering, with a city staff date of 3/20/17.
  - b. The Future Walls Exhibit submitted by Rosendahl Engineering, with a city staff date of 3/20/17.
  - c. Case Drainage Report for Bellissima Estates; submitted by DeAcetis – Francis Custom Homes, Inc., accepted on 4/4/17.
  - d. Case Grading and Drainage Plan for Bellissima Estates; submitted by DeAcetis – Francis Custom Homes, Inc., accepted on 4/4/17.
  - e. Water System Basis of Design Report for Bellissima Estates; submitted by Rosendahl Engineering, PLLC, accepted on 9/20/2016.
  - f. Wastewater System Basis of Design Report for Bellissima Estates; submitted by Rosendahl Engineering PLLC, accepted on 9/20/2016.

## **SUBDIVISION PLAT REQUIREMENTS**

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**EASEMENTS DEDICATIONS:**

**DRB Stipulations**

2. The owner shall dedicate to the City on the final plat a Traffic Safety Triangle over the sight distance triangle(s) in conformance Section 5.3 of the DSPM.
3. With the final plat or prior to approval of the final plat the owner shall provide Assurances and Covenant to Construct in conformance with DSPM Section 3.
4. The owner shall dedicate to the City on the final plat a Drainage Easement over all retention basins, including the proposed drainage swales along the east and west property boundaries.
5. **THE OWNER SHALL PROVIDE A NOTE ON THE FINAL PLAT, TO THE SATISFACTION OF CITY STAFF, WHICH PROVIDES DISCLOSURE TO PROSPECTIVE BUYERS WITHIN THE**



**SUBDIVISION REGARDING THE EQUESTRIAN CHARACTER OF THE SURROUNDING AREA, INCLUDING BUT NOT LIMITED TO, SUCH USES ON PARCELS DIRECTLY ADJACENT TO CERTAIN LOTS WITHIN THE SUBDIVISION AND ON PUBLIC TRAILS ADJACENT TO AND SURROUNDING THE SUBDIVISION.**

**IMPROVEMENT PLANS REQUIREMENTS**

**WALLS AND FENCES:**

**Ordinance**

- B. With the improvement plan submittal, the owner shall submit plans for permit to reduce the height of the existing fence along N. 98<sup>th</sup> Street and E. Jenan Drive to not exceed three (3) feet.

**DRB Stipulations**

- 6. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform with Section 5.3 of the DSPM.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

- 7. Submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager, or designee.
- 8. With or prior to the improvement plans submittal the owner shall provide a soils percolation test and drain time analysis. The percolation test shall comply with the City DS&PM Chapter 4 requirements.

**STREETS AND RELATED IMPROVEMENTS:**

**DRB Stipulations**

- 9. Prior to the issuance of an encroachment permit, the owner shall submit plans to construct the following street improvements:

| Street Name | Street Type                              | Improvements                                       | Notes                  |
|-------------|--|--|------------------------|
| 98th Street | Local Collector<br>Rural/ESL Character   | Pavement,<br>curb/gutter,<br>shoulders, trail      | a., b., c., d., e.     |
| Jenan Drive | Local Residential<br>Rural/ESL Character | Pavement,<br>curb/gutter,<br>shoulders, transition | b., c., d., f., g., e. |

- a. Pavement width to be 28-feet total to back of curb.
- b. 4-inch roll curb along project frontage.
- c. Geotechnical Report required to determine if existing pavement will need replacement.

- d. Construct 6-foot-wide compacted shoulders
- e. Construct 8-foot-wide unpaved trail along the east frontage of 98<sup>th</sup> Street **AND E. JENAN DRIVE** within the right-of-way per DSPM Section 8-3.200, Trail Classifications, 8-3.203 (Neighborhood Trails; Scottsdale Trails Master Plan (Trail Network), dated February 2004. Planned trail segment (#75) per Ad Hoc Citizens Trails Task Force Final Report 2009.
- f. Pavement width on Jenan Drive to match the improvement south of the proposed project, 14-feet from the centerline to the back of curb.
- g. Pave transition to the existing street cross section to the east.

**PATH, TRAILS AND RELATED IMPROVEMENTS:**

**DRB Stipulations**

- 10. Prior to the issuance of an encroachment permit, the owner shall submit improvement plans to construct a minimum 8-foot-wide multi-use trail along 98<sup>th</sup> Street **AND JENAN DRIVE** within the right of way. The multi-use trail shall be designed in conformance with the Design Standards and Policies Manual (details as referenced in stipulation #20). The owner shall provide signage for all paths per the DSPM. The location and design of the signs and markers shall be shown on the improvement plans.
- 11. **THE SURFACE MATERIAL FOR TRAIL CROSSINGS AT ALL DRIVEWAY LOCATIONS ALONG THE FRONTAGE OF THE SUBDIVISION (N. 98<sup>TH</sup> STREET & JENAN DRIVE) SHALL MATCH THE TRAIL MATERIAL.**

**WATER AND WASTEWATER STIPULATIONS**

**DRB Stipulations**

- 12. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main and removed pursuant to the Water Resources Services Department requirements.
- 13. Before the submittal of the improvement plans the owner shall obtain approval from Water Resources on the Basis of Design Reports for the water and sewer design per DSPM Sections 6-1.204, 6-1.205, 7-1.204 and 7-1.205.

