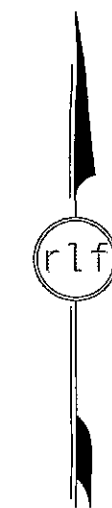
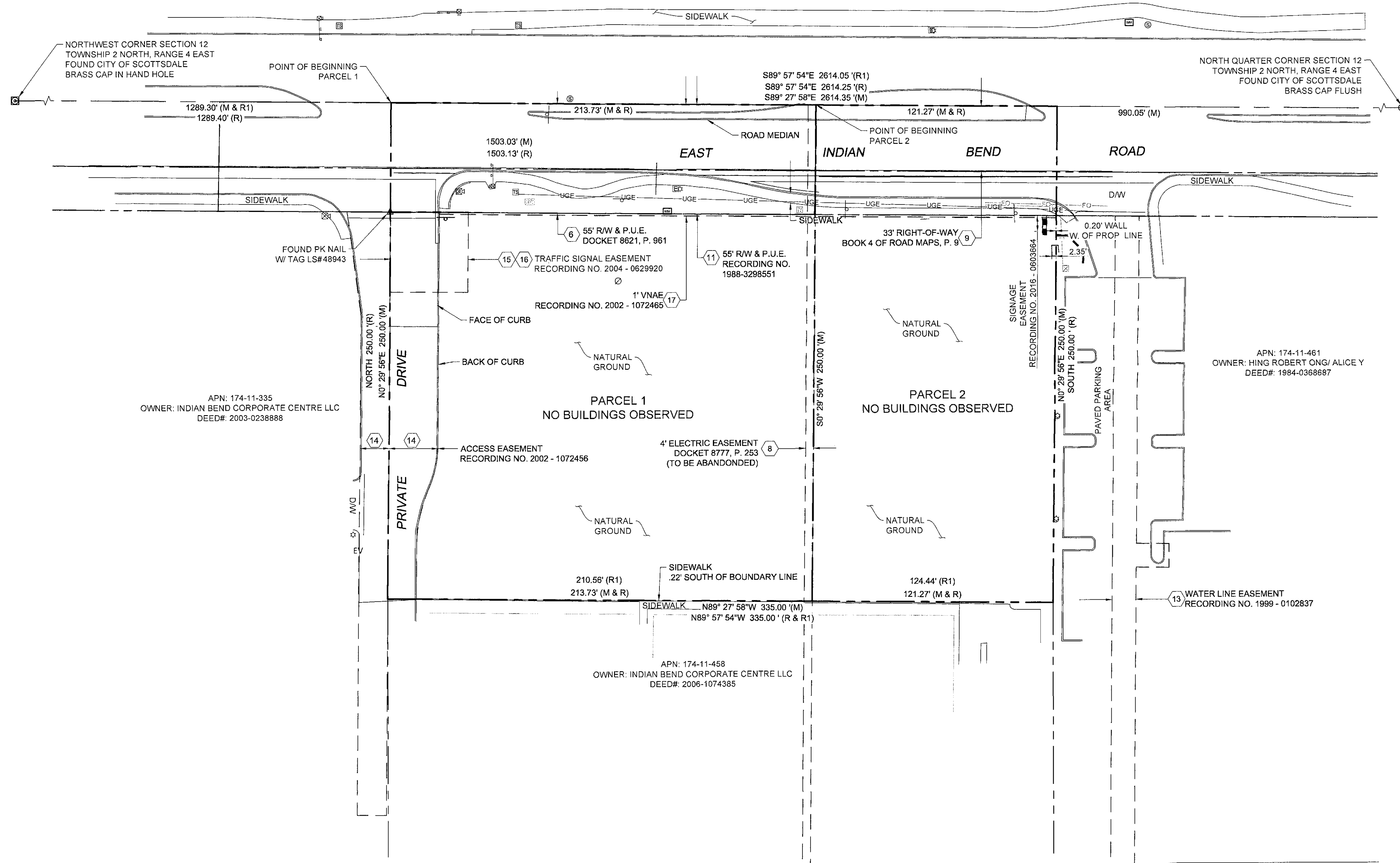


# ALTA/NSPS LAND TITLE SURVEY

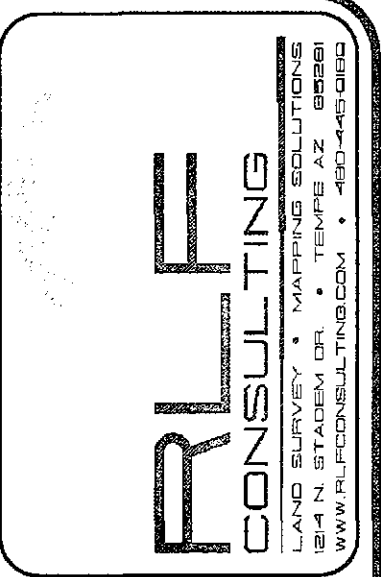
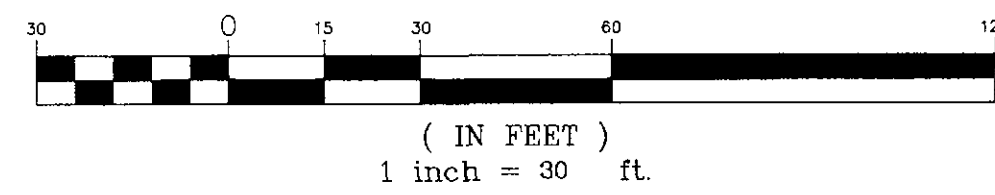
A PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

## LEGEND

M.C.R.	MARICOPA COUNTY RECORDER	⊠	FOUND BRASS CAP IN HAND HOLE
P.U.E.	PUBLIC UTILITY EASEMENT	●	SET 1/2" REBAR WITH CAP RLS# 44007
FND	FOUND	⊙	FOUND BRASS CAP FLUSH
CMU	CONCRETE MASONRY UNIT	⊠	FOUND PK NAIL WITH TAG
D/W	DRIVEWAY	- - -	BREAKLINE
☆	LIGHT POST	⊠	ELECTRIC VAULT
⊠	WATER METER	⊠	ELECTRIC TRANSFORMER
⊠	TELEPHONE PEDESTAL	⊠	ELECTRIC PULL BOX
⊠	TRAFFIC SIGNAL	⊠	TELEVISION VAULT
⊠	TRAFFIC SIGNAL MAST	⊠	SANITARY SEWER MANHOLE
⊠	SCHEDULE B HEX	⊠	SANITARY SEWER CLEANOUT
		⊠	SIGN
---	SECTION LINE		
---	BOUNDARY LINE		
---	ADJACENT BOUNDARY LINE		
---	EASEMENT LINE		
---	TIE LINE		



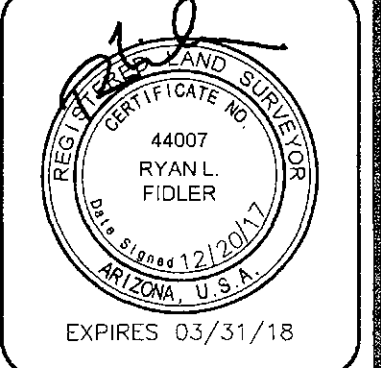
GRAPHIC SCALE



NO.	DATE	REVISION	BY

PURPOSE: ALTA/NSPS LAND TITLE SURVEY

DESIGN BY: MBR  
DRAWN BY: ERG  
CHECKED BY: RLF



**ALTA/NSPS LAND TITLE SURVEY**  
A PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

SECTION: 12  
TOWNSHIP: 2 N.  
RANGE: 4 E.

