

**Marked Agendas
Approved Minutes
Approved Reports**

**The August 3, 2017
Development Review Board
Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>



Planning & Development Services Department
Planning and Neighborhood

7447 East Indian School Road
Scottsdale, Arizona 85251

August 8, 2017

56-DR-2016
Robert Gaspard
Worksbureau
2524 N 24Th St
Phoenix, AZ 85008

RE: DRB APPROVAL NOTIFICATION

Case Reference No: 56-DR-2016 Peacock Scottsdale

The Development Review Board approved the above referenced case on August 3, 2017. For your use and reference, we have enclosed the following documents:

- Approved Stipulations/Ordinance Requirements
- Site Plan with Fire Dept. Requirements Notations
- Accepted Basis of Design Reports
- Accepted Case Drainage Report
- Construction Document Submittal Requirements/Instructions
- This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.
 - These instructions are provided to you so that you may begin to assemble information you will need when submitting your construction documents to obtain a building permit. For assistance with the submittal instructions, please contact your project coordinator, Dan Symer, AICP, 480-312-4218.
- Table: "About Fees"
 - A brief overview of fee types. A plan review fee is paid when construction documents are submitted, after which construction may begin. You may review the current years fee schedule at: <http://www.scottsdaleaz.gov/bldgresources/Fees/default.asp>

Please note that fees may change without notice. Since every project is unique and will have permit fees based upon its characteristics, some projects may require additional fees. Please contact the One Stop Shop at 480-312-2500.

Finally, please note that as the applicant, it is your responsibility to distribute copies of all enclosed documents to any persons involved with this project, including but not limited to the owner, engineers, architect, and developer.

Sincerely,



Dan Symer, AICP

Senior Planner

dsymer@ScottsdaleAZ.gov

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: August 3, 2017 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Peacock Scottsdale 56-DR-2016

Location: 4733 North Scottsdale Road

Request: Request approval of the site plan, landscape plan, and building elevations for a new multi-family development comprised of 160 dwelling units in two 9-story-tall buildings with a total of 243,486 square feet of building area, all on a 2-acre site

OWNER

Dave Beckham
Mike Zipprich

ARCHITECT/DESIGNER

Works bureau
Humphreys & Partners Architects, LP

ENGINEER

David Evans and Associates, Inc.

APPLICANT CONTACT

Works bureau
480-609-6779

BACKGROUND

Zoning

The site is currently zoned Downtown Regional Commercial Office – Type 2 Planned Block Development Downtown Overlay (D/RCO-2 PBD DO), which allows large-scale development that include commercial uses, residential, and mixed-use developments.

Context

Located northeast of the northeast of the corner of East Fashion Square Drive and North Scottsdale Road, the site is surrounded by a variety of uses including retail, vehicle sales, multiple-family residential and vacant land.

Adjacent Uses and Zoning

- North Existing vehicle sales, zoned Central Business (C-2)
- South Vacant land, zoned Planned Block Development Downtown Overlay (D/RCO-2 PBD DO), and farther south is an existing retail center and parking lot, zoned Highway Commercial Downtown Overlay (C-3 DO)
- East Mixed-use development, zoned Downtown Regional Commercial Office – Type 2 Planned Block Development Downtown Overlay (D/RCO-2 PBD DO)
- West Vacant land, zoned Planned Block Development Downtown Overlay (D/RCO-2 PBD DO), and farther west is North Scottsdale Road and an existing mixed-use commercial center zoned Planned Block Development Downtown Overlay (D/RCO-2 PBD DO)

Key Items for Consideration

- Downtown Urban Design and Architectural Guidelines
- Building colors and materials
- Building massing

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant is requesting approval of the site plan, landscape plan, and building elevations for a new nine-story multi-family development containing 160 units.

Neighborhood Communication

The applicant and City staff have notified all property owners within 750 feet of the site. In addition, a hearing notice sign has been posted at the site. City staff has not received any comments regarding the proposal. Staff has not received any neighborhood input regarding this application.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Located northeast of the northeast of the corner of East Fashion Square Drive and North Scottsdale Road, this project has also been known as Phase 2 of the Safari Project. It is situated between the existing Safari condominiums located to the east and the approved, but not constructed, Blue Sky development and it is not anticipated to have a negative impact on the adjoining properties. The proposed development is consistent with the General Plan mixed-use neighborhoods designation that includes related uses that would support the complementary office, retail, and residential structures in the area.

Vehicular access will be provided from North Scottsdale Road via the East Coolidge Drive alignment driveway and the North 72nd Place alignment driveway that abut the property. Pedestrian access will be provided from North Scottsdale Road with future sidewalks adjacent to these driveways when the vacant property between North Scottsdale Road and the subject site is developed. Also, pedestrian access to the property is provided from the Arizona Canal by a sidewalk within a public access easement through the Safari Phase 1 development that is located to the east. In addition, a public access easement exists from the Safari Phase 1 development through the middle of the proposed development from the North 72nd Way alignment driveway to the North 72rd Place alignment driveway that allows the public to walk through the development. Future development to the west of North 72rd Place alignment will construct the remainder of the pedestrian connection to North Scottsdale Road and to the intersection of North Scottsdale Road and East

Fashion Square Drive.

The public access easement through the middle of the proposed development from North 72nd Way alignment driveway to North 72rd Place alignment driveway area is to be improved as a plaza and public gathering area with planters, hardscape, water fountain, bicycle parking, and other provisions required by the Development Review Board. Furthermore, in accordance with the Downtown Urban Design and Architectural Guidelines (DUDAG), these areas are to be designed with a human scale that is devoid of long continuous blank walls and dead spaces, and encourages pedestrian activity and enjoyment through the use of a rich variety of textures, materials, colors, shapes, and a variety of plant materials that provide a festive, colorful, oasis-like environment (DUDAG I.4., A3, and A6, SSDP 7). Even though the site plan and landscape plan indicate that planters, a water fountain, and bicycle parking will be provided, the area has a walled alley appearance as indicated on the Pedestrian Access Easement Area Section (Attachment 7) and building elevations. Furthermore, it is unclear what the applicant proposes to utilize for the design and finish materials of walls that separate Pedestrian Access Easement Area from the building amenity areas on the north and south sides due to the insufficient and conflicting information.

To assist in minimizing the stark alley appearance of the building and site walls, to encourage a pedestrian oriented plaza-like patio environment, and to assist in diversifying the mass of the building walls, stipulations direct the applicant to provide raised planters abutting the south side of the Pedestrian Access Easement Area that have a minimum width of five feet, and a maximum height of thirty-two (32) inches. Also, stipulations have been incorporated to enlarge the planter that is abutting the north side of the Pedestrian Access Easement Area, between the wall that separates the planter and the Building 1 amenity area, to have a minimum width of five feet, and maximum height of thirty-two (32) inches (refer to Attachment 1 of Attachment A). The stipulated raised planters and landscape plant materials will assist in softening the stark appearance of the building and site wall, provide a transition in the scale of these walls adjacent to the Pedestrian Access Easement Area, and provide colorful, oasis-like pedestrian environment.

Furthermore, to provide visual interest, pedestrian orientation, and to minimize the flat, blank wall appearance of the site wall(s) between the Pedestrian Access Easement Area and the Building 1 amenity area, stipulations direct the applicant to revise this wall(s) so that it shall be designed with additional offsets, and incorporate a variety of building materials, textures, and colors, ornamentation that are consistent with the building. In addition, to provide pedestrian orientation, natural surveillance, and to minimize the stark alley appearance on the south side of the Pedestrian Access Easement Area and the Building 2 amenity area, stipulations direct the applicant to revise the proposed wall so that it will be a wrought-iron-like fence that is open a minimum seventy-five (75) percent and consist of material and colors consistent with the building.

As indicated in the building elevations (Attachment 7) and perspectives (Attachment 8), the base of the buildings abutting the pedestrian routes, that are adjacent to the East Coolidge Drive alignment driveway and the North 72nd Place alignment driveway, have long continuous blank walls, as well as dead spaces that lack a variety of textures, colors, finish materials, and plant material, similar to the building and site walls adjacent to the Pedestrian Access Easement Area. To minimize the stark appearance of these building walls, to provide a pedestrian oriented environment that has a visual interest, and to assist in diversifying the mass of the wall of building, stipulations direct the applicant to provide raised planters adjacent to the building that have a minimum width of five feet,

and maximum height of three feet (refer to Attachment 1 of Attachment A). In addition, to maintain consistency, a sense of place, and the appearance of a planned environment, the planters nearest to the East Coolidge Drive alignment driveway, North 72nd Place, and the North 72nd Way alignment driveways have been stipulated to match the raised planters on the east side of North 72nd Way alignment driveway that were constructed with the Safari Phase 1 development.

Existing developments in the contextual design area are comprised of various building forms, materials, and colors. The buildings in the adjoining area were developed and/or redeveloped in between 2001 and 2014 and represent a variety of non-descript and contemporary southwest architecture styles. The Safari Phase 1 development, which is the first phase of the larger development plan that includes the proposed Peacock development site, consists of a contemporary southwest architectural style.

The proposed development responds to the contextual area through the use of various forms, volumes, and massing that partially assists in providing a hierarchy to the building features and elements to address the DUDAG and Scottsdale Sensitive Design Principles (SSDP) to minimize the apparent size and bulk of the building. To assist in mitigating the tall flat vertical elements of the building, the proposed building design incorporates several wall areas that add six (6) inches to the wall thickness. Due to the height and scale of the development, to assist in providing a visible, defined, hierarchy of the thickened wall features, and to assist in mitigating the mass of the building, these thickened wall features should be at least twelve (12) inches in depth, in compliance with the DUDAG and SSDP.

Also, the design incorporates materials, such as glass, EIFS, metal, and concrete, that promote a supportive design relationship with the context area. Although to differentiate the architectural style in the macro-contextual design area, the proposed design incorporates white marble-like calacattia, white, white-blue, cobalt blue, light and medium blue-gray and gray paint colors, and silver powder coated aluminum storefront door and window mullions. The proposed color scheme is inconsistent with the muted desert colors prescribed in the SSDP, DUDAG, and the Scottsdale Commercial Design Guidelines (SCGD). Due to the proposed monochromatic use of colors and materials, there are concerns that the color scheme does not conform with the SSDP and DUDAG, it is recommended that the Development Review Board direct the applicant to revise the proposed buildings colors to comply with the Scottsdale Sensitive Design Principles and the Downtown Urban Design and Architectural Guidelines

In accordance with the above referenced principles and guidelines, the design of the built environment should respond to the desert environment through the use of textures and natural materials that provide visual interest and richness through the use of a simplified palette of materials and colors. In addition, material colors should be muted desert tones. Muted desert tones are generally tints, tones, and shades of reds, oranges, yellows, greens, blues, browns, and purples that have a soft placid saturation that consist of a subdued intensity. In general, these colors typically have a Value of 7 or less, a Chroma between 3 and 14, and a light reflective value (LRV) of less than seventy (70) percent. Colors that are more intense and saturated may be used as accents, and minimized in the overall composition of the building.

Consistent with the SSDP, DUDAG, and SCGD, the use of color in a development is to emphasize the regional traditions and the Sonoran Desert. As emphasized above, the regional area of Sonoran

Desert has a vibrant variety of colors to select from, and a more appropriate basis of colors for the development should be utilized to maintain a harmonious compatibility with the Downtown, City, and the Sonoran Desert.

In addition, the applicant proposes to utilize an EIFS material at the base of building adjacent at the pedestrian level. As indicated above, the texture and finish materials adjacent to the pedestrian environment are to consist of rich natural materials that strengthen the fine-grain character of the building, enhance the pedestrian environment, and provide interest and richness (DUDAG A3, SSDP 9, and 21). Such materials include stone, decorative block, brick, and marble, granite, or similar veneers.

Development Information

- Existing Use: Vacant land
- Proposed Use: Multiple Family Residential
- Parcel Size: 2.056 gross acres
- Floor Area Ratio Allowed: 3.0
- Floor Area Ratio Proposed: 2.71
- Building Height Allowed: 115 feet, including rooftop appurtenances
- Building Height Proposed: 115 feet, including rooftop appurtenances
- Parking Required: 276 spaces
- Parking Provided: 304 spaces
- Dwelling Units Allowed: 160 units
- Dwelling Units Proposed: 160 units

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board continue case 56-DR-2016, Peacock Scottsdale, and direct the applicant to revise the proposed buildings colors to comply with the Scottsdale Sensitive Design Principles and the Downtown Urban Design and Architectural Guidelines, revise the materials at the base of the building to be a natural material that strengthens the fine-grain character of the building, enhances the pedestrian environment and provides pedestrian interest and richness.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

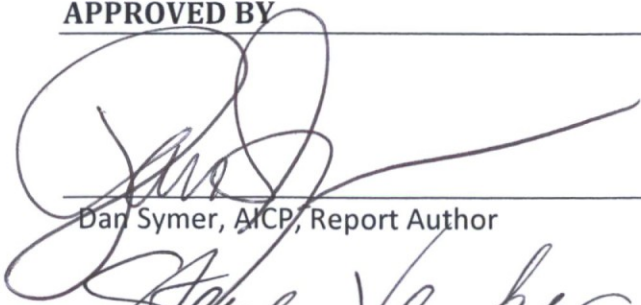
Dan Symer, AICP

Senior Planner

480-312-4218

E-mail: dsymer@ScottsdaleAZ.gov

APPROVED BY



Dan Symer, AICP, Report Author

7-27-2017

Date



Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

7/20/17

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

7/28/17

Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - Attachment 1 to Attachment A – Planter Stipulation Plan
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Combined Context Aerial and Site Plan
 - 5. Site Plan
 - 6. Pedestrian Access Easement Area Section
 - 7. Building Elevations
 - 8. Perspective
 - 9. Material and Color Board
 - 10. Landscape Plans
 - 11. Electrical Site Plan
 - 12. Exterior Lighting Cutsheets

**Stipulations for the
Development Review Board Application:
Peacock Scottsdale
Case Number: 56-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

Stipulations in ***bold italic text*** are stipulations added by the Development Review Board

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Worksbureau and Humphreys & Partners Architects L.P., with a city staff date of 06/9/2017.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Worksbureau and Humphreys & Partners Architects L.P., with a city staff date of 06/9/2017.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Worksbureau and Humphreys & Partners Architects L.P., with a city staff date of 06/9/2017.
 - d. The case drainage report submitted by David Evans and Associates, Inc. and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water basis of design report submitted by David Evans and Associates, Inc. and accepted in concept by the Water Resources Department, with a city staff date of 06/9/2017.
 - f. The wastewater basis of design report submitted by David Evans and Associates, Inc. and accepted in concept by the Water Resources Department, with a city staff date of 07/20/2017.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable zoning case for the subject site was, 65-ZN-1992#8.

ARCHITECTURAL DESIGN:

Ordinance

- B. Before any building permit is issued for the site, the owner shall submit and obtain approval of the construction documents demonstrating compliance with International Green Construction Code, as adopted and amended by the City of Scottsdale.

- C. In accordance with the amended development standards for Encroachments Beyond Inclined Stepback Plane (Sections 5.3060, Schedule B.III.7, and 5.3063.A), the top floor and projects of the north elevation shall be revised so that no projection beyond the stepback plane is greater than twenty-five percent of the length of the building. The owner shall submit a separate Development Review Board application to obtain approval of the building elevation design that is in compliance with the amended development standards.
- D. Before any building permit is issued for the site, the owner shall submit and obtain approval of the construction documents demonstrating that the roof drainage systems, excluding scuppers, shall be concealed within the structure.

DRB Stipulations

- 2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
- 3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
- 4. ***Prior to the submittal of the Construction Documents for the development, the owner shall submit and obtain staff approval of a Minor Development Review application for the revisions to the materials at the base of the buildings on all sides, and below the second story, to be a natural material that complies with the Downtown Urban Design and Architectural Guidelines and the Scottsdale Sensitive Design Principles to strengthen the fine-grain character of the buildings, enhances the pedestrian environment and provides pedestrian interest and richness.***
- 5. ***All thickened walls, 'pop outs', indicated on the building elevations to have a depth of six (6) inches shall have a minimum depth of twelve (12) inches.***

SITE DESIGN:

Ordinance

- E. Prior to the issuance of the any building permit, the property owner shall make a one-hundred-fifty thousand dollar (\$150,000) in-lieu payment to the City for deposit into the Downtown Infrastructure Trust Fund.
- F. Prior to the submittal of the Construction Documents for the development, the owner shall submit to and obtain approval from the Water Resources Conservation Department for all water features.
- G. All water features shall be separated from the domestic water supply by a backflow preventor in accordance with City of Scottsdale (COS) Supplements to MAG Specifications and Details (COS MAG Detail), detail 2354. In addition, the water supply serving the water features shall not be connected to the landscape irrigation system.
- H. The vehicular drive aisle vertical clearance to and from the entry to the parking structure to the accessible parking, and the accessible parking space(s), shall be eight (8) feet two (2) inches.

DRB Stipulations

6. Prior to the submittal of the Construction Documents for the development, the owner shall submit and obtain staff approval of a Minor Development Review application for the wall adjacent to the north side of the public non-motorized access easement that exists through the middle of the development, and adjacent to the Building 1 amenity areas. To provide visual interest and minimize the flat, blank, and smooth wall appearance, the wall shall be designed to incorporate greater off-sets and undulation, defined raised textured finish, ornamentation, and colors compatible with the building design.
7. Prior to the submittal of the Construction Documents for the development, the owner shall submit and obtain staff approval of a Minor Development Review application for the proposed wall adjacent to the south side of the public non-motorized access easement that exists through the middle of the development, and adjacent to the Building 2 amenity areas. The fence shall be designed as wrought-iron-like fence that is open a minimum seventy-five (75) percent, consist of no-more than five (5) horizontal members, and consist of materials and colors that are compatible with the building. The fence shall be placed outside of the public non-motorized access easement, and may be placed near the middle of the planter.
8. Prior to the submittal of the Construction Documents for the development, the owner shall submit and obtain staff approval of a Minor Development Review application for the elevations of the removable screen trellis/wall that is north of trash storage room. The screen trellis/wall shall not have a roof or similar structure, and shall have a design consistent with the design of the building.
9. Prior to the submittal of the Construction Documents for the development, the owner shall submit and obtain staff approval of a Minor Development Review application for the cabana, water feature, and amenity structures.
10. All backflow preventers outside of the building shall be contained within in a screened cage painted to match the building, or screened with landscaping. The cage design and landscape screening shall be subject to the approval of the Planning and Development Services project coordinator.

LANDSCAPE DESIGN:

Ordinance

- I. All plants, including plants in a raised planter, shall be irrigated with an automatic irrigation system.
- J. Fifty (50) percent of all trees shall have a single trunk caliper size of three (3) inch, and/or an average multiple trunk caliper size of one-half (1½) inch.
- K. The maximum area of water intensive landscape plants, any plant that is not listed on the Arizona Department of Water Resources for the Phoenix Active Management Area, used on the condominium property shall not exceed 2,628 square feet in accordance with Chapter 49 of the Scottsdale Revised City Code.
- L. The proposed area of water intensive landscaping indicated on the above referenced landscape plan that exceeds the maximum area of allowed by Chapter 49 of the Scottsdale Revised City Code, shall be planted with plants on the Arizona Department of Water Resources for the Phoenix Active Management Area.

