

**Full Size**

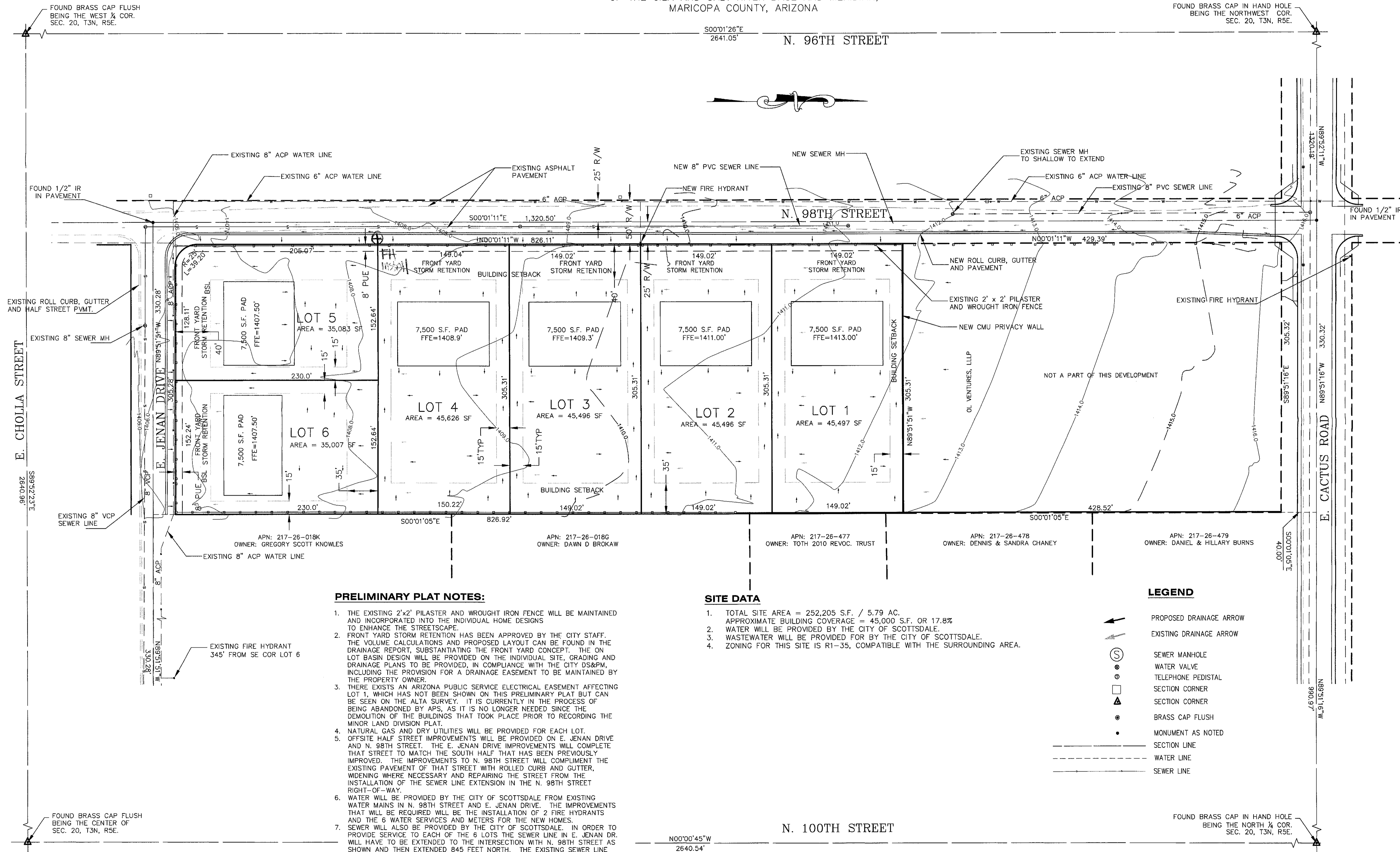
**8.5 x 11**

**11 x 17**

**(site plan, landscape, elevations)**

# PRELIMINARY PLAT BELLISSIMA ESTATES

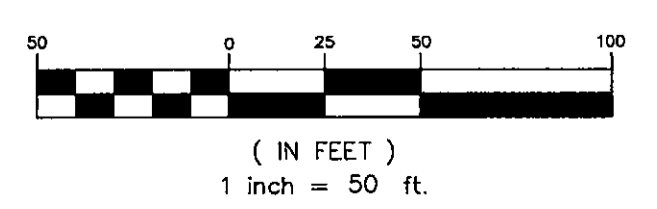
BEING A PORTION OF THE NORTHWEST QUARTER  
SECTION 20, TOWNSHIP 3 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA



- PRELIMINARY PLAT NOTES:**
- THE EXISTING 2'x2' PILASTER AND WROUGHT IRON FENCE WILL BE MAINTAINED AND INCORPORATED INTO THE INDIVIDUAL HOME DESIGNS TO ENHANCE THE STREETScape.
  - FRONT YARD STORM RETENTION HAS BEEN APPROVED BY THE CITY STAFF. THE VOLUME CALCULATIONS AND PROPOSED LAYOUT CAN BE FOUND IN THE DRAINAGE REPORT, SUBSTANTIATING THE FRONT YARD CONCEPT. THE ON LOT BASIN DESIGN WILL BE PROVIDED ON THE INDIVIDUAL SITE, GRADING AND DRAINAGE PLANS TO BE PROVIDED, IN COMPLIANCE WITH THE CITY DS&PM, INCLUDING THE PROVISION FOR A DRAINAGE EASEMENT TO BE MAINTAINED BY THE PROPERTY OWNER.
  - THERE EXISTS AN ARIZONA PUBLIC SERVICE ELECTRICAL EASEMENT AFFECTING LOT 1, WHICH HAS NOT BEEN SHOWN ON THIS PRELIMINARY PLAT BUT CAN BE SEEN ON THE ALTA SURVEY. IT IS CURRENTLY IN THE PROCESS OF BEING ABANDONED BY APS, AS IT IS NO LONGER NEEDED SINCE THE DEMOLITION OF THE BUILDINGS THAT TOOK PLACE PRIOR TO RECORDING THE MINOR LAND DIVISION PLAT.
  - NATURAL GAS AND DRY UTILITIES WILL BE PROVIDED FOR EACH LOT.
  - OFFSITE HALF STREET IMPROVEMENTS WILL BE PROVIDED ON E. JENAN DRIVE AND N. 98TH STREET. THE E. JENAN DRIVE IMPROVEMENTS WILL COMPLETE THAT STREET TO MATCH THE SOUTH HALF THAT HAS BEEN PREVIOUSLY IMPROVED. THE IMPROVEMENTS TO N. 98TH STREET WILL COMPLEMENT THE EXISTING PAVEMENT OF THAT STREET WITH ROLLED CURB AND GUTTER, WIDENING WHERE NECESSARY AND REPAIRING THE STREET FROM THE INSTALLATION OF THE SEWER LINE EXTENSION IN THE N. 98TH STREET RIGHT-OF-WAY.
  - WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE FROM EXISTING WATER MAINS IN N. 98TH STREET AND E. JENAN DRIVE. THE IMPROVEMENTS THAT WILL BE REQUIRED WILL BE THE INSTALLATION OF 2 FIRE HYDRANTS AND THE 6" WATER SERVICES AND METERS FOR THE NEW HOMES.
  - SEWER WILL ALSO BE PROVIDED BY THE CITY OF SCOTTSDALE. IN ORDER TO PROVIDE SERVICE TO EACH OF THE 6 LOTS THE SEWER LINE IN E. JENAN DR. WILL HAVE TO BE EXTENDED TO THE INTERSECTION WITH N. 98TH STREET AS SHOWN AND THEN EXTENDED 845 FEET NORTH. THE EXISTING SEWER LINE NEAR LOT 1 DOES NOT HAVE ENOUGH DEPTH TO EFFECTIVELY BE EXTENDED TO THE SOUTH.
  - DRIVEWAY GRADES WILL BE A MAXIMUM OF 2.5%

- SITE DATA**
- TOTAL SITE AREA = 252,205 S.F. / 5.79 AC.  
APPROXIMATE BUILDING COVERAGE = 45,000 S.F. OR 17.8%
  - WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE.
  - WASTEWATER WILL BE PROVIDED FOR BY THE CITY OF SCOTTSDALE.
  - ZONING FOR THIS SITE IS R1-35, COMPATIBLE WITH THE SURROUNDING AREA.