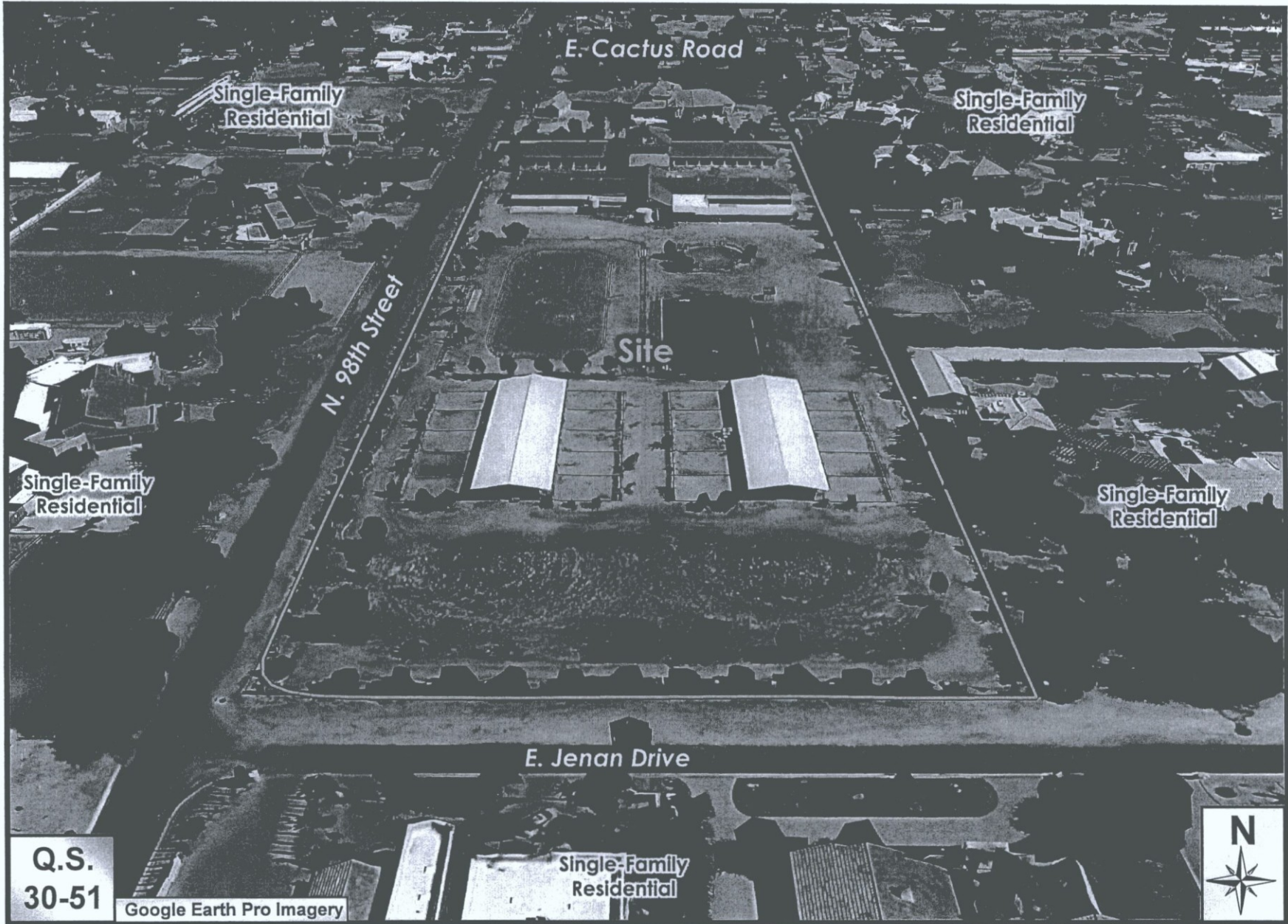




Bellissima Estates

4-PP-2016





Bellissima Estates

4-PP-2016

# ROSENDAHL ENGINEERING PLLC

## URBAN DESIGN & INFRASTRUCTURE

RESIDENTIAL & COMMERCIAL

### PRELIMINARY PLAT APPLICATION NARRATIVE

**DeAcetis-Francis Custom Homes**

**Bellissima Estates**

**9830 E. Jenan Dr.**

**C.O.S. Project No.; 4-PP-2016**

This project is a 6 lot subdivision of Lot 2, of the Bellissima Farms Minor Land Division. Four of the lots will front on N. 98th Street and two of them will front on E. Jenan Drive. The zoning for the area is R1-35 and the lots have been configured to be in compliance with the requirements of that zoning classification. The homes will be designed to fit with the height and setback requirements.

Bellissima Farms was a horse breeding and training facility and the entire property was delineated with a fence of 2 foot square pilasters spaced at approximately 22 feet with wrought iron fencing and varying degrees of vegetation between pilasters. This fencing will be modified to comply with the zoning regulations of a maximum height of 3 feet within the building setback area and will be reconstructed with either CMU or wrought iron along the existing alignment, utilizing the existing pilasters. The street section proposed will be from Section 5-3 of the Design Standards & Policies Manual, under 5-3.106 Local Collectors, *B. Rural/ESL Character*, with a 50 foot wide right-of-way, 12 foot wide lanes and 2.0 foot wide roll curb. It is anticipated that the East half of the street will be improved with this development. The existing pavement will be utilized to the extent possible thereby adequately providing for two way paved two way traffic. A geotechnical firm has conducted a core drilling program of the existing pavement of 98<sup>th</sup> Street and that on the South side of Jenan Drive. The results of that testing are included with the re-submittal of the Preliminary Plat and show that the existing pavement is of adequate thickness and quality to remain in place with this project.

There exists a 6 inch diameter ACP water line in N. 98th Street, which ties into an 8 inch ACP water line extending East within the E. Jenan Drive right-of-way. Flow tests have been performed on a hydrant existing on E. Cactus Road in the NE quadrant of its intersection with N. 98th Street and taking a static pressure reading on a hydrant 600 feet to the West. The second test was performed on a hydrant 635 feet East of the intersection of E. Jenan Drive and N. 98th Street with the static hydrant lying 1200 feet East of that hydrant on E. Jenan Drive. We were able to determine that there was adequate pressure and flow to provide for the addition of a new hydrant on N. 98th Street.

An 8 inch VCP sewer line and manhole exist in N. 98th Street 400 feet South of a sewer main in E. Cactus Road, checking the depth of the manhole in N. 98th Street, we found that it was too shallow to accommodate this development. There also exists an 8 inch VCP sewer line ending at a manhole 120 feet East of the intersection of N. 98th Street and E. Jenan Drive, in the E. Jenan Drive right-of-way.

This sewer line is of adequate depth service the development and will be extended West to N. 98th Street then 729 feet North to service Lot 1 of the development.

An 8 foot wide public utility easement will be provided along the frontages of N. 98th Street and E. Jenan Drive. We anticipate having a Southwest Gas service line, Cox Communication, Century Link and Arizona Public Service install their services in this easement.