DRB Stipulations

11. As delineated and described in Attachment 1 of Attachment A, abutting the buildings and site walls, the owner shall submit construction documents to construct raised landscape planters. Gaps with a maximum width of six (6) feet may be provided in the length of the planter to provide for entry and exit doors to the building or court yard, and the backflow preventer.
12. As delineated and described in Attachment 1 of Attachment A, adjacent to the east curb of the North 72nd Place alignment driveway, the owner shall provide landscape planters with trees between the driveway into the Safari Phase 1 development on the southwest corner of the development and the transformers located at the northwest corner of the development. No planter shall be provided in the public non-motorized access easement between the buildings and North 72nd Place alignment driveway. Planters shall be equal to the size and spacing of the three planters located directly south of the East Cooldige Drive alignment driveway, and between the northeast corner of the development and the generator room. These planters shall be designed with materials and finishes to match Safari Phase 1 raised planters between the east side of the North 72nd Way alignment driveway and the Safari Phase 1 building.
13. Planters located directly south of the East Cooldige Drive alignment driveway, between the northeast corner of the development and the generator room, and the planters that are directly west of the North 72nd Way alignment driveway, between the driveway and the building, shall be designed with materials and finishes to match Safari Phase 1 raised planters that are located between the east side of the North 72nd Way alignment driveway and the Safari Phase 1 building.
14. All raised landscape planter and pots shall be consistent with building colors and architectural finish of the building, except as noted in stipulation 10 and 11.
15. The maximum height of all raised planters shall be thirty-two (32) inches above adjacent finish grade.
16. Raised landscape planters shall have minimum thirty-two (32) inches of soil depth, and additional depth shall be provided to support the root system of a tree that is to be located in a planters.

EXTERIOR LIGHTING:

Ordinance

- M. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward.
- N. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- O. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

17. The proposed fixture (Hubbell Lighting, Inc. Architectural Area Lighting, INDA Indirect) labeled as SA on the plans submitted by Peterson Associates Consulting Engineers, Inc., with a city staff date of 06/9/2017, shall utilize a reflector that is horizontal to ground.

18. All exterior luminaires eight (8) feet or higher, above finished grade, except the fixture noted stipulations 15, shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
19. There shall be no color-changing lights on the exterior of the buildings.
20. Wall mounted fixtures shall have lamps that are shielded, with horizontal lens, and not include reflective surface finishes.
21. Incorporate the following parking lot and site lighting into the project's design:
- Parking Lot and Site Lighting:
- The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10 foot-candles.
 - The initial vertical luminance at 6-foot above grade, along the north property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - The total lumen per luminaire shall not exceed 24,000 lumens.
 - All exterior lighting shall have a kelvin temperature of 3000k or less.

CULTURAL IMPROVEMENT PROGRAM:

Ordinance

- P. Prior to the issuance of any building permit for the site, the owner shall pay to the City of Scottsdale an in-lieu payment of one hundred thousand dollars (\$100,000) for deposit in the Downtown Cultural Trust Fund.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

22. Prior to the issuance of a building permit, the owner shall submit plans to construct all bike racks in accordance with the of Scottsdale (COS) Supplements to MAG Specifications and Details, detail 2285.

Streets, Improvements and Related Dedications:

Ordinance

- Q. Modifications to the North 72nd Way (alignment) and East Coolidge Drive (alignment) shall comply with the stipulations of case no. 65-ZN-1992#8.
- R. In accordance with case no. 65-ZN-1992#8, dedicate the following and construct the following Private Drive improvements:

Private Drive Reference Name	Type	Dedications	Improvements	Notes
North 72 nd Place (alignment)	Private Driveway	15-foot-wide east half, (30-foot total east and west of the property line) emergency and service vehicular access easement	Driveway improvements	a.1., and a.2.

- a.1. The property owner shall construct the full width of the North 72nd Place (alignment) drive improvements, from the Safari Phase 1 entry drive adjacent to the southwest property line, to East Coolidge Drive alignment driveway, and any additional improvements south of the Safari Phase 1 entry necessary to serve the development.
- a.2. The driveways shall be paved, and comply with the requirements for commercial properties, and the City Fire Code shall be designed to support the City Fire Department load requirements for emergency vehicles.

DRB Stipulations

- 23. Prior to the issuance of a building permit for the site, the owner shall dedicate to the city the following right-of-way and submit construction documents to construct the following street improvements:

Street Name	Street Type	Improvements	Notes and Requirements
North 72 nd Place (alignment)	Private Driveway	Driveway Improvements (curb, gutter, and pavement)	a.
East Coolidge Drive (alignment)	Private Driveway	Driveway Improvements (curb, gutter, and pavement)	b.
North 72 nd way	Private Driveway	Driveway Improvements (curb, gutter, and pavement)	b., and c.

- a. The width of the driveway improvement from the back of the west curb to the back of the east curb shall have a minimum width of 24 feet, centered on the west property line. Curb and gutter shall be provided in accord with COS MAG Detail #2220 Type A.
 - b. Driveway improvements shall be modified in accordance with the above referenced site plan. Modified curb and gutter shall be provided in accord with COS MAG Details #2220 Type A. Any damaged or cracked curb, gutter, and pavement shall be removed and reconstructed.
 - c. The garage entry driveway ramp from the North 72nd Way alignment driveway cul-de-sac shall be constructed to comply with COS MAG Detail #2250.
24. Prior to the issuance of a building permit for the site, the owner shall submit construction documents to construct the accessible ramp on the southeast corner of North 72nd Place alignment driveway and East Coolidge Drive alignment drive in conformance with COS MAG Detail 2232, with modification approved by City Staff.
25. Prior to the issuance of a building permit for the site, the owner shall submit construction documents to construct the accessible ramp on the southwest corner of North 72nd Way alignment driveway and East Coolidge Drive alignment drive in conformance with COS MAG Detail 2234.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- S. Prior to the issuance of first building permit, the owner shall secure and provide documentation of the a vehicular cross access easement on the property located on north side of north property line (4725 North Scottsdale Road) from East Coolidge Drive (alignment) to the intersection of North Scottsdale Road and East Highland Road.
- T. Dedications to the City that include areas above the underground parking garage shall include a statement that: "This dedication excludes any right for the City to use or disturb the underground parking garage."
- U. Dedications to the City that include areas below a building overhang shall include a statement that: "This dedication excludes any right for the City to use or disturb the building overhang."

DRB Stipulations

- 26. Prior to the issuance of any building permit for the site, the property owner shall dedicate a minimum 6-foot-wide unobstructed public non-motorized access easement (PNMAE) between the North 72nd Place alignment and North 72nd Way alignment driveways on the south side of the East Coolidge alignment driveway to include the sidewalk on the south side of the East Coolidge alignment driveway.
- 27. Prior to the issuance of any building permit for the site, the property owner shall dedicate a minimum 6-foot-wide unobstructed PNMAE, on the west side of North 72nd Way alignment driveway, from the existing easement on the north side of the North 72nd Way alignment driveway cul-de-sac, to the intersection of the North 72nd Way alignment driveway and East Coolidge alignment driveway.
- 28. Prior to the issuance of any building permit, the property owner shall dedicate a minimum 6-foot-wide unobstructed PNMAE, on the east side of North 72nd Place alignment driveway, from

and perpendicular to the existing east-west PNMAE that runs through the middle of the site, to the southwest property line.

29. Prior to the issuance of any building permit for the site, the property owner shall: 1) obtain approval of a release of easement application to release the PNMAE on the east side of the North 72nd Place alignment driveway, north of the east-west PNMAE that run through the middle of the site; and, 2) dedicate a minimum 6-foot-wide unobstructed PNMAE east side on North 72nd Place alignment from the east-west PNMAE that run through the middle of the site, to East Coolidge alignment driveway in a configuration around the proposed transformers on the northwest corner of the property.

WATER AND WASTEWATER STIPULATIONS:

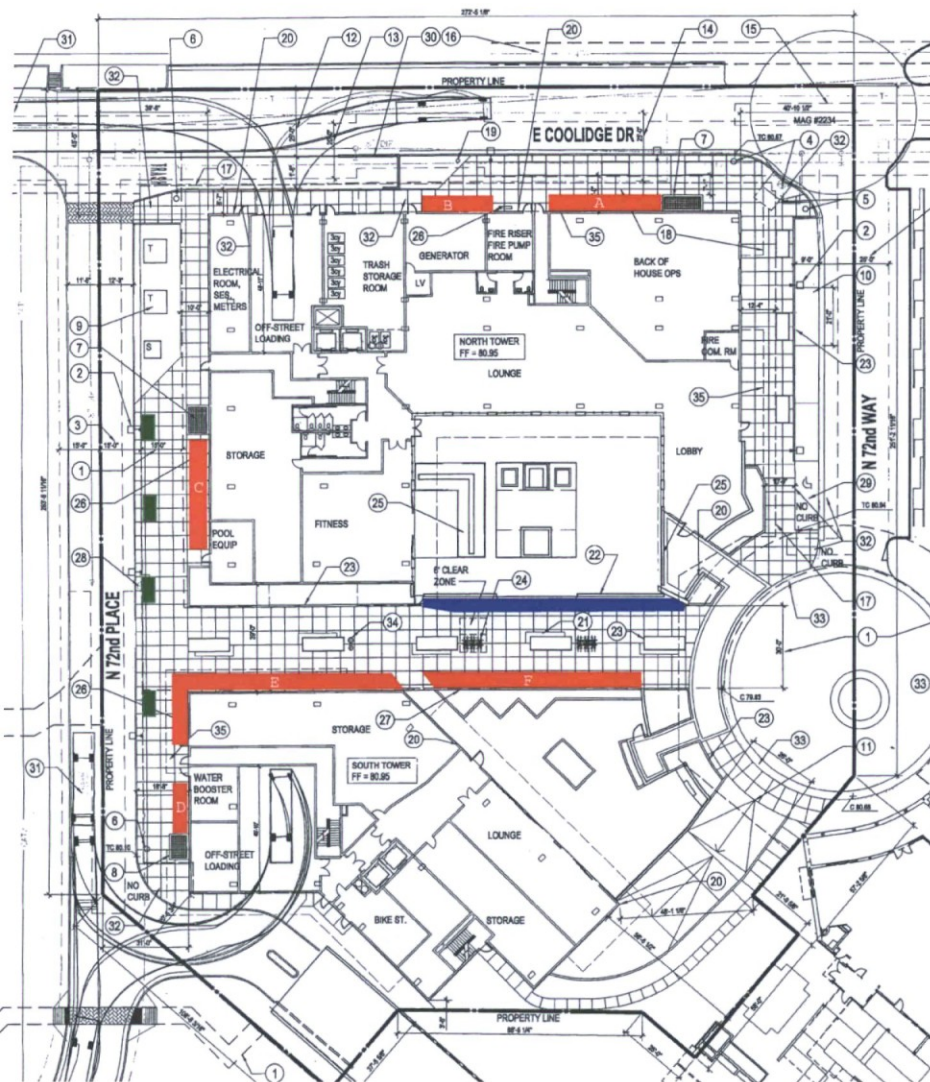
DRB Stipulations

30. All backflow preventers outside of the building(s) shall comply with COS MAG Details 2359 and/or 2360, be placed between twenty-four (24) and thirty (30) inches from the adjacent wall.
31. Before the improvement plan submittal, the owner shall obtain approval of the Final Basis of Design Reports (water and wastewater) from the Water Resources Department. The Final Basis of Design Reports shall be in conformance with the Design Standards and Policies Manual.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

32. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.



LEGEND

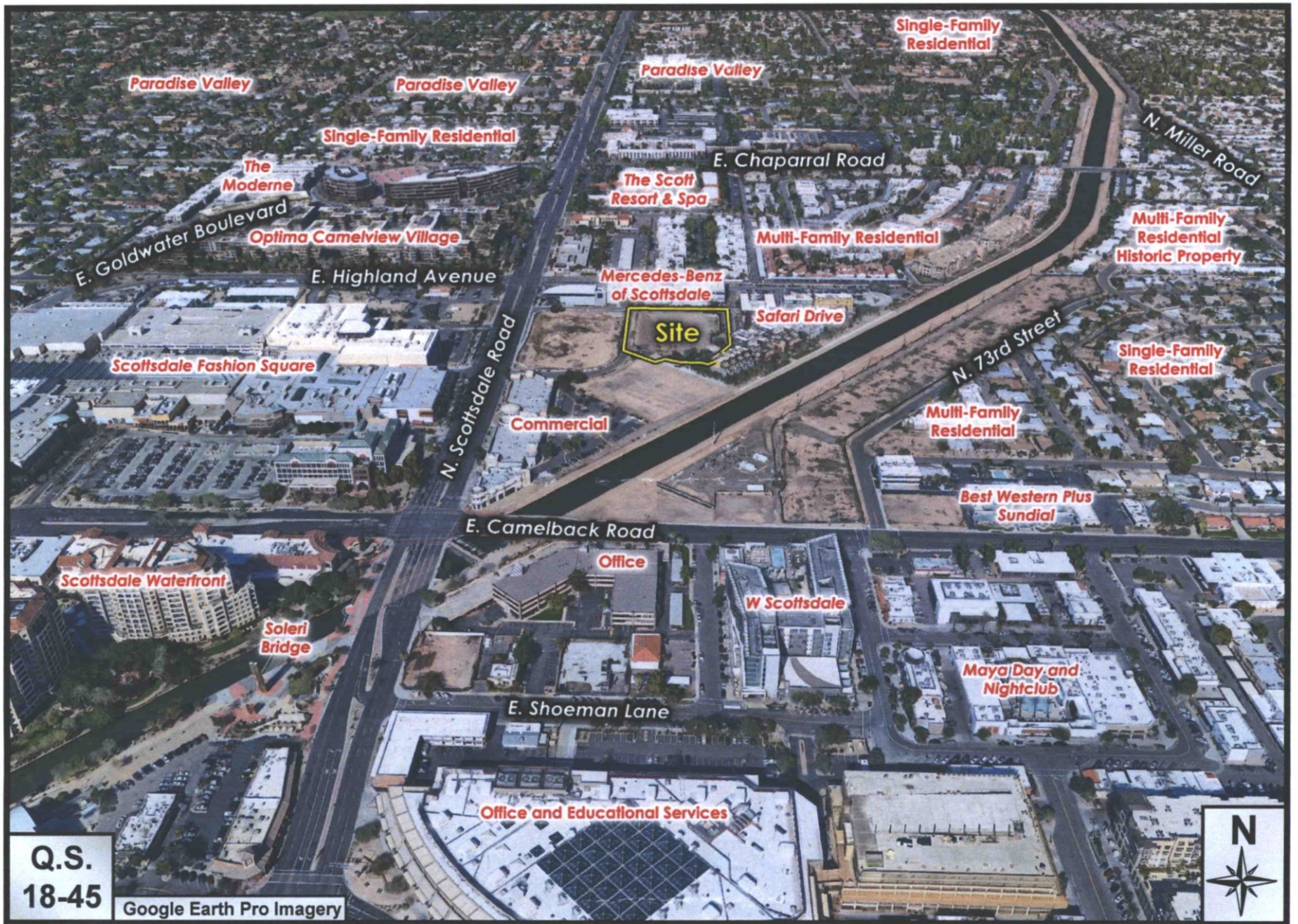
- A PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND HAVE A MINIMUM LENGTH OF 40 FEET
- B PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND HAVE A MINIMUM LENGTH OF 25 FEET
- C PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND HAVE A MINIMUM LENGTH OF 38 FEET
- D PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND HAVE A MINIMUM LENGTH OF 17 FEET
- E PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE, WITHIN THE PUBLIC NON-MOTORIZED ACCESS EASEMENT, ABUTTING THE SOUTH EASEMENT LINE, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND SHALL EXTEND THE ENTIRE LENGTH OF THE BUILDING WALL FROM THE CORNER OF BUILDING ON THE E END, AND WRAPPING THE CORNER OF THE BUILDING ON THE WEST END, AND EXTENDING SOUTH A MINIMUM OF 24 FEET, AS DELINEATE ON THE PLAN
- F PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE, WITHIN THE PUBLIC NON-MOTORIZED ACCESS EASEMENT, ABUTTING THE SOUTH EASEMENT LINE, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND SHALL EXTEND THE ENTIRE LENGTH OF THE BUILDING 2 AMENITY AREA PLANTER, AS DELINEATE ON THE PLAN

PLANTERS TO BE PROVIDED

ALL PLANTERS SHALL BE MINIMUM FIVE (5) FOOT WIDE, MAXIMUM THIRTY-TWO (32) INCHES TALL, HAVE A MINIMUM LENGTH OF 10 FEET, AND BE DESIGNED WITH MATERIAL AND FINISHES TO MATCH SAFARI PHASE 1 RAISED PLANTERS BETWEEN THE EAST SIDE OF THE NORTH 72ND WAY ALIGNMENT DRIVEWAY AND THE SAFARI PHASE 1 BUILD

PLANTERS TO BE MODIFIED

PLANTER SHALL BE A MINIMUM FIVE (5) FOOT WIDE BETWEEN THE WALL THAT SEPARATES THE BUILDING 1 AMENITY AREA AND THE PUBLIC NON-MOTORIZED ACCESS EASEMENT, THE PLANTER MAYBE PLACED A MAXIMUM TWO (2) FEET SIX (6) WITHIN THE PUBLIC NON-MOTORIZED ACCESS EASEMENT ON THE NORTH SIDE OF THE PUBLIC NON-MOTORIZED ACCESS EASEMENT, MAXIMUM THIRTY-TWO (32) INCHES TALL, AND SHALL EXTEND THE ENTIRE LENGTH OF THE BUILDING 2 AMENITY AREA PLAN FROM THE CORNER OF, AS DELINEATE ON THE PLAN, THE WEST END OF THE PLANTER MAY TAMPER TO A LESS WIDTH AS DELINEATED ON THE PLAN.