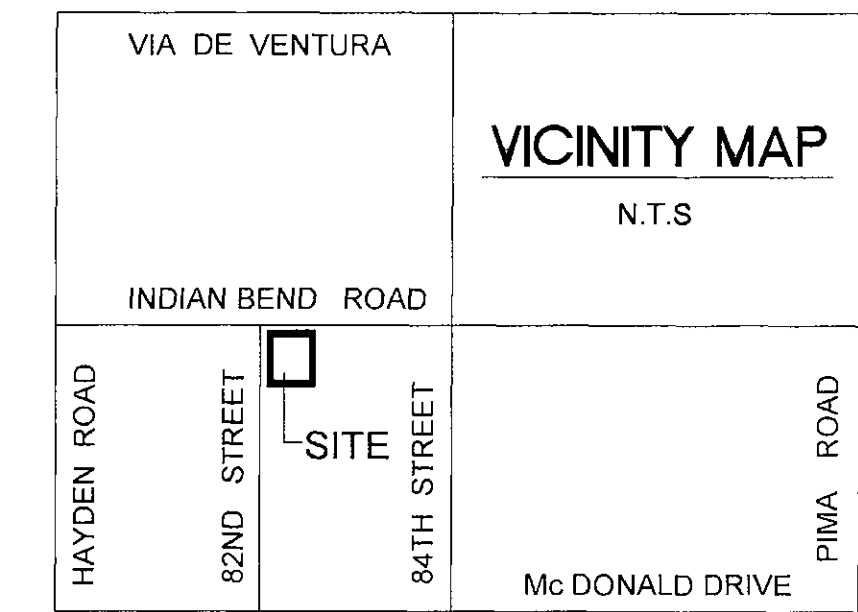
JOB NO.:  
09009065

SCALE:  
1"=30'

SHEET  
2 OF 2

# ALTA/NSPS LAND TITLE SURVEY

A PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 4 EAST OF  
THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;



**RLFF**  
CONSULTING

LAND SURVEYING • MATHEMATICS • ENGINEERING  
301 N. BROADWAY • TULSA, OK 74103  
WWW.RLFFCONSULTING.COM • 1-800-455-8888

## LEGAL DESCRIPTION (LITIGATION REPORT)

**PARCEL NO. 1:**  
A PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 4 EAST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN HANDHOLE AT THE NORTHWEST CORNER OF SAID SECTION 12, FROM WHICH FLUSH BRASS CAP AT THE NORTH QUARTER CORNER OF SAID SECTION 12 BEARS SOUTH 89 DEGREES 57 MINUTES 54 SECONDS EAST (AN ASSUMED BEARING), AT A DISTANCE OF 2614.25 FEET;

THENCE SOUTH 89 DEGREES 57 MINUTES 54 SECONDS EAST, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 12, 1289.40 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 89 DEGREES 57 MINUTES 54 SECONDS EAST, ALONG SAID NORTH LINE, 213.73 FEET TO THE NORTHEAST CORNER OF THAT PARCEL DESCRIBED IN DOCKET 9758, PAGE 64, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH, ALONG THE EAST LINE OF SAID PARCEL, 250.00 FEET TO A POINT ON THE NORTH LINE OF INDIAN BEND CORPORATE CENTRE PHASE 3, A CONDOMINIUM PLAT, RECORDED IN BOOK 857, PAGE 45, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 89 DEGREES 57 MINUTES 54 SECONDS WEST, ALONG SAID NORTH LINE, 213.73 FEET TO A POINT ON THE EAST LINE OF CONDOMINIUM PLAT INDIAN BEND CORPORATE CENTRE, RECORDED IN BOOK 625, PAGE 2, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH, ALONG SAID EAST LINE, 250.00 FEET TO THE POINT OF BEGINNING.

**PARCEL NO. 2:**  
A PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 4 EAST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN HANDHOLE AT THE NORTHWEST CORNER OF SAID SECTION 12, FROM WHICH FLUSH BRASS CAP AT THE NORTH QUARTER CORNER OF SAID SECTION 12 BEARS SOUTH 89 DEGREES 57 MINUTES 54 SECONDS EAST (AN ASSUMED BEARING), AT A DISTANCE OF 2614.25 FEET;

THENCE SOUTH 89 DEGREES 57 MINUTES 54 SECONDS EAST, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 12, 1503.13 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 89 DEGREES 57 MINUTES 54 SECONDS EAST, ALONG SAID NORTH LINE, 121.27 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST LINE OF INDIAN BEND CORPORATE CENTRE PHASE 3, A CONDOMINIUM PLAT, RECORDED IN BOOK 857, PAGE 45, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH, ALONG SAID NORTHERLY EXTENSION, 250.00 FEET TO THE NORTHEAST CORNER OF SAID INDIAN BEND CORPORATE CENTRE PHASE 3;

THENCE NORTH 89 DEGREES 57 MINUTES 54 SECONDS WEST, ALONG THE NORTH LINE OF SAID INDIAN BEND CORPORATE CENTRE PHASE 3, 121.27 FEET TO A POINT ON THE EAST LINE OF THAT PARCEL DESCRIBED IN DOCKET 9758, PAGE 64, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH, ALONG SAID EAST LINE, 250.00 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 1 CONTAINS 1.227 ACRES, MORE OR LESS  
PARCEL NO. 2 CONTAINS 0.696 ACRES, MORE OR LESS

## BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

## TITLE REPORT SCHEDULE "B" ITEMS

1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2016. (NOT PLOTTABLE)
2. LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY ITS INCLUSION WITHIN ANY DISTRICT FORMED PURSUANT TO TITLE 48, ARIZONA REVISED STATUTES. (NOT PLOTTABLE)
3. THE RIGHTS OR CLAIMS OF TITLE, IF ANY, BY THE UNITED STATES OF AMERICA, STATE OF ARIZONA, THE MUNICIPALITY AND THE PUBLIC TO ANY PORTION OF THE LAND BEING LOCATED IN THE BED OF ANY RIVER OR DRY WASH. (INDIAN BEND WASH) (NOT PLOTTABLE)
4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: TELEPHONE AND TELEGRAPH LINES - RECORDING DATE: FEBRUARY 25, 1955 - RECORDING NO: DOCKET 1554, PAGE 11 (PLOTTED HEREON)
5. A MORTGAGE TO SECURE AN INDEBTEDNESS AS SHOWN BELOW - AMOUNT: \$100,000.00 DATED: MARCH 31, 1971; MORTGAGOR: SCOTTSDALE RACQUET CLUB, INC., AN ARIZONA CORPORATION; MORTGAGEE: ROBERT ONG HING AND ALICE Y. HING, HIS WIFE RECORDING DATE: APRIL 1, 1971; RECORDING NO: DOCKET 8615, PAGE 543 (NOT PLOTTABLE)
6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: ROAD OR HIGHWAY AND PUBLIC UTILITY LINES RECORDING DATE: APRIL 06, 1971 - RECORDING NO: DOCKET 8621, PAGE 961 (PLOTTED HEREON)
7. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: AGREEMENT RECORDING DATE: MAY 18, 1971 RECORDING NO: DOCKET 8702, PAGE 848
8. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: UNDERGROUND ELECTRIC LINES AND APPURTENANT FACILITIES RECORDING DATE: JUNE 23, 1971, RECORDING NO: DOCKET 8777, PAGE 253 (PLOTTED HEREON)
9. MATTERS SHOWN ON RECORD OF SURVEY: RECORDING NO.: BOOK 4 OF ROAD MAPS, PAGE 9 (PLOTTED HEREON)
10. A LIEN FOR THE AMOUNT SHOWN BELOW AND ANY OTHER AMOUNTS DUE, AMOUNT: \$1,381.20; CLAIMANT: CITY OF SCOTTSDALE - NATURE OF CLAIM: WEED AND DEBRIS REMOVAL LIEN-RECORDING DATE: SEPTEMBER 13, 1979 RECORDING NO: DOCKET 13895, PAGE 15 (NOT PLOTTABLE)
11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: ROAD OR HIGHWAY AND PUBLIC UTILITY LINES RECORDING DATE: JULY 06, 1988 RECORDING NO: 88-329851 (PLOTTED HEREON)
12. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: LETTER RECORDING DATE: NOVEMBER 25, 1992 RECORDING NO: 92-0675789 (NOT PLOTTABLE)
13. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: WATER LINE RECORDING DATE: FEBRUARY 02, 1999 RECORDING NO: 99-0102837 (PLOTTED HEREON - DOES NOT AFFECT)
14. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: RECIPROCAL EASEMENT AND MAINTENANCE AGREEMENT RECORDING DATE: OCTOBER 16, 2002 RECORDING NO: 2002-1072456. (PLOTTED HEREON)
15. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: TRAFFIC SIGNAL EASEMENT AGREEMENT RECORDING DATE: OCTOBER 16, 2002 RECORDING NO: 2002-1072457 AND RE-RECORDING DATE: JUNE 03, 2004 AND RE-RECORDING NO: 2004-0629920 (PLOTTED HEREON)
16. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: TRAFFIC SIGNAL RECORDING DATE: OCTOBER 16, 2002 RECORDING NO: 2002-1072459 (PLOTTED HEREON)
17. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: VEHICULAR NON-ACCESS RECORDING DATE: OCTOBER 16, 2002 RECORDING NO: 2002-1072465 (PLOTTED HEREON)
18. ANY BANKRUPTCY PROCEEDING WHICH IS NOT DISCLOSED BY THE ACTS THAT WOULD AFFORD NOTICE AS TO SAID LAND, PURSUANT TO TITLE 11 U.S.C 549 OF THE BANKRUPTCY REFORM ACT OF 1978, AS AMENDED. (NOT PLOTTABLE)

