

Neighborhood Notification
Open House Information
Citizen Comments
Affidavit of Posting
Site Sign
Legal Protest



Affidavit of Posting

Office of the City Clerk

STATE OF ARIZONA)
)
COUNTY OF MARICOPA) SS

I, WAYLAND BARTON, being first duly sworn, depose and say:

That on MAY 10, 2017, I posted notification poster(s) for the properties indicated below.

Site(s) must be posted on or before: **May 10, 2017**

Case No.	Description and Location of Project	No. of Signs	Date Posted
4-PP-2016	Bellissima Estates, 9830 E Jenan Dr	1	5/10/17

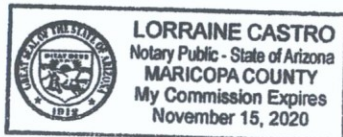
Date of Development Review Board Public Meeting: May 18, 2017, AT 1:00 P.M. IN THE CITY HALL KIVA, SCOTTSDALE, ARIZONA.

[Signature]
(Signature)

Acknowledged this 11th day of May 2017.

[Signature]
(Notary Public)

My commission expires 11/15/2020



Planning and Development Services

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

PUBLIC HEARING NOTICE

REQUEST: Approval a Preliminary Plat for a 6-lot Residential subdivision on a 5.79-acre site.

CASE#: 4-PP-2016

DATE: May 18, 2017

UNLESS OTHERWISE NOTIFIED, ALL PUBLIC HEARINGS ARE HELD AT:

SCOTTSDALE CITY HALL
3939 N. DRINKWATER BLVD.

YOUR COMMENTS ABOUT THIS REQUEST CAN BE MADE PRIOR TO OR AT THE ABOVE PUBLIC HEARING IF YOU WISH TO SPEAK AT THIS MEETING

HEARING DATE SUBJECT TO CHANGE
PLEASE CHECK OUR WEBSITE FOR LATEST INFORMATION



480-312-7000

POSTING DATE:

MAY 10, 2017

<http://www.ci.scottsdale.az.us>



WRITTEN COMMENTS

3

This card is used to submit written comments to the Board or Commission.
Written comment cards may be submitted to the Staff at any time. Cards submitted after public testimony has begun will be provided to the Board or Commission at the conclusion of the testimony for that item.

NAME (print) Carole Maclean MEETING DATE 5-18-17

NAME OF GROUP/ORGANIZATION (if applicable) _____

ADDRESS 9845 E. Jernan Drive ZIP _____

HOME PHONE 925-216-5238 WORK PHONE _____

E-MAIL ADDRESS(optional) _____

AGENDA ITEM # 3 SUPPORT OPPOSE

COMMENTS (additional space is provided on the back) ^① Will there be any controls or limits on disturbances that building will cause for property neighbors? In example, NOISE, CONSTRUCTION HOURS, DUST.

^② What opportunities will there be for public input on

Written Comment cards may be submitted to Staff at any time. Cards submitted after public testimony has begun will be provided to the Board or Commission at the conclusion of the testimony for that item.

The designs of the homes to be built, especially things that will be visible from the street?

REQUEST TO SPEAK: Citizens wishing to address the Board or Commission in person may obtain a blue Request to Speak card from staff located at the Staff table in the Kiva.



REQUEST TO SPEAK

3

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.

Public testimony is limited to three (3) minutes per speaker.

Additional time **MAY** be granted to speakers representing two or more persons.

Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) DAWN BROKAW MEETING DATE 5/18/17

NAME OF GROUP/ORGANIZATION (if applicable) _____

ADDRESS 9909 E Paradise Dr ZIP 85260

HOME PHONE (480) 391-9444 WORK PHONE _____

E-MAIL ADDRESS (optional) DDBrokaw@yohos.com

I WISH TO SPEAK ON AGENDA ITEM # 3 I WISH TO DONATE MY TIME TO _____

I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

Request to Speak cards must be submitted to City Staff before public testimony begins on that item.

HOW TO ADDRESS THE BOARD AND COMMISSION:

- The Chair will call your name when it is your turn to speak.
- Approach the podium and state your name and address for the record.
- Groups wishing to speak are encouraged to select a spokesperson to represent the views of the group.
- Public testimony is limited to three minutes per speaker. *(At the Chair's discretion, speakers representing two or more persons may be granted additional time.)*
- A timer light, located at the podium, will help you to time your comments.
 - A green light indicates the timer has been activated.
 - A yellow light indicates there is one minute remaining.
 - A red light indicates the comment period has ended.

WRITTEN COMMENTS: Citizens who do not wish to address the Board and Commission in person may submit written comments by completing a white Written Comment card. Written Comment cards are available throughout the Kiva Forum and at the Staff table.



REQUEST TO SPEAK

3

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.

Public testimony is limited to three (3) minutes per speaker.

Additional time **MAY** be granted to speakers representing two or more persons.

Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) BARRY WESTHOFF MEETING DATE 5/18/17

NAME OF GROUP/ORGANIZATION (if applicable) RESIDENT

ADDRESS 9920 E JENNA DR ZIP 85260

HOME PHONE _____ WORK PHONE _____

E-MAIL ADDRESS (optional) _____

I WISH TO SPEAK ON AGENDA ITEM # 3 I WISH TO DONATE MY TIME TO Dawn

I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

Request to Speak cards must be submitted to City Staff before public testimony begins on that item.

HOW TO ADDRESS THE BOARD AND COMMISSION:

- The Chair will call your name when it is your turn to speak.
- Approach the podium and state your name and address for the record.
- Groups wishing to speak are encouraged to select a spokesperson to represent the views of the group.
- Public testimony is limited to three minutes per speaker. *(At the Chair's discretion, speakers representing two or more persons may be granted additional time.)*
- A timer light, located at the podium, will help you to time your comments.
 - A green light indicates the timer has been activated.
 - A yellow light indicates there is one minute remaining.
 - A red light indicates the comment period has ended.

WRITTEN COMMENTS: Citizens who do not wish to address the Board and Commission in person may submit written comments by completing a white Written Comment card. Written Comment cards are available throughout the Kiva Forum and at the Staff table.

REQUEST TO SPEAK



3

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.

Public testimony is limited to three (3) minutes per speaker.

Additional time **MAY** be granted to speakers representing two or more persons.

Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) Mariette Kort MEETING DATE 5-18-2017

NAME OF GROUP/ORGANIZATION (if applicable) Cactus Acres

ADDRESS 9940 E. Jenan Drive ZIP 85260

HOME PHONE 480 860 2213 WORK PHONE _____

E-MAIL ADDRESS (optional) _____

I WISH TO SPEAK ON AGENDA ITEM # 3 I WISH TO DONATE MY TIME TO _____

I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

Request to Speak cards must be submitted to City Staff before public testimony begins on that item.