Q.S.
18-45

Google Earth Pro Imagery

Peacock Scottsdale

56-DR-2016



Peacock Scottsdale

56-DR-2016



Peacock Scottsdale

56-DR-2016

PEACOCK SCOTTSDALE (SAFARI II)

CASE: 56-DR-2016



SUBMITTED FOR FUTURE PROPERTY OWNER:

Deco Communities
c/o Dan Richards
8135 East Indian Bend Road, Suite #101
Scottsdale, AZ 85250

PROPERTY OWNER:

Safari Property Holdings, LLC
c/o David Beckham
10611 North Hayden Road, Suite D-105
Scottsdale, AZ 85260

SUBMITTED: DECEMBER 12, 2016

2ND SUBMITTAL: JUNE 9, 2017

APPLICANT:

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c/o Rob Gaspard
2524 North 24th Street
Phoenix, AZ 85008

DESIGNER:

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2350 SE Bristol Street, Suite 310
Newport Beach, CA 92660

ENGINEER:

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Phoenix, AZ 85034

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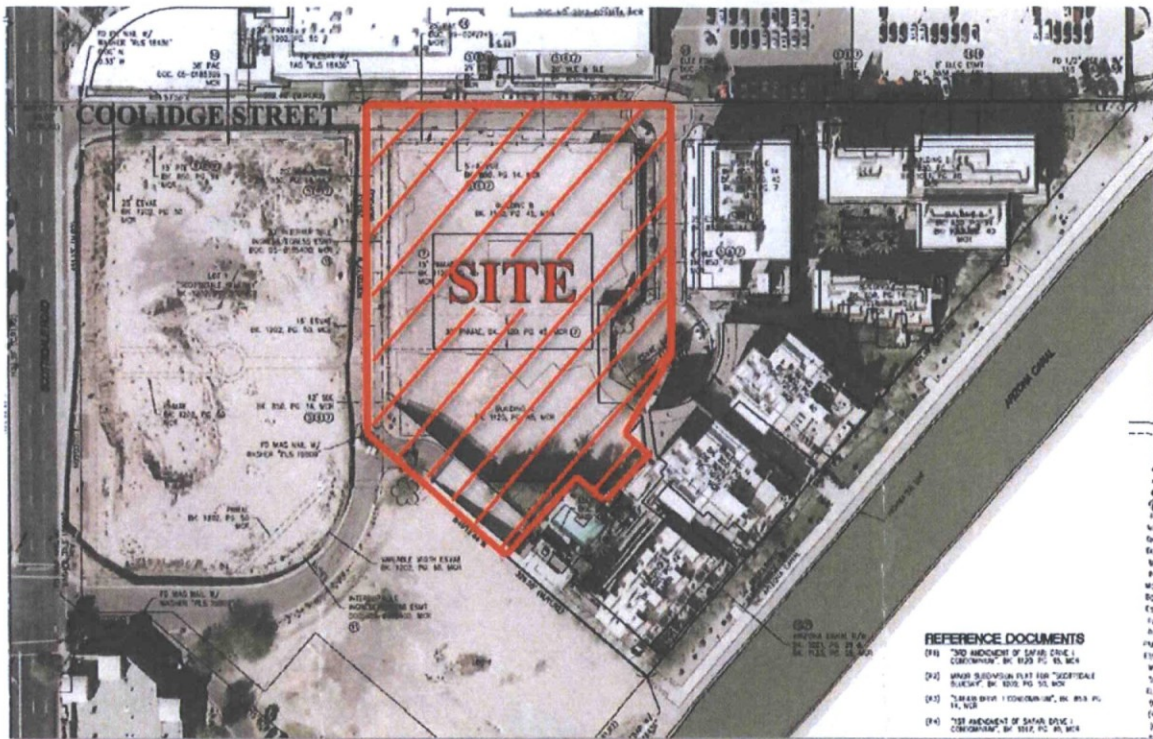
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I. **Purpose of Request:**

This request is for Development Review Board (“DRB”) approval on a 2.06+/- acre site located at 4733 North Scottsdale Road (a.k.a. Safari II) (the “Site”). (See the *Aerial Map* below.)

AERIAL MAP



With that being said, the development proposal by the applicant/future owner of the property, Deco Communities, is to create a high-quality/luxury/mid-rise apartment community (“The Peacock”) that is in substantial conformance with the building massing and many of the design parameters from the previously approved project (i.e., Safari II) for this Site. In fact, the proposed design quality has been enhanced and improved upon to address current market demands and expectations.

Located within walking distance of Scottsdale Fashion Square, the Waterfront, and downtown, this community offers some of the best features of urban living at a modest density. Its overall design is consistent with the Character and Design Chapter of the Scottsdale General Plan, including the Suburban Streetscape values. The community has been designed to work in harmony with both the existing Safari condominiums to the south and east, and the future Blue Sky condominium project to the west. Of importance, the two (2) towers of the proposed apartment community are separated, as previously envisioned by Safari II, by a landscaped public paseo that leads from the canal, Safari I, through the proposed development and continuing on through Blue Sky. Thus, connecting all of these developments together as well as providing a pedestrian corridor from the canal to Scottsdale Road.

The specific design strategy for The Peacock was one of timeless elegance as well as a pleasant counterpoint to the highly articulated and Safari I project. Moreover, the two (2) towers define street edges, where possible, such as: along Coolidge Street and the existing Safari I entry drive, but "opens up" at the cul-de-sac creating a focal point for both The Peacock and Safari I as well as providing a "grand entrance" area for both developments.

II. The Peacock - Overview (The Proposal)

The Peacock apartment community will provide an upscale luxury rental community designed to satisfy a very particular niche in the rental market (i.e., for residents seeking highly refined urban living in a walkable environment). The total number of units proposed is 160 spacious dwellings arranged in two (2) towers surrounding two (2) amenity courtyards and traversed by a public pedestrian paseo for this development and beyond. Each of the towers provide undulation massing changes and stepbacks in height that ultimate rise up to ten (10) stories. These stepbacks create a softer visual experience and preserves view corridors. All dwelling units have generous cantilevered balconies to capture the far views and enjoy dramatic Arizona sunsets. These balconies also help to provide shade in the façade. All the parking will be contained with an underground parking garage as part of the structure of the buildings with a few on street parking spaces.

The streets, sidewalks, and utilities surrounding the Site have all previously been built, as such this development project can be easily "plugged in" to this location with minimal disturbances to the area. Suffice to say, the ease of accessibility, proximity to businesses, shopping, entertainment, recreation, and designated pedestrian trails makes this proposed development a compliment/enhancement to its surroundings.

a) Site Plan / Landscape Theme

At the ground level, particular sensitivity has been given to both the hardscape and landscape to enhance the pedestrian environment. Contrasting the entry textural wall is the enclosure of the north courtyard, where the pool is located, which is a smooth and sleek near-white hard-surface veneer. Both the textured and smooth walls serve as backgrounds against which large masses of native and desert-friendly landscaping are displayed.

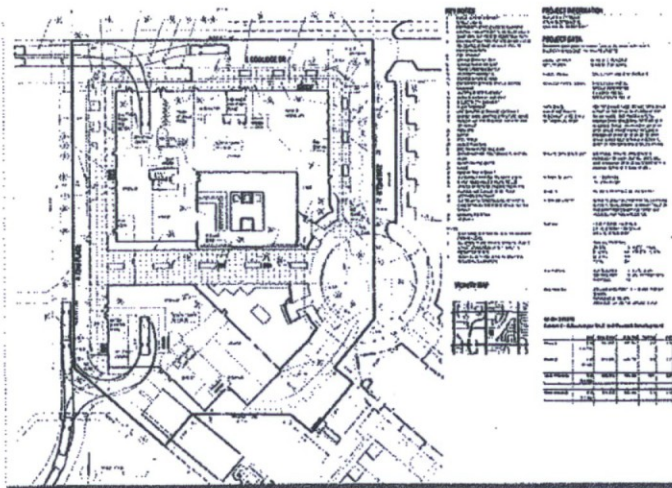
The main pedestrian entry into the community is at the north tower, where a canopy highlights the path to the front door. A guest or resident will pass through a sculptural, enclosing wall to enter the building; once through the wall, the entire vista of the pool court and lounge spaces beckons. While the interior courtyard faces of the buildings are very open and glassy, emphasizing the indoor/outdoor relationship (i.e., some walls slide open to create a flow from indoors to outdoors) so sought after in Arizona.

Automobiles and pedestrians rarely cross at The Peacock. Access to two (2) levels of secure below grade resident parking is taken via a ramp off the existing cul-de-sac shared with the adjacent Safari I, and does not interfere with the public paseo. Each tower also includes a loading area at the ground floor and integrated into the building design with roll up doors for move-ins, generally located away from the prime pedestrian passages. Trash pickup is from the north building on Coolidge Street and strategically located, also integrated into the building

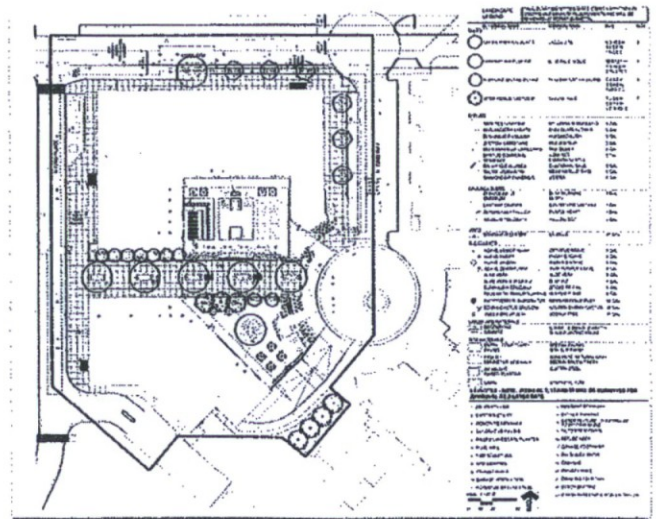
design with roll up doors, as far as possible from the main ground floor activity areas while still functioning (access/loading) properly for both the City and the residents. Finally, the entire Site is interconnected by walkways which link up to public sidewalks and bike paths encouraging multimodal options.

The project's landscape theme will reduce overall water intake include by utilizing native trees, shrubs, accent plants, succulents, and groundcovers. The streets abutting the Site will have sidewalks lined with trees, shrubs, and succulents providing a pleasant/interesting and cool environment to walk. The open space/courtyards and paseo areas will contain landscaping to provide for a friendly, enjoyable, useable, and shaded environment for residents to traverse and utilize the Site's amenities or for quiet contemplation. The amenity plan for The Peacock apartment community will be on par or above what other similar developments provide. More specifically, the north tower will have a generous lounge, recreation, and fitness spaces encircling the pool area with uninterrupted views into the courtyard within the north tower. The south tower will include a more verdant and passive courtyard with barbecues, fire tables, and seating. Exterior lighting throughout the property is focused at the ground plane, where indirect fixtures are employed to softly illuminate the tree canopies, wash the textural walls, and brighten the overhangs that lead to pedestrian entries. These open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. The landscape palette is in keeping with a Sonoran Desert theme and water conservation measures by strategically locating low water use trees, shrubs, groundcovers, etc. to create a lush appearance that cools the environment both internally and externally (i.e., along the street frontages) to the Site. (See the *Site Plan and Landscape Plan below as well as the full DR submittal package for more comprehensive information regarding the request.*)

SITE PLAN



LANDSCAPE PLAN

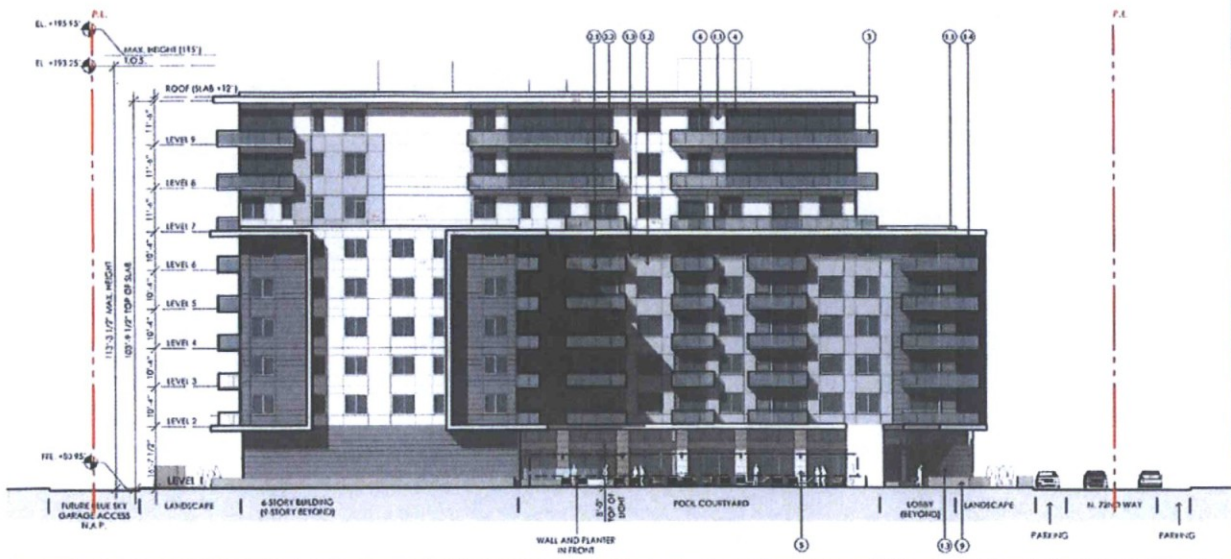


b) Building Architecture

The building architecture features varied massing, varying roof heights, architectural features, materials and façade detailing found in many luxury multi-family developments in Scottsdale. More specifically, the architectural character is a contemporary design which will utilize the most current building materials to provide for an energy efficient development. The building masses are broken up into two (2) towers. Architecturally, in addition to the stepbacks, which significantly diminish their perceived mass, the towers are articulated with layers. The main body of the towers consists of a primary layer of solid wall punctuated by deep-set windows; a second wall layer is recessed at the balconies and darker in color, emphasizing the perceived depth of the building exterior. Balconies cantilever in front of the wall surface, creating a pattern of sculptural elements which broaden, like a tree canopy, toward the top of the towers, where the exclusive penthouse units are located, while providing shade to the units below. The color palette is inspired more by the Arizona sky, focusing on the dramatic colors of the seasons. Primary materials for the towers include exterior plaster, transparent glass balcony railings, painted concrete at the balconies, and a variety of high quality and textural hard-surface finishes at the ground level. These architectural treatments help vary the roof lines vertically.

The massing and detailing emphasize the promotion of pedestrian activity including a walkable street level building design lined with lighting, trees, and shade. The street-fronting walls of the building at ground level are mostly solid, but accented with large scale, upgraded hard surface materials that reflect the overall high quality design level of the community. This design paradigm provides a nice base for the more articulated design paradigm occurring higher up on the towers.

The overarching intent is to create a compatible development design for the area while also being a unique, high quality, and visually appealing for one to want to live in close proximity to work, entertainment, restaurants, etc. for long term economic success. (See the *example of a proposed Elevation below as well as the full DR submittal package for more comprehensive information regarding the request.*)



III. Development Review Board Criteria

CRITERIA 1: Describe the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Response: The Peacock apartment community will provide an upscale luxury rental community designed to satisfy a very particular niche in the rental market (i.e., for residents seeking highly refined urban living in a walkable environment). The total number of units proposed is 160 spacious dwellings arranged in two (2) towers surrounding two (2) amenity courtyards and traversed by a public pedestrian paseo for this development and beyond. Each of the towers provide undulation massing changes and stepbacks in height that ultimate rise up to ten (10) stories. These stepbacks create a softer visual experience and preserves view corridors. Moreover, the stepbacks provide an opportunity to provide a private roof-top deck for the residents. All dwelling units have generous cantilevered balconies. These balconies also help to provide shade in the façade. All the parking will be contained with an underground parking garage as part of the structure of the buildings with a few on street parking spaces. More importantly the proposal is consistent with the General Plan guidelines, Design Standards and Policies Manual, the Downtown Plan Character Area, and Downtown Urban Design & Architectural Conformance as noted.

➤ The General Plan

❖ THE GENERAL PLAN

Pursuant to the city's Long Range planning principles, as outlined in the General Plan, the proposed mixed-use project's uses and design elements closely align with and reinforce the city's goals, among them:

- "Promoting the livability of the community and enhancing and protecting neighborhoods and ensuring and sustaining the quality of life for all residents and visitors."
- "Enhancing and protecting neighborhoods"
- "Ensuring and sustain the quality of life for all residents and visitors."

This DRB request provides for passive and active open spaces, and public benefits that are desired to enhance, protect, and sustain quality of life for the immediate neighborhood. The development provides many of the elements reflective of the goals and policies of the Scottsdale Design Guidelines, Downtown Plan Character Area, and General Plan that speak to the intent of creating livable communities and a high quality of life/design desired by the city's citizens.

In addition, the proposed development meets the six (6) guiding principles from the General Plan.

General Plan – Six Guiding Principles:

1. Value Scottsdale's Unique Lifestyle & Character.
2. Support Economic Vitality.
3. Enhance Neighborhoods.
4. Preserve meaningful Open Space.
5. Seek Sustainability.
6. Advance Transportation.

Responses:

1. Value Scottsdale's Unique Lifestyle & Character:

Response: Scottsdale is world renowned for a tourism and resort lifestyle. The live, work, and play theme extends the concept of the unique Scottsdale lifestyle by offering an opportunity to utilize the surrounding amenities, services, entertainment, recreation, business, and multi-modal transportation corridors within easy access to residences (i.e., in this case apartments). Within close proximity to the Scottsdale Fashion Square, the Waterfront, cultural/civic institutions, and canal trail system among the many of the other businesses in the area, this proposed development offers a modern, active, and exciting lifestyle rooted in a location that provides easy access to some of the best amenities the Scottsdale lifestyle has to offer. This location provides the location, lifestyle, and services that appeal to everyone.

2. Support Economic Vitality:

Response: This proposed development will generate sales tax revenue from new tenants, property taxes, and indirect revenues spent within the area at nearby businesses, which generates a substantial new economic benefit to the city. Moreover, increased residents within the area provides for greater opportunities to locate new employers wanting a more urban downtown feel with close proximity to housing, retail, entertainment/recreation, and transportation options.

3. Enhance Neighborhoods:

Response: The proposed project will best utilize the Site, which is located. This project will enhance pedestrian activity and connectivity of various areas, as well as bring to the area an active residential community. The economic spin-off related to the new community provides revenue to surrounding property owners businesses through shopping, dining, and nearby recreation/entertainment.

4. Preserve Meaningful Open Space:

Response: This project will continue the original vision for the area of the connected public paseo. The proposed apartment community and its building design (i.e., two (2) towers) as well as a landscaped public paseo that leads from the canal, Safari I, through the development and continuing on through to Blue Sky will allow for both active (i.e., running, biking, events, etc.) and passive (i.e., sitting, strolling/walking, etc.) recreation.

5. Seek Sustainability:

Response: The density and design of this urban downtown multi-family development uses less land area and encourages a more mobile lifestyle other than via an automobile (e.g. walking, biking, and transit). Other design considerations include: building materials; native landscaping which will reduce water use, and connecting into the existing built infrastructure.

6. Advance Transportation:

Response: A mix of uses and nearby services encourages alternative modes of transportation through walking and bicycling. By providing for the development of an exciting and active paseo/internal streets/cul-de-sac in conjunction with improved landscaping will help activate the area. More importantly the area around Safari I will be greatly improved and enhanced to provide more opportunities for both projects to connect, intermingle and as such other means of transportation, while still providing for automobiles but at lesser level. Moreover, pedestrian amenities such as shade, seating, and bicycle parking will be provide with this development which continue to encourage multimodal options as well as the "park-and-go" concept to multiple destinations within the downtown area.