During our Pre-application Conference with the City staff, it was determined that we would be able to utilize front yards for storm retention for the project. Subsequently, in cooperation with the City Stormwater Management Department we have designed a stormwater management system consisting of two retention basins to be encompassed by drainage easements. These retention basins have been designed to contain the runoff of the 100-yr. storm difference between the pre-development peak runoff and the post-development peak runoff. Each of the homes will be compatible with one another but have individual characteristics. The site is not in an area of Environmentally Sensitive Lands so those design principles will not apply to this development, there are no indigenous trees or plants that will need to be accounted for.





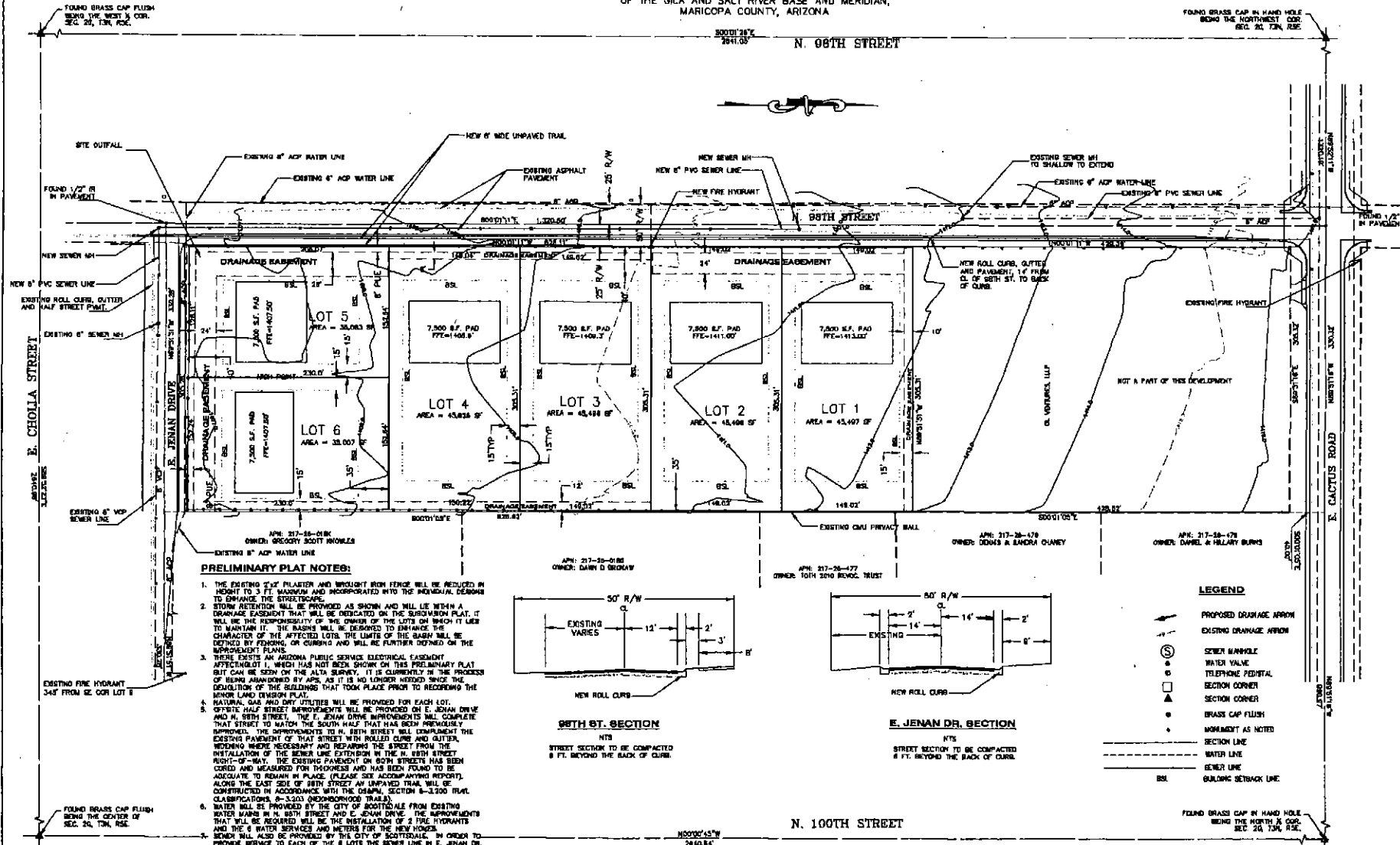
**Bellissima Estates**

**4-PP-2016**

**PRELIMINARY PLAT SITE PLAN  
BELLISSIMA ESTATES**

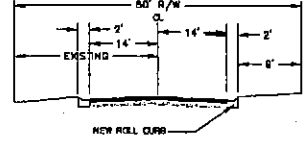
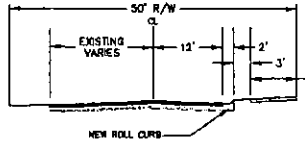
BEING A PORTION OF THE NORTHWEST QUARTER  
SECTION 20, TOWNSHIP 3 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA

**ATTACHMENT #5**



**PRELIMINARY PLAT NOTES:**

- THE EXISTING CURB, PAVEMENT AND WROUGHT IRON FENCE WILL BE REDUCED IN HEIGHT TO 3 FT. MAXIMUM AND INCORPORATED INTO THE INDIVIDUAL DRIVEWAYS TO ENHANCE THE STREETSCAPE.
- STORM RETENTION WILL BE PROVIDED AS SHOWN AND WILL BE WITHIN A DRAINAGE EASEMENT THAT WILL BE DESIGNATED ON THE SUBDIVISION PLAT. IT WILL BE THE RESPONSIBILITY OF THE OWNER OF THE LOTS ON WHICH IT LIES TO MAINTAIN IT. THE BASINS WILL BE DESIGNED TO ENHANCE THE CHARACTER OF THE AFFECTED LOTS. THE LIMITS OF THE BASIN WILL BE DEFINED BY FENCING, OR CURBS AND WILL BE FURTHER DEFINED ON THE IMPROVEMENT PLANS.
- THERE EXISTS AN ARIZONA PUBLIC SERVICE ELECTRICAL EASEMENT APPLICABLE TO LOT 1, WHICH HAS NOT BEEN SHOWN ON THE PRELIMINARY PLAT BUT CAN BE SEEN ON THE ALTA SURVEY. IT IS CURRENTLY IN THE PROCESS OF BEING AMENDED BY APS, AS IT IS NO LONGER NEEDED SINCE THE DESTRUCTION OF THE BUILDING THAT TOOK PLACE PRIOR TO RECEIVING THE MINOR LAND DIVISION PLAT.
- NATURAL GAS AND CRY UTILITIES WILL BE PROVIDED FOR EACH LOT.
- EXISTING HALF STREET IMPROVEMENTS WILL BE PROVIDED ON E. JANAN DRIVE AND N. 98TH STREET. THE E. JANAN DRIVE IMPROVEMENTS WILL COMPLETE THAT STREET TO MATCH THE SOUTH HALF THAT HAS BEEN PREVIOUSLY IMPROVED. THE IMPROVEMENTS TO N. 98TH STREET WILL COMPLEMENT THE EXISTING PAVEMENT OF THAT STREET WITH ROLLED CURBS AND GUTTERS. WORKING NEEDS NECESSARY AND REPAIRS TO THE STREET FROM THE INSTALLATION OF THE SEWER LINE EXTENSION IN THE N. 98TH STREET RIGHT-OF-WAY. THE EXISTING EASEMENT ON BOTH STREETS HAS BEEN CORDED AND MEASURED FOR THICKNESS AND HAS BEEN FOUND TO BE ADEQUATE TO REMAIN IN PLACE. (PLEASE SEE ACCOMPANYING REPORT).
- ALONG THE EAST SIDE OF 98TH STREET AN UNPAVED TRAIL WILL BE CONSTRUCTED IN ACCORDANCE WITH THE DMAP, SECTION 8-3.00 TRAIL CLASSIFICATIONS 8-3.00 (NON-MOTORIST TRAILS).
- WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE FROM EXISTING WATER MAINS IN N. 98TH STREET AND E. JANAN DRIVE. THE IMPROVEMENTS TO PROVIDE SERVICE TO EACH OF THE LOTS WILL BE THE INSTALLATION OF 4 INCH WATER MAINS AND THE 6 WATER SERVICES AND METERS FOR THE NEW HOMES.
- SEWER WILL ALSO BE PROVIDED BY THE CITY OF SCOTTSDALE. IN ORDER TO PROVIDE SERVICE TO EACH OF THE LOTS THE EXISTING SEWER LINE NEAR LOT 1 DOES NOT HAVE ENOUGH DEPTH TO EFFECTIVELY BE EXTENDED TO THE SOUTH.
- CONCRETE GRADES WILL BE A MAXIMUM OF 3:8.
- STORM RETENTION BASIN WILL BE CONSTRUCTED IN AN AESTHETICALLY PLEASING CONFIGURATION APPROXIMATELY 1 FT. DEEP CONTAINING THE VOLUME PER THE DRAINAGE REPORT.

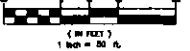


**LEGEND**

- ➔ PROPOSED DRAINAGE ARROW
- ➔ EXISTING DRAINAGE ARROW
- SEWER MANHOLE
- WATER VALVE
- TELEPHONE PEDIestal
- ▲ SECTION CORNER
- BRASS CAP FLUSH
- MOMENT AS NOTED
- SECTION LINE
- WATER LINE
- SEWER LINE
- BUILDING SETBACK LINE

**SITE DATA**

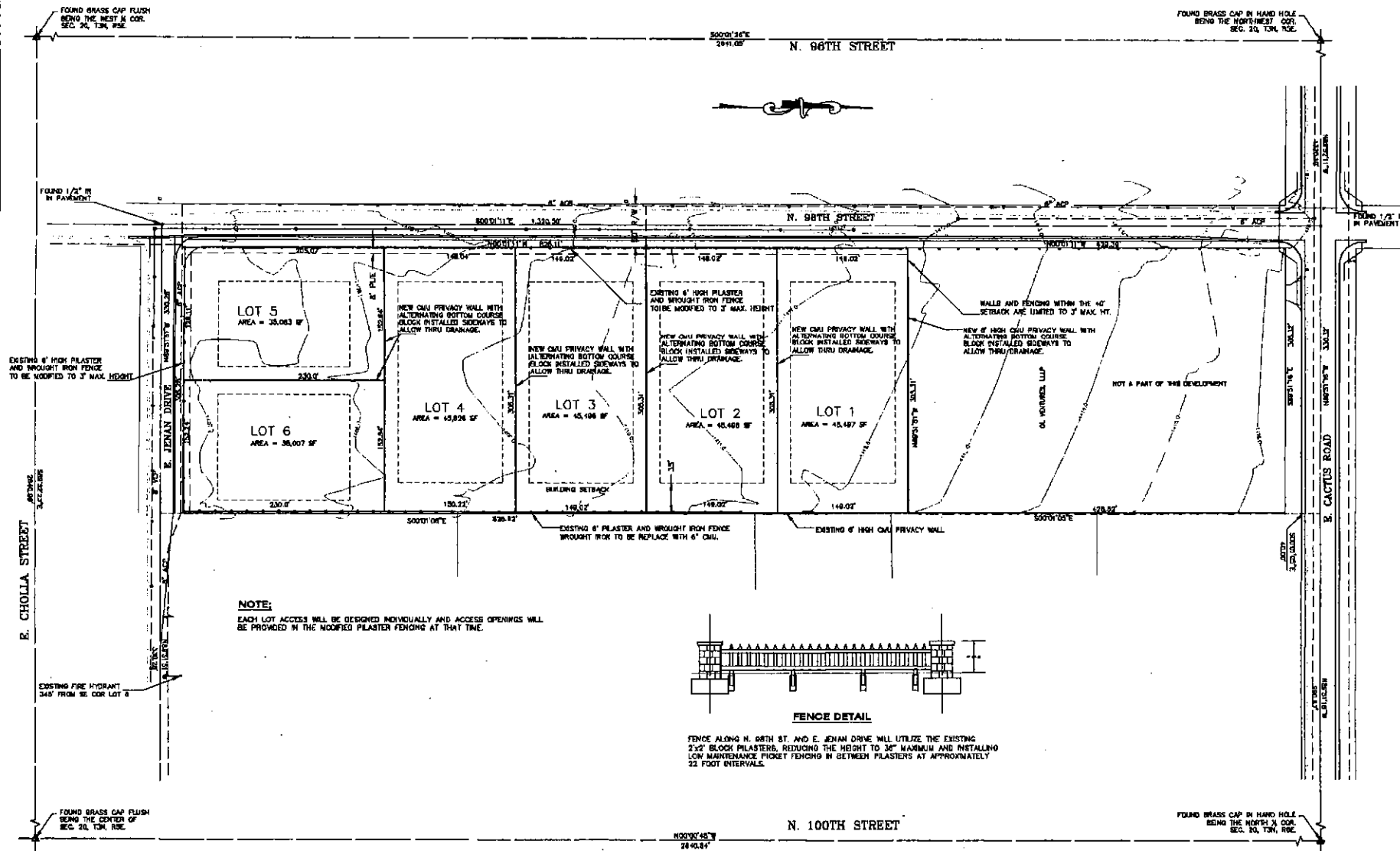
- TOTAL SITE AREA = 261,205 S.F. / 5.76 AC.
- APPROXIMATE BUILDING COVERAGE = 45,000 S.F. OR 17.6%
- WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE.
- WASTEWATER WILL BE PROVIDED FOR BY THE CITY OF SCOTTSDALE.
- ZONING FOR THIS SITE IS R1-35, COMPATIBLE WITH THE SURROUNDING AREA.