HOW TO ADDRESS THE BOARD AND COMMISSION:

- The Chair will call your name when it is your turn to speak.
- Approach the podium and state your name and address for the record.
- Groups wishing to speak are encouraged to select a spokesperson to represent the views of the group.
- Public testimony is limited to three minutes per speaker. *(At the Chair's discretion, speakers representing two or more persons may be granted additional time.)*
- A timer light, located at the podium, will help you to time your comments.
 - o A green light indicates the timer has been activated.
 - o A yellow light indicates there is one minute remaining.
 - o A red light indicates the comment period has ended.

WRITTEN COMMENTS: Citizens who do not wish to address the Board and Commission in person may submit written comments by completing a white Written Comment card. Written Comment cards are available throughout the Kiva Forum and at the Staff table.



REQUEST TO SPEAK

33

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.

Public testimony is limited to three (3) minutes per speaker.

Additional time **MAY** be granted to speakers representing two or more persons.

Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) Susan Wheeler MEETING DATE 5-18-17

NAME OF GROUP/ORGANIZATION (if applicable) Cactus Acres

ADDRESS 9616 E Kalef Dr ZIP 85260

HOME PHONE 480 860 4010 WORK PHONE 602 390 5717

E-MAIL ADDRESS (optional) SUSAN@SUSANWHEELER.COM

I WISH TO SPEAK ON AGENDA ITEM # 3 I WISH TO DONATE MY TIME TO _____

I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

Request to Speak cards must be submitted to City Staff before public testimony begins on that item.

HOW TO ADDRESS THE BOARD AND COMMISSION:

- The Chair will call your name when it is your turn to speak.
- Approach the podium and state your name and address for the record.
- Groups wishing to speak are encouraged to select a spokesperson to represent the views of the group.
- Public testimony is limited to three minutes per speaker. *(At the Chair's discretion, speakers representing two or more persons may be granted additional time.)*
- A timer light, located at the podium, will help you to time your comments.
 - A green light indicates the timer has been activated.
 - A yellow light indicates there is one minute remaining.
 - A red light indicates the comment period has ended.

WRITTEN COMMENTS: Citizens who do not wish to address the Board and Commission in person may submit written comments by completing a white Written Comment card. Written Comment cards are available throughout the Kiva Forum and at the Staff table.

Cluff, Bryan

Subject: FW: Bellissima Estates
Attachments: SnipImage.jpg

From: Craig Pearce [mailto:Craig.Pearce@DunnEdwards.com]
Sent: Monday, November 21, 2016 12:32 PM
To: Cluff, Bryan
Cc: dan@dfcustomhomes.com
Subject: RE: Bellissima Estates

Brian, I wanted to follow-up with you regarding Bellissima Estates on 98th Street. I spoke to Dan Francis regarding my concerns about water run-off and how his development and the installation of rolled-curbings will affect the volume of water directed into the drainage easement beside my house. It sounds like his property is, according to City of Scottsdale reports, and according to Dan, sloped toward the West and that he will be required to install water basins on each property to keep water that falls on his property on the property. He also described that water that falls on 98th Street is supposed to run off to the West side of the street and eventually end up in the retention basin on the NW corner of Cortez and 98th Street. However, the most recent tenants in the house/horse property directly across 98th Street built berms along 98th Street to keep water from flowing down the street and into their horse corrals. The result of this is that water now crosses back to the East side of 98th Street and ends up in the drainage easement beside my house. This is also causing new excessive erosion. Now you can see my concern. I strongly believe this needs to be reviewed by the City of Scottsdale and considered in any development along 98th Street. I have no problem with Mr. Francis developing the 6 acres, nor do I believe the issue has arisen from Mr. Francis' property, but I do not want increased water drainage in the easement beside my house as a result of his development or any home-grown remedies built on the West side of 98th Street either.

I have included pictures from a rain storm in August 2016. You can see how much eroded soil is in the water and how much eroded soil was left behind afterwards. I have lived in this house since 2004 and there has never been high quantities of soil in the runoff water. Obviously, the berms and redirection of water is causing a problem that needs to be reviewed and rectified. Please consider this notice of my concern.

Thank you! Craig Pearce

CC: Dan Francis

From: Craig Pearce
Sent: Monday, July 18, 2016 7:08 PM
To: 'bcluff@scottsdaleaz.gov' <bcluff@scottsdaleaz.gov>
Cc: 'lpearce3@cox.net' <lpearce3@cox.net>; 'craigapearce@cox.net' <craigapearce@cox.net>
Subject: Bellissima Estates

Brian, I just received notice about the development of Bellissima Estates at 9830 E. Jenan Drive. I live at 9817 E. Cortez St. and I have concerns about water drainage and diversion with the construction of rolled curbing along 98th Street. Where will water now be directed that falls on 98th Street? I am concerned about potential severe increased water volume being directed into the small drainage easement beside my house.

Sincerely, Craig Pearce

Cluff, Bryan

From: MarietteAZ <marietteaz@AOL.COM>
Sent: Tuesday, August 09, 2016 3:07 PM
To: Cluff, Bryan
Subject: 9830 E Jenan Drive, Scottsdale

Follow Up Flag: Follow up
Flag Status: Flagged

Mr Cluff,

It was a pleasure meeting you yesterday.

My concerns for the above property are as follows:

DeAcetis-Francis Custom Homes recently purchased 5.793 acres as a minor land division of what was formerly known as Bellissima Farms, a horse breeding, training and sales property.

All horse barns were removed and six lots will be available as their sign announces on site. The surrounding properties are all 1.16 acres or bigger and these lots will be 35.000 square feet.

The area this property is in is called "Cactus Acres" and is designated Rural and Equestrian.

Knowing that we can not keep new owners from putting in restrictions I would like the City of Scottsdale to protect the equestrian community and communicate the fact that we would like the new owners to have the choice to own horses as well!

The second issue I would like to bring to your attention is the fact that Jenan Drive and 98th Street both have a provision for horses safely to travel on a dirt surface. We use this on a daily basis and gives us access to the trail on Cactus Road. It is a must that this access remains.

Thanks so much and for further questions please contact me at 602-399-5099.

Thanks,

Mariette Kort

9940 E Jenan Drive

Scottsdale AZ 85260

Sent from my iPad

Cluff, Bryan

From: Craig Pearce <Craig.Pearce@DunnEdwards.com>
Sent: Monday, July 18, 2016 7:08 PM
To: Cluff, Bryan
Cc: lpearce3@cox.net; craigapearce@cox.net
Subject: Bellissima Estates

Follow Up Flag: Follow up
Flag Status: Flagged

Brian, I just received notice about the development of Bellissima Estates at 9830 E. Jenan Drive. I live at 9817 E. Cortez St. and I have concerns about water drainage and diversion with the construction of rolled curbing along 98th Street. Where will water now be directed that falls on 98th Street? I am concerned about potential severe increased water volume being directed into the small drainage easement beside my house.