Furthermore, the proposed development adheres to the mission values, noted below, from the General Plan's land use element that contribute to Scottsdale's identity and provide a balance of uses adequate for the live, work, and play theme.

- "Land uses should provide for an unsurpassed quality of life for both its citizens and visitors."
- "Land uses should contribute to the unique identity that is Scottsdale."
- "Land uses should work in concert with transportation systems in order to promote choice and reduce negative impacts upon the lifestyle of citizens and the quality of the environment."
- "Land uses should provide opportunities for the design of uses to fit and respect the character, scale and quality of uses that exist in the community."

The public benefits of this proposed development furthers the mission values listed above by building upon a live, work, and play environment that enhances the public realm by providing significant improvements/enhancements as well as activating the ground level with the paseo, architecture, art, and events.

The following Elements and Goals from the General Plan are met with this proposed DRB request.

Land Use Element

Goal 3, Bullet Point 2: Encourage the location of more intense mixed-use centers and regional employment cores along regional networks while incorporating appropriate transitions to adjoining land uses.

Response: Downtown Scottsdale and the Site's location will support and enhance both the existing and proposed residential communities building downtown as well as transition between the a major retail center (Scottsdale Fashion Square) and surrounding retail/businesses. Appropriate transitions have been incorporated by way of design solutions (i.e., strategically locating loading/refuse areas, undergrounding parking, etc.) and building setbacks. This development will create a more walkable and enjoyable environment that helps to complete the streetscapes by creating a street scene/theme similar to the Safari I development.

- Support jobs/housing balance by integrating housing, employment, and supporting infrastructure in mixed-use centers located at appropriate locations.

Response: This development will support the jobs and housing balance by providing an appropriate balance of commercial/retail as well as infrastructure services along with the residential population base helps to support new and existing employment users.

Goal 7, Bullet Point 5: Incorporate open space, mobility, and drainage networks while protecting the area's character and natural systems.

Response: Private and public, passive and active forms of open space are found throughout the proposed site plan. The Site also provides for the continuation of the public paseo. These open space areas provide areas for contemplation, recreation (passive/active), cooling, and visual interest both onsite and offsite. Mobility and connections through the site and surrounding area are enhanced with this proposed development. Native landscaping, open spaces, and underground drainage have been incorporated in an environmentally sensitive manner.

Goal 8, Bullet Point 2: Develop and reinforce links (i.e. trails, paths, open space, transit, and streets) within and between residential, retail, employment, recreational and other public land uses.

Response: Paths, connections, and open spaces have been carefully connected throughout and surrounding the site to provide for comfortable connections and alternative modes of transportation to surrounding uses.

- Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips, and support alternative modes of mobility.

Response: This project utilizes the existing infrastructure already in place and takes advantage of this prime location for such a development because of the surrounding employment, retail, and services. With a broad variety of employment and uses within walking distance, this development encourages and taps into those users within walking distance and by developing this long vacant Site encourages walkability and alternative modes of transportation - limiting automobile trips.

Growth Areas Element

Goal 3, Bullet Point 2: Provide open spaces in designated growth areas that encourage public gathering, enhance aesthetics, preserve viewsheds, and serve as buffers between uses of significantly differing function and intensity.

Response: Open spaces have been strategically laid out within the development onsite for both the residents and public. The continuation of the landscaped public paseo that leads from the canal, Safari I, through the proposed development and continuing on through Blue Sky keeps that area open and connected serving as both a connection spine as well as an amenity/event area for the public. The open space areas proposed as well as the enhanced design aesthetics (i.e., building stepbacks) will help to preserve viewsheds that will also serve as buffers – all for a greater public benefit. Again, this development strengthens the design and character of the area and enhances streetscapes that promote a safe, comfortable, and an aesthetically pleasing pedestrian environment.

Housing Element

Goal 3, Bullet Point 1: Encourage and establish appropriate incentives for development of aesthetically pleasing housing that will accommodate a variety of income levels and socioeconomic needs.

Response: The proposed development will be aesthetically and visually pleasing both from the ground and from a distance. The proposed development will also

allow for another housing opportunity (i.e., rental) within this immediate area to support the existing uses, income levels, and socioeconomic needs.

Goal 4, Bullet Point 1: Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live/work choices to a broader economic range of households.

Response: This development provides a different level/option in housing density within downtown Scottsdale, while also providing a needed population base for the economic center of the City which further enhances the live/work philosophy of downtown.

Community Mobility Element

Goal 8 Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.

Response: This development will contribute to the existing live, work, and play theme seen in adjacent developments in this location, and particularly throughout downtown. The proposal provides for walkability and encourages alternative modes of transportation to reduce automobile trips and ultimately the strain on regional and local/neighborhood systems. The project is ideally suited for the area and the vision originally proposed for the Site.

Goal 8, Bullet Point 3: Encourage, where appropriate, mixed use developments that physically incorporate residential, shopping and work environments within one area or project and place strong emphasis on connectivity with non-motorized access (pedestrian oriented development).

Response: This proposed development is ideally located in an area envisioned for such a use (i.e., residential) building height and density of people to support various commercial/retail services and business in the immediate area and downtown. Furthermore, the development is designed with the intent to reduce automobile trips (i.e., the public paseo) and encourage pedestrian oriented development by including ground interest and enhancing the streetscapes to be more walkable, comfortable, and aesthetically pleasing.

Goal 11: Provide opportunities for building "community" through neighborhood mobility.

- Encourage the sensitive integration of live, work and play land uses and their physical links within and between neighborhoods to emphasize sense of place.

- Provide a high level of service for pedestrians through facilities that are separated and protected from vehicle travel (e.g., placing landscaping between curbs and sidewalks).
- Emphasize strong pedestrian orientation (e.g. shaded safe paths, links to civic spaces) to foster a strong sense of community.

Response: The design for this development provides the opportunity to build community through neighborhood mobility (i.e., walkability) and connectivity (i.e., connecting Safari I to Scottsdale Road and Scottsdale Fashion Square) by placing and providing pedestrian amenities and an enhanced public open space connection (i.e., paseo). In addition, the proposed development itself will provide for ground floor interest/landscaping, use, and “eyes on the street” to encourage activity for better neighborhood interaction. Additionally minimizing surface parking to underground and providing for wide sidewalks with a few parking spaces will protect and elevate the pedestrian over automobiles.

➤ **The Downtown Plan Character Area**

The Downtown Plan serves as the comprehensive policy document that guides growth and development decision for Downtown Scottsdale. The Downtown Plan designates the Site as Downtown Regional - Type 2. Type 2 developments are designated for greater scale, height, and intensity than Type 1 developments. The proposal complies with and advances numerous stated goals of the Downtown Plan as outlined below.

Downtown Land Use

Goal LU 1: Maintain downtown Scottsdale as the commercial, cultural, supportive land uses.

Policy LU 1.1: Revitalization should allow Downtown to remain competitive in local, regional, national and international markets.

Policy LU 1.2.: Maintain Downtown as a year-round, 24-hour highly functional mixeduse center, containing areas of different densities, architectural styles, and land uses that support the needs of Scottsdale’s residents and visitors.

Policy LU 1.3.: Maintain a balance of Downtown land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities, and the economic base needed to secure resources that support the community.

Response: Clearly this long term vacant parcel has been a blight/eyesore on the area and its immediate residents at Safari I; as such the approval of this proposed apartment community development (The Peacock) will improve the area and will help continue the momentum that the downtown is experiencing in

become even more unique/cosmopolitan as well as competitive locally, regionally, nationally and internationally. By providing diverse opportunities for residential of all scale, design, intensities, income levels, and sizes creates a more urban, 24-hour, vibrant, walkable downtown that will support the commercial/retail, cultural, and employment users already there as well as others who are seeking innovative, unique, mix, cosmopolitan downtowns to locate. Obviously this area is highly sought after and the ultimate development will usher in new and renewed interest in further development/redevelopment.

GOAL LU 2: Promote the development of downtown as a collection of mixed-use urban neighborhoods.

Policy LU 2.1.: As a General Plan designated Mixed-Use Neighborhood, Downtown Scottsdale should offer efficiencies of strong access to multiple modes of transportation and major regional access and services, focus on human scale development, accommodate higher density housing combined with complementary office or retail uses, and accommodate vertical mixed-use structures.

Policy LU 2.2.: Support interconnected pedestrian oriented urban neighborhoods that are comprised of a balanced mix of activities and land uses within optimal walking distance (approximately one-quarter mile).

Policy LU 2.7.: Maintain, enhance, and expand the development of a *Downtown Regional* urban neighborhood with primary land uses consisting of regional/community serving commercial uses, as well as larger scale housing developments. Centered around major regional retail, this urban neighborhood will strengthen Downtown Scottsdale as a regional and community destination. The greatest intensity of Downtown development may be accommodated in this urban neighborhood

Response: Of importance, the two (2) mid-rise towers of the proposed apartment community is that they separated, as previously envisioned by Safari II, by a landscaped public paseo that leads from the canal, Safari I, through the proposed development and continuing on through Blue Sky. Thus, connecting all of these developments together as well as providing a pedestrian corridor from the canal to Scottsdale Road. This proposed development is also ideally located in an area envisioned for such a use (i.e., residential) building height and density of people (i.e., Safari II) to support various commercial/retail services and business in the immediate area and downtown to create the urban neighborhood planned north of Camelback Road and west of the canal. Furthermore, the development is designed with the intent to reduce automobile trips (i.e., the public paseo) and encourage pedestrian oriented development by including ground interest, enhanced streetscapes, bike parking, and limited on street/surface parking to be more walkable, comfortable, and aesthetically pleasing. The density and design of this urban downtown multi-family development uses less land area and encourages a more mobile lifestyle other

than via an automobile (e.g. walking, biking, and transit). Finally, the entire Site is interconnected by walkways which link up to public sidewalks and bike paths encouraging multimodal options.

GOAL LU 5: Enhance, expand, and create new downtown public realm and open space areas.

Policy LU 5.1.: Provide for more open space areas within the Downtown that may include central gathering places, a series of smaller, intimate spaces, as well as active and passive recreational use opportunities.

Policy LU 5.2.: Establish an interconnected Downtown public realm and open space network that is accessible, safe, and inviting to all members of the community.

Policy LU 5.3.: Private and public development should contribute to the creation of new, and/or expansion of existing, public realm and open space areas throughout Downtown.

Response: The proposed apartment development will continue and enhance upon the public paseo planned between Safari I through this proposed development and continuing on through to Blue Sky. Thus, connecting all of these developments together as well as providing a pedestrian corridor from the canal to Scottsdale Road. The quality and interest of the design provides for a unique connection with landscaping and interesting features to encourage both those living in the apartment community and Safari I to utilize as well as the general public. Once finished, this will be a City asset that will be an example of providing quality pedestrian connection through developments that are user friendly, enjoyable, useable (i.e., events), areas for quiet contemplation, and most importantly a shaded environment for all to use.

GOAL LU 6: Promote diversity in downtown housing options.

Policy LU 6.1.: Develop a variety of housing types such as apartments, condominiums, loft s, town homes, patio homes, and live/work units.

Policy LU 6.2.: Recognize the need for housing developments that are large scale projects with numerous units and amenities, as well as small infill projects with a limited number of units.

Response: The proposed development will be a high-quality/luxury/mid-rise apartment community that is both aesthetically and visually pleasing as well as providing rental housing (i.e., apartments) at a different square footage per unit, amenities, and scale. The project will be nicely designed both from the ground and from a distance. The proposed development will support the existing uses, income levels, and socioeconomic needs with the downtown.

Goal LU 7: Support a mix of land uses that promote a sustainable downtown.

Policy LU 7.2: Encourage development to make cost effective use of existing urban resources such as infrastructure systems, underutilized sites, buildings, and transportation networks.

Response: Clearly the development proposal is a cost effective and sustainable use of the downtown's existing resources (e.g., infrastructure systems, street systems, public/cultural/safety amenities, and transportation systems). The ultimate development will ensure an efficient and sustainable planning principle of infill development.

Character & Design

Goal CD 1: The design character of any area should be enhanced and strengthened by new development that promotes contextual compatibility.

Policy CD 1.1: Incorporate, as appropriate, in building and site design, the distinctive qualities and character of the surrounding, and/or evolving context.

Policy CD 1.4.: Promote Downtown urban and architectural design that is influenced by, and responds to, the character and climate of the Sonoran Desert.

Policy CD 1.5.: Encourage urban and architectural design that addresses human scale, and provides for pedestrian comfort.

Policy CD 1.8. Encourage new development and revitalization that is composed of complementary and/or supportive design relationships with the established urban form, as well as design features and materials of the neighborhoods within which they are sited.

Response: The overarching intent is to create a compatible development design for the area while also being a unique, high quality, and visually appealing development for one to want to live in close proximity to work, entertainment, restaurants, etc. for long term economic success. The community has been designed to work in harmony with both the existing Safari I condominiums to the south and east, and the future Blue Sky condominium project to the west. Moreover specifically, the design strategy for proposed apartment community (The Peacock) was one of timeless elegance as well as a pleasant counterpoint to the highly articulated and colorful Safari I project. In addition, balconies cantilever in front of the wall surface, creating a pattern of sculptural elements which broaden, like a tree canopy, toward the top of the towers, where the exclusive penthouse units are located, while providing shade to the units below. The color palette is inspired more by the Arizona sky, focusing on the dramatic

colors of the seasons. Primary materials for the towers include exterior plaster, transparent glass balcony railings, painted concrete at the balconies, and a variety of high quality and textural hard-surface finishes at the ground level.

The ultimate development of this apartment community will serve to help continue connecting existing/future commercial/retail districts within the downtown via the public paseo and through the basic predicate of developing the property (i.e., thus garnering more interest in developing the remaining vacant land).

GOAL CD 4: Strengthen pedestrian character and create strong pedestrian linkages.

Policy CD 4.1.: Develop an attractive, interconnected network of safe and walkable pedestrian linkages to, within, and between, the various downtown urban neighborhoods.

Policy CD 4.2.: Development should demonstrate consideration for the pedestrian by providing access and connections to adjacent developments.

Response: By providing for the development of an exciting and active paseo/internal streets/cul-de-sac in conjunction with improved landscaping will help activate the area. More importantly the area around Safari I will be greatly improved and enhanced to provide more opportunities for both projects to connect and intermingle. More importantly, by the continuation of the landscaped public paseo from the canal, Safari I, and on through to Blue Sky keeps them connected (i.e., to themselves and to the downtown urban neighborhoods) as well as an amenity/event area for the public and, thus, a focus of a "point of pride" for those residents.

Mobility

Goal M 4: Ensure a convenient and adequate parking supply downtown.

Policy M 4.1: Develop a "park once environment" downtown, where users can access multiple destinations without needing to move their private vehicle.

Response: The proposal meets the required parking of the City Ordinance. All the parking will be contained with an underground parking garage as part of the structure of the buildings with a few on street parking spaces. The mixed-use environment existing within the immediate area (i.e., Scottsdale Fashion Square, restaurants, businesses, etc.) along with the public paseo to travel beyond this location will foster a "park once environment."

GOAL M2: Create complete, comfortable, and attractive pedestrian circulation systems.

Policy M 2.1.: Design the public realm to include enhanced requirements for sidewalk space. Provide adequate space for meeting and passing other pedestrians, including queuing space to support desired levels of activity.

Policy M 2.2.: Support pedestrian oriented design that encourages strolling, lingering, and promenading activities, by including pedestrian comfort amenities such as shade, seating, shelter, and lighting, especially in areas where there is a high concentration of pedestrian activity.

Response: The ultimate development of this apartment community and its design will reduce automobile trips due to the excellent location, the public paseo, and public sidewalks with ground interest, enhanced streetscapes, shade, bike parking, ground level lighting, and limited on street/surface parking. The design proposes and encourages strolling, lingering, and promenading activities due to its more walkability, comfort, and aesthetically pleasing pedestrian amenities.

Economic Vitality

Goal EV 2: Promote private investment and attract new development to Downtown.

Policy EV 2.1: Encourage new development and reinvestment that maintains downtown's economic edge in the region.

Policy EV 2.2.: Promote a mix of daytime/nighttime activities year-round through new development that includes vertically mixed land uses and a diverse range of housing development.

Response: As previously noted, clearly this long term vacant parcel has been a blight/eyesore on the area and its immediate residents at Safari I; as such the approval of this proposed apartment community development (The Peacock) will improve the area and will help continue the momentum that the downtown is experiencing in become even more unique/cosmopolitan as well as competitive locally, regionally, nationally and internationally. By providing diverse opportunities for residential of all scale, design, intensities, income levels, and sizes creates a more urban, 24-hour, vibrant, walkable downtown that will support the commercial/retail, cultural, and employment users already there as well as others who are seeking innovative, unique, mix, cosmopolitan downtowns to locate. Obviously this area is highly sought after and the ultimate development will usher in new and renewed interest in further development/redevelopment.

A. Site Development

A1. Relationship to New and Existing Development

#1 (Site Plan Arrangement): The site organization should respect the arrangement of building, open space and landscape elements of adjacent sites.

Response: The proposed apartment community development respects adjacent sites. The community has been designed to work in harmony with both the existing Safari condominiums to the south and east, and the future Blue Sky condominium project to the west. The design will be an upscale luxury rental community designed to satisfy a very particular niche in the rental market (i.e., for residents seeking highly refined urban living in a walkable environment), which will complement the existing condominiums. The total number of units proposed is 146 spacious dwellings, although slightly more than Safari I they are comparable and a good transition from the Blue Sky's proposed higher number of units. In addition the Site is arranged in two (2) towers surrounding two (2) amenity courtyards and traversed by a public pedestrian paseo for this development and beyond. Each of the towers provide undulation massing changes and setbacks in height that ultimate rise up to ten (10) stories. These setbacks create a softer visual experience and preserves view corridors. Moreover, the setbacks provide an opportunity to provide a private roof-top deck for the residents. In conclusion, the proposed development is in substantial conformance with the building massing and many of the design parameters from the previously approved project (i.e., Safari II) for this Site. In fact, the proposed design quality has been enhanced and improved upon to address current market demands and expectations.

#2 (Form and Height): Efforts to coordinate the form and height of adjacent structures are encouraged.

Response: The building architecture features varied massing, varying roof heights, architectural features, materials and façade detailing found in many luxury multi-family developments in Scottsdale. More specifically, the architectural character is a contemporary design which will utilize the most current building materials to provide for an energy efficient development. The building masses are broken up into two (2) towers. Architecturally, in addition to the setbacks, which significantly diminish their perceived mass, the towers are articulated with layers. The main body of the towers consists of a primary layer of solid wall punctuated by deep-set windows; a second wall layer is recessed at the balconies and darker in color, emphasizing the perceived depth of the building exterior. Balconies cantilever in front of the wall surface, creating a pattern of sculptural elements which broaden, like a tree canopy, toward the top of the towers, where the exclusive penthouse units are located, while providing shade to the units below. The color palette is inspired more by the Arizona sky,

focusing on the dramatic colors of the seasons. Primary materials for the towers include exterior plaster, transparent glass balcony railings, painted concrete at the balconies, and a variety of high quality and textural hard-surface finishes at the ground level. These architectural treatments help vary the roof lines vertically.