## GENERAL NOTES

1. GLOBAL POSITIONING SATELLITE (G.P.S.) INSTRUMENTATION WAS USED DURING THE COURSE OF THE FIELD SURVEY. ALL DISTANCES REFERENCED HEREON HAVE BEEN CALCULATED TO GROUND DISTANCES USING A COMBINED SCALE FACTOR OF 1.0001645.
2. MEASUREMENTS SHOWN HEREON FALL WITHIN ACCEPTABLE TOLERANCES AS DEFINED BY THE ARIZONA MINIMUM BOUNDARY STANDARDS UNLESS OTHERWISE NOTED.
3. DISTANCES AND BEARINGS ARE MEASURED VALUES UNLESS NOTED OTHERWISE.
4. THE SURVEYOR HAS MADE NO ATTEMPT AND HAS NOT OBTAINED ANY INFORMATION RELATING TO, AND HAS NO KNOWLEDGE OF ANY PROPOSED RIGHT-OF-WAYS, EASEMENTS, OR DEDICATIONS THAT ANY MUNICIPALITY, INDIVIDUAL OR GOVERNMENTAL AGENCY MAY HAVE MADE OR MAY REQUIRE.
5. THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON REPRESENT THAT INFORMATION PROVIDED IN COMMITMENT FOR TITLE INSURANCE ORDER NO. 00497958-212-POM, PREPARED BY GREAT AMERICAN TITLE AGENCY, INC., DATED NOVEMBER 19, 2012 AT 8:00 A.M. ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
6. THERE WAS NO OBSERVABLE EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP DURING THE COURSE OF THIS SURVEY, EXCEPT AS SHOWN HEREON THERE WAS NO EVIDENCE OF RIGHT-OF-WAY LINES EITHER EXISTING OR PROPOSED DURING THE COURSE OF THIS SURVEY.
7. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
8. THERE IS NO EVIDENCE FOUND OF EARTH MOVING DURING THE COURSE OF THIS SURVEY.

## REFERENCE DOCUMENTS

- (R) ORDER OF IMMEDIATE POSSESSION RECORDED IN INSTRUMENT NO. 2016-0749798, M.C.R.  
(R1) RESULTS OF SURVEY RECORDED IN BOOK 1287 OF MAPS, PAGE 43, M.C.R.

## FLOOD ZONE DESIGNATION

THE SUBJECT SITE SHOWN HEREON APPEARS TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1770L DATED 10/19/2013.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

## CERTIFICATION

TO:  
CITY OF SCOTTSDALE  
ROBERT ONG HING AND ALICE Y. HING, HIS WIFE  
CHICAGO TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11, 13, 16, & 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 4/20/2017.

*RFL*  
RYAN L. FIDLER, R.L.S. 44007  
12/20/17  
DATE

NO.	DATE	REVISION	BY

DESIGN BY: MBR  
DRAWN BY: ERG  
CHECKED BY: RLF



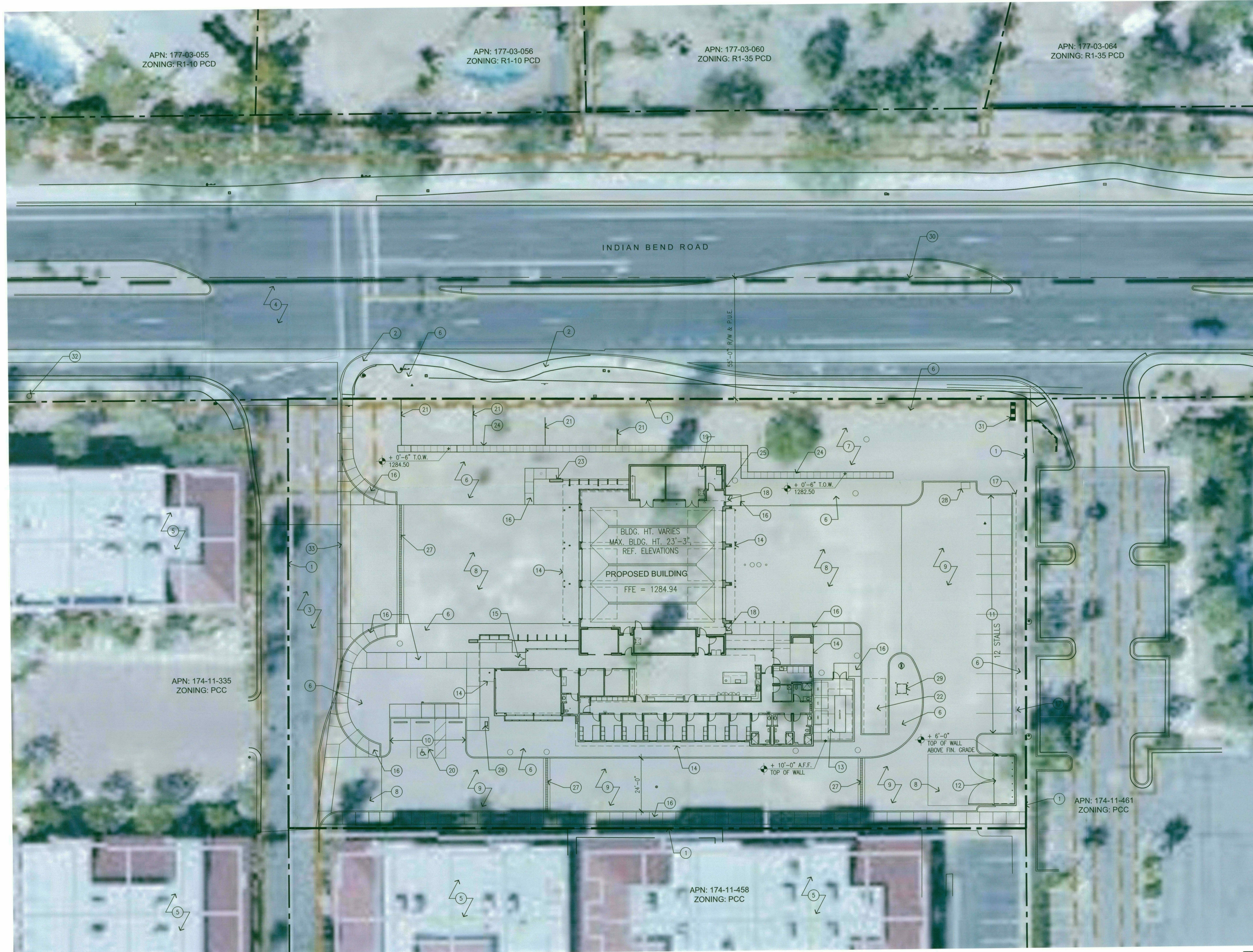
**ALTA/NSPS LAND TITLE SURVEY**  
A PORTION OF THE NORTHWEST QUARTER OF SECTION 12,  
TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT  
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

SECTION: 12  
TWN: 2 N  
RANGE: 4 E

JOB NO:  
09009065

SCALE  
NA

SHEET  
1 OF 2



APN: 177-03-055  
ZONING: R1-10 PCD

APN: 177-03-056  
ZONING: R1-10 PCD

APN: 177-03-060  
ZONING: R1-35 PCD

APN: 177-03-064  
ZONING: R1-35 PCD

INDIAN BEND ROAD

58'-0" R/W & P.U.E.