Sincerely, Craig Pearce

This email message and any accompanying attachment(s) is intended for only the use of the intended recipient(s) and may contain confidential and privileged information. If any receiver of this communication is not the intended recipient(s), any unauthorized review, use, disclosure, copying, or distribution is prohibited, and may be unlawful. If you are not the intended recipient(s), please immediately notify the sender by reply or return email, and destroy all copies of the original message and attachments, and delete the original message, attachments, and all copies from your systems. Thank you.

To Brian Cluff
For file & board
members on case

App 2016

Date 5/18/2017



Office of the Mayor
(602) 994-2433
FAX (602) 994-2738

September 27, 1995

Dawn Brokaw, M.D.
9909 East Paradise Drive
Scottsdale, Arizona 85260

Dear Dawn:

Thanks for a well-written letter. As a fellow horseman, I am incensed that the individual that you mentioned would do something as uncaring and as dangerous as this. It is my belief that he is setting himself up for a tremendous legal liability if one of those horses ever spooks and hurts someone.

You know, Dawn, I have lived here since 1943 and I've had horses almost every one of those years. I have seen the same problem over and over again -- the non-horse people obviously outnumber the horse people. When they move in and crowd around us, they decide they don't like the flies, the smell, or the noise. I try to be tolerate but I have a difficult time with actions such as you describe in your letter.

I will follow up to the best of my ability. Dawn, if you want to sit down and share ideas and suggestions, I am willing to make time to listen. The last time we discussed concerns, there was some improvement because of your input.

Best regards,

A handwritten signature in cursive script that reads "Herbert R. Drinkwater".

Herbert R. Drinkwater
Mayor

HRD:rmz

To: Major H. Drinkwater
City Council Members

Re: THE INDIANS, AND LOOK WHAT HAPPENED TO THEM

A week ago Tuesday, one of our new neighbors in the new development, La Cienega, called one of our old neighbors, who has been a resident of Cactus Acres for many years to complain about the noise generated by the commercial garbage truck that arrives at her house very early on Tuesdays to haul away her manure. She is very fastidious about keeping her property clean and free of old manure. During the course of their conversation, he informed her that he had "put up with the dust, lights, etc" but that removing her manure was noise pollution and violated his rights. When she rightly pointed out that spreading the manure was an alternative that we would like less, he questioned whether or not she was threatening him. When asked why he bought and built a house that was surrounded by horse property he passed on a story line that I have heard many other times, some of these from builders in La Cienega.... YOU HORSE PEOPLE ARE GOING TO BE OUT OF HERE, IT'S ALL GOING TO BE DEVELOPED! She was so astounded that all she could mutter was, "but I was here first." You guessed it! His response was, "SO WERE THE INDIANS, AND LOOK WHAT HAPPENED TO THEM"

Now, I told you so. We spent over a year of our time, your time and the tax payers money to develop a plan for the Cactus Corridor. I strongly disagreed with the compromise you made after all that work in allowing La Cienega to be built the way it was. High density, walled and minus horses. You created false expectations to abound by allowing this type of development into a neighborhood that had been designated Rural / Equestrian. This creates bad, unhappy neighbors and now we have one that is sounding litigiousness.

What about the old neighbors rights to enjoy her property, She was been thrown from her horse by these neighbor kids jumping on their trampoline, but didn't complain. She has to adjust which horse she rides according to what's going on next door. And now she's threatened because she disposes of her manure in a manner that is too noisy.

Do we have an entire development in our midst that truly believes that we are going to go the way of the Indians. Are we to be banished to reservations? NO

I hope you will not abandon us and will exercise leadership and do what is correct, not politically expedient. We deserve your support

Sincerely,



To; Mayor Drinkwater
City Council

From: Dawn Brokaw
November 16, 1995

I have had numerous correspondences and conversations with you considering the continued harassment of Clyde Marquis Stables by Mr. and Mrs. Rosso and now their attorney, Ms. Lagarde, concerning the alleged failure of the stable to conform to city ordinances, but I have yet to hear from any of you concerning Section 2.208-D.-1-b. and the Rosso's and Rancho Mirado's failure to comply with such. Under Commercial Stables, it states that it shall not be adjacent to single-family residential properties of less than two gross acres in size unless that residential property contains an equestrian trail easement along the contiguous boundary.

I continue to hear from you concerning your desire to bring Clyde Marquis into compliance and make them a better neighbor but I hear no such commitment on your part to protect the stable from frivolous harassment and possibly even a law suit or a commitment to enforce city codes as they apply to development...

I maintain my position that this is not a case of Mr. and Mrs. Rosso and Rancho Mirado innocently requesting compliance but instead malicious plotting against an alternative life style that does not fit with their cloistered, manicured, expansive, ostentatious homes and their desire to have us gone. As a case in point, there is not P.A. System but merely a hand held microphone. There was no need for a permit to put up fencing to enlarge the riding arena and yet the Rosso's complained and the City sited the barn

I reference my letter of February, 1995 regarding the resident of La Cienega who complained because the commercial truck that picked up the manure of a neighboring horse property woke him. Obviously, this had nothing to do with maintaining the property but was rooted in his distaste for the equestrian lifestyle that bordered red his property

We are being forced to consider other options to protect our endangered lifestyle if the City of Scottsdale continues to ignore or understand the danger that the horse community is put in by their continued poor planning practices.

Dawn Brokaw
November 16, 1995

cc. Don Hadder
Jayna Shewak
Liz Hildenbrand

October 25, 1995

Donald Prior
Councilman

Dear Sir:

I received your letter today. First of all, Mr. and Mrs. Rosso did not apologize for the speaker incident, they apologized for the four letter words in the music they chose to disrupt the lessons of all the people who enjoy their horses. There was no mention of the danger they put all of us in by blasting music in an arena full of people on horseback. Those horses, and the lessons we pay to take to make us better horseman were disrupted by childish behavior. Apologizing for their choice of music is similar to the woman who poisoned all the animals in Tempe apologizing for her choice of poison, it is not sufficient!

Secondly, there have been numerous complaints by Mr. and Mrs. Rosso, the latest was against an extension of the riding ring, which amounted to nothing more than erecting some fencing to extend the length of the arena. It is my understanding, from speaking to staff, that they did not need a permit for this since it did not constitute a change or expansion of current use. This alleged violation was not a violation at all but a premeditated act of harassment, which Mr. Rosso seems to do very well.