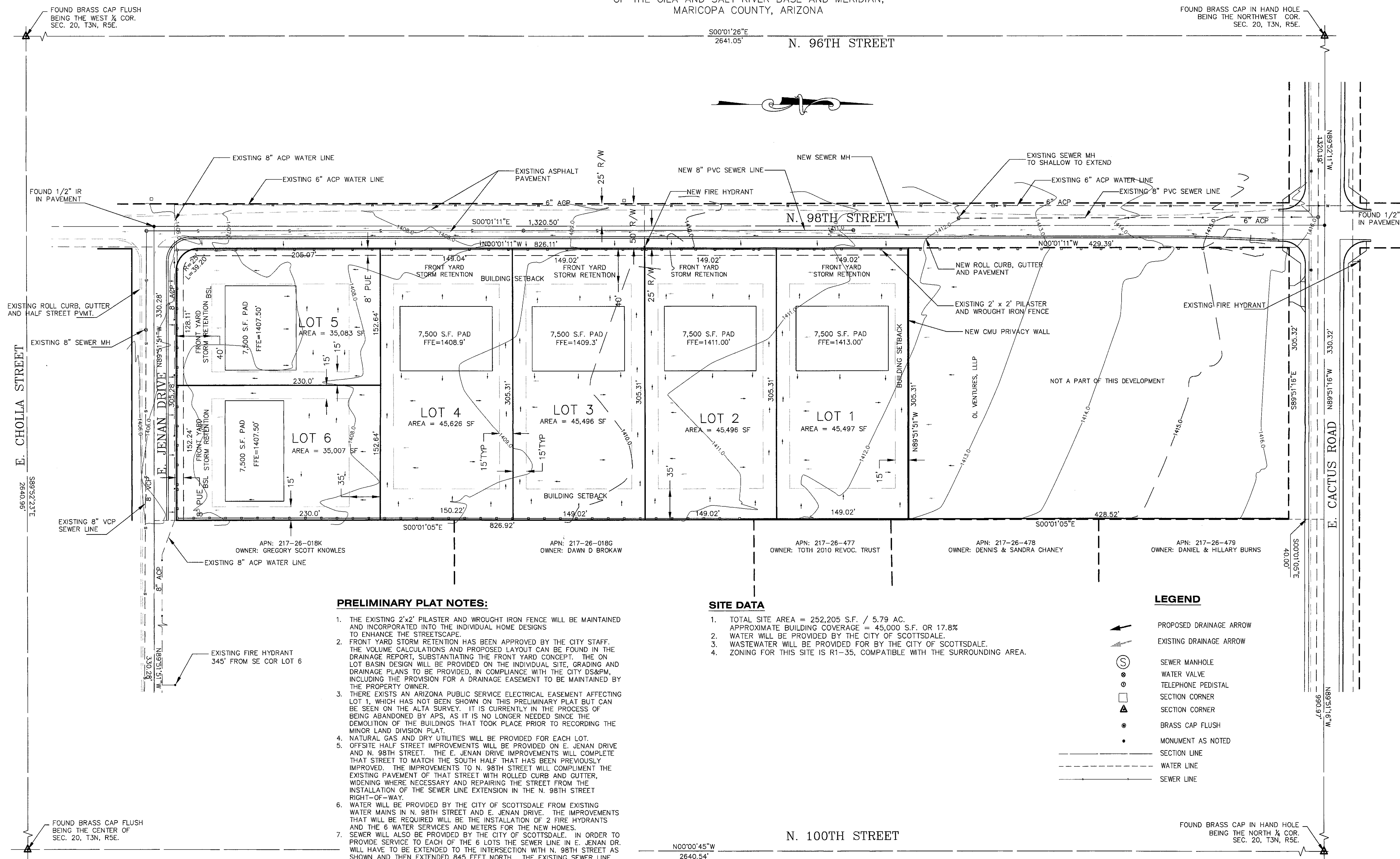
- LEGEND**
- PROPOSED DRAINAGE ARROW
  - EXISTING DRAINAGE ARROW
  - SEWER MANHOLE
  - WATER VALVE
  - TELEPHONE PEDISTAL
  - SECTION CORNER
  - SECTION CORNER
  - BRASS CAP FLUSH
  - MONUMENT AS NOTED
  - SECTION LINE
  - WATER LINE
  - SEWER LINE



REV. NO.  DESCRIPTION	
<b>ROSENDAHL ENGINEERING</b> • URBAN DESIGN • COMMERCIAL / RESIDENTIAL • ENGINEERING • SURVEYING 857 N. BARKLEY ST. MESA, ARIZONA 85203 wayne@rosendahlengineering.com (480) 599-1263 TEL.	
<b>BELLISSIMA ESTATES PRELIMINARY PLAT</b> 9830 E. JENAN DRIVE LOT 2, BELLISSIMA FARMS MINOR LAND DIVISION	
<b>OWNER</b> DeAcetis Homes, Inc. Francis Custom Homes, Inc. 12011 N. 11th St. Scottsdale, AZ 85259	
CALL 2 WORKING DAYS BEFORE YOU GO TO WORK. 1-800-STAKE-IT 1-800-STAKE-IT www.835050.com	
DESIGN: <b>PWR</b> DRAWN: <b>MD</b>  EXP: 3/31/19 PROJECT NO. 160489 DATE: 8/15/16 SHEET	576-PA-2015 <b>1 OF 1</b>

# PRELIMINARY PLAT BELLISSIMA ESTATES

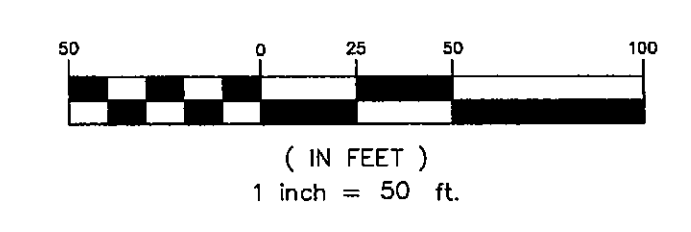
BEING A PORTION OF THE NORTHWEST QUARTER  
SECTION 20, TOWNSHIP 3 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA



- PRELIMINARY PLAT NOTES:**
- THE EXISTING 2'x2' PILASTER AND WROUGHT IRON FENCE WILL BE MAINTAINED AND INCORPORATED INTO THE INDIVIDUAL HOME DESIGNS TO ENHANCE THE STREETSCAPE.
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  - THERE EXISTS AN ARIZONA PUBLIC SERVICE ELECTRICAL EASEMENT AFFECTING LOT 1, WHICH HAS NOT BEEN SHOWN ON THIS PRELIMINARY PLAT BUT CAN BE SEEN ON THE ALTA SURVEY. IT IS CURRENTLY IN THE PROCESS OF BEING ABANDONED BY APS, AS IT IS NO LONGER NEEDED SINCE THE DEMOLITION OF THE BUILDINGS THAT TOOK PLACE PRIOR TO RECORDING THE MINOR LAND DIVISION PLAT.
  - NATURAL GAS AND DRY UTILITIES WILL BE PROVIDED FOR EACH LOT.
  - OFFSITE HALF STREET IMPROVEMENTS WILL BE PROVIDED ON E. JENAN DRIVE AND N. 98TH STREET. THE E. JENAN DRIVE IMPROVEMENTS WILL COMPLETE THAT STREET TO MATCH THE SOUTH HALF THAT HAS BEEN PREVIOUSLY IMPROVED. THE IMPROVEMENTS TO N. 98TH STREET WILL COMPLEMENT THE EXISTING PAVEMENT OF THAT STREET WITH ROLLED CURB AND GUTTER, WIDENING WHERE NECESSARY AND REPAIRING THE STREET FROM THE INSTALLATION OF THE SEWER LINE EXTENSION IN THE N. 98TH STREET RIGHT-OF-WAY.
  - WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE FROM EXISTING WATER MAINS IN N. 98TH STREET AND E. JENAN DRIVE. THE IMPROVEMENTS THAT WILL BE REQUIRED WILL BE THE INSTALLATION OF 2 FIRE HYDRANTS AND THE 6 WATER SERVICES AND METERS FOR THE NEW HOMES.
  - SEWER WILL ALSO BE PROVIDED BY THE CITY OF SCOTTSDALE. IN ORDER TO PROVIDE SERVICE TO EACH OF THE 6 LOTS THE SEWER LINE IN E. JENAN DR. WILL HAVE TO BE EXTENDED TO THE INTERSECTION WITH N. 98TH STREET AS SHOWN AND THEN EXTENDED 845 FEET NORTH. THE EXISTING SEWER LINE NEAR LOT 1 DOES NOT HAVE ENOUGH DEPTH TO EFFECTIVELY BE EXTENDED TO THE SOUTH.
  - DRIVEWAY GRADES WILL BE A MAXIMUM OF 2.5%

- SITE DATA**
- TOTAL SITE AREA = 252,205 S.F. / 5.79 AC.
  - APPROXIMATE BUILDING COVERAGE = 45,000 S.F. OR 17.8%
  - WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE.
  - WASTEWATER WILL BE PROVIDED FOR BY THE CITY OF SCOTTSDALE.
  - ZONING FOR THIS SITE IS R1-35, COMPATIBLE WITH THE SURROUNDING AREA.