The massing and detailing emphasize the promotion of pedestrian activity including a walkable street level building design lined with lighting, trees, and shade. The street-fronting walls of the building at ground level are mostly solid, but accented with large scale, upgraded hard surface materials that reflect the overall high quality design level of the community. This design paradigm provides a nice base for the more articulated design paradigm occurring higher up on the towers.

A2. Active street frontages

- Design active building frontages to create inviting indoor and outdoor spaces visible from the sidewalk and street.

Response: The proposed apartment development will continue and enhance upon the public paseo planned between Safari I through this proposed development and continuing on through to Blue Sky. The quality and interest of the design provides for a unique connection with landscaping and interesting features to encourage both those living in the apartment community. Moreover, the two (2) towers define street edges, where possible, such as: along Coolidge Street and the existing Safari I entry drive, but “opens up” at the cul-de-sac creating a focal point for both this development and Safari I as well as providing a “grand entrance” area for both developments.

A3. Courtyards and passages

- All new developments are encouraged to incorporate courtyards and other outdoor pedestrian spaces into their site plans and to establish linkages with the outdoor spaces of neighboring buildings and sites.

#3. (Outdoor passages and linking spaces): Outdoor passages and courtyards that provide links between neighboring sites and buildings are encouraged throughout the downtown pedestrian districts.

Response: This project will continue the original vision for the area of the connected public paseo. The proposed apartment community and its building design (i.e., two (2) towers) as well as a landscaped public paseo that leads from the canal, Safari I, through the development and continuing on through to Blue Sky will allow for both active (i.e., running, biking, events, etc.) and passive (i.e., sitting, strolling/walking, etc.) recreation. The open space/courtyards as well as the public paseo areas will contain landscaping to provide for a friendly, enjoyable, useable, and shaded environment for residents to traverse and utilize

the Site's amenities or for quiet contemplation. The amenity plan for the apartment community will be on par or above what other similar developments provide. More specifically, the south tower will include a more verdant and passive courtyard with barbecues, fire tables, and seating. Finally, the entire Site is interconnected by walkways which will link up to public sidewalks and bike paths encouraging multimodal options.

A4. Parking Facilities

- Minimize the visual impact of parking structures and parking lots by locating them at the rear or interior portions of building sites.

Response: All the parking will be contained with an underground parking garage as part of the structure of the buildings with a few on street parking spaces. Thus, by being underground the parking is visually minimized. In addition, access to two (2) levels of secure below grade resident parking is taken via a ramp off the existing cul-de-sac shared with the adjacent Safari I, and does not interfere with the public paseo.

A5. Building equipment and services

- Locate service and loading zones to minimize visibility from public streets.
- Mechanical and electrical equipment, solar collectors, satellite dishes and communications equipment should be concealed from view of public streets and neighboring properties.

Response: Each tower also includes a loading area at the ground floor and integrated into the building design with roll up doors for move-ins, generally located away from the prime pedestrian passages. Trash pickup is from the north building on Coolidge Street and strategically located, also integrated into the building design with roll up doors, as far as possible from the main ground floor activity areas while still functioning (access/loading) properly for both the City and the residents.

All mechanical equipment that is either roof mounted or ground mounted will be hidden from view by screen walls and other architectural features associated with the building. Electrical meters are hidden from public view and integrated into the elevation design. All roof drainage will be hidden from exterior view.

A8. The continuity of street spaces

- Buildings should create consistent street setback patterns by locating a maximum amount of their front elevation on the setback line.

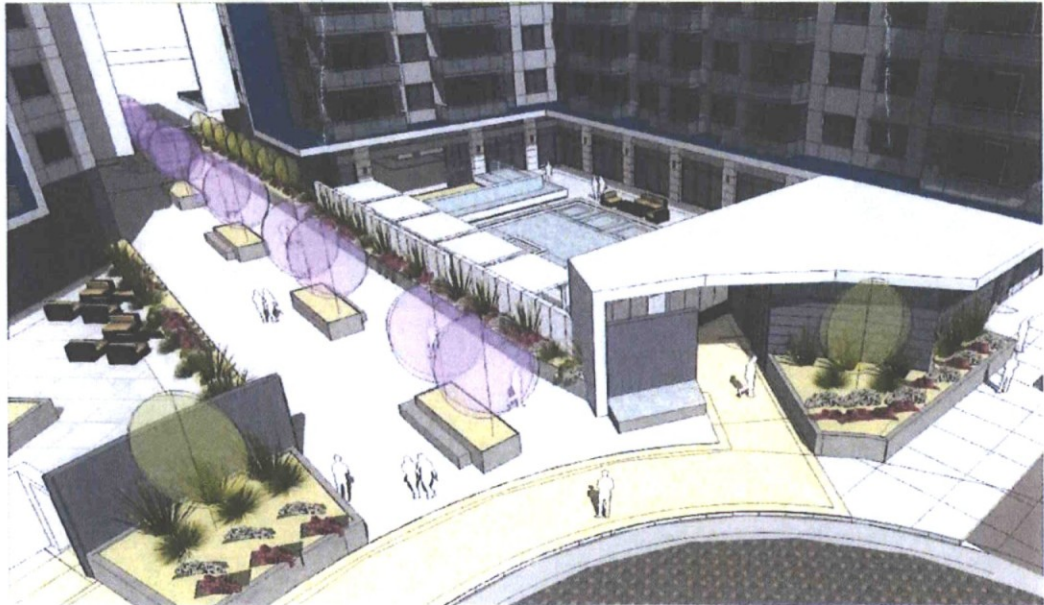
Response: The two (2) towers address/front the streets with abutting sidewalks and landscaping to create a strong presence and consistent with the original development proposal for the property (i.e., Safari II) and the existing Safari I. Thus, this creates a strong urban context at the corners with a unique public paseo bifurcating the two (2) towers and adding greater emphasis to ease of pedestrian movement and comfort.

A9. The building setback zone

- The building setback zone should be developed as a "patio" landscape designed primarily for pedestrian activity and enjoyment.

Response: The two (2) towers connect to the public paseo and cul-de-sac area (see graphic below) creating a "grand" entrance with geometric paving patterns as well as a variety of textures/colors. Plantings will help soften the area, provide shade, and interest. Thus creating a place for pedestrians/residents can congregate and interact together. The space helps to interconnect Safari I with the proposed development, which will expand beyond with the future development of the Blue Sky project.

Perspective - Public Paseo/Cul-de-sac



B. Building Form

B1. Reduction of apparent size and bulk

- Downtown buildings of three or more stories should be designed as carefully-orchestrated compositions of smaller parts. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components. Suggested methods are

encouraged, but other approaches that achieve the same objectives are acceptable.

#1 (Horizontal Composition): Three-part organization of building form.

#2 (Composition of Recesses and Projections): Recesses and projections are encouraged to divide horizontal planes of the building into smaller-scale elements and to produce strong areas of shade and shadow.

- Projections may be used to emphasize important architectural elements such as entrances, bays, stair towers, balconies and verandas.

#3 (Special Provision for Higher Buildings): Buildings over 3 stories high, especially those built at or near the 72 foot maximum, should reduce the visual impact of taller elements as viewed from the street.

Response: The proposed development provides for stepbacks, which significantly diminish their perceived mass, the towers are articulated with layers. These stepbacks create a softer visual experience and preserves view corridors. Moreover, the stepbacks provide an opportunity to provide a private roof-top deck for the residents. In addition, the main body of the towers consists of a primary layer of solid wall punctuated by deep-set windows; a second wall layer is recessed at the balconies and darker in color, emphasizing the perceived depth of the building exterior. Balconies cantilever in front of the wall surface, creating a pattern of sculptural elements which broaden, like a tree canopy, toward the top of the towers, where the exclusive penthouse units are located, while providing shade to the units below.

At the ground level, particular sensitivity has been given to both the hardscape and landscape to enhance the pedestrian environment. Contrasting the textural wall is the enclosure of the north courtyard, where the pool is located, which is a smooth and sleek near-white hard-surface veneer. Both the textured and smooth walls serve as backgrounds against which large masses of native and desert-friendly landscaping are displayed.

B2. Covered walkways

- All downtown buildings are encouraged to provide a covered walkway or other form of shaded base on street-facing elevations

Response: Along with shade from trees there are balconies at the lower (2nd story) that periodically cantilever in front of the wall surface and provide additional shade.

C. Architectural Character

C1. Proportion and scale

- Development proposals should demonstrate evidence they have studied the predominant scale and proportions of buildings in the district and street where they are to be located. Elevation sketches, photographic montages and other graphic studies are encouraged.

Response: The proposed design has been thoroughly researched (market tested) and evaluated with the existing and future projects to be built in the area. The massing of the project is severely reduced with the splitting of the project into two (2) towers and creates a more open and transitional feel from the Safari I (less intense) to the more intense proposed Blue Sky development along Scottsdale Road. The proposed design focuses the "back of house" uses and other utilitarian items away from the main pedestrian areas (i.e., public paseo/cul-de-sac) and hidden/integrated into the building from view, while still providing functionality.

Moreover, as previously stated, the design provides for stepbacks, cantilevered balconies, recesses, and a public paseo (i.e., bifurcating the Site), which significantly diminish the two (2) towers' perceived mass as well as the towers are articulated with layers. The stepbacks also create a softer visual experience and preserves view corridors. In addition, the ground level has been a diverse/interesting hardscape and landscape palette that enhances the pedestrian environment and movement. Thus, the design satisfies the intent of the this section.

C2. Building materials

- Restraint should be used in the number of different building materials selected. Simplicity of palette is desired.
- Building materials similar to those in predominant use on the street or in the district of the new project are encouraged.
- Wall detailing should recess glass surfaces in shadow as deeply as possible within the limits of the selected construction system.
- Highly reflective materials that create glare should be avoided.

C3. Color and texture

- Building colors should emphasize light and muted colors, with light earth tones dominant.
- Color selection should show evidence of coordination with the predominant use of color on the street and district of the new project.

Response: The materials and façade detailing are consistent with and found in many luxury multi-family developments in Scottsdale. More specifically, the architectural character is a contemporary design which will utilize the most current building materials to provide for an energy efficient development. The color palette is inspired more by the Arizona sky, focusing on the dramatic colors of the seasons, which provides a pleasant counterpoint Safari I project. Primary materials include exterior plaster, transparent glass balcony railings, painted concrete at the balconies, and a variety of high quality and textural hard-surface finishes at the ground level.

C3. Architectural detail

- Surface detail, ornament and other elements that enrich architectural character are encouraged.

Detail: Cornices, ornamental mouldings, lamps and other details that provide visual interest, shadow, contrast and color are encouraged. This is especially desirable at the pedestrian level. Details should be carefully integrated with the design concept of the building.

Response: Architectural detailing is used differently on the ground level vs. the upper stories of the towers. The ground level provides detailing in paving patterns/textures/colors, building finishes, light fixtures, signage, and streetscape plantings. In addition, a major feature of the entry/access plaza area is a curving, monolithic wall covered with highly articulated stone tiles. Contrasting with this textural wall is a smooth and sleek near-white hard-surface veneer that encloses the pool/courtyard area. Both the textured and smooth walls serve as backgrounds for the landscaping, which better displays them. All of these details are used to enhance the visual environmental and experience for the pedestrian.

The upper stories of the towers the details are expressed via the use of stepbacks, cantilevered balconies, and recesses, which significantly diminish the perceived massing. More specifically, the main body of the towers consists of a primary layer of solid wall punctuated by deep-set windows; a second wall layer is recessed at the balconies and darker in color, emphasizing the perceived depth of the building exterior. Balconies cantilever in front of the wall surface, creating a pattern like a tree canopy while providing shade to the units below. Finally, the stepbacks, along with the public paseo, create a softer visual experience and preserves view corridors. All of these details to the façade will help mitigate the height visually as well help to reduce, where possible, heat gain.

D. Landscape Character

D1. Streets

7. The main pedestrian entry into the community is at "grand" entrance/cul-de-sac area, where public paseo passes through. A guest or resident will pass through a well-conceived building entrance; once through, the entire vista of the pool courtyard space beckons.
8. Large or long continuous wall planes are avoided within the proposed design. The architectural elevations are broken up vertically by varying the rooflines, balconies, recesses, and elevated architectural features. This horizontal relief occurs, where possible, approximately every 100 lineal feet with the use of building materials/textures, the public paseo, and the grand entrance/cul-de-sac area along with the natural curvature of the Site.
9. Building surfaces are created with a change of wall planes along with the balconies that provide strong shadow and visual interest; thus, reducing the massing.
10. Cantilevered balconies create shade and shadow along the building wall and ground level. In addition, the strong, alternating light and dark pattern/colors proposed in the design is a distinctive quality.
11. Projections and wall plane changes are used to emphasize important architectural elements as well as shading, such as entrances and the public paseo.

The proposed project is compatible with and contributes to its surrounding uses/area, which continues to evolve towards a more active, dynamic, and vibrant downtown. With that being said, the proposed apartment development design complies in overall height, setbacks, high quality architecture, and pedestrian/vehicular connectivity to seamlessly blend within the existing built environment consistent with previous approvals. However, the project is a unique residential development onto itself.

- d. *Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and*

Response: The project is not located within Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District.

- e. *Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.*

Response: The project is not located within a Historic Property Overlay District.

CRITERIA 3: *Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.*

Response: All the parking will be contained with an underground parking garage as part of the structure of the buildings with a few on street parking spaces. Thus, by being underground the parking is visually minimized. In addition, access to two (2) levels of secure below grade resident parking is taken via a ramp off the existing cul-de-sac shared with the adjacent Safari I, and does not interfere with the public paseo.

In addition, the required \$150,000 for canal bank improvements stipulated in Case 65-ZN-1992#8 will be utilized for the City of Scottsdale requested improvements per Circulation comment #73 in the DRB response comments dated January 18, 2017. The total cost of the proposed off-site improvements is \$59,274 (see breakdown in submittal package). These public improvements will finish the connection from the canal path, through Safari I, through Peacock, and along the proposed Blue Sky project to the lighted intersection at Scottsdale Road. All of these improvements are off-site of Peacock and for the benefit of the public. The remaining improvement funds of \$90,726 (\$150,000 less \$59,274) will be paid as an in-lieu contribution.

CRITERIA 4: *If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.*

Response: All mechanical equipment that is either roof mounted or ground mounted will be hidden from view by screen walls and other architectural features associated with the building. Electrical meters are hidden from public view and integrated into the elevation design. All roof drainage will be hidden from exterior view.

All roof access at both buildings will be provided via internal core stairwells. As a result, there will be no exterior roof ladders visible to the public.

Additionally, per Stipulation #14 from Case 65-ZN-1992#8, the project will comply with the COS amended IGCC 2015 version. The methodology used for complying with the performance of the envelope will be through a performance model analysis.

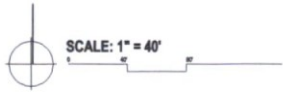
CRITERIA 5: *Within the Downtown Area.*

Response: Yes, project is not located within the Downtown Area. Please see Criteria 1 for additional information regarding conformance with the Downtown Area.

CRITERIA 6: *The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program.*



- KEY NOTES**
1. SIDEWALK
 2. PASEO - PUBLIC ACCESS THROUGH SITE
 3. PASEO CONNECTION TO FUTURE BLUESKY BRIDGE ACCESS TO SCOTTSDALE ROAD
 4. VEHICULAR INGRESS AND EGRESS RAMP TO PEACOCK
 5. VEHICULAR INGRESS AND EGRESS RAMP TO SAFARI I
 6. EGRESS PATH TO PUBLIC WAY
 7. PRIVATE OPEN SPACE
 8. TRASH ACCESS
 9. FUTURE CROSSWALK AND PUBLIC ACCESS TO THE AZ CANAL TRAIL
 10. PUBLIC ACCESS TO AZ CANAL TRAIL
 11. CROSSWALK
 12. ELECTRIC TRANSFORMERS AND SWITCH



SCOTTSDALE
AZ

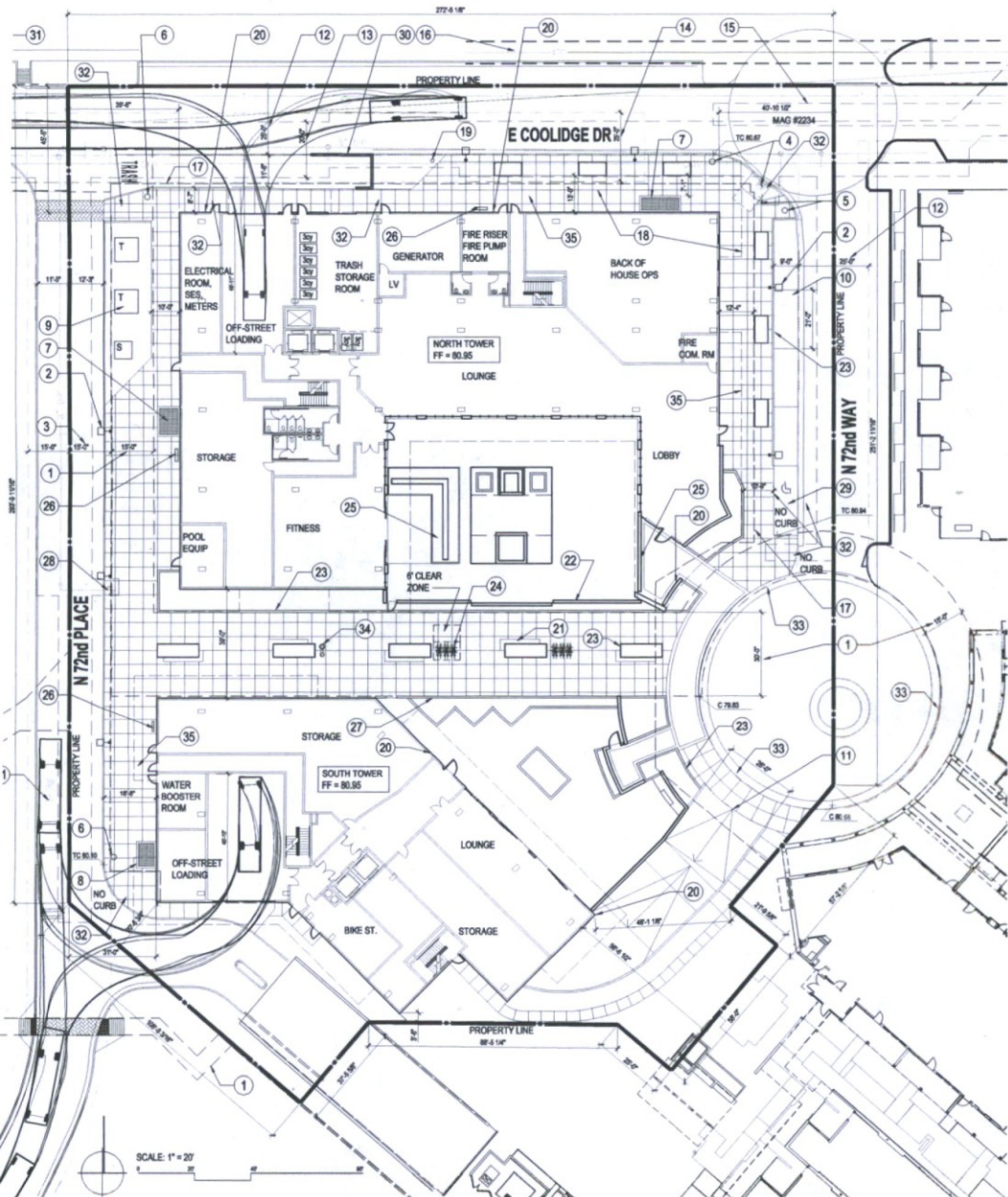


CONTEXT PLAN
6/5/2017

WORKSBUREAU | HUMPHREYS & PARTNERS ARCHIT
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