Third, the lights and speaker used have been used for years, well before Mr. and Mrs. Rosso built their house. The lights are far less intense or irritating than the many lights all over the city that are used to illuminate parks and ball fields so that these activities can be enjoyed at night. Clyde Marquis Ranch is a commercial facility that has been in existence for many years. There is currently no ordinance for people generated noise and I would oppose any such ordinance since it would only give credence to people like the Rosso's and relieve them of the financial burden of pursuing their vendettas by placing that burden on the tax payer. By the way, since Harry Sexton obtained a restraining order against his neighbors, the flooding problem he experienced on his property has mysteriously stopped.

Fourth, I have spoken before you in the past about CC&R restricted communities. Mr. and Mrs. Rosso's CC&R restricted development is surrounded by horse property. I will be writing to Grant Woods concerning the ill-advised concept of placing communities with totally different values and life styles in the midst of established neighborhoods. At a time when so much attention is directed at personal property rights, I find it puzzling that we allow restrictions to be placed on developments that negate those very rights. I realize that the City of Scottsdale doesn't regulate CC&R's but they should at least be consistent with the surrounding neighborhood. Those of us who are encroached upon have a right to expect tolerant neighbors at least, if we can't have neighbors who share a common interest. I have had horses boarded at Clyde Marquis for years and I can assure you that it is clean, cared for and while not perfect, certainly not a blight on the neighborhood. It possesses the inherent problems of horses and a commercial facility. It

is not compatible with half million dollar houses on manicured lawns and to attempt to make it "fit in" would be folly. I suspect Mr. and Mrs. Rosso will not be happy until we are gone. More unreal expectations have been fostered by another restricted development! Equestrian facilities can only live in harmony with different types of neighborhoods if it is clearly understood, from the beginning, with no ambiguity and no politic playing on your parts that the equestrian lifestyle is a valued part of Scottsdale. After all, the Chambers own publicity campaign for Scottsdale pictures a cowboy and a horse!

Sincerely,

 10/26/81
Dawn Brokaw

cc. Mayor and City Council Members

Dear Mayor Drinkwater and City Council:

As you know, we have had many conversations about building non-horse property next to horse property. Even with buffer zones and so called performance zoning, this frequently doesn't work. The City of Scottsdale and the Developer have taken the stance that this is a livable city and that there is something here for everyone. Yet we see more and more golf courses and high density clustered housing destroying our desert and substituting landscaped pathways for a natural experience. There have been numerous examples of harassment when CC&R restricted, gated communities prohibiting horses have built next to equestrian facilities. I have come before you in the past asking for investigation of the powers of CC&R's and the wisdom of placing restrictions on communities that are incompatible with the existing neighborhood. Now it has come to my attention that they are even being used to discriminate based on race and religion.

The most recent abomination comes from John and Judy (Loker) Rosso of Rancho Mirado on 110th Street south of Shea Blvd. Mr. Rosso is the secretary/treasurer of Sun Belt Realty and Wiszona Inc., a real-estate investment corporation. Judy Loker/Rosso is the president. Ranch Mirado is a housing development that was built next to a commercial equestrian facility. As Mr. and Mrs. Rosso have built more houses they have continuously complained about everything associated with the facilities, from the lights to the buildings, dust and now the noise, all of which were present before they arrived on the scene. Since they have built their most recent house, which they currently occupy, they have launched a malicious, childish vendetta. They object to a microphone that is occasionally used to teach lessons and has been used for many years. Whenever it is used, they have placed a speaker on their property line and blasted obscene music into the riding ring. At one point, this music contained profanities such as G-- D--- M----- F---er. This was blasted at children, taking lessons on their horses and ponies and witnessed by more than one adult as they watched their children ride. Today, I had the displeasure of riding to Mr. and Mrs Rosso's music and became aware of something just as serious as their loud-speakered profanities. The music was so loud that I could not communicate with my horse verbally, an aid which is very valuable when a horse is high strung or agitated. I could not hear the instructor and my concentration was severely compromised. One of the young teens who was also riding had her lesson disrupted when her horse became agitated. It became apparent that this could lead to dangerous situations for the children when they are riding. Not only did the horse become agitated but when faced with such a situation, the young rider could not even hear the instructor talk her through the situation. Panic could ensue, and someone could be injured.

I believe that the equestrian community has been neglected and endangered by the current building philosophies. I believe that the message that the horse community is not being valued is being spread to the developer who is spreading it to the public. I believe that it is far better for a child to be riding their ponies than to be hanging out at Cracker Jax or

the local regional mall. However, Mr. and Mrs. Rosso are turning a healthy, wholesome activity into an obscene excursion into danger. Their despicable vendetta casts an ugly shadow on all development and is a source of embarrassment to all of Scottsdale.

Dawn Brokaw
Scottsdale, Arizona

CC. Gov. Fife Symington
Attorney General Grant Woods
City Shape 2020 Martha West
Steering Committee Chairman Diane Cusack
Scottsdale Association of Realtors
Arizona Department of Real Estate

Inlosures: Audio tape: Offspring
transcript lyrics

CASE NO. 4-PP-2016
**Stipulations for Case:
Bellissima Estates
Case: 4-PP-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
 - a. The Preliminary Plat submitted by Rosendahl Engineering, with a city staff date of 3/20/17.
 - b. The Future Walls Exhibit submitted by Rosendahl Engineering, with a city staff date of 3/20/17.
 - c. Case Drainage Report for Bellissima Estates; submitted by DeAcetis – Francis Custom Homes, Inc., accepted on 4/4/17.
 - d. Case Grading and Drainage Plan for Bellissima Estates; submitted by DeAcetis – Francis Custom Homes, Inc., accepted on 4/4/17.
 - e. Water System Basis of Design Report for Bellissima Estates; submitted by Rosendahl Engineering, PLLC, accepted on 9/20/2016.
 - f. Wastewater System Basis of Design Report for Bellissima Estates; submitted by Rosendahl Engineering PLLC, accepted on 9/20/2016.