- LEGEND**
- PROPOSED DRAINAGE ARROW
  - EXISTING DRAINAGE ARROW
  - SEWER MANHOLE
  - WATER VALVE
  - TELEPHONE PEDISTAL
  - SECTION CORNER
  - SECTION CORNER
  - BRASS CAP FLUSH
  - MONUMENT AS NOTED
  - SECTION LINE
  - WATER LINE
  - SEWER LINE



REV. NO.	DESCRIPTION

**ROSENDAHL ENGINEERING**  
 • URBAN DESIGN  
 • COMMERCIAL / RESIDENTIAL  
 • ENGINEERING  
 • SURVEYING  
 857 N. BARKLEY ST.  
 MESA, ARIZONA 85203  
 wayne@rossandahlengineering.com  
 (480) 599-1263 TEL

**BELLISSIMA ESTATES PRELIMINARY PLAT**  
 9830 E. JENAN DRIVE  
 LOT 2,  
 BELLISSIMA FARMS MINOR LAND DIVISION

**OWNER**  
 DeAcelis Family Trust  
 12677 N. 133rd Ave.  
 Scottsdale, AZ 85259

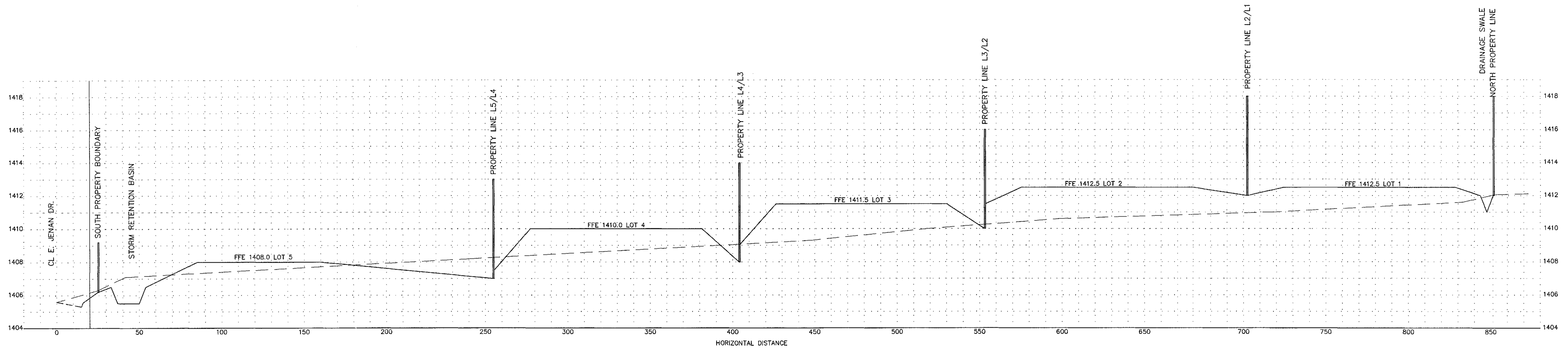
CALL 2 WORKING DAYS BEFORE YOU DO ANYTHING TO PREVENT A 1-800-STAKE-IT  
 www.azbluestake.com

DESIGN: PWR  
 DRAWN: MD

PROFESSIONAL ENGINEER  
 PHILLIP W. ROSENDAHL  
 24718  
 9/8/16  
 EXP: 3/31/19

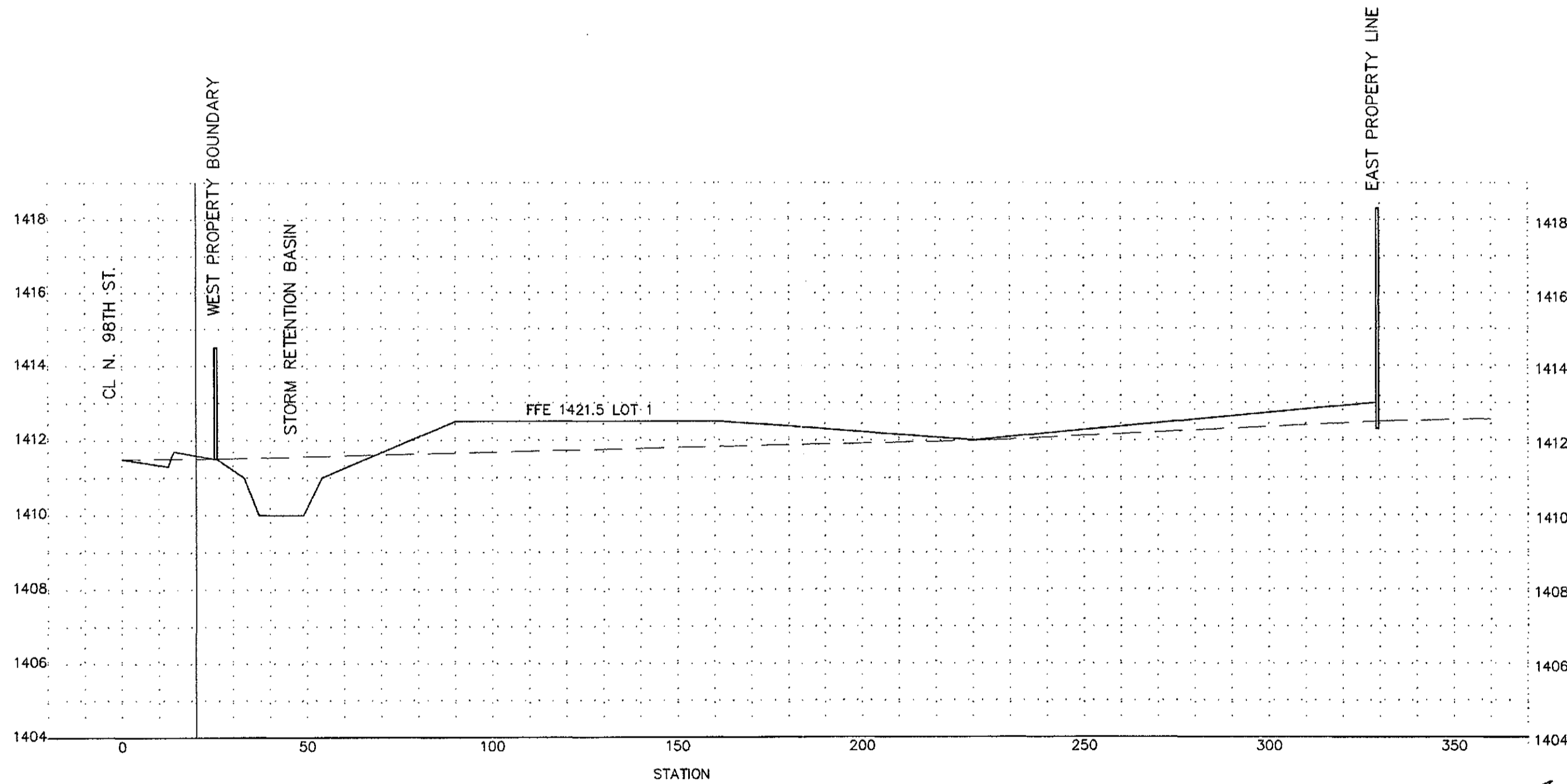
PROJECT NO. 160489  
 DATE: 8/15/16  
 SHEET

576-PA-2015



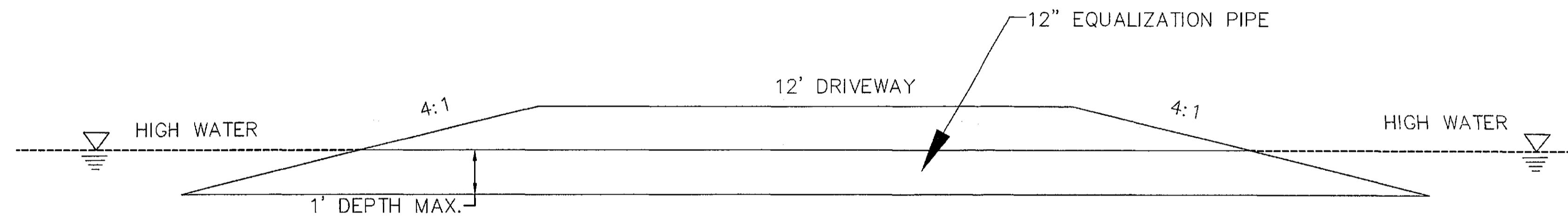
**A - A CROSS-SECTION**

SCALE: VERT: 1"=1'  
HORZ: 1"=30'