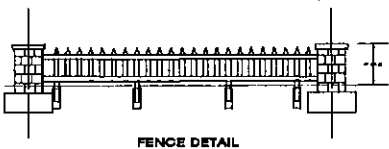
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|---|--|
| <p><b>ROSENDAHL ENGINEERING</b><br/>REGISTERED PROFESSIONAL ENGINEER<br/>NO. 12345<br/>1000 N. CENTRAL AVENUE, SUITE 100<br/>SCOTTSDALE, ARIZONA 85257<br/>PH: 480.444.1234<br/>WWW.ROSENDAHL-ENG.COM</p> | <p><b>BELLISSIMA ESTATES PRE-PLAT SITE PLAN</b><br/>9830 E. JANAN DRIVE<br/>LOT 2<br/>BELLISSIMA FARMS MINOR LAND DIVISION</p> |
| <p>OWNER: [Name Redacted]<br/>12345 N. 123rd St.<br/>Scottsdale, AZ 85256</p>   |  |
| <p>DESIGN: [Name Redacted]<br/>DRAWN: [Name Redacted]</p>   |  |
| <p>PROJECT NO. 180458<br/>DATE: 1/24/17<br/>SHEET</p>   |  |
| <p><b>1 OF 1</b></p>  |  |



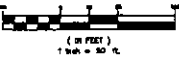
### FUTURE WALLS EXHIBIT BELLISSIMA ESTATES



**NOTE:**  
EACH LOT ACCESS WILL BE DESIGNED INDIVIDUALLY AND ACCESS OPENINGS WILL BE PROVIDED IN THE MODIFIED PLASTER FENCING AT THAT TIME.



FENCE ALONG N. 98TH ST. AND E. JENAN DRIVE WILL UTILIZE THE EXISTING 2"x2" BLOCK PILASTERS, REDUCING THE HEIGHT TO 36" MAXIMUM AND INSTALLING LOW MAINTENANCE PICKET FENCING IN BETWEEN PILASTERS AT APPROXIMATELY 23 FOOT INTERVALS.