SUBDIVISION PLAT REQUIREMENTS

EASEMENTS DEDICATIONS:

DRB Stipulations

2. The owner shall dedicate to the City on the final plat a Traffic Safety Triangle over the sight distance triangle(s) in conformance Section 5.3 of the DSPM.
3. With the final plat or prior to approval of the final plat the owner shall provide Assurances and Covenant to Construct in conformance with DSPM Section 3.
4. The owner shall dedicate to the City on the final plat a Drainage Easement over all retention basins, including the proposed drainage swales along the east and west property boundaries.
5. **THE OWNER SHALL PROVIDE A NOTE ON THE FINAL PLAT, TO THE SATISFACTION OF CITY STAFF, WHICH PROVIDES DISCLOSURE TO PROSPECTIVE BUYERS WITHIN THE SUBDIVISION OF THE EQUESTRIAN CHARACTER OF THE SURROUNDING AREA, INCLUDING BUT NOT LIMITED TO, SUCH USES ON PARCELS DIRECTLY ADJACENT TO**

CERTAIN LOTS WITHIN THE SUBDIVISION AND ON PUBLIC TRAILS ADJACENT TO AND SURROUNDING THE SUBDIVISION.

IMPROVEMENT PLANS REQUIREMENTS

WALLS AND FENCES:

Ordinance

- B. With the improvement plan submittal, the owner shall submit plans for permit to reduce the height of the existing fence along N. 98th Street and E. Jenan Drive to not exceed three (3) feet.

DRB Stipulations

- 6. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform with Section 5.3 of the DSPM.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 7. Submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager, or designee.
- 8. With or prior to the improvement plans submittal the owner shall provide a soils percolation test and drain time analysis. The percolation test shall comply with the City DS&PM Chapter 4 requirements.

STREETS AND RELATED IMPROVEMENTS:

DRB Stipulations

- 9. Prior to the issuance of an encroachment permit, the owner shall submit plans to construct the following street improvements:

Street Name	Street Type	Improvements	Notes
98th Street	Local Collector Rural/ESL Character	Pavement, curb/gutter, shoulders, trail	a., b., c., d., e.
Jenan Drive	Local Residential Rural/ESL Character	Pavement, curb/gutter, shoulders, transition	b., c., d., f., g

- a. Pavement width to be 28-feet total to back of curb.
- b. 4-inch roll curb along project frontage.
- c. Geotechnical Report required to determine if existing pavement will need replacement.
- d. Construct 6-foot-wide compacted shoulders

CASE NO. 4-PP-2016

- e. Construct 8-foot-wide unpaved trail along the east frontage of 98th Street within the right-of-way per DSPM Section 8-3.200, Trail Classifications, 8-3.203 (Neighborhood Trails; Scottsdale Trails Master Plan (Trail Network), dated February 2004. Planned trail segment (#75) per Ad Hoc Citizens Trails Task Force Final Report 2009.
- f. Pavement width on Jenan Drive to match the improvement south of the proposed project, 14-feet from the centerline to the back of curb.
- g. Pave transition to the existing street cross section to the east.

PATH, TRAILS AND RELATED IMPROVEMENTS:

DRB Stipulations

- 10. Prior to the issuance of an encroachment permit, the owner shall submit improvement plans to construct a minimum 8-foot-wide multi-use trail along 98th Street within the right of way. The multi-use trail shall be designed in conformance with the Design Standards and Policies Manual (details as referenced in stipulation #20). The owner shall provide signage for all paths per the DSPM. The location and design of the signs and markers shall be shown on the improvement plans.

WATER AND WASTEWATER STIPULATIONS

DRB Stipulations

- 11. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main and removed pursuant to the Water Resources Services Department requirements.
- 12. Before the submittal of the improvement plans the owner shall obtain approval from Water Resources on the Basis of Design Reports for the water and sewer design per DSPM Sections 6-1.204, 6-1.205, 7-1.204 and 7-1.205.



Preliminary Plat Notification Affidavit

I, Wayne Rosendahl, acting on behalf of De Acetis - Francis Custom Homes, Inc, hereby affirm that a copy of the preliminary plat of Bellissima Estates subdivision has been delivered to the following agencies for their review.

<u>AGENCY</u>	<u>DATE NOTIFIED</u>
<input checked="" type="checkbox"/> SALT RIVER PROJECT...(2).....	<u>8-26-16</u>
<input checked="" type="checkbox"/> ARIZONA PUBLIC SERVICE	<u>8-26-16</u>
<input checked="" type="checkbox"/> SOUTHWEST GAS CORPORATION.....	<u>" "</u>
<input checked="" type="checkbox"/> ARIZONA DEPARTMENT OF TRANSPORTATION.....	<u>" "</u>
<input checked="" type="checkbox"/> MARICOPA COUNTY ENVIRONMENTAL SERVICES.....	<u>" "</u>
<input checked="" type="checkbox"/> MARICOPA COUNTY PLANNING DEPARTMENT.....	<u>" "</u>
<input checked="" type="checkbox"/> MARICOPA COUNTY FLOOD CONTROL DISTRICT.....	<u>" "</u>
<input checked="" type="checkbox"/> SCOTTSDALE POSTMASTER.....	<u>" "</u>
<input checked="" type="checkbox"/> SCOTTSDALE SCHOOL DISTRICT.....	<u>" "</u>
<input checked="" type="checkbox"/> CAVE CREEK SCHOOL DISTRICT.....	<u>" "</u>
<input checked="" type="checkbox"/> PARADISE VALLEY SCHOOL DISTRICT.....	<u>" "</u>
<input checked="" type="checkbox"/> CENTRAL ARIZONA WATER CONSERVATION DISTRICT...	<u>" "</u>
<input checked="" type="checkbox"/> CENTURY LINK.....	<u>8-26-16</u>
OTHER.....	

Signature Date 9-1-16
Rosendahl Engineering, PLLC
857 N. Barkley, Mesa, AZ 85203 Phone (480) 599-1263

4-PP-2016
9/26/2016

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

ROSENDAHL ENGINEERING PLLC

URBAN DESIGN & INFRASTRUCTURE

RESIDENTIAL & COMMERCIAL

OUTREACH CONTACT SUMMARY

DeAcetis-Francis Custom Homes

Bellissima Estates

9830 E. Jenan Dr.

C.O.S. Project No.; 4-PP-2016

Following is a summary of the communication with the property owners that commented on the project based on the Neighborhood Notification.

Dan Francis was finally able to meet with the owner, **Craig Pearce, who lives at 9817 E Cortez St.** today. Dan explained to him that each of the four lots on 98st and two lots on Jenan Dr will have on lot retention and the half street improvements to 98th St will be engineered so that there will be no additional water drainage flowing South past his property that presently exist. He seemed pleased.

On Monday November 11th Dan Francis met with the following neighbors.

Mariette Kort, 9940 E Jenan Dr. She wants to see that the neighborhood remain rural and equestrian with the ability to ride horses along the back of curb on Jenan & 98th St. Dan explained the the half street improvements the city requires will allow horses to be ridden between the street improvements and the property line(existing fences to be reduced in height to 3 ft) as they can be ridden now. There will even by an 8 ft trail on the East side of 98th St. She seemed very pleased.