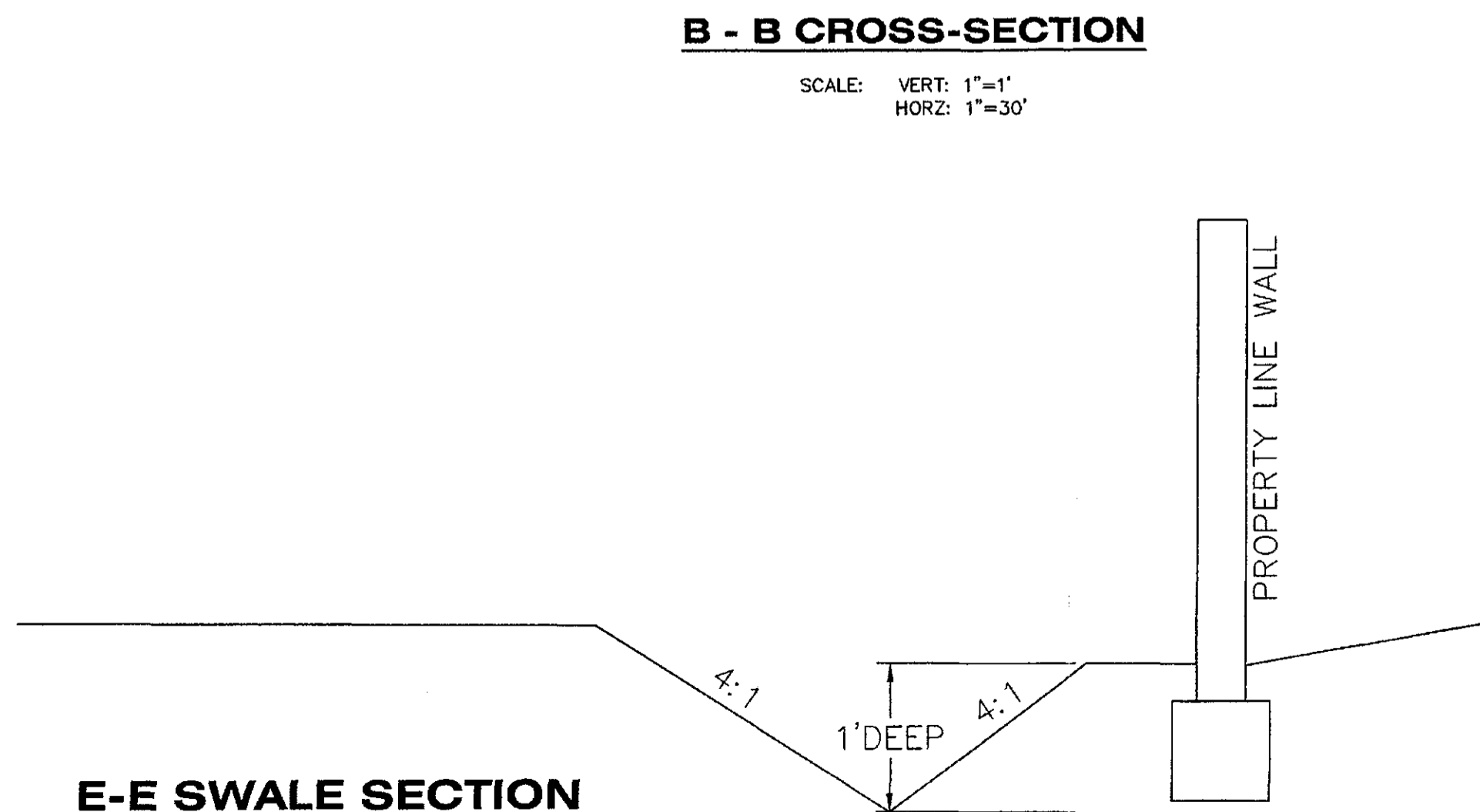
**B - B CROSS-SECTION**

SCALE: VERT: 1"=1'  
HORZ: 1"=30'



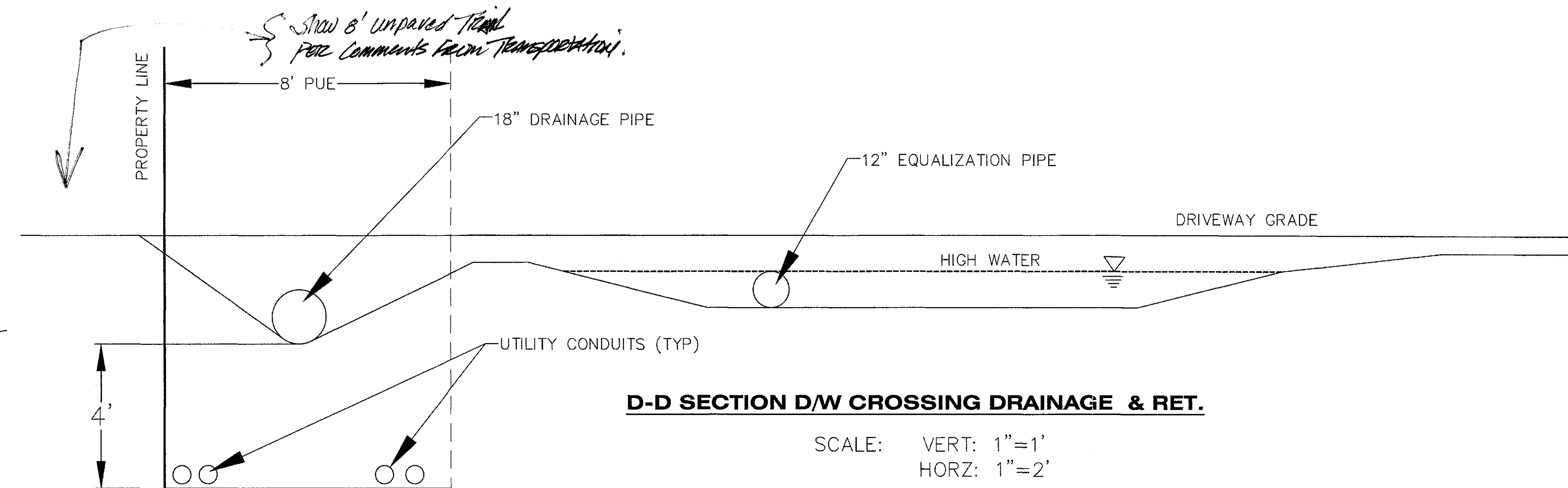
**C-C SECTION D/W THROUGH RET.**

SCALE: VERT: 1"=1'  
HORZ: 1"=2'



**E-E SWALE SECTION**

SCALE: VERT: 1"=1'  
HORZ: 1"=2'



**D-D SECTION D/W CROSSING DRAINAGE & RET.**

SCALE: VERT: 1"=1'  
HORZ: 1"=2'

REV. NO.	DESCRIPTION

**ROSENDAHL ENGINEERING**  
 • ENGINEERING  
 • SURVEYING  
 • URBAN DESIGN  
 • COMMERCIAL / RESIDENTIAL  
 857 N. BARKLEY ST.  
 MESA, ARIZONA 85203  
 (480) 599-1263 TEL  
 wayne@rosendahlengineering.com