BLDG. HT. VARIES  
MAX. BLDG. HT. 23'-3"  
REF. ELEVATIONS  
PROPOSED BUILDING  
FFE = 1284.94

12 STALLS

APN: 174-11-335  
ZONING: PCC

APN: 174-11-461  
ZONING: PCC

APN: 174-11-458  
ZONING: PCC



**CONTEXT AERIAL SITE PLAN 1**

1" = 20'-0"

- KEYNOTES**
- 1 PROPERTY LINE
  - 2 EXISTING SIDEWALK
  - 3 EXISTING PRIVATE DRIVE
  - 4 EXISTING TRAFFIC-LIGHTED INTERSECTION
  - 5 EXISTING BUILDING
  - 6 LANDSCAPE AREA
  - 7 RETENTION
  - 8 CONCRETE PAVEMENT
  - 9 ASPHALT PAVEMENT
  - 10 VISITOR PARKING
  - 11 STAFF PARKING
  - 12 REFUSE / RECYCLE CONTAINER ENCLOSURE PER CITY OF SCOTTSDALE STANDARD
  - 13 SERVICE YARD
  - 14 BUILDING OVERHANG
  - 15 MAIN ENTRY
  - 16 SIDEWALK
  - 17 LINE OF VEHICLE OVERHANG
  - 18 STAFF ENTRY / EXIT
  - 19 FIRE RISER
  - 20 VAN ACCESSIBLE PARKING STALL
  - 21 STEEL EDGE, REF. LANDSCAPE
  - 22 SPECIAL EVENT TRAILER PARKING STALL
  - 23 WALL MOUNTED FLAG POLE
  - 24 GABION RETAINING WALL WITH GEOTEXTILE LINING
  - 25 REMOTE FIRE DEPARTMENT CONNECTION (FDC)
  - 26 BICYCLE PARKING
  - 27 TRENCH DRAINS, REF. CIVIL
  - 28 CONCRETE CATCH BASIN, REF. CIVIL
  - 29 ELECTRICAL TRANSFORMER, REF. ELECTRICAL
  - 30 CENTERLINE OF ROAD BETWEEN BRASS CAPS, REF. ALTA SURVEY
  - 31 EXISTING SIGN WITHIN EXISTING EASEMENT PER ADJACENT LAND OWNER, TO REMAIN
  - 32 EXISTING FIRE HYDRANT
  - 33 EXISTING CURB TO BE REMOVED

**FUCELLO ARCHITECTS**  
1 480.947.2980  
f 480.947.2984  
7525 e. camelback road, suite 204  
scottsdale, arizona 85251

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



**SCOTTSDALE FIRE STATION #603**  
8191 E. Indian Bend Road  
Scottsdale, Arizona 85250

REVISION	DATE
1	4.04.18
2	4.04.18

1st Review Comments

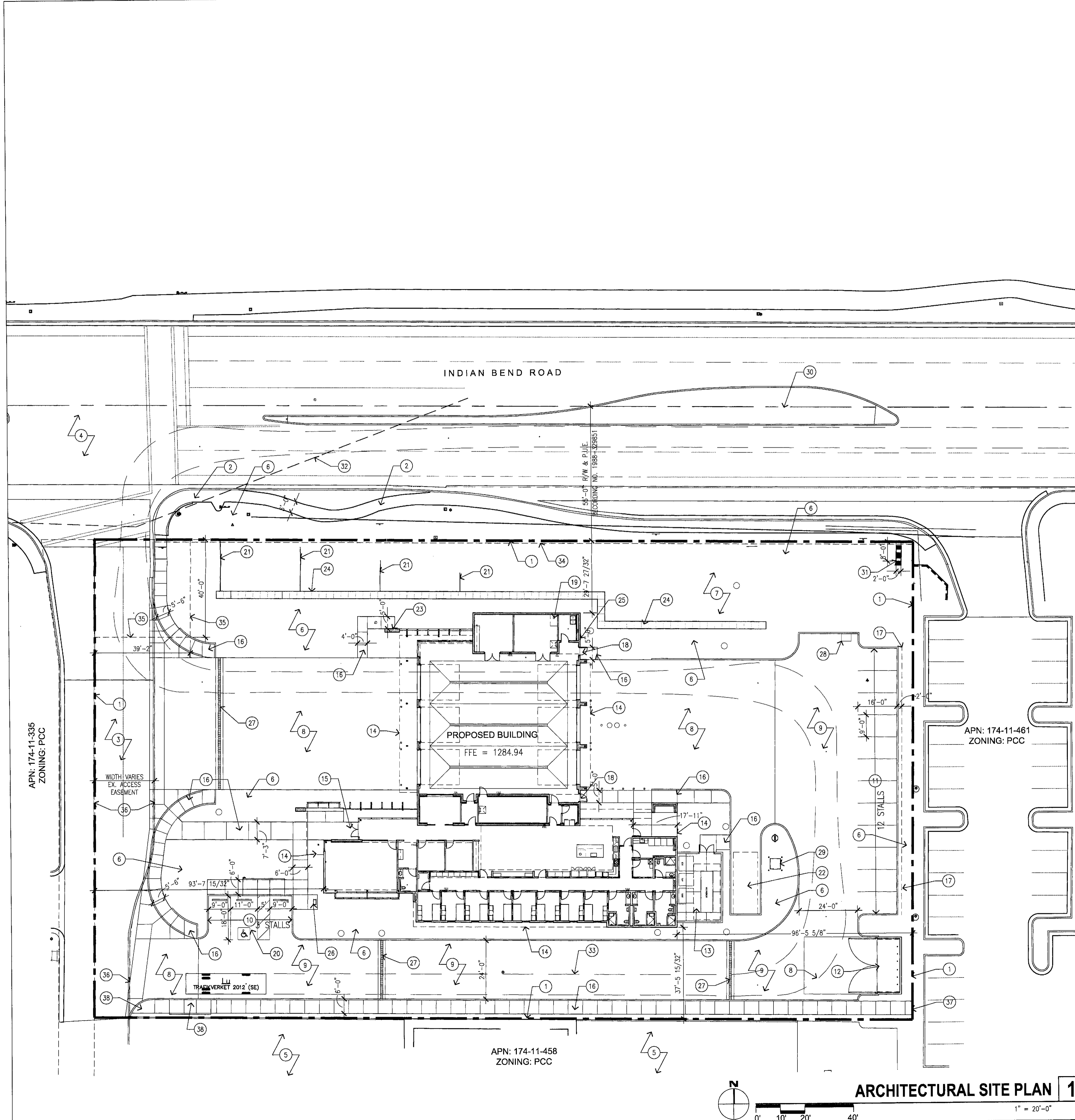
FA Project No.: 1701  
Date: 20 december 2017

context aerial  
site plan

**DR1.0**

conditional use permit /  
MUMSP

1-UP-2018  
04/11/18



**PROJECT DATA**

Site Address: 8191 E. Indian Bend Road  
Scottsdale, Arizona 85250

Parcel Numbers: 174-11-003X / 174-11-003Z

Zoning: Planned Community Center (PCC)

Gross Lot Area: 83,716.62 s.f. (1.923 acres)

Net Lot Area: 65,325 s.f. (1.50 acres)

Gross Floor Area: 10,822.21 s.f.

Section 5.2506 - Property development standards  
B. Floor area ratio (FAR) (ratio of gross floor area to the net lot area of a site)  
1. Maximum allowed: 0.30

Proposed FAR: 10,822.21 sf (gross floor area) / 65,325 sf (net lot area) = 0.17 FAR

Max. Building Height: 24'

**SITE PLAN WORKSHEET CALCULATIONS**

**OPEN SPACE CALCULATIONS**  
Required Open Space:

COMMON OPEN SPACE  
Maximum Building Height = 24' proposed (36' Allowed)  
= 0.16 x net lot area  
= 0.16 x 65,325 = 10,452.00 s.f.

Next 12' of height  
= 12' x .004 x 65,325 = 3,135.60

Common Open Space Required = 10,452.00 + 3,135.60 = 13,587.60 s.f.  
Common Open Space Provided = 14,209.59 s.f.

**FRONTAGE OPEN SPACE**  
Minimum Requirement = 0.35 x Required Common Open Space  
= 0.35 x 13,587.60 = 4,755.66 s.f.

Except at least 30 s.f. per 1 linear foot of public street frontage  
= 30 x Length of prop. line at public street frontage  
= 335'

Length of property at street = 335'

Frontage Open Space Required = 30 x 335' = 10,050 s.f.  
Frontage Open Space Provided = 10,159.52 s.f.

Retention surface area in front open space is included within the front open space area.  
Retention surface area = 4,466.26 s.f.

Parking areas and parking lot landscaping are not included in the required open space.

Parking area = 2,640 s.f.  
Required Parking Landscape Area = 2,640 x .15 = 396 s.f.  
Provided Parking Landscape Area = 399.38 s.f.