Dawn Brokaw, 9909 E Paradise Dr, adjacent property owner of the NE corner of our property. She has very strong opinion about maintaining equestrian neighborhood, that no bright lights shine onto her property after the new houses are built and that there be no future complaints about the horses on her property. She would prefer that there be no restrictions prohibiting horses at the new homes to be built.

Dan told her that he does not intent to place c, c, & r's on the property restricting horses on the lots. She does not trust what she is told by developers based on her experiences in the past. She wants to be left alone to do her own thing like she always has.

Angela Carmitchel, owns 9935 E Paradise Dr. She does not live there. She works for a major production home builder. Her husband Nike Brown is a custom home builder/re modeler. She wants equestrian access to remain next to Jenan & 98th as it is now. Dan explained how equestrian access will be will be in the future. She seemed pleased. She asked that we email a copy of the final preliminary plat that we will be submitting to the city so she could see it.

ROSENDAHL ENGINEERING

URBAN DESIGN & INFRASTRUCTURE

RESIDENTIAL & COMMERCIAL

NEIGHBORHOOD NOTIFICATION BELLISSIMA ESTATES

Project Request and Description: This is notification that DeAcetis-Francis Custom Homes, Inc., Developer, has purchased 5.793 acres of property located at the NE corner of N. 98th St. and E. Jenan Drive, the site address being 9830 E. Jenan Drive. The City of Scottsdale has recently approved the formation of this 5.793 acre parcel in a minor land division of what was formerly Bellissima Farms, a horse breeding, training and sales property.

The property is zoned R1-35, requiring a minimum lot size of 35,000 square feet, which is compatible with the surrounding neighborhood. The Developer is applying for a 6 lot subdivision with 4 lots fronting on N 98th St. and 2 lots fronting on E. Jenan Drive, see the "Site Plan" included, to be known as Bellissima Estates. This subdivision will be developed in accordance with the standards of the City of Scottsdale Design Standards and Policies Manual.

Should you have any questions, they may be addressed to the following:

Developer: DeAcetis-Francis Custom Homes, Inc.
Dan Francis, President
Ph: 480-451-8890
Email: dan@dfcusiomhomes.com

Applicant: Rosendahl Engineering, PLLC
Wayne Rosendahl, Principal PE & RLS
Ph: 480-599-1263
Email: wayne@rosendahleengineering.com

City of Scottsdale: Project Coordinator
Brian Cluff
Ph: 480-312-2258
Email: bcluff@scottsdaleAZ.gov

The Developer looks forward to building quality homes that will be a compliment to your neighborhood.