**BELLISSIMA ESTATES VARIOUS CROSS-SECTIONS**  
 9830 E. JENAN DRIVE  
 LOT 2,  
 BELLISSIMA FARMS MINOR LAND DIVISION

**OWNER**  
 DeAcetis-Francis Custom Homes, Inc.  
 12678 N. 113th Way  
 Scottsdale, AZ 85259

CALL 2 WORKING DAYS BEFORE YOU DIG  
 1-800-STAKE-IT  
 www.ozbestake.com

DESIGN: PWR  
 DRAWN: MD

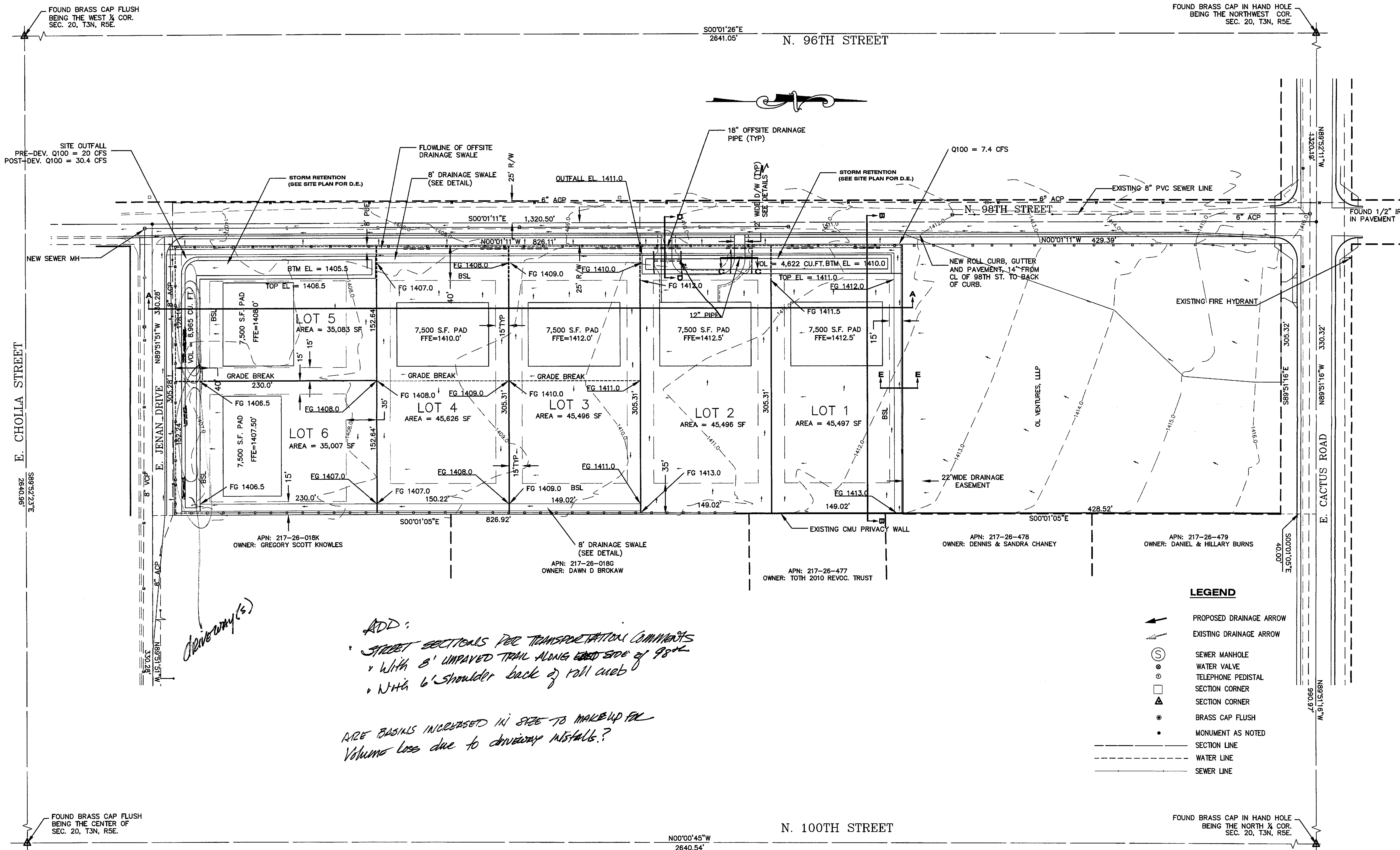
PROFESSIONAL ENGINEER  
 PHILLIP W. ROSENDAHL  
 24718  
 3/14/17  
 EXP: 3/31/19

PROJECT NO. 160489  
 DATE: 8/15/16  
 SHEET

**2 OF 2**

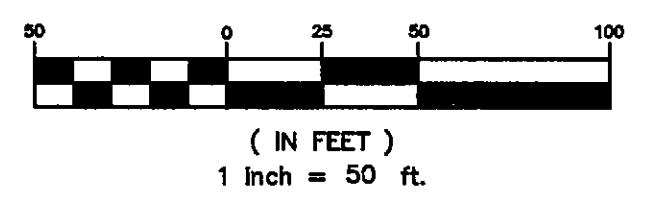
4-PP-2016

# PRELIMINARY GRADING & DRAINAGE PLAN BELLISSIMA ESTATES



### LEGEND

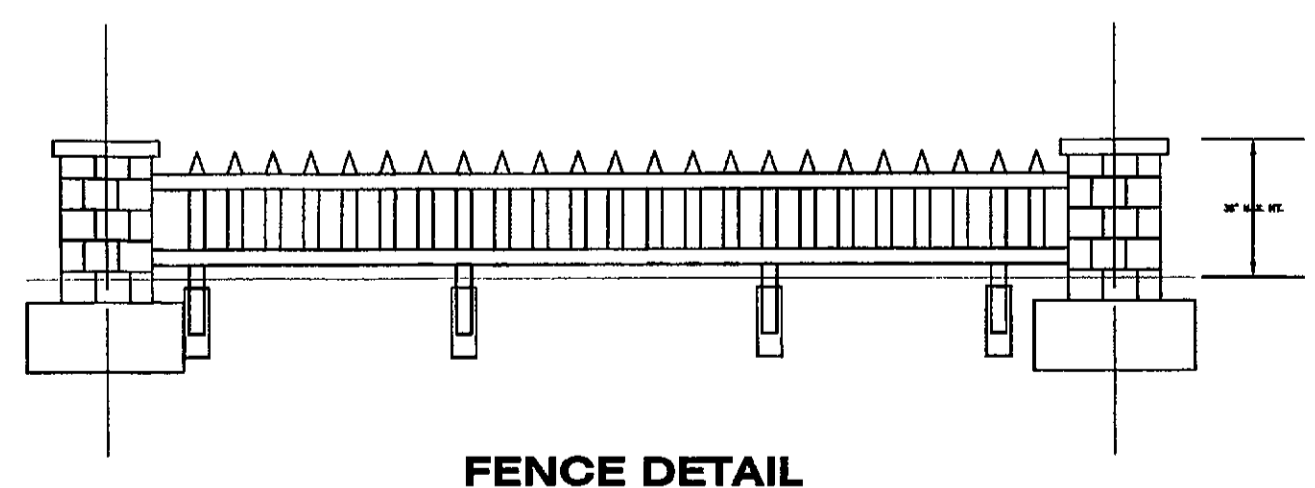
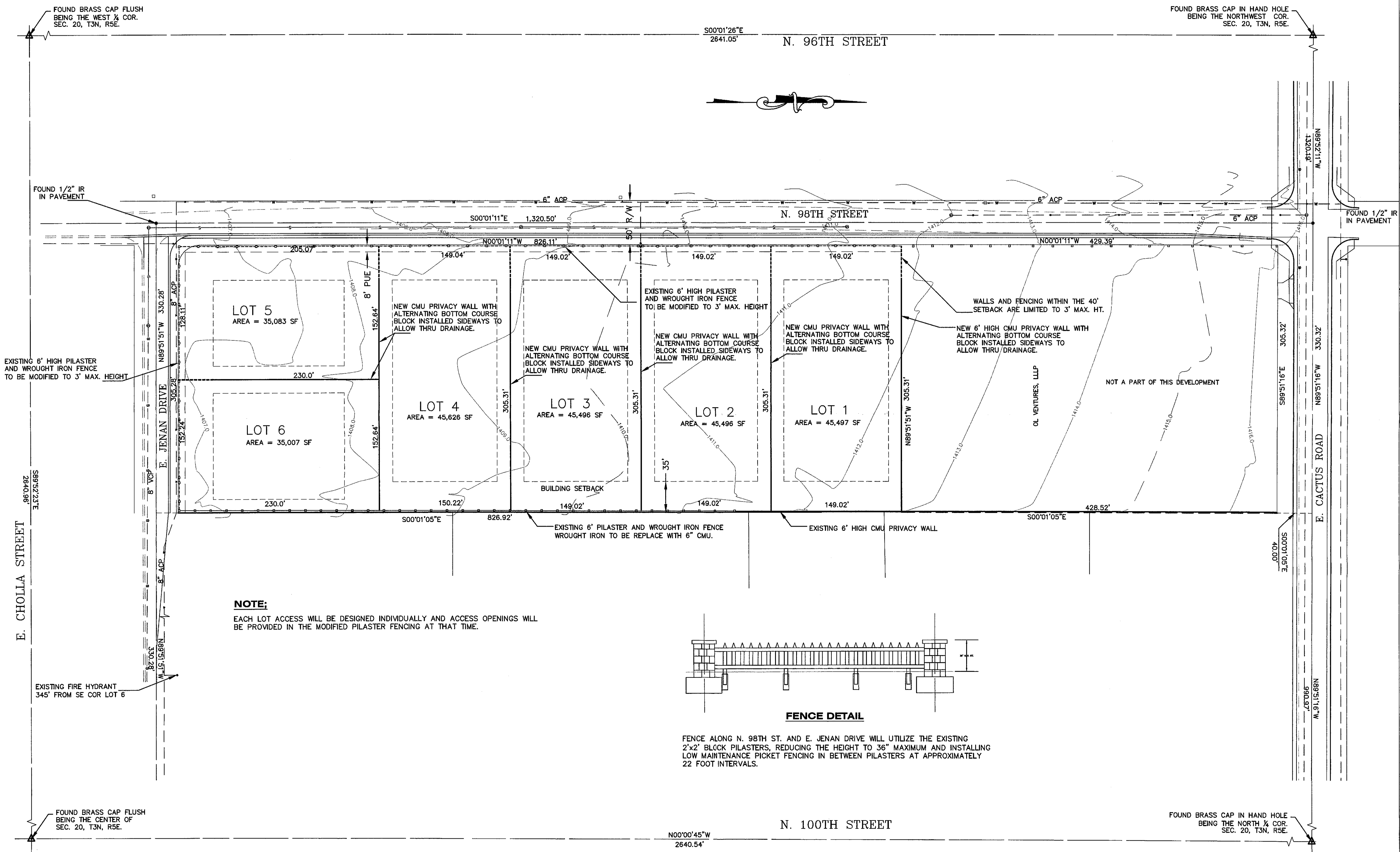
- PROPOSED DRAINAGE ARROW
- EXISTING DRAINAGE ARROW
- SEWER MANHOLE
- WATER VALVE
- TELEPHONE PEDISTAL
- SECTION CORNER
- BRASS CAP FLUSH
- MONUMENT AS NOTED
- SECTION LINE
- WATER LINE
- SEWER LINE