**PARKING REQUIREMENTS - Per City of Scottsdale Fire Department**

Parking	Staff Parking	12	spaces
Provided:	Visitor Parking	03	spaces
	Trailer	01	spaces
	<b>Total Parking Provided</b>	<b>16</b>	<b>spaces</b>

**Zoning Ordinance Section 9.105 - Mobility Impaired Accessible Spaces**

Accessible = 4% of total required vehicular parking spaces  
Parking Required: 16 x .04 = 1 spaces

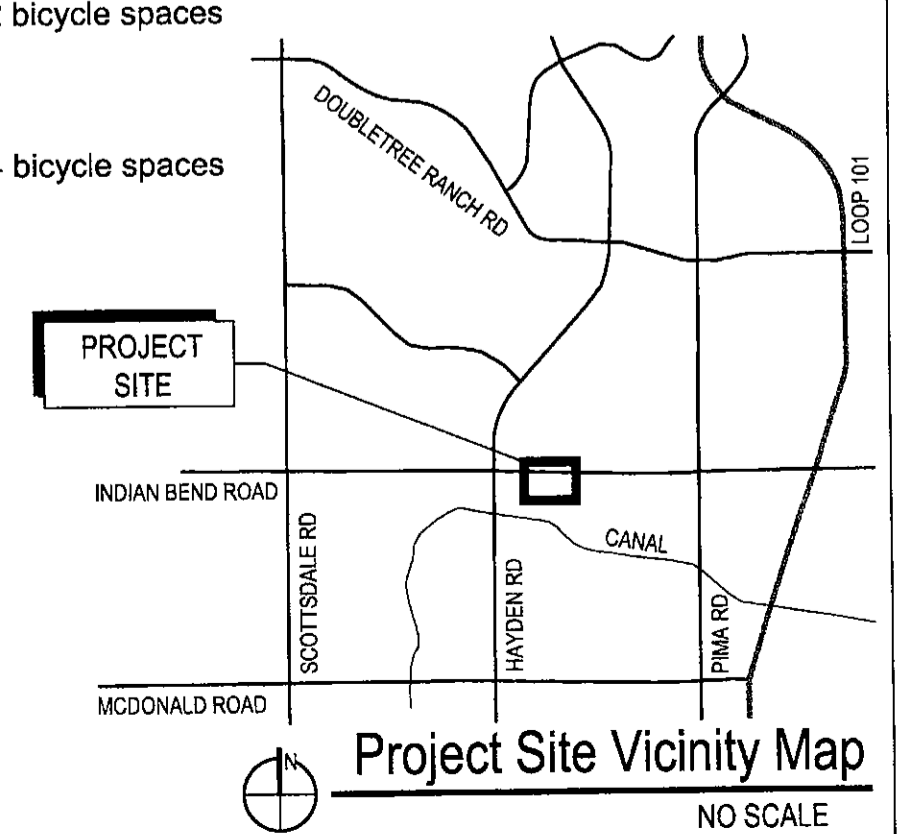
Accessible  
Parking Provided: 1 van accessible space

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE: 6.19.18

**Zoning Ordinance Section 9.103-Parking Requirements-C. Required Bicycle Parking**

Bicycle  
Parking Required: If parking is less than 40, minimum of 2 bicycle parking spaces  
= 2 bicycle spaces

Bicycle  
Parking Provided: = 4 bicycle spaces



- KEYNOTES**
- 1 PROPERTY LINE
  - 2 EXISTING SIDEWALK
  - 3 EXISTING PRIVATE DRIVE
  - 4 EXISTING TRAFFIC-LIGHTED INTERSECTION
  - 5 EXISTING BUILDING
  - 6 LANDSCAPE AREA
  - 7 RETENTION
  - 8 CONCRETE PAVEMENT
  - 9 ASPHALT PAVEMENT
  - 10 VISITOR PARKING
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  - 18 STAFF ENTRY / EXIT
  - 19 FIRE RISER
  - 20 VAN ACCESSIBLE PARKING STALL
  - 21 STEEL EDGE, REF. LANDSCAPE
  - 22 SPECIAL EVENT TRAILER PARKING STALL
  - 23 WALL MOUNTED FLAG POLE
  - 24 GABION RETAINING WALL WITH GEOTEXTILE LINING
  - 25 REMOTE FIRE DEPARTMENT CONNECTION (FDC)
  - 26 BICYCLE PARKING, PER CITY OF SCOTTSDALE DETAIL 2285
  - 27 TRENCH DRAINS, REF. CIVIL
  - 28 CONCRETE CATCH BASIN, REF. CIVIL
  - 29 ELECTRICAL TRANSFORMER, REF. ELECTRICAL
  - 30 CENTERLINE OF ROAD BETWEEN BRASS CAPS, REF. ALTA SURVEY
  - 31 EXISTING SIGN WITHIN SIGN EASEMENT (RECORDING NO. 2017-569710) PER ADJACENT LAND OWNER, TO REMAIN
  - 32 SITE VISIBILITY TRIANGLE, PER DS&PW
  - 33 FIRE TRUCK TURNING RADIUS
  - 34 1' VEHICULAR NON-ACCESS EASEMENT RECORDING NO. 2002-1072465
  - 35 TRAFFIC SIGNAL EASEMENT RECORDING NO. 2004-0629920
  - 36 ACCESS EASEMENT RECORDING NO. 2002-1072456
  - 37 FOR CONTINUATION OF SIDEWALK REFERENCE PROPOSED DEVELOPMENT OF ADJACENT PROPERTY
  - 38 ADA SIDEWALK RAMP, REF. CIVIL C1.0

**FUCELLO ARCHITECTS**  
1 480.947.2864  
1 480.947.2864  
7525 e. camelback road, suite 204  
scottsdale, arizona 85251

**PRELIMINARY NOT FOR CONSTRUCTION**



**SCOTTSDALE FIRE STATION #603**  
8191 E. Indian Bend Road  
Scottsdale, Arizona 85250

REVISION	DATE
1-UP-2018 & 2-DR-2018	4.04.18
1st Review Comments	

FA Project No.: 1701  
Date: 20 december 2017

architectural site plan

**DR1.1**

conditional use permit / MUMSP



REVISION	DATE
1-UP-2018 & 4.04.18	
2-DR-2018	
1st Review Comments	

FA Project No.: 1701  
 Date: 20 december 2017

open space  
 site plan

DR1.3

conditional use permit /  
 MUMSP

KEYNOTES

- 1 PROPERTY LINE
- 2 EXISTING SIDEWALK
- 3 EXISTING PRIVATE DRIVE
- 4 EXISTING TRAFFIC-LIGHTED INTERSECTION
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- 19 VAN ACCESSIBLE PARKING STALL
- 20 SPECIAL EVENT TRAILER PARKING STALL
- 21 STEEL EDGE, REF. LANDSCAPE
- 22 GABION RETAINING WALL WITH GEOTEXTILE LINING
- 23 BICYCLE PARKING

PROJECT DATA

Site Address: 8191 E. Indian Bend Road  
 Scottsdale, Arizona 85250

Parcel Numbers: 174-11-003X / 174-11-003Z

Zoning: Planned Community Center (PCC)

Gross Lot Area: 83,716.62 s.f. (1.923 acres)

Net Lot Area: 65,325 s.f. (1.50 acres)

Gross Floor Area: 10,822.21 s.f.

Section 5.2506 - Property development standards  
 B. Floor area ratio (FAR) (ratio of gross floor area to the net lot area of a site)  
 1. Maximum allowed: 0.30

Proposed FAR: 10,822.21 sf (gross floor area) / 65,325 sf (net lot area) = 0.17 FAR

Max. Building Height: 24'

SITE PLAN WORKSHEET CALCULATIONS

OPEN SPACE CALCULATIONS

Required Open Space:

COMMON OPEN SPACE  
 Maximum Building Height = 24' proposed (36' Allowed)  
 First 12' of height = 0.16 x net lot area = 0.16 x 65,325 = 10,452.00 s.f.  
 Next 12' of height = 12' x .004 x 65,325 = 3,135.60

Common Open Space Required = 10,452.00 + 3135.60 = 13,587.60 s.f.  
 Common Open Space Provided = 14,209.59 s.f.

FRONTAGE OPEN SPACE

Minimum Requirement = 0.35 x Required Common Open Space  
 = 0.35 x 13,587.60 = 4,755.66 s.f.

Except at least 30 s.f. per 1 linear foot of public street frontage  
 = 30 x Length of prop. line at public street frontage  
 = 335'

Length of property at street = 335'

Frontage Open Space Required = 30 x 335' = 10,050 s.f.  
 Frontage Open Space Provided = 10,159.52 s.f.

Retention surface area in front open space is included within the front open space area.  
 Retention surface area = 4,466.26 s.f.

Parking areas and parking lot landscaping are not included in the required open space.

Parking area = 2,640 s.f.  
 Required Parking Landscape Area = 2,640 x .15 = 396 s.f.  
 Provided Parking Landscape Area = 399.38 s.f.