ROSENDAHL ENGINEERING

URBAN DESIGN & INFRASTRUCTURE

RESIDENTIAL & COMMERCIAL

Earnest & Susan Anders
9705 E. Laurel Ln
Scottsdale, AZ 85260

Robert & Joan Brenly
9726 E. Laurel Lane
Scottsdale, AZ 85260

Pine Hill Trust
9708 E. Laurel Ln
Scottsdale, AZ 85260

Rita & Ashok Patel
9661 E. Laurel Ln
Scottsdale, AZ 85260

Edward & Agrwal Vogt
9664 E. Laurel Ln
Scottsdale, AZ 85260

Jayne Hickey Tr
11998 N. 98th St
Scottsdale, AZ 85260

Triesta Sa
9707 E. Cactus Rd
Scottsdale, AZ 85260

Conroy Scottsdale Ranch Family, LLLP
12021 N. 98th St
Scottsdale, AZ 85260

Ziltzer Revocable Trust
12122 N. 98th St
Scottsdale, AZ 85260

David M. Gerut Trust
12160 N. 98th St
Scottsdale, AZ 85260

Dan & Sharon Mayer
12188 N. 98th St
Scottsdale, AZ 85260

Marjeanne McDonald Trust
9780 E. Cactus Rd
Scottsdale, AZ 85260

Mary Jo Cooper Trust
9810 E. Cactus Rd
Scottsdale, AZ 85260

Robert Bevilacqua
9824 E. Cactus Rd
Scottsdale, AZ 85260

John & Cindy Ellers
9852 E. Cactus Rd
Scottsdale, AZ 85260

Chris & Kristy Schaffer
9816 E. Kalil Dr
Scottsdale, AZ 85260

Justina Kay
9778 E. Kalil Dr
Scottsdale, AZ 85260

Coyote Capital Investments, LLC
9740 E. Kalil Dr
Scottsdale, AZ 85260

Edward Bauman
9797 E. Cortez St
Scottsdale, AZ 85260

Brown Living Trust
9735 E. Cortez St
Scottsdale, AZ 85260

Glen Dean
11720 N. 98th St
Scottsdale, AZ 85260

Tracy Mackey / Mathew Noll
9723 E. Poinsettia Dr
Scottsdale, AZ 85260

Vineel & Madhavi Kurli Trust
9705 E. Poinsettia Dr
Scottsdale, AZ 85260

Terry & Leroux Killenbach
9681 E. Poinsettia Dr
Scottsdale, AZ 85260

La Cienega Owners Assn.
P.O. Box 13615
Chandler, AZ 85248

Snicko, LLC
9663 Poinsettia Dr
Scottsdale, AZ 85260

ROSENDAHL ENGINEERING

URBAN DESIGN & INFRASTRUCTURE

RESIDENTIAL & COMMERCIAL

Eric & Allana Taylor
9723 E. Laurel Ln
Scottsdale, AZ 85260

Marc & Rhiannon Hertzberg
9648 E. Poinsettia Dr
Scottsdale, AZ 85260

Ramsey & Sarah Umar
9708 E. Poinsettia Dr
Scottsdale, AZ 85260

John & Norma Lewis
11880 N. 98th St
Scottsdale, AZ 85260

Fred & Cynthia Andrews
11812 N. 97th St
Scottsdale, AZ 85260

Mariette Kort
9940 E. Jenan Dr
Scottsdale, AZ 85260

Gregory Knowles
9870 E. Jenan Dr
Scottsdale, AZ 85260

McClellan Family Trust
9845 E. Jenan Dr
Scottsdale, AZ 85260

Stacie Jo Mumford 2009 Irrevocable
9889 E. Jenan Dr
Scottsdale, AZ 85260

Gerald & Alice Tobias
9933 E. Jenan Dr
Scottsdale, AZ 85260

Joseph & Maria Notorio
9872 E. Cortez St
Scottsdale, AZ 85260

Michael & Jae Halland
9842 E. Cortez St
Scottsdale, AZ 85260

Darroch Family Trust
9814 E. Cortez St
Scottsdale, AZ 85260

Encanta Homes, Inc
9820 E. Cactus Rd
Scottsdale, AZ 85260

Dan Hinsley
9670 E. Poinsettia Dr
Scottsdale, AZ 85260

Hooman & Cara Nikzad
9726 E. Poinsettia Dr
Scottsdale, AZ 85260

Archuleta Family Revocable Trust
11815 N. 97th St
Scottsdale, AZ 85260

Brian & Sarahlee Schneider
11824 N. 97th St
Scottsdale, AZ 85260

David McDowell
9920 E. Jenan Dr
Scottsdale, AZ 85260

Scottsdale Royal Investments, LLC
9823 E. Jenan Dr
Scottsdale, AZ 85260

Schwartz Living Trust
9867 E. Jenan Dr
Scottsdale, AZ 85260

Jerome Weinsheink & Marianne Churney
9911 E. Jenan Dr
Scottsdale, AZ 85260

John Sime Revocable Trust
9886 E. Cortez St
Scottsdale, AZ 85260

Tiana & Zang Wenninghoff
9858 E. Cortez St
Scottsdale, AZ 85260

Howard & Annabelle Markstein
9828 E. Cortez St
Scottsdale, AZ 85260

Craig & Laura Pearce
9817 E. Cortez St
Scottsdale, AZ 85260

ROSENDAHL ENGINEERING

URBAN DESIGN & INFRASTRUCTURE

RESIDENTIAL & COMMERCIAL

Maria & Tywain Segaline
9833 E. Cortez St
Scottsdale, AZ 85260

Hondo Trust
9867 E. Cortez St
Scottsdale, AZ 85260

Ben & Kris Waggoner
9866 E. Kalil Dr
Scottsdale, AZ 85260

Ken & Julia Hann
9834 E. Kalil Dr
Scottsdale, AZ 85260

Stephen Montalto / Clark D. Scott
9945 E. Cactus Rd
Scottsdale, AZ 85260

Khalid Irfan
9950 E. Cactus Rd
Scottsdale, AZ 85260

Burns Living Trust
12152 N. 98th Way
Scottsdale, AZ 85260

George & Coleen Knecht
12145 N. 98th Way
Scottsdale, AZ 85260

Cinco Soles Owners Assn.
9912 E. Paradise Dr
Scottsdale, AZ 85260

Craig & Joanne Doyle
9930 E. Paradise Dr
Scottsdale, AZ 85260

Dawn Brokaw
9909 E. Paradise Dr
Scottsdale, AZ 85260

Brown / Carmitchel Family Trust
9835 E. Paradise Dr
Scottsdale, AZ 85260

John Vincent McFall / Anatolivka Oksana
9960 E. Jenan Dr
Scottsdale, AZ 85260

Anamaria & Glen Bonner
9849 E. Cortez St
Scottsdale, AZ 85260

Shanell Grozav
9883 E. Cortez St
Scottsdale, AZ 85260

Mark & Yolanda Thoma
9850 E. Kalil Dr
Scottsdale, AZ 85260

9985 E. Cactus Rd, LLC
9985 E. Cactus Rd
Scottsdale, AZ 85260

Linda B. Garmany Trust
9925 E. Cactus Rd
Scottsdale, AZ 85260

Elias Jose' Luis
12165 N. 98th Way
Scottsdale, AZ 85260

Dennis & Sandra Chaney
12120 N. 98th Way
Scottsdale, AZ 85260

TOTH 2010 Revocable Trust
12042 N. 98th Way
Scottsdale, AZ 85260

Paul & Jennifer Anderson
9920 E. Paradise Dr
Scottsdale, AZ 85260

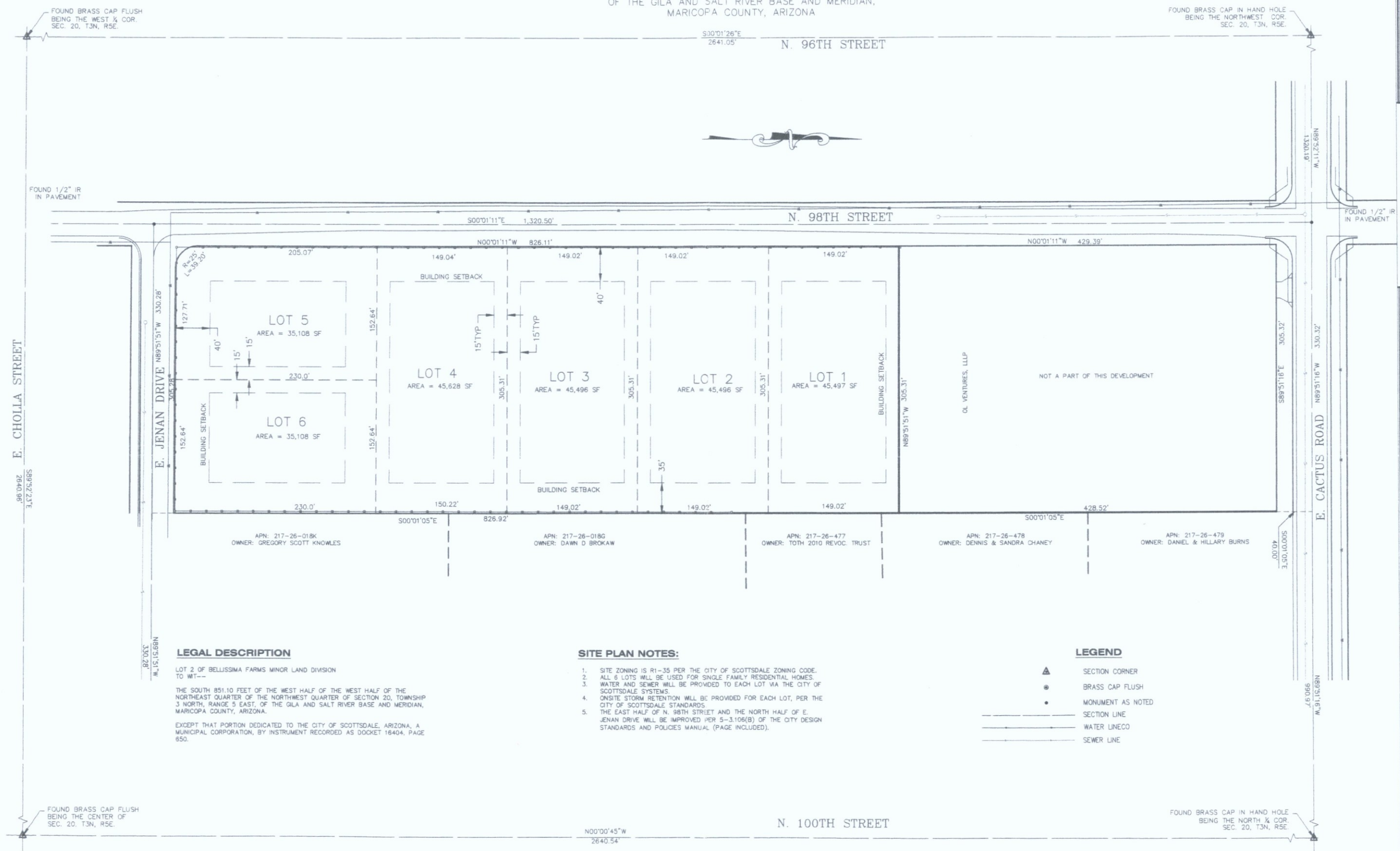
Irwin William George Carlson
9940 E. Paradise Dr
Scottsdale, AZ 85260