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56-DR-2016
6/9/2017



KEY NOTES

- PUBLIC ACCESS EASEMENT
- STREET LIGHTS
- EMERGENCY VEHICLE ACCESS EASEMENT
- EXISTING FIRE HYDRANT TO BE RELOCATED IN SAME AREA BUT FREE OF PEDESTRIAN PATH
- EXISTING STAND PIPE FOR SAFARI 1 TO BE RELOCATED IN SAME AREA BUT FREE OF PEDESTRIAN PATH
- FIRE HYDRANT
- GARAGE EXHAUST VENT
- GARAGE FRESH AIR VENT
- TRANSFORMERS & SWITCH
- ON STREET PARKING (S)
- INGRESS & EGRESS RAMP
- EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
- WATER & SEWER EASEMENT
- INGRESS & EGRESS EASEMENT
- # ELECTRICITY EASEMENT
- # GAS EASEMENT
- LINE DENOTES B1 GARAGE FOOTPRINT
- DASHED LINES DENOTES STRUCTURE ABOVE REMOTE FOC FOR PEACOCK - LOCATED PER ORDINANCE
- KNOX BOX
- BENCH
- POOL FENCE
- RAISED PLANTERS
- BIKE PARKING PER MAG #2285
- WATER FEATURE CONFORMING TO SECTION 48.242
- BACKFLOW PREVENTOR
- FENCE
- REMOVE FIRE HYDRANT
- ACCESSIBLE PARKING, PATHWAY, & SIGN
- # HIGH REMOVABLE SCREEN TRELLIS
- VEHICULAR PATH OF LOADING TRUCK FOR INGRESS AND EGRESS OF 45 TRUCK
- ACCESSIBLE PATHWAY
- CUL DE SAC IS CONSTRUCTED WITHOUT A CURB BETWEEN THE PUBLIC REALM AND THE STREET
- DRINKING FOUNTAIN
- SIDEWALK

- NOTES:
- ADDITIONAL ADA PARKING IS IN THE BASEMENT PARKING LEVEL
 - ALL STREETS ARE PRIVATE STREETS - PUBLIC STREET STANDARDS DO NOT APPLY TO PERIMETER OF SITE. REFER TO ALTA FOR MORE INFORMATION REGARDING EASEMENTS.

VICINITY MAP



PROJECT INFORMATION

PEACOCK SCOTTSDALE
4733 N. SCOTTSDALE RD.
CASE # 65-2N-1992#H-1-2011

PROJECT DATA

PROPERTY CONFORMS TO ZONING CASE 65-2N-1992#H AND 1-4-2011
PROPERTY IS ACCESSED VIA PRIVATE STREETS

GROSS LOT AREA: 80,548 SF (2.06 ACRES)
NET LOT AREA: 80,548 SF (2.06 ACRES)

PARCEL ZONING: DRCCO-2 WITH PBD & DO OVERLAYS

ADJACENT PARCEL ZONING:
DRCCO-2 EAST PBD DO
DRCCO-2 WEST PBD DO
C-2 NORTH PBD DO
DRCCO-2 SOUTH PBD DO

OPEN SPACE: PER THE ZONING CASE, DEFINED OPEN SPACE IS PART OF THE TOTAL DEVELOPMENT FOR SAFARI PHASE I AND PHASE II. A TOTAL MINIMUM OPEN SPACE AREA OF 73,000 SF IS REQUIRED. PHASE I PROVIDED 47,300 SF OF OPEN SPACE. PHASE II SHALL REQUIRE A MINIMUM OF 28,800 SF. 33,487 SF OF OPEN SPACE IS PROVIDED IN PHASE II. REFER TO SHEET 27 FOR OPEN SPACE CALCULATIONS.

PRIVATE OPEN SPACE: ADDITIONAL PRIVATE OPEN SPACE IS PROVIDED FOR EACH UNIT. ALL UNITS WILL HAVE A MINIMUM OF 60 SF BALCONIES WITH A MINIMUM DEPTH OF 8' (9,800 SF MIN.)

NUMBER OF UNITS: 44 - 1 BEDROOM
116 - 2 BEDROOM

DENSITY: 180 UNITS PROPOSED (88 UNITS/ACRE)

FLOOR AREA RATIO: REFER TO SHEET 23.2 FOR FAR CALCULATIONS. REFER TO DEVELOPMENT SUMMARY TABLE ON THIS SHEET FOR EXHIBIT C ALLOWED AND PROVIDED PER THIS APPLICATION

PARKING: 1 X 44 (1 BORN) = 44 STALLS
2 X 116 (2 BORN) = 232 STALLS
278 STALLS REQUIRED

PARKING PROPOSED:
ON-SITE 5 (4 STD. / 1 ADA)
81 LEVEL 140 (126 STD. / 12 ADA)
82 LEVEL 159
TOTAL 304

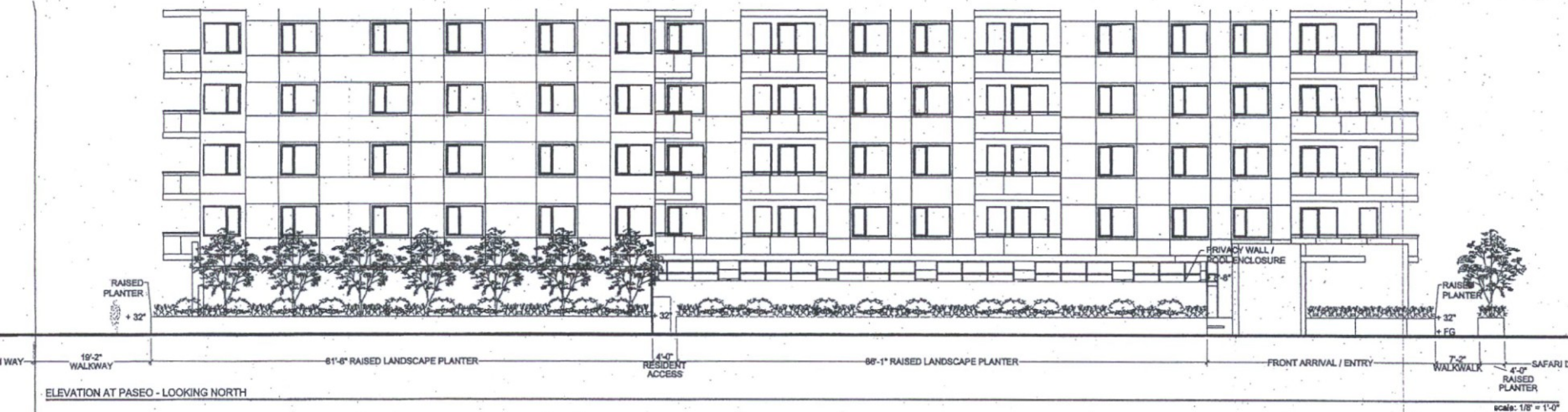
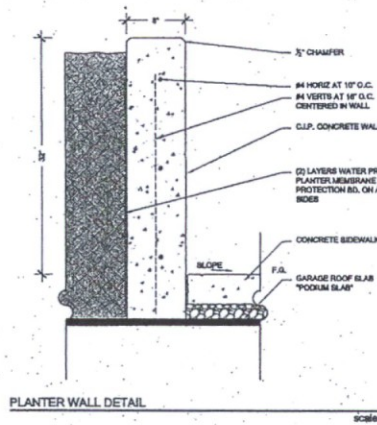
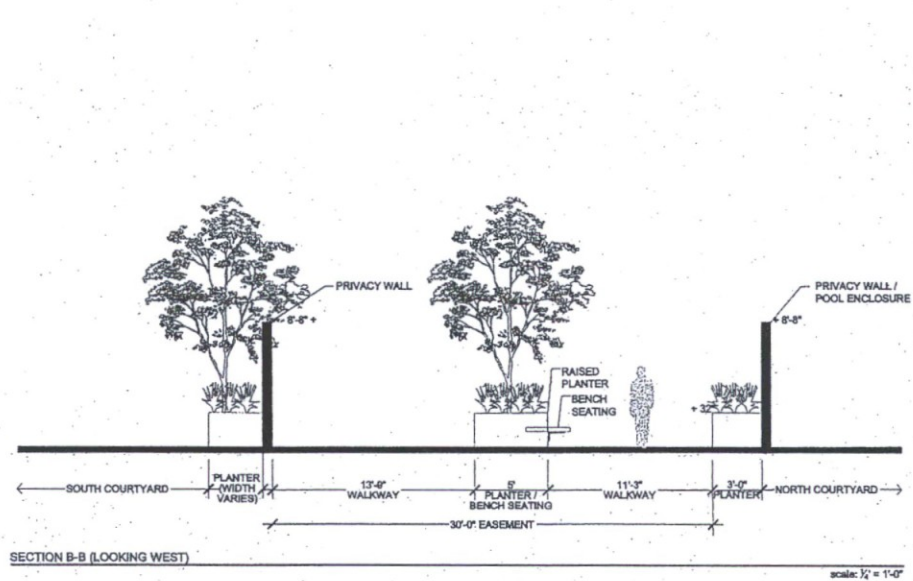
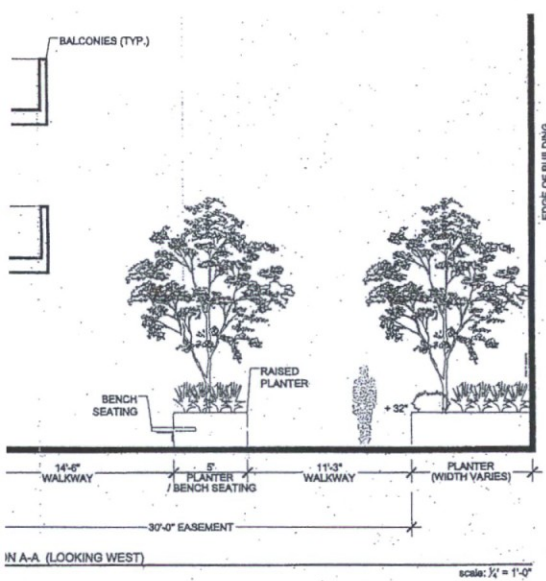
ADA PARKING: ADA REQUIRED 7 5 STD. 2 VAN
COS REQUIRED 12 (4% OF PROPOSED)
PROPOSED 13

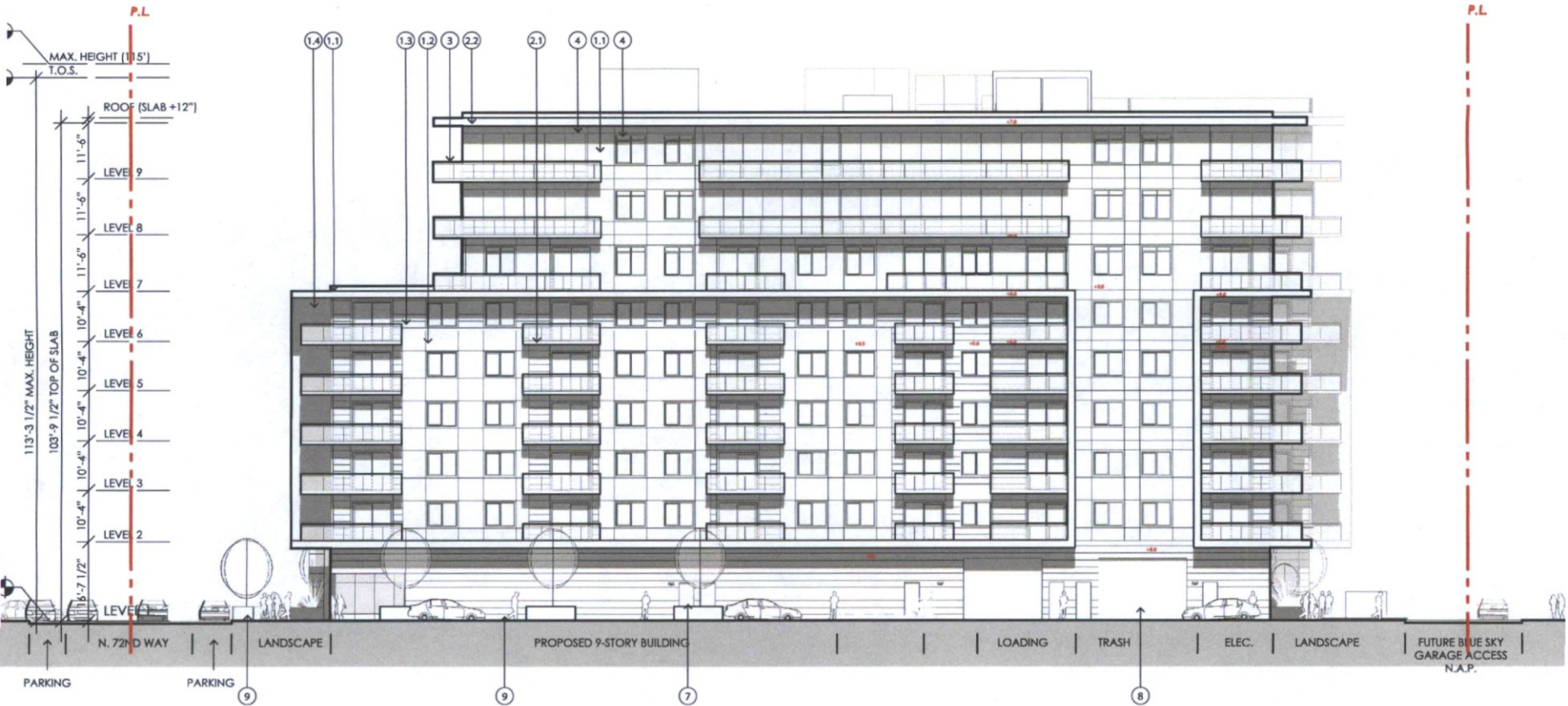
BIKE PARKING: 278 CARPARKS RORD / 10 = 28 BIKE PARKING SPACES
PROPOSED (8) ON SITE
PROPOSED (24) ON THE GROUND FLOOR

65-2N-1992#H

Exhibit C - Adjusted per MLD and Peacock Development

	Site	Bldg Gross	Bldg Net	Parking	FAR	Units	Density
Phase 1	2.98 121,718	190,465	165,200	152	1.36	89	30
Phase 2	1.87 89,548	243,486	229,738	304	2.57	160	86
Total Provided	4.85 211,266	433,951	394,938	456	1.87	249	51
Total Allowed	4.85 211,266	459,265	405,200	515	1.92	249	51





MATERIAL LEGEND

- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
- 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALMA SPRINGS (LIGHT SLATE)
- 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
- 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
- 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
- 2.2 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: SPRINGTIME RAIN (OFF WHITE) W/ ANCHOR GRAY UNDERSIDE
- 3 METAL BALCONY RAILING; GLASS PANEL INFILL
- 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
- 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE)
- 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
- 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
- 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
- 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
 0' 10' 20'

SCOTTSDALE
AZ



**BUILDING 1
 NORTH ELEVATION**
 06/06/17

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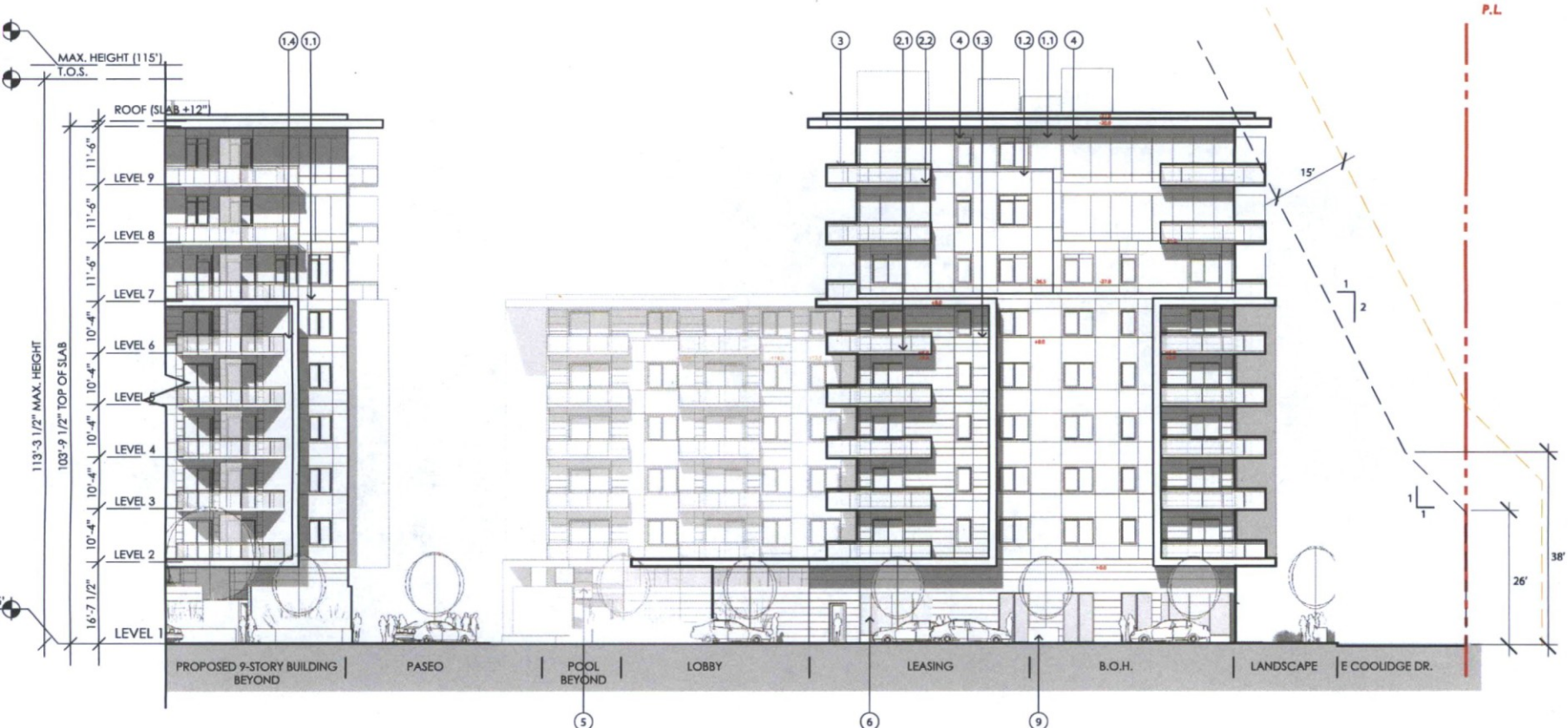
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**56-DR-2016
 6/9/2017**



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SAJINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
 - 2.2 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: SPRINGTIME RAIN (OFF WHITE) W/ ANCHOR GRAY UNDERSIDE
 - 3 METAL BALCONY RAILING, GLASS PANEL INFILL
 - 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE)
 - 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
0' 10' 20'



MAX. HEIGHT (115')
T.O.S.