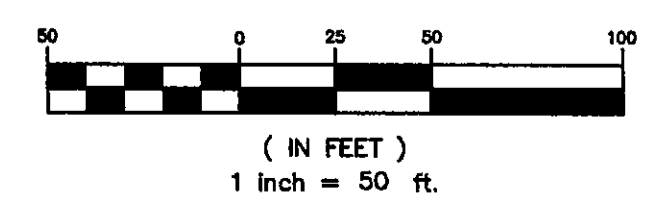
REV. NO.	DESCRIPTION
ROSENDAHL ENGINEERING	• URBAN DESIGN • COMMERCIAL / RESIDENTIAL • ENGINEERING • SURVEYING 857 N. BARKLEY ST. MESA, ARIZONA 85203 wayne@rosendahlengineering.com
<b>BELLISSIMA ESTATES PRELIMINARY G &amp; D PLAN</b>	9830 E. JENAN DRIVE LOT 2, BELLISSIMA FARMS MINOR LAND DIVISION
OWNER DeAcetis-Francis & Family Trust 12678 N. Cactus Way Scottsdale, AZ 85259	CALL 2 WORKING DAYS BEFORE YOU DIG 1-800-STAKE-IT www.stake-it.com
DESIGN: PWR DRAWN: MD	EXP: 3/31/19 PROJECT NO. 160489 DATE: 8/15/16 SHEET
	4-PP-2016 1 OF 2 4-PP-2016 3/20/2017

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# FUTURE WALLS EXHIBIT BELLISSIMA ESTATES



FENCE ALONG N. 98TH ST. AND E. JENAN DRIVE WILL UTILIZE THE EXISTING 2"x2" BLOCK PILASTERS, REDUCING THE HEIGHT TO 36" MAXIMUM AND INSTALLING LOW MAINTENANCE PICKET FENCING IN BETWEEN PILASTERS AT APPROXIMATELY 22 FOOT INTERVALS.



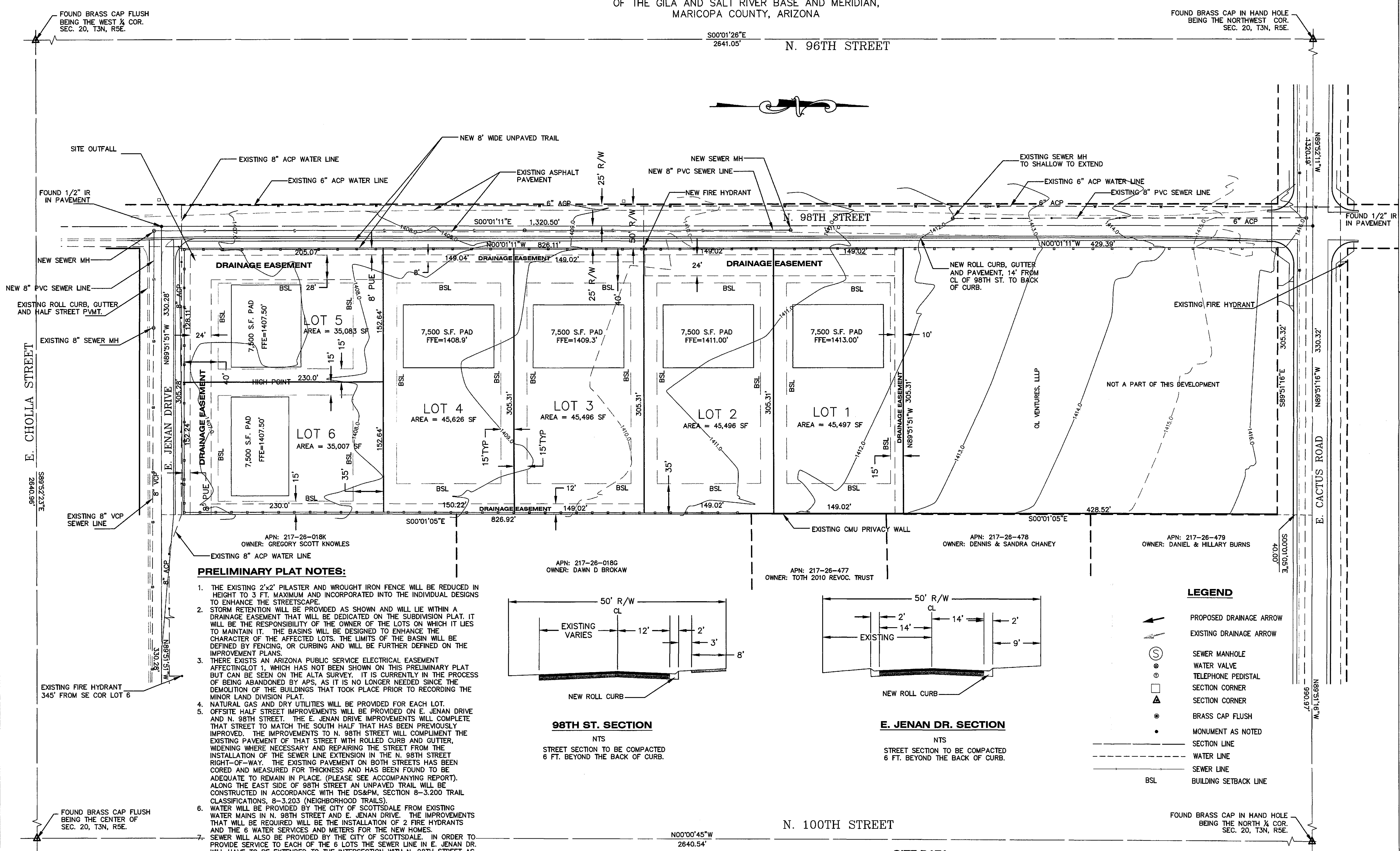
REV. NO.	DESCRIPTION
1	ROSENDAHL ENGINEERING
2	ENGINEERING / RESIDENTIAL
3	SURVEYING / COMMERCIAL
4	(480) 599-1243 TEL
5	wayne@rosendahlengineering.com
6	827 N BANKLEY ST.
7	MESA, ARIZONA 85203
<b>BELLISSIMA ESTATES FUTURE FENCE EXHIBIT</b>	
9830 E. JENAN DRIVE LOT 2	
BELLISSIMA FARMS MINOR LAND DIVISION	
<b>OWNER</b> DeAcetis-Francis Custom Homes, Inc. 12678 N. 113th Way Scottsdale, AZ 85259	
<p>CALL 2 WORKING DAYS BEFORE YOU DIG</p> <p>1-800-5-STAKE-11</p> <p>www.cdm.com</p>	
DESIGN: PWR	
DRAWN: MD	
EXP: 3/31/19	
PROJECT NO. 160489	
DATE: 1/24/17	
SHEET	
<b>1 OF 1</b>	