PARKING REQUIREMENTS - Per City of Scottsdale Fire Department

Parking	Staff Parking	12 spaces
Provided:	Visitor Parking	03 spaces
	Trailer	01 spaces
	Total Parking Provided	16 spaces

Zoning Ordinance Section 9.105 - Mobility Impaired Accessible Spaces

Accessible Parking Required: 4% of total required vehicular parking spaces  
 = 16 x .04 = 1 spaces

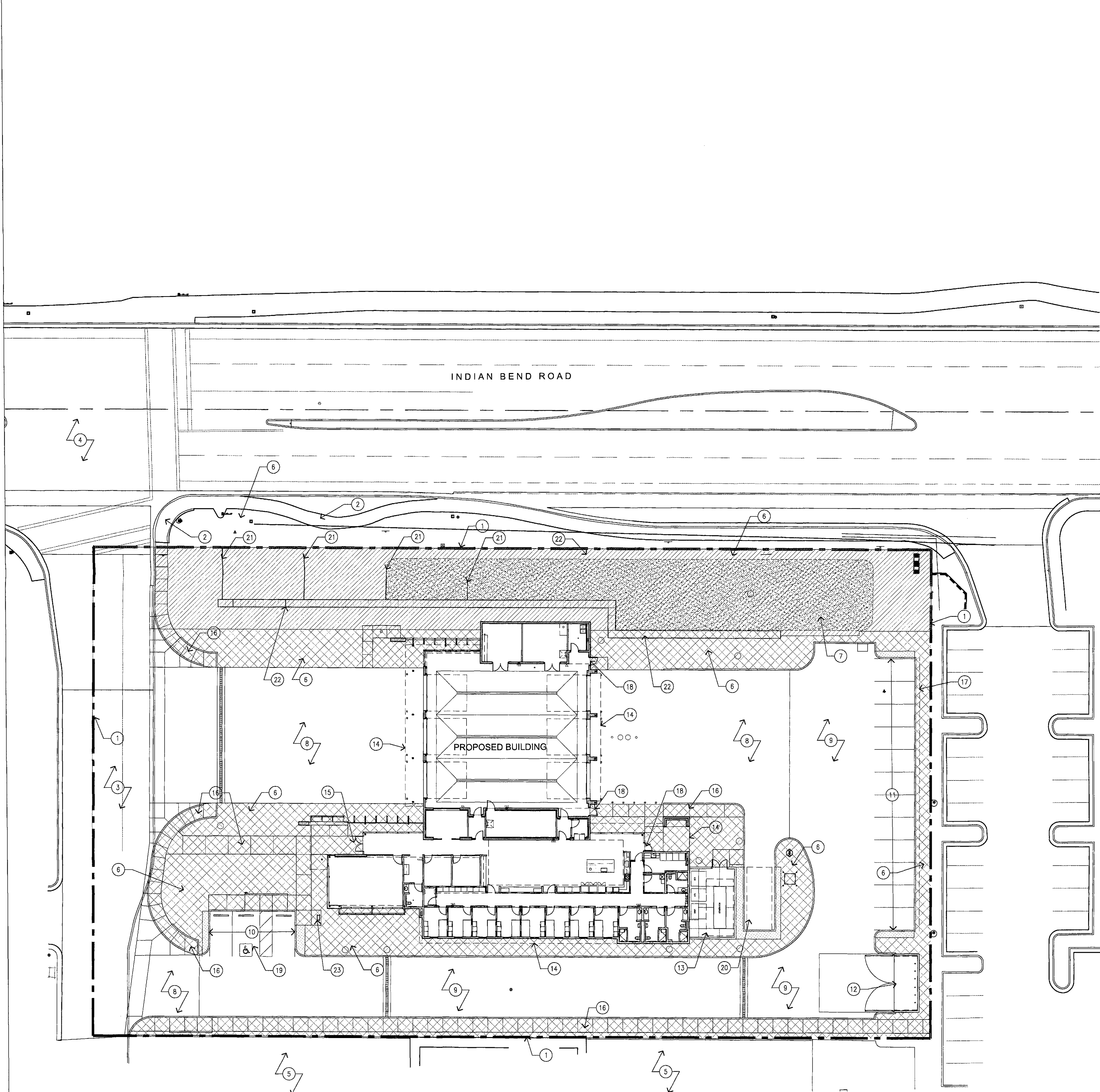
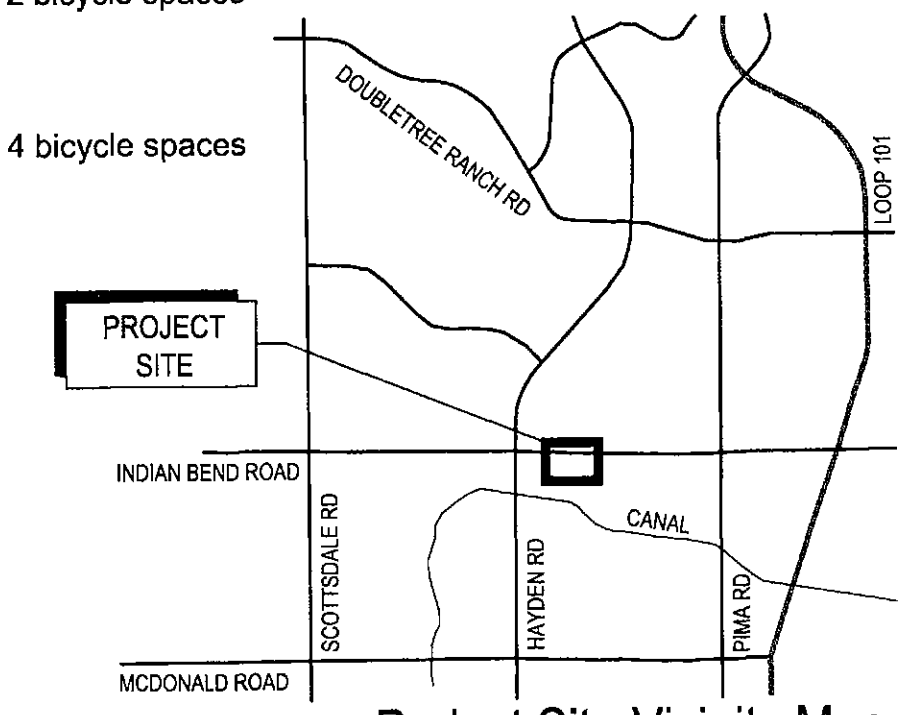
Accessible Parking Provided: 1 van accessible space

STIPULATION SET  
 RETAIN FOR RECORDS  
 APPROVED  
 6-19-18  
 [Signature]

Zoning Ordinance Section 9.103-Parking Requirements-C. Required Bicycle Parking

Bicycle Parking Required: If parking is less than 40, minimum of 2 bicycle parking spaces  
 = 2 bicycle spaces

Bicycle Parking Provided: = 4 bicycle spaces



OPEN SPACE SITE PLAN 1  
 1" = 20'-0"

- KEYNOTES**
- 1 PROPERTY LINE
  - 2 EXISTING SIDEWALK
  - 3 EXISTING PRIVATE DRIVE
  - 4 EXISTING TRAFFIC-LIGHTED INTERSECTION
  - 5 EXISTING BUILDING
  - 6 LANDSCAPE AREA
  - 7 RETENTION
  - 8 STANDARD GREY CONCRETE PAVEMENT
  - 9 ASPHALT PAVEMENT
  - 10 STANDARD GREY CONCRETE W/ LIGHT BROOM FINISH
  - 11 INTEGRAL COLOR, EXPOSED AGGREGATE CONCRETE (DAVIS COLOR: ADOBE 61078) OR EQUAL.
  - 12 EXISTING CURB TO BE REMOVED

**FUCELLO ARCHITECTS**  
 1 480.947.2960  
 1 480.947.2964  
 7526 e. camelback road, suite 204  
 scottsdale, arizona 85251