ROOF (SLAB +12')

LEVEL 9 11'-6"

LEVEL 8 11'-6"

LEVEL 7 11'-6"

LEVEL 6 10'-4"

LEVEL 5 10'-4"

LEVEL 4 10'-4"

LEVEL 3 10'-4"

LEVEL 2 10'-4"

LEVEL 1 16'-7 1/2"

113'-3 1/2" MAX. HEIGHT

103'-9 1/2" TOP OF SLAB

- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
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 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
0' 10' 20'



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
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 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
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SCALE: 1"=10'
 0' 10' 20'

SCOTTSDALE, AZ

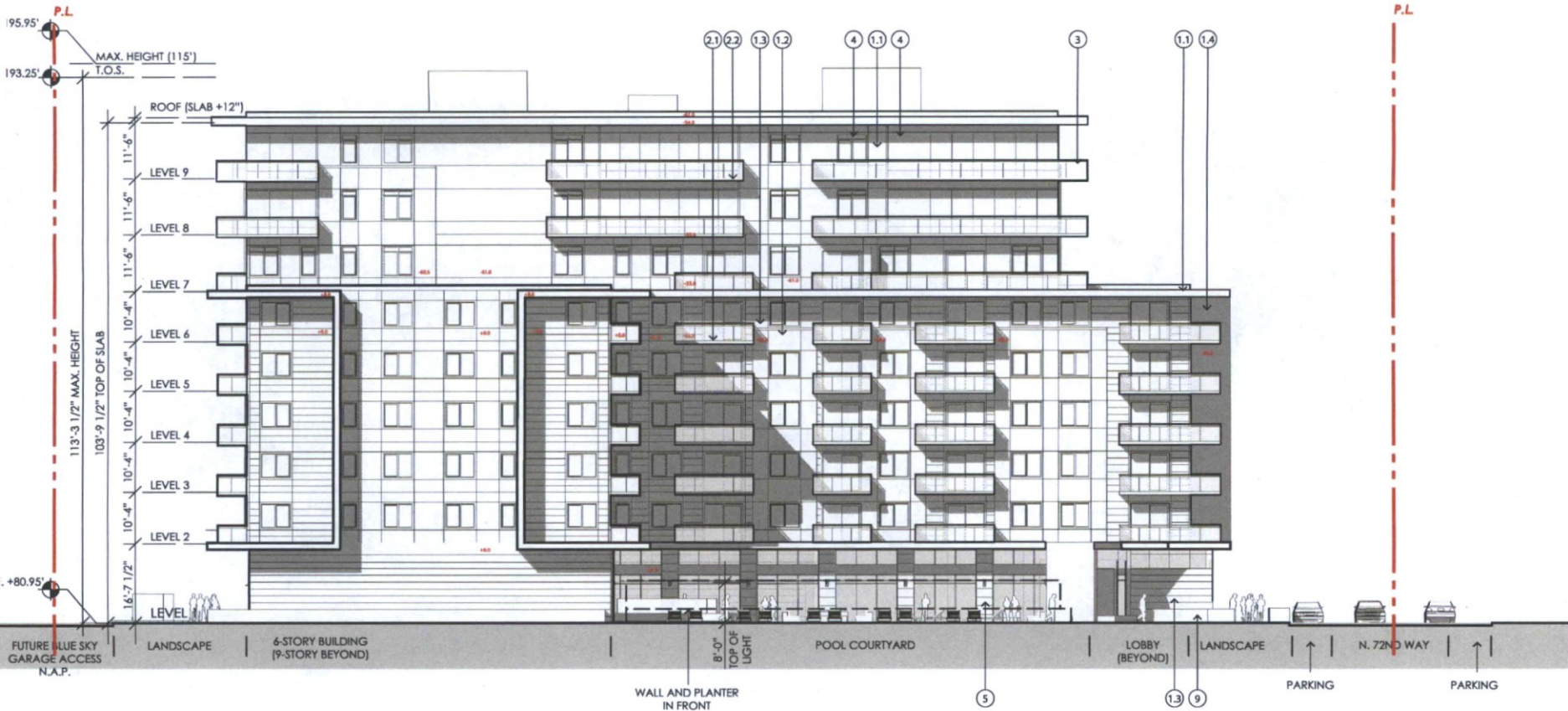


**BUILDING 1
 EAST ELEVATION**
 06/06/17

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**56-DR-2016
 6/9/2017**



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
 - 2.2 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: SPRINGTIME RAIN (OFF WHITE) W/ ANCHOR GRAY UNDERSIDE
 - 3 METAL BALCONY RAILING; GLASS PANEL INFILL
 - 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE)
 - 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
 0' 10' 20'

SCOTTSDALE
 AZ

deco
 1810 PHOENIX COMMUNITIES

the design element
 COMMUNITY ARCHITECTS

BUILDING 1
 SOUTH ELEVATION
 06/06/17

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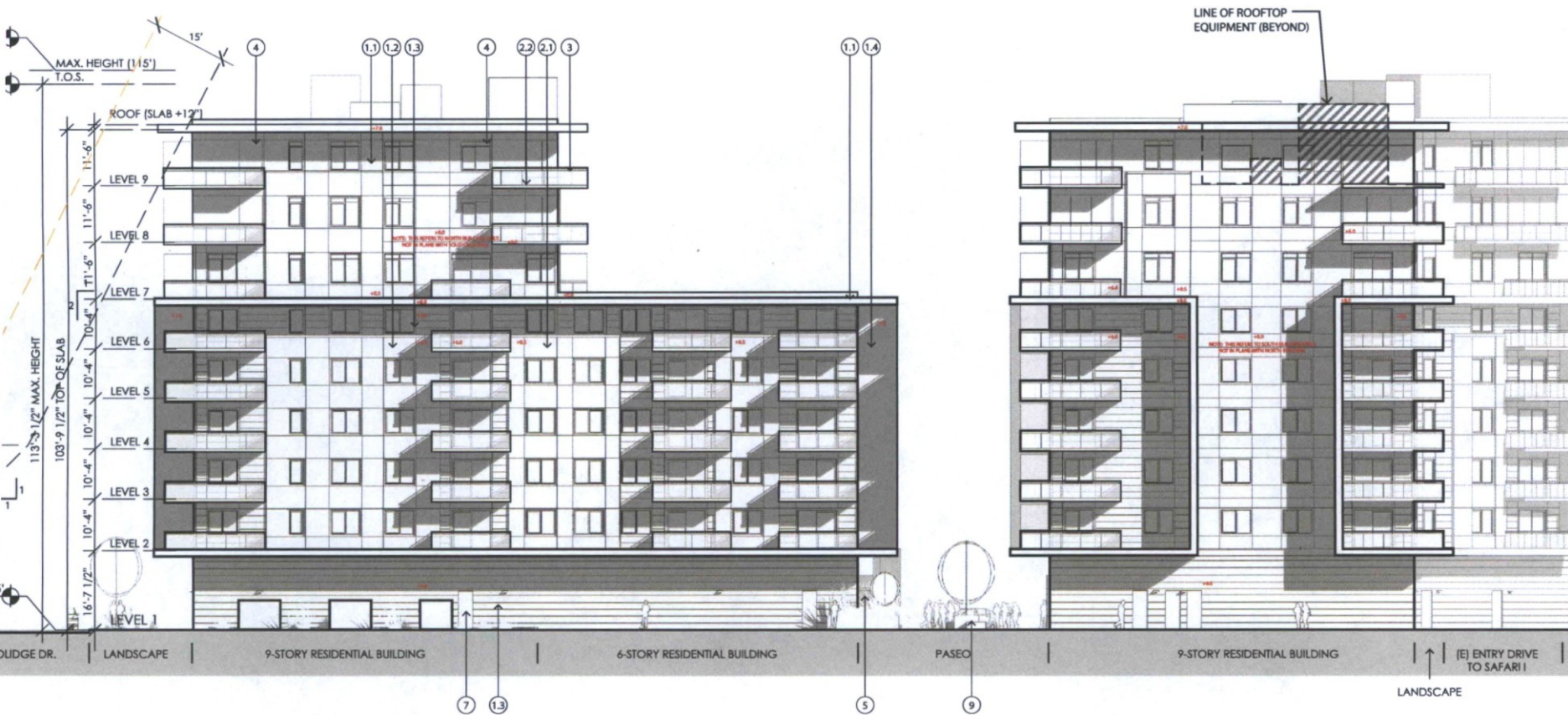
56-DR-2016
 6/9/2017



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
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 - 3 METAL BALCONY RAILING, GLASS PANEL INFILL
 - 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACAITA (WHITE)
 - 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
 0' 10' 20'

56-DR-2016
6/9/2017



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
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 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
 0' 10' 20'

SCOTTSDALE
 AZ

deco | **the design element**

**BUILDINGS 1 & 2
 WEST ELEVATION**
 06/06/17

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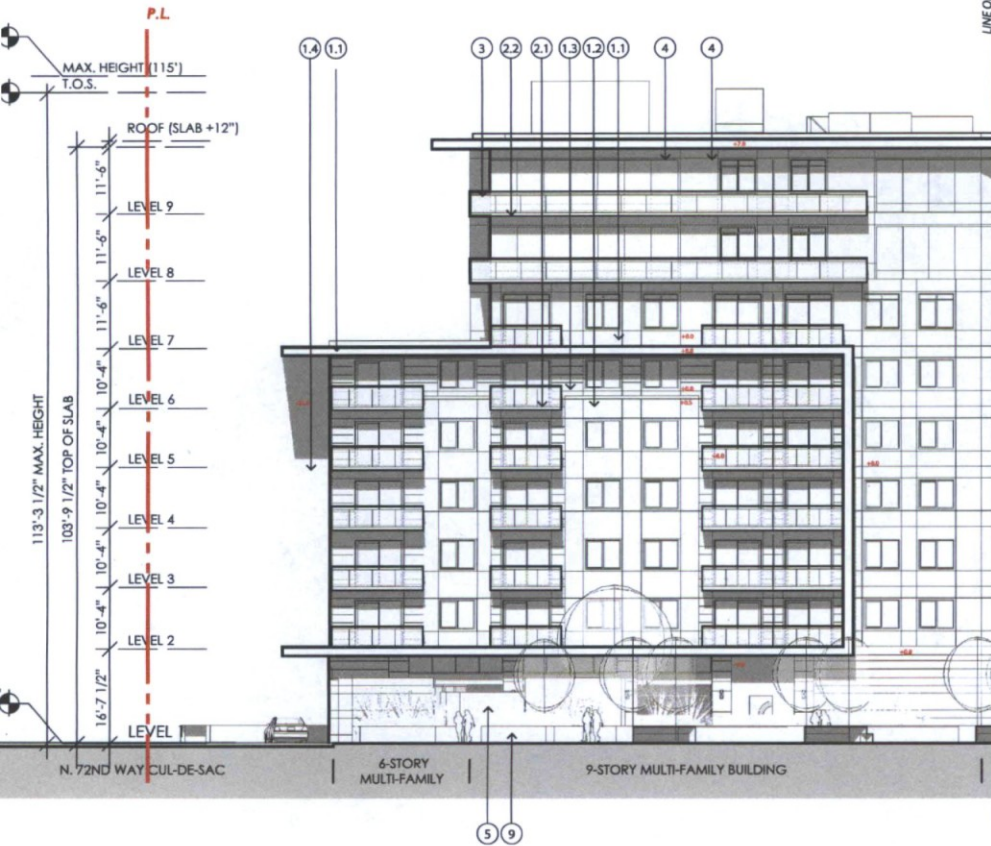
56-DR-2016
6/9/2017



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
 - 2.2 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: SPRINGTIME RAIN (OFF WHITE) W/ ANCHOR GRAY UNDERSIDE
 - 3 METAL BALCONY RAILING; GLASS PANEL INFILL
 - 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE) MATERIAL LEGEND
 - 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

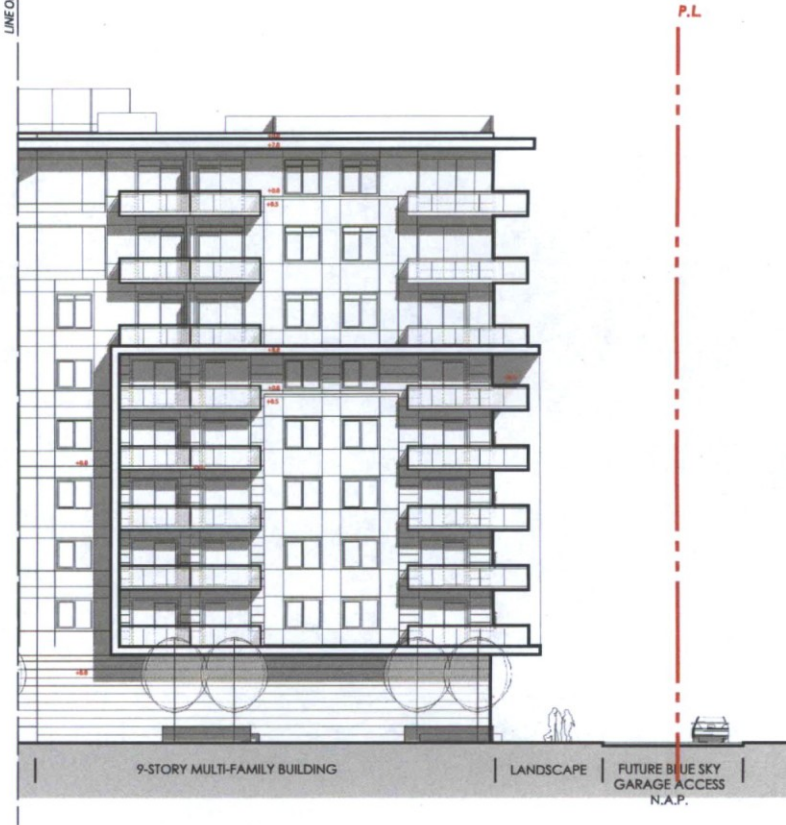
SCALE: 1"=10'
 0' 10' 20'

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LINE OF INFLECTION

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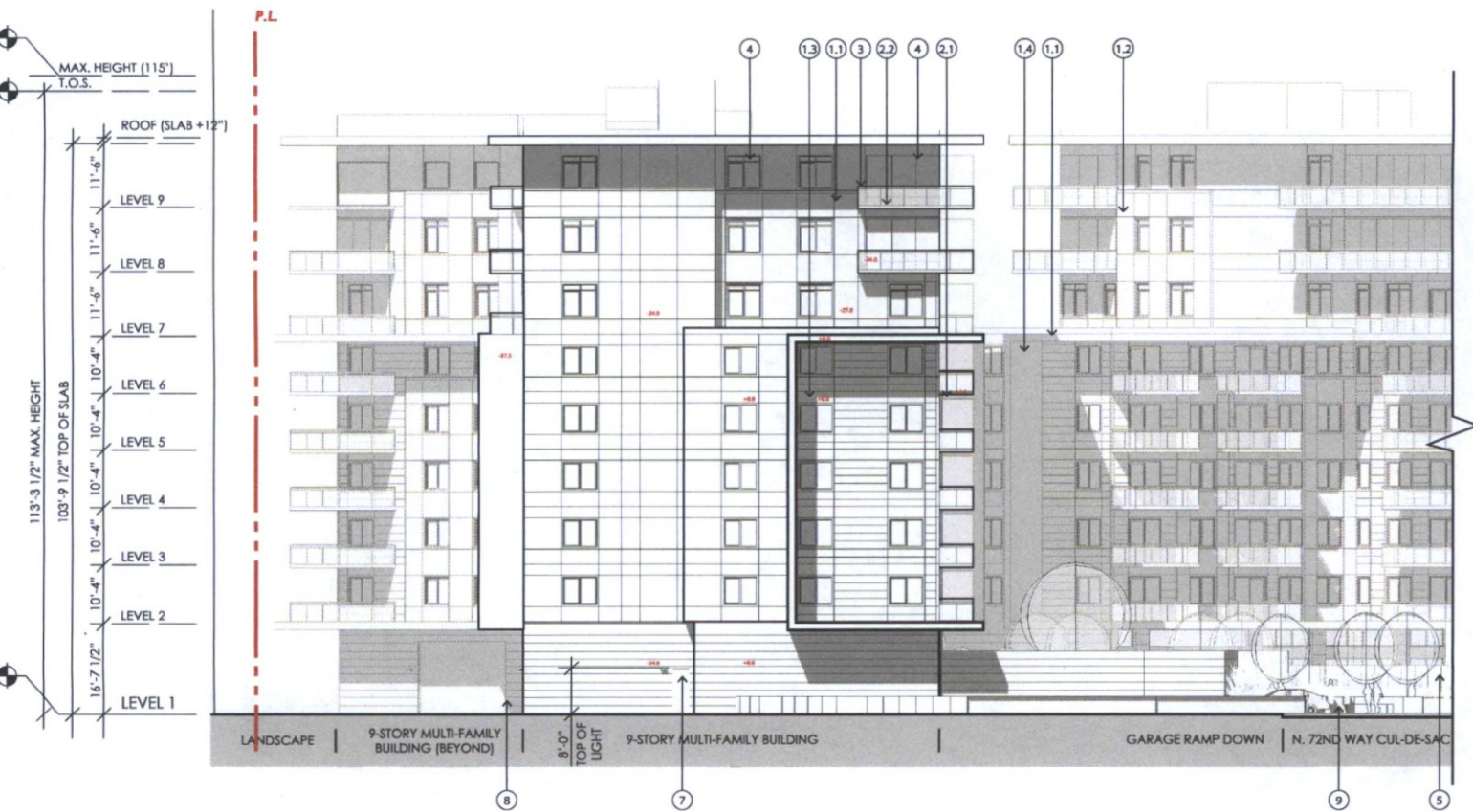
- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
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 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE) MATERIAL LEGEND
 - 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
0' 10' 20'



- MATERIAL LEGEND**
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 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
 0' 10' 20'



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
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 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
0' 10' 20'