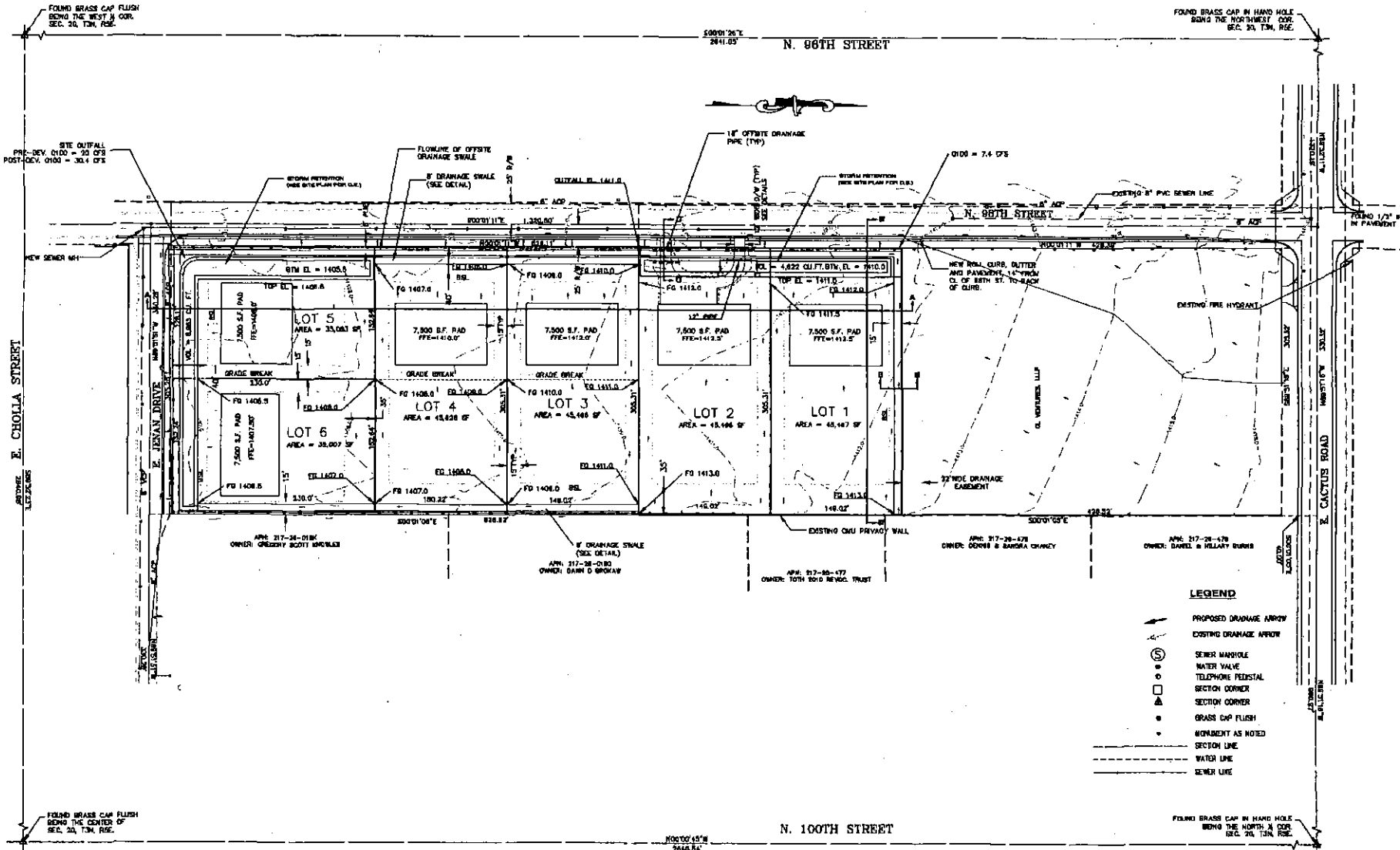


ATTACHMENT #6

|  |   |
|--|---|
| <b>BELLISSIMA ESTATES</b><br><b>FUTURE FENCE EXHIBIT</b><br>9830 E. JENAN DRIVE<br>LOT 2<br>BELLISSIMA FARMS MINOR LAND DIVISION | <b>ROSENDAHL</b><br><b>ENGINEERING</b><br>ENGINEERING<br>CONSULTING<br>1227 N. 113th Ave.<br>Edmond, OK 73036<br>405.261.1111 |
| OWNER<br>1227 N. 113th Ave.<br>Edmond, OK 73036  |   |
| DESIGN: PFM<br>DRAWING: 157  |   |
|  |   |
| PROJECT NO.<br>180488<br>DATE: 1/24/17<br>SHEET  |   |
| <b>1 OF 1</b>  |   |

4-PP-2016  
3/20/2017

# PRELIMINARY GRADING & DRAINAGE PLAN BELLISSIMA ESTATES



### LEGEND

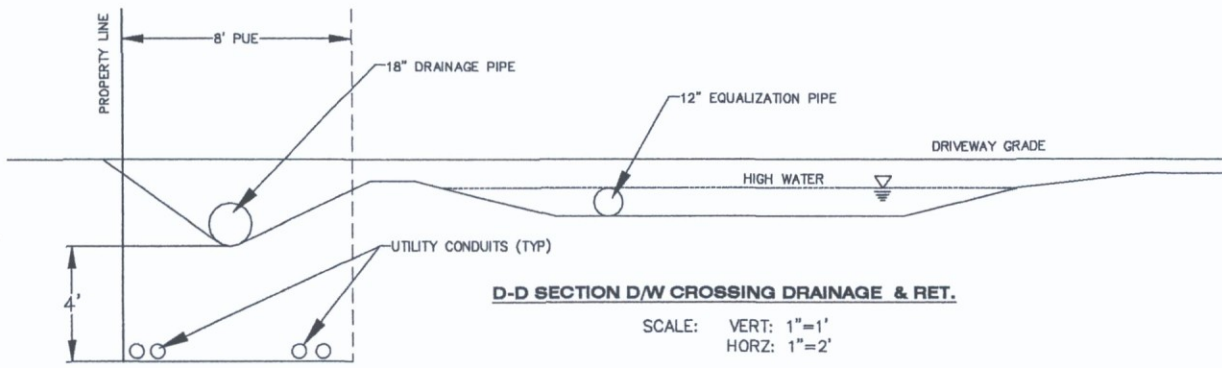
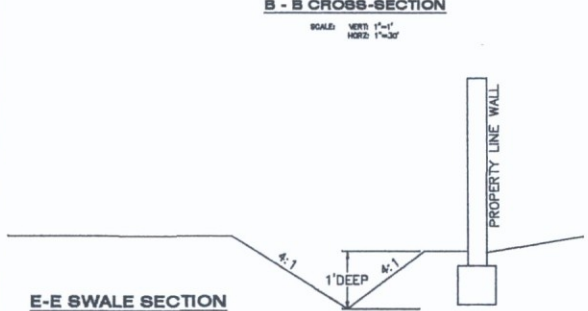
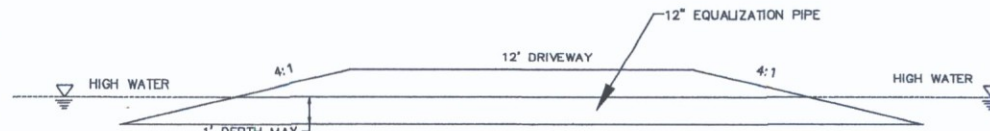
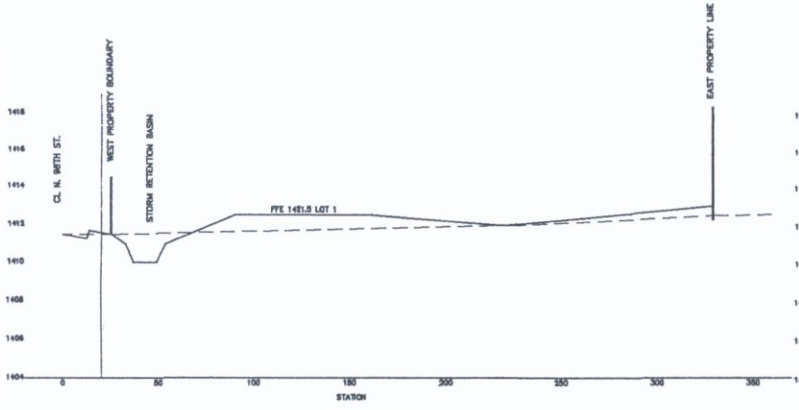
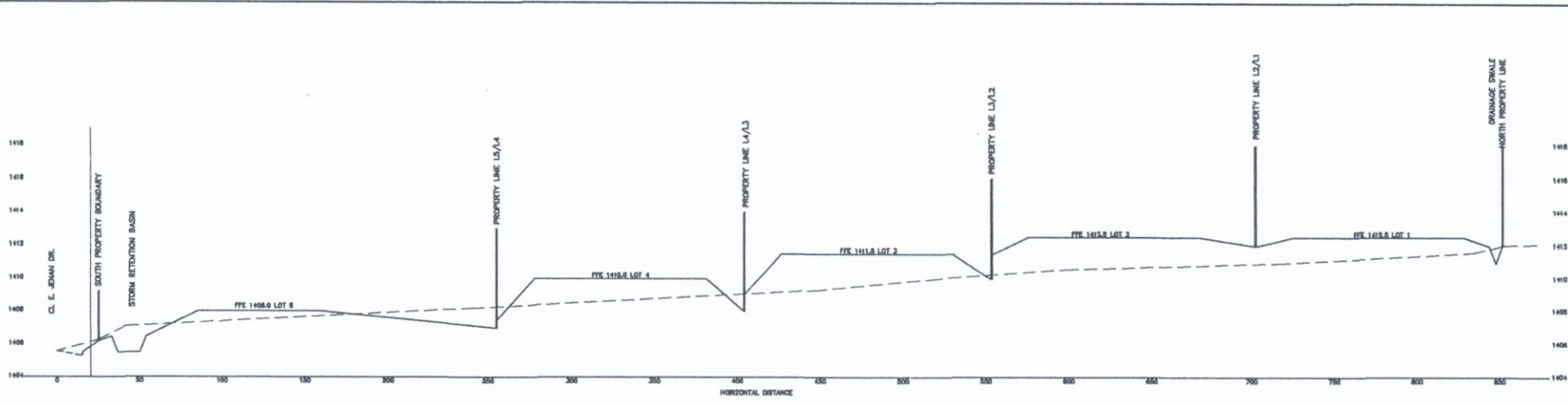
- PROPOSED DRAINAGE ARROW
- EXISTING DRAINAGE ARROW
- SEWER MANHOLE
- WATER VALVE
- TELEPHONE PEDestal
- SECTION CORNER
- SECTION CORNER
- GRASS CHIP FLUSH
- MONUMENT AS NOTED
- SECTION LINE
- WATER LINE
- SEWER LINE