DST Investments, LLC
9925 E. Paradise Dr
Scottsdale, AZ 85260

Robert Alexander/ Elanor McBeth
9955 E. Paradise Dr
Scottsdale, AZ 85260

SITE PLAN BELLISSIMA ESTATES

BEING A PORTION OF THE NORTHWEST QUARTER
SECTION 20, TOWNSHIP 3 SOUTH, RANGE 5 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



LEGAL DESCRIPTION

LOT 2 OF BELLISSIMA FARMS MINOR LAND DIVISION TO W1/4--
THE SOUTH 851.10 FEET OF THE WEST HALF OF THE WEST HALF OF THE
NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP
3 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.
EXCEPT THAT PORTION DEDICATED TO THE CITY OF SCOTTSDALE, ARIZONA, A
MUNICIPAL CORPORATION, BY INSTRUMENT RECORDED AS DOCKET 16404, PAGE
650.

SITE PLAN NOTES:

1. SITE ZONING IS R1-35 PER THE CITY OF SCOTTSDALE ZONING CODE.
2. ALL 6 LOTS WILL BE USED FOR SINGLE FAMILY RESIDENTIAL HOMES.
3. WATER AND SEWER WILL BE PROVIDED TO EACH LOT VIA THE CITY OF SCOTTSDALE SYSTEMS.
4. ONSITE STORM RETENTION WILL BE PROVIDED FOR EACH LOT, PER THE CITY OF SCOTTSDALE STANDARDS.
5. THE EAST HALF OF N. 98TH STREET AND THE NORTH HALF OF E. JENAN DRIVE WILL BE IMPROVED PER 5-3.106(B) OF THE CITY DESIGN STANDARDS AND POLICIES MANUAL (PAGE INCLUDED).

LEGEND

- ▲ SECTION CORNER
- BRASS CAP FLUSH
- MONUMENT AS NOTED
- SECTION LINE
- WATER LINE (C)
- SEWER LINE

REV. NO.	DESCRIPTION

**ROSENDAHL
ENGINEERING**
 • URBAN DESIGN
 • COMMERCIAL / RESIDENTIAL
 • ENGINEERING
 • SURVEYING
 1857 N. BARKLEY ST.
 MESA, ARIZONA 85203 (480) 599-1203 TEL
 wayne@rosendahleng.com

SITE PLAN

9830 E. JENAN DRIVE
LOT 2, BELLISSIMA FARMS MINOR LAND DIVISION

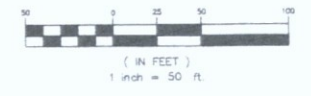
OWNER
 DeAcetis - Francis Custom Homes, Inc.
 2876 W. 113TH
 Scottsdale, AZ 85259

CALL 2 HOURS DAILY BEFORE YOU DIG
 1-800-STAKE-IT
 www.stake-it.com

DESIGN: PWR
 DRAWN: MD

EXP: 3/31/19
 PROJECT NO. 160489
 DATE: 7/12/16

SHEET



5-3.106

LOCAL COLLECTORS**A. Rural/ESL Character with Trails**

- Auxiliary turn lanes may be required at intersections with additional ROW requirements.
- Cross-sections may vary to fit surrounding topography.
- ADT: 1,500 - 5,000 vpd
- Design Speed: 30 m.p.h.
- Maximum Grade: 12.0%
- Minimum Grade: 0.4%

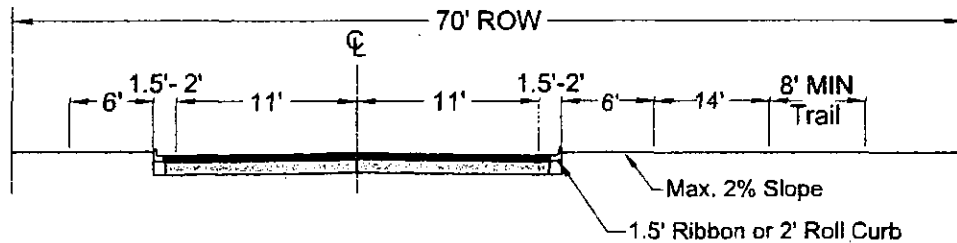


FIGURE 5.3-15 LOCAL COLLECTORS - RURAL/ESL WITH TRAILS

B. Rural/ESL Character

- Auxiliary turn lanes may be required at intersections with additional ROW requirements.
- Cross-sections may vary to fit surrounding topography.
- ADT: 1,500 - 5,000 vpd
- Design Speed: 30 m.p.h.
- Maximum Grade: 12.0%
- Minimum Grade: 0.4%

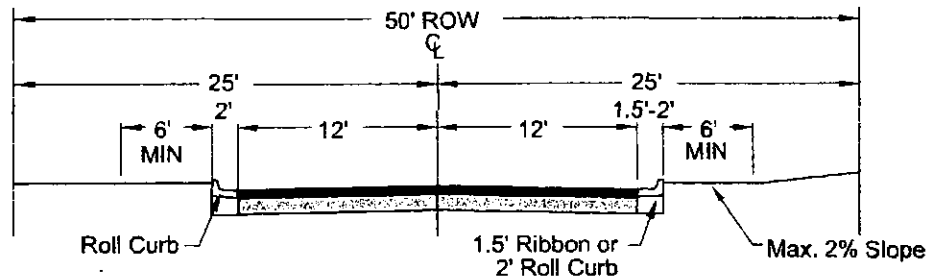


FIGURE 5.3-16 LOCAL COLLECTORS - RURAL/ESL CHARACTER

C. Suburban Character

- Auxiliary turn lanes may be required at intersections with additional ROW requirements.
- Cross-sections may vary to fit surrounding topography.
- ADT: 1,500 - 5,000 vpd
- Design Speed: 30 m.p.h.
- Maximum Grade: 9.0%
- Minimum Grade: 0.4%