SCOTTSDALE
AZ

deco

the design element

BUILDING 2
SOUTH-EAST ELEVATION
06/06/17

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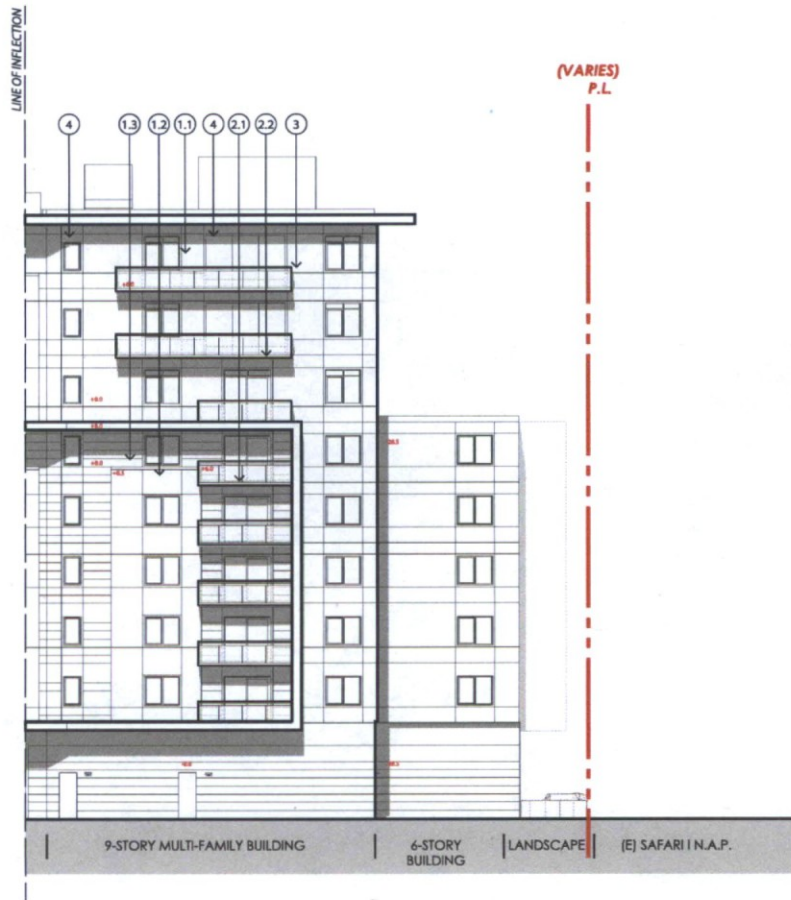
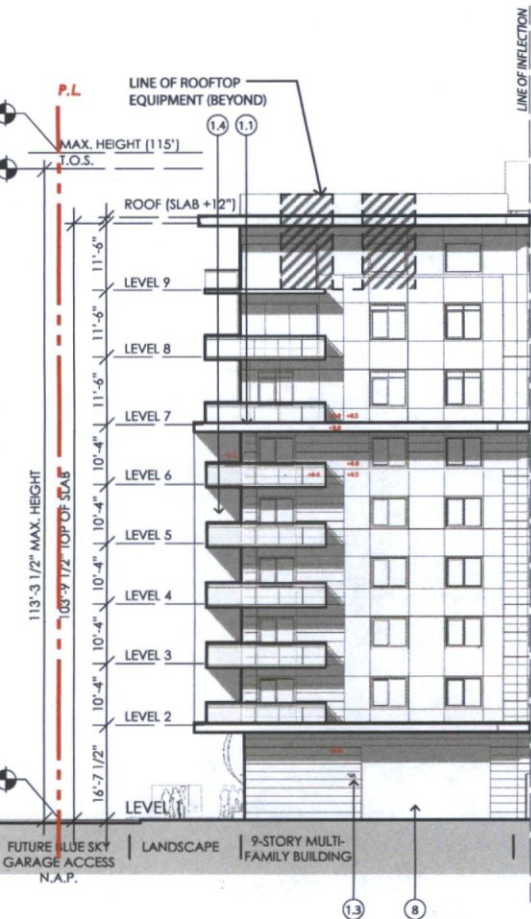
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56-DR-2016
6/9/2017



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 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
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 0' 10' 20'



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- 1.1 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EPS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
 - 2.2 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: SPRINGTIME RAIN (OFF WHITE) W/ ANCHOR GRAY UNDERSIDE
 - 3 METAL BALCONY RAILING, GLASS PANEL INFILL
 - 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE)
 - 6 ALUMINUM STOREFRONT; COLOR: POWDER COATED SILVER
 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
0' 10' 20'

SCOTTSDALE
AZ

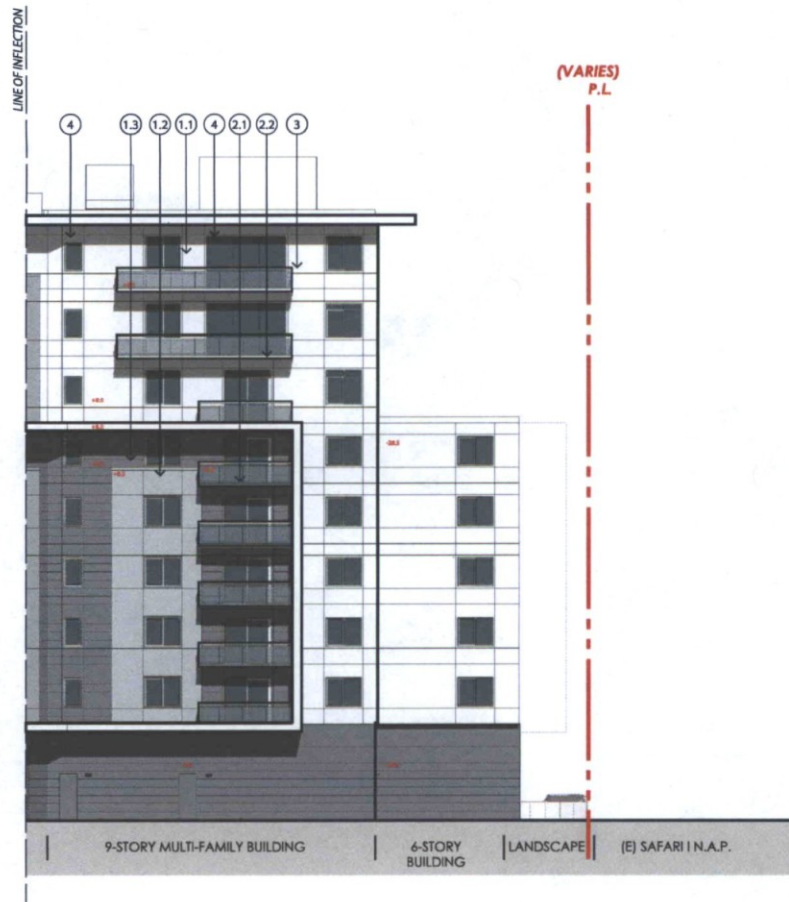
deco
BUILDING COLLABORATIVE

the design element
ARCHITECTURE

BUILDING 2
SOUTH/ SOUTH-WEST ELEVATION
06/06/17

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5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

56-DR-2016
6/9/2017



- MATERIAL LEGEND**
- 1.1 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SPRINGTIME RAIN (OFF WHITE)
 - 1.2 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: SALINA SPRINGS (LIGHT SLATE)
 - 1.3 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: HAMILTON BLUE (DARK SLATE)
 - 1.4 CONTINUOUS INSULATION EIFS; FINISH: SANDBLAST FINISH; COLOR: LAPIS (BLUE)
 - 2.1 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: HAMILTON BLUE (DARK SLATE)
 - 2.2 PAINTED CONCRETE SLAB EDGE; FINISH: NATURAL; COLOR: SPRINGTIME RAIN (OFF WHITE) W/ ANCHOR GRAY UNDERSIDE
 - 3 METAL BALCONY RAILING; GLASS PANEL INFILL
 - 4 ALUMINUM UNIT GLAZING WINDOW SYSTEM W/ LOW-E CLEAR GLAZING; COLOR: POWDER COATED SILVER
 - 5 MARBLE-LIKE SMOOTH SURFACE WALL PANEL; COLOR: CALACATTA (WHITE)
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 - 7 PAINTED METAL DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 8 PAINTED ROLL UP DOOR; COLOR: HAMILTON BLUE (DARK SLATE)
 - 9 CAST IN PLACE CONCRETE PLANTER

SCALE: 1"=10'
0' 10' 20'

SCOTTSDALE
AZ



BUILDING 2
SOUTH/ SOUTH-WEST ELEVATION
06/06/17

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56-DR-2016
6/9/2017



1. VIEW TOWARDS MAIN ENTRANCE LOOKING NORTH EAST



2. VIEW TOWARDS LOBBY ACROSS N. 72ND WAY, LOOKING SOUTH WEST



3. VIEW FROM COOLIDGE LOOKING SOUTH EAST



4. VIEW TOWARDS SOUTH TOWER, LOOKING NORTH EAST

KEYPLAN

SCOTTSDALE
AZ

deco
REAL ESTATE MANAGEMENT

the design element
CONSTRUCTION MANAGEMENT

PERSPECTIVE VIEWS
06/06/17

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56-DR-2016
6/9/2017



7. AERIAL PERSPECTIVE OF PRIMARY ENTRANCE, LOOKING NORTH WEST



6. AERIAL PERSPECTIVE LOOKING NORTH EAST

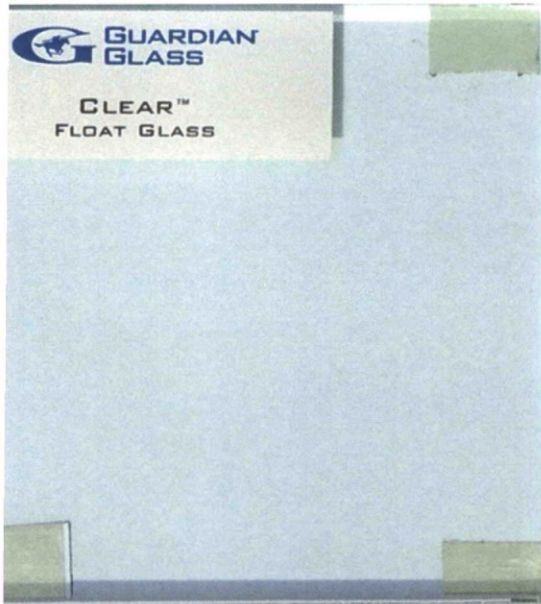


5. VIEW TO POOL COURTYARD AT MAIN ENTRY



8. VIEW TO PRIMARY LOBBY ENTRY

KEYPLAN



GLASS - 6MM (LB51) #2 + 12MM ARGON + 6 MM
 U.F. IAP
 EXTERIOR REFLECTANCE - 27%



PERSPECTIVE VIEW

SCOTTSDALE
 AZ



COLOR/MATERIAL BOARD
 06/06/17

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6 ALUMINUM STOREFRONT
 ARCADIA #13 - CLEAR AC-1



1.1 CONTINUOUS INSULATION EIFS
 MAUNF.: DRYVIT, FINISH: SANDBLAST-NTX
 COLOR: DEW389 - SPRINGTIME RAIN



2.2 EXTERIOR PAINT - DUNN EDWARDS
 DEW389 - SPRINGTIME RAIN



2.2 EXTERIOR PAINT - DUNN EDWARDS
 DE6328- ANCHOR GRAY



1.2 CONTINUOUS INSULATION EIFS
 MAUNF.: DRYVIT, FINISH: SANDBLAST-NTX
 DEC 794 - SALINA SPRING



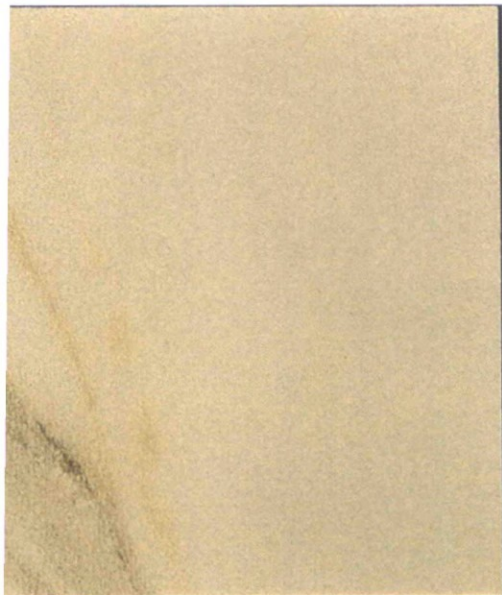
1.4 CONTINUOUS INSULATION EIFS
 MAUNF.: DRYVIT, FINISH: SANDBLAST-NTX
 DE5846 - LAPIS



1.3 CONTINUOUS INSULATION EIFS
 MAUNF.: DRYVIT, FINISH: SANDBLAST-NTX
 DE6333 - HAMILTON BLUE



2.1 EXTERIOR PAINT - DUNN EDWARDS
 DE6333 - HAMILTON BLUE



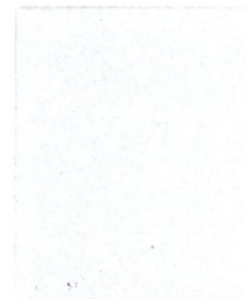
1. LE-LIKE SMOOTH SURFACE WALL PANEL
 2. SPEC CERAMIC THIN VENEER PORCELAIN TILE
 3. SPECCERAMIC THIN VENEER PORCELAIN TILE
 4. EXEDRA, COLOR - CALACATTA, LUX FINISH



5. PERSPECTIVE VIEW



4. ALUMINUM WINDOW FRAME
 MAUNF. IAP
 COLOR - UCT33866XL-2



3. EXTERIOR PAINT - DUNN EDWARDS
 DE6366 - SILVER SPOON



9. CAST IN PLACE COCETE RE

SCOTTSDALE
 AZ



COLOR/ MATERIAL BOARD
 06/06/17

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56-DR-2016
 6/9/2017



LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER MODEL NUMBER	VOLTAGE	LAMP TYPE	MAXIMUM LUMENS	MOUNTING	DESCRIPTIONS	REMARKS
SA	ARCHITECTURAL AREA LIGHTING INDA-S2-30LED-WW-15	120	32.7W 3000K LED	1161	POLE	POLE MOUNTED AREA LIGHT AT +18' AFG	MATCH EXIST. AT ADJ.
SB	WAC LIGHTING W5-W0218-S2	120	9.2W 3000K LED	224	WALL/SURFACE	DECORATIVE WALL FIXTURE	-
SD	WAC LIGHTING 5003-S2-3002	120	14W 3000K LED	547	IN-GRADE	UPLIGHT, IN-GRADE	-
SE	WAC LIGHTING 5003-S2-389	120	15.5W 3000K LED	248	IN-GRADE	UPLIGHT, IN-GRADE COLOR CHANGING	-
SG	LITHONIA DSVW-LED-200-350-30W-13W-MHDLT	120	25W 3000K LED	2585	WALL/SURFACE	WALL MOUNT AT EXPRESS DOORS	-
SH	REGA C2 379	120	14W 3000K LED	363	WALL/SURFACE	STEPLIGHT AT +18' AFG	-
SJ	LITHONIA LDN450 30/10 LS44R-LD-E210	120	12.6W 3000K LED	822	RECESSED	4" SQUARE DOWNLIGHT	-
SK	WAC LIGHTING 5007-S2-88P/9000 WY1-BY	120	15.0W 3000K LED	248	SPINE/UNIVERSAL	LANDSCAPE UPLIGHT	W/ REMOTE TRANSFORMER
SL	HYDREL 4800-FG-S2-LED-170-WHT30K-WFL-GLS M4-3443M-GL-50W-UP	120	76.2W 3000K LED	1200	SUBMERSIBLE	SWIMMING POOL FIXTURE	-

ELECTRICAL SITE PLAN
17-07-07

708 N. Dealey Drive, Suite 208
 Phoenix, Arizona 85001
 (602) 944-2176
 Fax: (602) 942-5267
 www.petersonassoc.com
 Lic. No. 167,235-0

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 EXPRES 03/31/19

Recessed wall luminaires with shielded light source

From **SH**
 BIDA Product
 Finish
 Voltage
 Color
 Options
 Material

Warning: Consult local electrical codes and regulations when installing luminaires. Do not use in wet or damp areas unless listed for such use. Do not use in areas where the luminaire will be exposed to direct water spray. Do not use in areas where the luminaire will be exposed to direct water spray. Do not use in areas where the luminaire will be exposed to direct water spray.

Example: 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm) - 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm) - 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)



HYREL
 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)
 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)
 HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

SHJ **LDN4**

Example: 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

Code	Qty	Part No.	Description	Notes
100	1	100	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
101	1	101	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
102	1	102	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
103	1	103	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
104	1	104	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
105	1	105	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
106	1	106	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
107	1	107	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
108	1	108	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
109	1	109	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
110	1	110	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	

HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)
 HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

WAC
ACCENT 120V
5012
LANDSCAPE LIGHTING

Fixture Type: **SK**

Product Number: **5012**

Location:



PRODUCT DESCRIPTION
 Landscape accent luminaire. Single to recessed mounting. No voltage options or cordsets available with a standard landscape installation.

FEATURES

- Adjustable and lockable beam angle
- Integral driver
- IP68 rated. Protected against high-pressure water jets
- Includes a non-adjustable shield
- 100% Dimmable. Operates on standard dimmer switches
- Factory sealed with light-tight gaskets
- Dimensionally accurate. Fit into wall and water seals on backside
- Material: Corrosion Resistant Composite Polymer (CRP)
- UL 1004 listed
- Not suitable for use with standard pendant

ORDERING NUMBER

Example: 5012-30

HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)
 HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

4800 LED SWM
 Line or Low Voltage
 Swimming Pool Fixture

From **SL**

DESCRIPTION

The 4800 Series is the swimming pool light in smaller in size than other conventional units. They are available with round or square base and come in a 1" White LED array. The lamp housing is stainless steel with a cast bronze or stainless steel cover. The stainless steel cover includes a handling lug and a 3/4" x 3/4" PVC circular hole. A clear tempered Lexan lens is included. Round version of fixture is adjustable within the 100° beam angle.

EXAMPLE: 4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP

Code	Qty	Part No.	Description	Notes
4800	1	4800	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4801	1	4801	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4802	1	4802	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4803	1	4803	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4804	1	4804	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4805	1	4805	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4806	1	4806	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4807	1	4807	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4808	1	4808	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4809	1	4809	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	
4810	1	4810	4800 RD B LED 120 RED MPL CLS NM 24550 CSL35 SWM LP	

HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)
 HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

Example: 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

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105	1	105	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
106	1	106	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
107	1	107	10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)	
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 HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)

WAC
ACCENT 120V
5012
LANDSCAPE LIGHTING

Fixture Type: **SK**

Product Number: **5012**

Location:



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- Includes a non-adjustable shield
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- Factory sealed with light-tight gaskets
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ORDERING NUMBER

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 HYREL-USA 10 1/2" x 10 1/2" x 10 1/2" (305mm x 305mm x 305mm)