ATTACHMENT #7

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|---|--|
| <p><b>BELLISSIMA ESTATES</b><br/><b>PRELIMINARY G &amp; D PLAN</b><br/>9830 E. JENAN DRIVE<br/>LOT 2<br/>BELLISSIMA FARMS MINOR LAND DIVISION</p> | <p><b>ROSENDAHL</b><br/><b>ENGINEERING</b><br/>1778 W. UNIVERSITY AVENUE<br/>SUITE 100<br/>PHOENIX, AZ 85024<br/>TEL: 602-998-1111<br/>WWW.ROSENDAHL-ENGINEERING.COM</p> |
| <p>OWNER: SCOTT &amp; SIBBLES<br/>12720 N. 113TH AVE<br/>SCOTTSDALE, AZ 85256</p>   |  |
| <p>DESIGN: PWR<br/>DRAWN: MD</p>  |  |
| <p>PROJECT NO. 180488<br/>DATE: 6/15/16<br/>SHEET</p>   |  |
| <p><b>1 OF 2</b></p>  |  |

4-PP-2016  
3/20/2017



| REV. NO. | DESCRIPTION |
|----------|-------------|
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|          |             |

ROSENDAHL  
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 DEBAN ENDER  
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 1000 W. WASHINGTON ST.  
 SUITE 200  
 AUSTIN, TEXAS 78701  
 (512) 520-1234  
 www.rosendahl-engineering.com

**BELLISSIMA ESTATES  
 VARIOUS CROSS-SECTIONS**  
 9830 E. JENAN DRIVE  
 BELLISSIMA FARMS MINOR LAND DIVISION

OWNER:  
 Duvalle-Franck Custom Homes, Inc.  
 12878 N. 113th Street  
 Scottsdale, AZ 85259



DESIGN: PWR  
 DRAIN: MD  
 L.P. 3/1/13  
 PROJECT NO. 160488  
 DATE: 8/15/16  
 SHEET

2 OF 2

**Cluff, Bryan**

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**Subject:** FW: Bellissima Estates  
**Attachments:** SnipImage.jpg

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**From:** Craig Pearce [<mailto:Craig.Pearce@DunnEdwards.com>]  
**Sent:** Monday, November 21, 2016 12:32 PM  
**To:** Cluff, Bryan  
**Cc:** [dan@dfcustomhomes.com](mailto:dan@dfcustomhomes.com)  
**Subject:** RE: Bellissima Estates

Brian, I wanted to follow-up with you regarding Bellissima Estates on 98<sup>th</sup> Street. I spoke to Dan Francis regarding my concerns about water run-off and how his development and the installation of rolled-curbings will affect the volume of water directed into the drainage easement beside my house. It sounds like his property is, according to City of Scottsdale reports, and according to Dan, sloped toward the West and that he will be required to install water basins on each property to keep water that falls on his property on the property. He also described that water that falls on 98<sup>th</sup> Street is supposed to run off to the West side of the street and eventually end up in the retention basin on the NW corner of Cortez and 98<sup>th</sup> Street. However, the most recent tenants in the house/horse property directly across 98<sup>th</sup> Street built berms along 98<sup>th</sup> Street to keep water from flowing down the street and into their horse corrals. The result of this is that water now crosses back to the East side of 98<sup>th</sup> Street and ends up in the drainage easement beside my house. This is also causing new excessive erosion. Now you can see my concern. I strongly believe this needs to be reviewed by the City of Scottsdale and considered in any development along 98<sup>th</sup> Street. I have no problem with Mr. Francis developing the 6 acres, nor do I believe the issue has arisen from Mr. Francis' property, but I do not want increased water drainage in the easement beside my house as a result of his development or any home-grown remedies built on the West side of 98<sup>th</sup> Street either.