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**



**SCOTTSDALE FIRE STATION #603**  
 8191 E. Indian Bend Road  
 Scottsdale, Arizona 85250

REVISION	DATE
1-UP-2018 & 2-DR-2018	4.04.18
1st Review Comments	

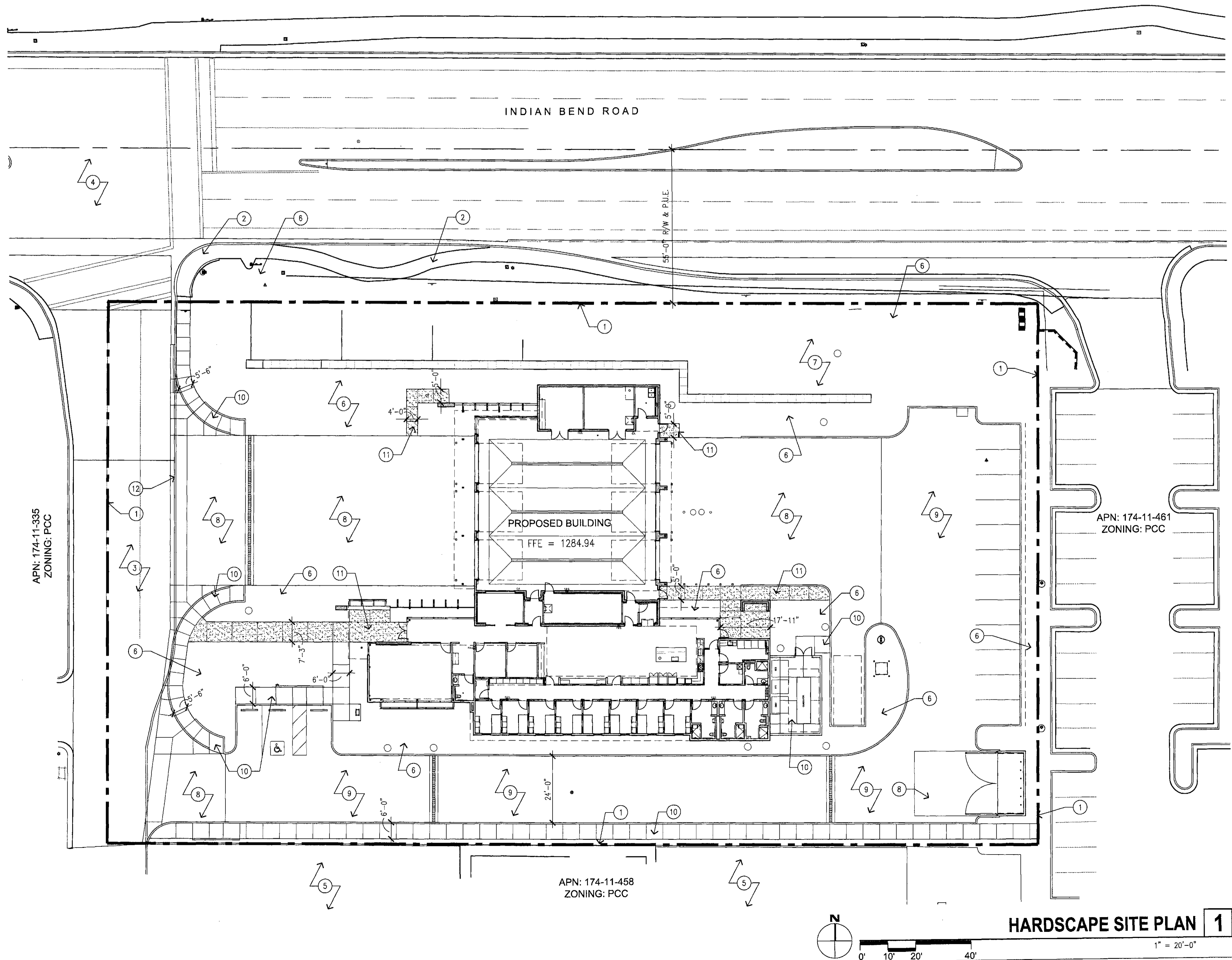
FA Project No.: 1701  
 Date: 20 december 2017