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4-PP-2016

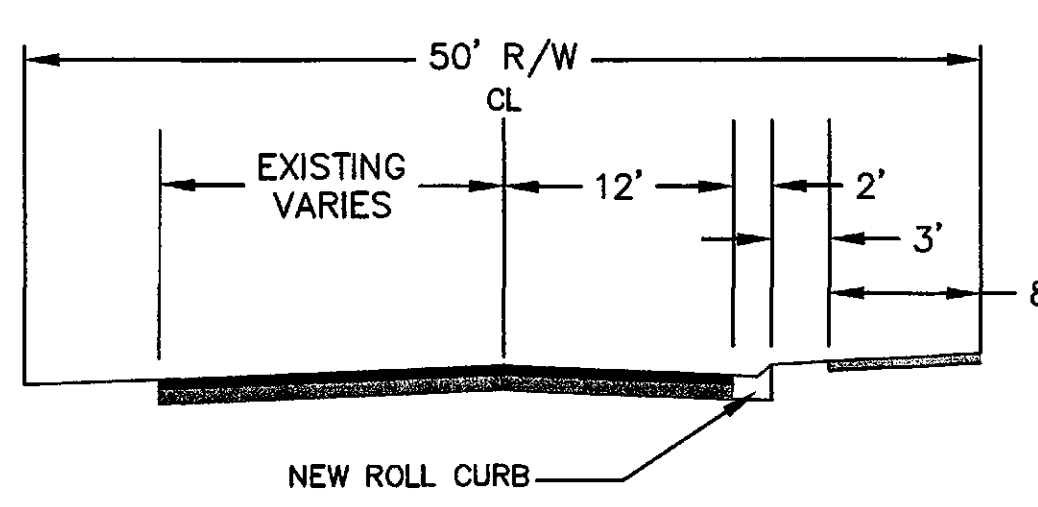
# PRELIMINARY PLAT SITE PLAN BELLISSIMA ESTATES

BEING A PORTION OF THE NORTHWEST QUARTER  
SECTION 20, TOWNSHIP 3 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA

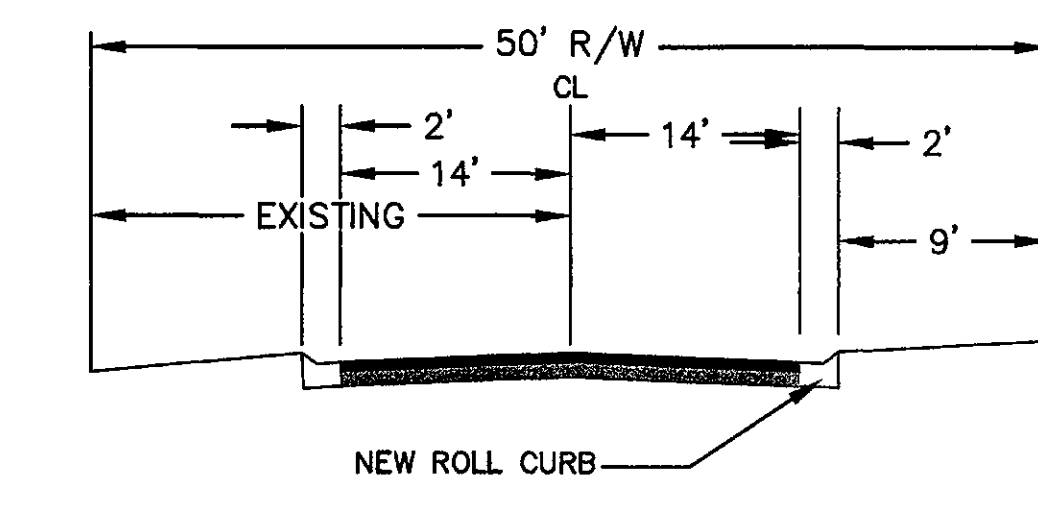


### PRELIMINARY PLAT NOTES:

- THE EXISTING 2'x2' PILASTER AND WROUGHT IRON FENCE WILL BE REDUCED IN HEIGHT TO 3 FT. MAXIMUM AND INCORPORATED INTO THE INDIVIDUAL DESIGNS TO ENHANCE THE STREETScape.
- DRAINAGE EASEMENT THAT WILL BE DEDICATED ON THE SUBDIVISION PLAT. IT WILL BE THE RESPONSIBILITY OF THE OWNER OF THE LOTS ON WHICH IT LIES TO MAINTAIN IT. THE BASINS WILL BE DESIGNED TO ENHANCE THE CHARACTER OF THE AFFECTED LOTS. THE LIMITS OF THE BASIN WILL BE DEFINED BY FENCING, OR CURBING AND WILL BE FURTHER DEFINED ON THE IMPROVEMENT PLANS.
- THERE EXISTS AN ARIZONA PUBLIC SERVICE ELECTRICAL EASEMENT AFFECTING LOT 1, WHICH HAS NOT BEEN SHOWN ON THIS PRELIMINARY PLAT BUT CAN BE SEEN ON THE ALTA SURVEY. IT IS CURRENTLY IN THE PROCESS OF BEING ABANDONED BY APS, AS IT IS NO LONGER NEEDED SINCE THE DEMOLITION OF THE BUILDINGS THAT TOOK PLACE PRIOR TO RECORDING THE MINOR LAND DIVISION PLAT.
- NATURAL GAS AND DRY UTILITIES WILL BE PROVIDED FOR EACH LOT.
- OFFSITE HALF STREET IMPROVEMENTS WILL BE PROVIDED ON E. JENAN DRIVE AND N. 98TH STREET. THE E. JENAN DRIVE IMPROVEMENTS WILL COMPLETE THAT STREET TO MATCH THE SOUTH HALF THAT HAS BEEN PREVIOUSLY IMPROVED. THE IMPROVEMENTS TO N. 98TH STREET WILL COMPLEMENT THE EXISTING PAVEMENT OF THAT STREET WITH ROLLED CURB AND GUTTER, WIDENING WHERE NECESSARY AND REPAIRING THE STREET FROM THE INSTALLATION OF THE SEWER LINE EXTENSION IN THE N. 98TH STREET RIGHT-OF-WAY. THE EXISTING PAVEMENT ON BOTH STREETS HAS BEEN CORED AND MEASURED FOR THICKNESS AND HAS BEEN FOUND TO BE ADEQUATE TO REMAIN IN PLACE. (PLEASE SEE ACCOMPANYING REPORT). ALONG THE EAST SIDE OF 98TH STREET AN UNPAVED TRAIL WILL BE CONSTRUCTED IN ACCORDANCE WITH THE DS&PM, SECTION 8-3.200 TRAIL CLASSIFICATIONS, 8-3.203 (NEIGHBORHOOD TRAILS).
- WATER WILL BE PROVIDED BY THE CITY OF SCOTTSDALE FROM EXISTING WATER MAINS IN N. 98TH STREET AND E. JENAN DRIVE. THE IMPROVEMENTS THAT WILL BE REQUIRED WILL BE THE INSTALLATION OF 2 FIRE HYDRANTS AND THE 6 WATER SERVICES AND METERS FOR THE NEW HOMES.
- SEWER WILL ALSO BE PROVIDED BY THE CITY OF SCOTTSDALE. IN ORDER TO PROVIDE SERVICE TO EACH OF THE 6 LOTS THE SEWER LINE IN E. JENAN DR. WILL HAVE TO BE EXTENDED TO THE INTERSECTION WITH N. 98TH STREET AS SHOWN AND THEN EXTENDED 739 FEET NORTH. THE EXISTING SEWER LINE NEAR LOT 1 DOES NOT HAVE ENOUGH DEPTH TO EFFECTIVELY BE EXTENDED TO THE SOUTH.
- DRIVEWAY GRADES WILL BE A MAXIMUM OF 2.5%.
- STORM RETENTION BASIN WILL BE CONFIGURED IN AN AESTHETICALLY PLEASING CONFIGURATION APPROXIMATELY 1 FT. DEEP CONTAINING THE VOLUME PER THE DRAINAGE REPORT.



**98TH ST. SECTION**  
NTS  
STREET SECTION TO BE COMPACTED  
6 FT. BEYOND THE BACK OF CURB.



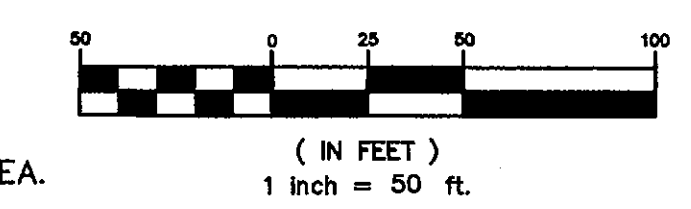
**E. JENAN DR. SECTION**  
NTS  
STREET SECTION TO BE COMPACTED  
6 FT. BEYOND THE BACK OF CURB.