I have included pictures from a rain storm in August 2016. You can see how much eroded soil is in the water and how much eroded soil was left behind afterwards. I have lived in this house since 2004 and there has never been high quantities of soil in the runoff water. Obviously, the berms and redirection of water is causing a problem that needs to be reviewed and rectified. Please consider this notice of my concern.

Thank you! Craig Pearce

CC: Dan Francis

**From:** Craig Pearce  
**Sent:** Monday, July 18, 2016 7:08 PM  
**To:** 'bcluff@scottsdaleaz.gov' <[bcluff@scottsdaleaz.gov](mailto:bcluff@scottsdaleaz.gov)>  
**Cc:** 'lpearce3@cox.net' <[lpearce3@cox.net](mailto:lpearce3@cox.net)>; 'craigapearce@cox.net' <[craigapearce@cox.net](mailto:craigapearce@cox.net)>  
**Subject:** Bellissima Estates

Brian, I just received notice about the development of Bellissima Estates at 9830 E. Jenan Drive. I live at 9817 E. Cortez St. and I have concerns about water drainage and diversion with the construction of rolled curbing along 98<sup>th</sup> Street. Where will water now be directed that falls on 98<sup>th</sup> Street? I am concerned about potential severe increased water volume being directed into the small drainage easement beside my house.

Sincerely, Craig Pearce

## Cluff, Bryan

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**From:** MarietteAZ <marietteaz@AOL.COM>  
**Sent:** Tuesday, August 09, 2016 3:07 PM  
**To:** Cluff, Bryan  
**Subject:** 9830 E Jenan Drive, Scottsdale

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Mr Cluff,

It was a pleasure meeting you yesterday.

My concerns for the above property are as follows:

DeAcetis-Francis Custom Homes recently purchased 5.793 acres as a minor land division of what was formerly known as Bellissima Farms, a horse breeding, training and sales property.

All horse barns were removed and six lots will be available as their sign announces on site. The surrounding properties are all 1.16 acres or bigger and these lots will be 35.000 square feet.

The area this property is in is called "Cactus Acres" and is designated Rural and Equestrian.

Knowing that we can not keep new owners from putting in restrictions I would like the City of Scottsdale to protect the equestrian community and communicate the fact that we would like the new owners to have the choice to own horses as well!

The second issue I would like to bring to your attention is the fact that Jenan Drive and 98th Street both have a provision for horses safely to travel on a dirt surface. We use this on a daily basis and gives us access to the trail on Cactus Road. It is a must that this access remains.

Thanks so much and for further questions please contact me at 602-399-5099.

Thanks,

Mariette Kort  
9940 E Jenan Drive  
Scottsdale AZ 85260

Sent from my iPad

## Cluff, Bryan

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**From:** Craig Pearce <Craig.Pearce@DunnEdwards.com>  
**Sent:** Monday, July 18, 2016 7:08 PM  
**To:** Cluff, Bryan  
**Cc:** lpearce3@cox.net; craigapearce@cox.net  
**Subject:** Bellissima Estates

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

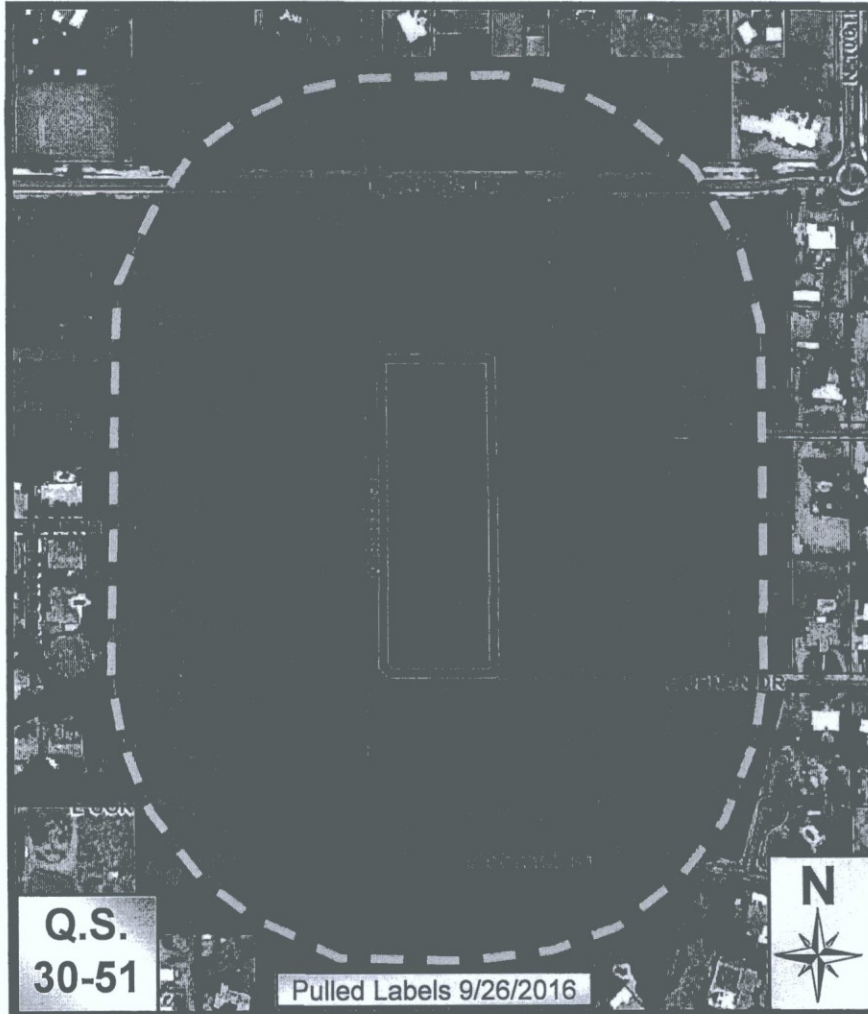
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Sincerely, Craig Pearce

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# City Notifications – Mailing List Selection Map

ATTACHMENT #9



## Map Legend:



Site Boundary



Properties within 750-feet

Postcards 110

## Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

**Bellissima Estates**

**4-PP-2016**