### LEGEND

- PROPOSED DRAINAGE ARROW
- EXISTING DRAINAGE ARROW
- SEWER MANHOLE
- WATER VALVE
- TELEPHONE PEDISTAL
- SECTION CORNER
- SECTION CORNER
- BRASS CAP FLUSH
- MONUMENT AS NOTED
- SECTION LINE
- WATER LINE
- SEWER LINE
- BUILDING SETBACK LINE

### SITE DATA

- TOTAL SITE AREA = 252,205 S.F. / 5.79 AC.
- APPROXIMATE BUILDING COVERAGE = 45,000 S.F. OR 17.8%
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- WASTEWATER WILL BE PROVIDED FOR BY THE CITY OF SCOTTSDALE.
- ZONING FOR THIS SITE IS R1-35, COMPATIBLE WITH THE SURROUNDING AREA.



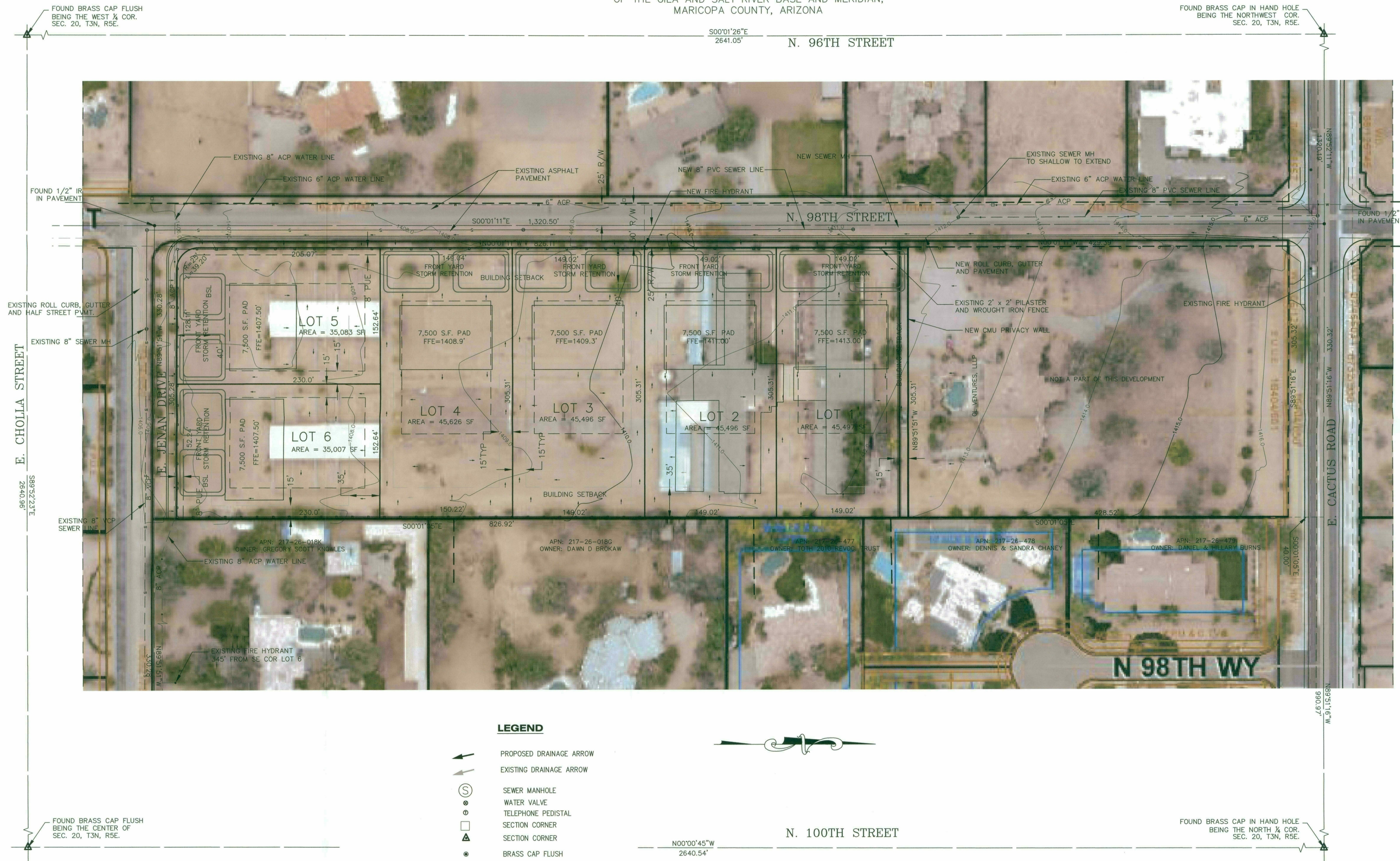
REV. NO.	DESCRIPTION
1	ROSENDAHL ENGINEERING
2	ENGINEERING / RESIDENTIAL
3	SURVEYING / COMMERCIAL / RESIDENTIAL
4	(480) 599-1263 TEL. (480) 599-1263 TEL.
5	857 N. BARKLEY ST. MESA, ARIZONA 85203 wayne@rosendahlengineering.com
<b>BELLISSIMA ESTATES PRE-PLAT SITE PLAN</b>	
9830 E. JENAN DRIVE LOT 2	
BELLISSIMA FARMS MINOR LAND DIVISION	
OWNER: DeAcetis-Francis Custom Homes, Inc. 12678 N. 113th Way Scottsdale, AZ 85259	
<p>CALL 2 WORKING DAYS BEFORE YOU DO ANYTHING TO AVOID A \$1000 STAKE-IT FINE</p> <p>DESIGN: PWR DRAWN: MD</p> <p>EXP. 3/31/19</p> <p>PROJECT NO. 160489 DATE: 1/24/17</p> <p>SHEET 1 OF 1</p>	

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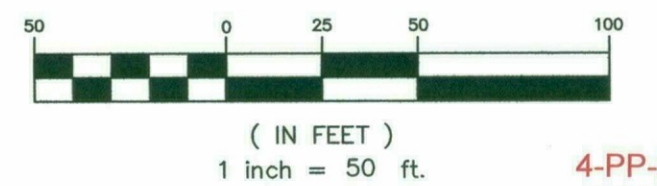
4-PP-2016

# AERIAL OVERLAY BELLISSIMA ESTATES

BEING A PORTION OF THE NORTHWEST QUARTER  
SECTION 20, TOWNSHIP 3 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA



- LEGEND**
- ➔ PROPOSED DRAINAGE ARROW
  - ➔ EXISTING DRAINAGE ARROW
  - ⊙ SEWER MANHOLE
  - ⊙ WATER VALVE
  - ⊙ TELEPHONE PEDISTAL
  - SECTION CORNER
  - △ SECTION CORNER
  - BRASS CAP FLUSH
  - MONUMENT AS NOTED
  - SECTION LINE
  - - - WATER LINE
  - - - SEWER LINE



<p>REV. NO. _____</p> <p>DESCRIPTION _____</p>	<p style="text-align: center;"><b>ROSENDAHL ENGINEERING</b></p> <p style="text-align: center;">• URBAN DESIGN • COMMERCIAL / RESIDENTIAL (480) 599-1263 TEL 857 N. BARKLEY ST. MESA, ARIZONA 85203 wayne@rosendahlengineering.com</p> <hr/> <p style="text-align: center;"><b>BELLISSIMA ESTATES AERIAL OVERLAY</b></p> <p style="text-align: center;">9830 E. JENAN DRIVE LOT 2, BELLISSIMA FARMS MINOR LAND DIVISION</p> <hr/> <p style="text-align: center;"><b>OWNER</b> DeAcette - Francis Charles Homes, Inc. 12678 N. 113th Way Scottsdale, AZ 85259</p> <hr/> <p style="text-align: center;">CALL 2 WORKING DAYS BEFORE YOU DIG 1-800-STAKE-IT www.stake-it.com</p> <p>DESIGN: PWR DRAWN: MD</p> <div style="border: 1px solid black; padding: 5px; text-align: center;"> <p>Professional Engineer PHILLIP W. ROSENDAHL 9/8/16 EXP: 3/31/19</p> </div> <p>PROJECT NO. 160489 DATE: 8/15/16 SHEET</p> <p style="text-align: right;"><b>1 OF 1</b></p>
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