hardscape site plan

**DR1.4**

conditional use permit / MUMSP

1-UP-2018  
 04/11/18



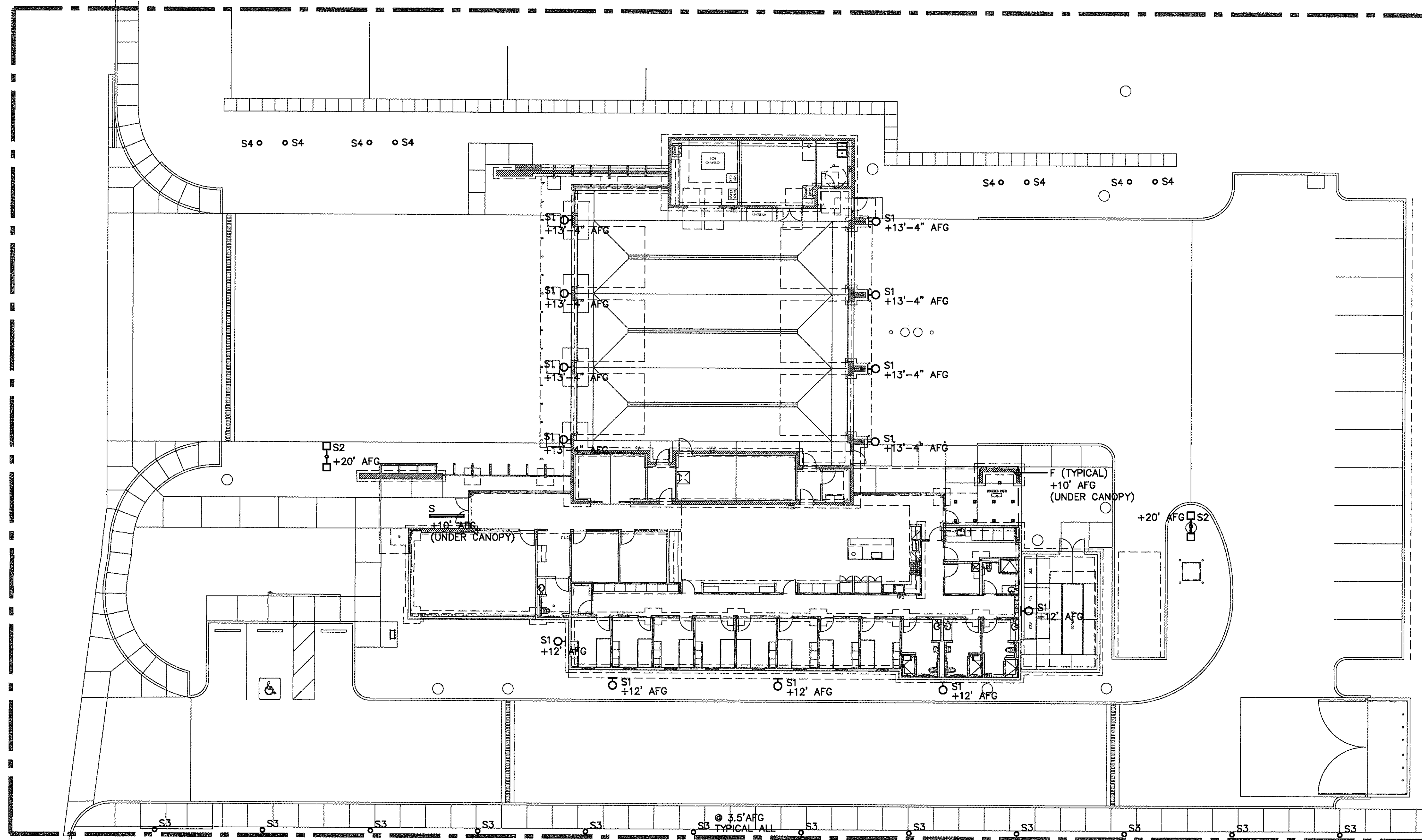
**HARDSCAPE SITE PLAN 1**



FILE: j:\2017\171049 COS Fire Station 603\MUMSP PACKAGE\SITE.dwg

PLOTTED BY: Nathan.Short

PLOTTED: 04.04.2018 - 10:10am



**ELECTRICAL SITE PLAN**

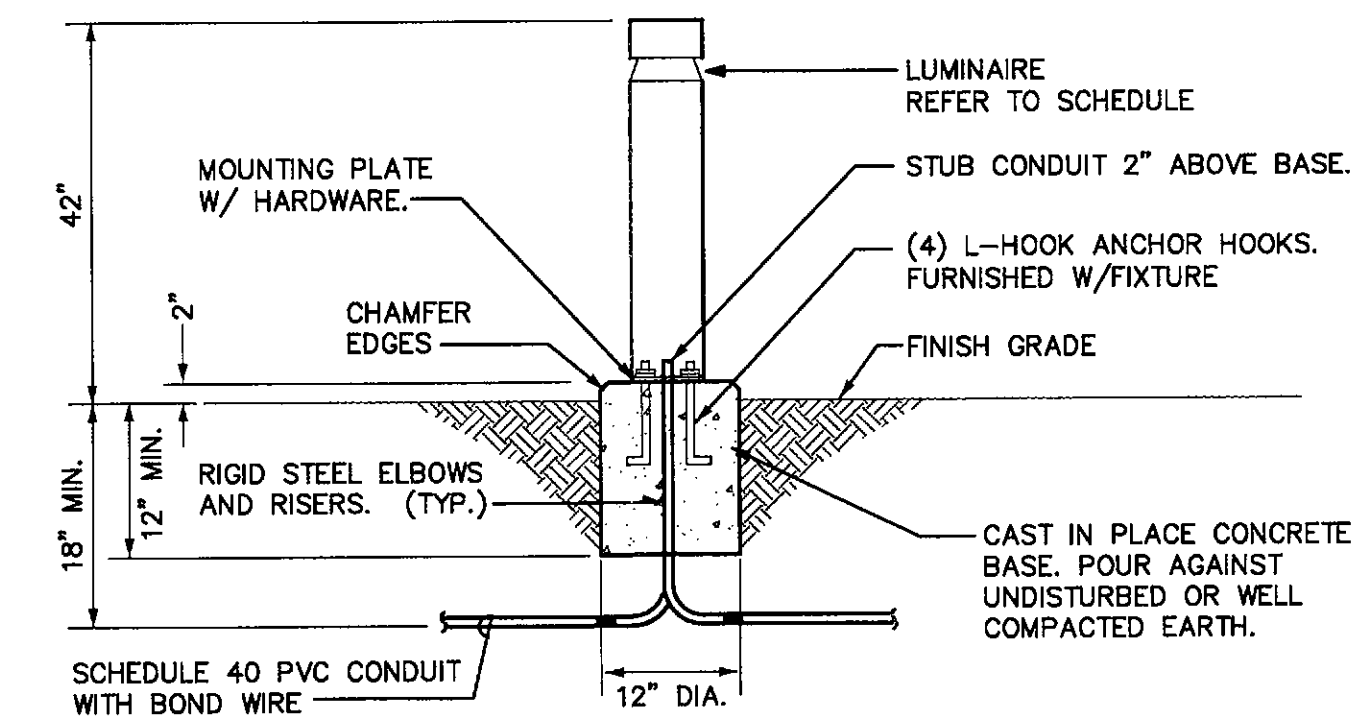
SCALE: 1/16" = 1'-0"

**SHEET NOTES**

- REFER TO SHEET E2.0 FOR PHOTOMETRIC PLANS AND STATISTICAL TABLES.
- REFER TO SHEET E3.0 AND E3.1 FOR LIGHT FIXTURE CUTSHEETS.
- REFER TO SHEET E2.0 FOR NOTES INDICATING COMPLIANCE WITH CITY OF SCOTTSDALE CITY POLICY FOR EXTERIOR AND SITE LIGHTING.

**EXTERIOR LUMINAIRE SCHEDULE**

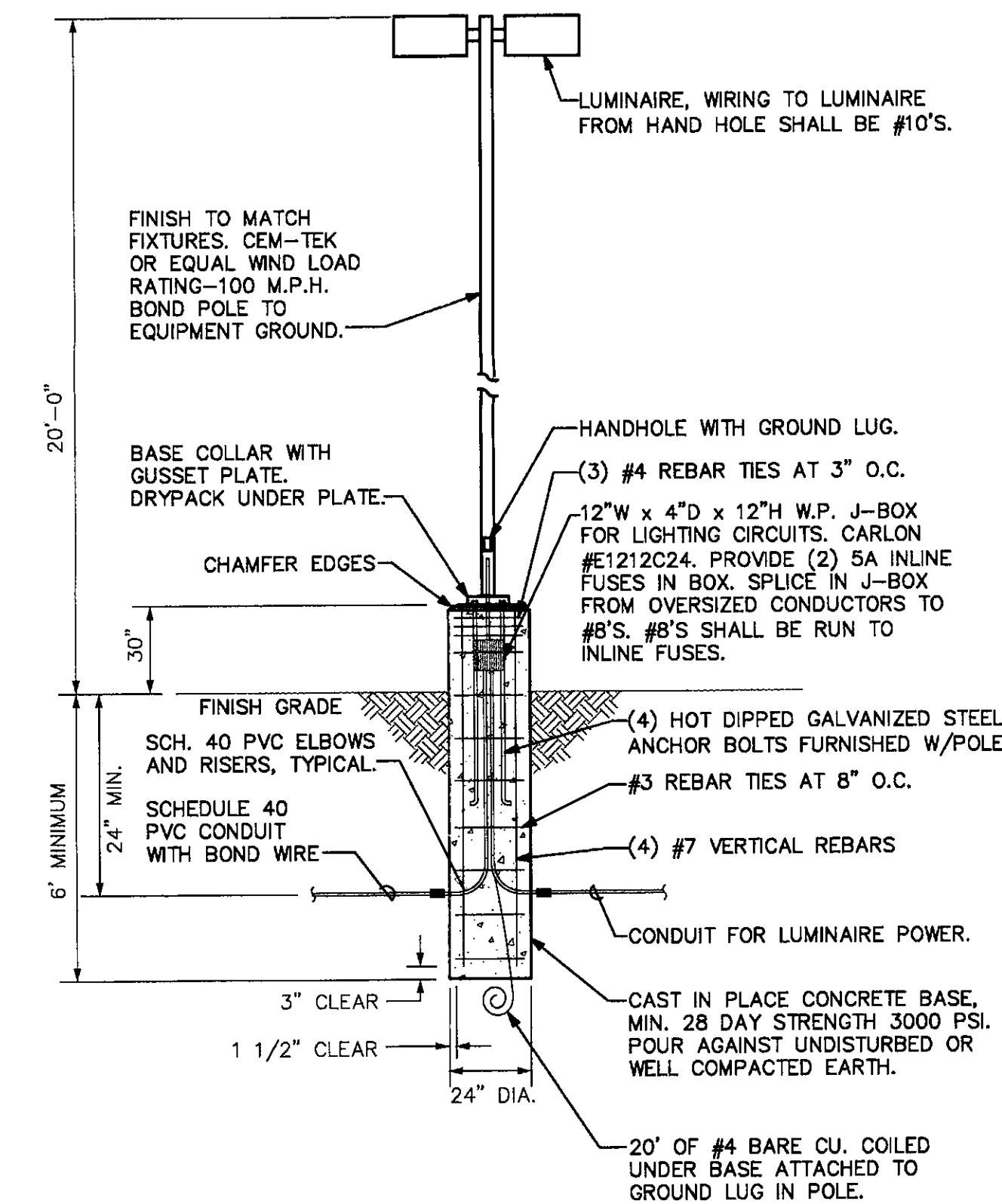
MARK	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS	VOLTAGE	INPUT WATTAGE	MOUNTING AND HEIGHT	KEYED NOTES
S1	LUMARK	XTOR2B-W BZ	WALL SCONCE	LED 18.2W 4000K	120	18	WALL SURFACE HEIGHT PER PLANS	
S2	MCGRAW EDISON	GLEON-AF-02-LED-E1-T4FT BZ / SSS. 17.5' WITH 2.5' BASE	PARKING LOT LIGHT POLE	(2) LED 113W 4000K	120	226	POLE MOUNT @ +20' AFG	
S3	PACIFIC	BGFT 30-LED-4K-MT-BZ-NC	BOLLARD	LED 30W 4000K	120	30	BOLLARD @ +3.5' AFG	
S4	VISTA	1043-XX-MF-30-C-MV-ND	TREE UPLIGHT	LED 9.1W 3000K	120	9.1	IN-GROUND	
S	BIRCHWOOD	VAN LED 400 CLO-70 4' DR REC STND MW FW XX EB HAT	LINEAR SLOT	LED 11W 4000K	120	11	RECESSED	
F	HALO	SMD4R6940WH	RECESSED CAN DOWNLIGHT	LED 9.8W 3000K	120	9.8	RECESSED	



**TYPE S3 DETAIL**

SCALE: NOT TO SCALE

1  
E1.0



**TYPE S2 DETAIL**

NOT TO SCALE

2  
E1.0

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
6-19-18  
DATE



ENERGY SYSTEMS DESIGN  
7135 East Camelback Road  
Suite 275  
Scottsdale AZ 85251

P: 480.481.4900  
F: 480.481.4903

PROJECT #  
171049

DESIGN CONTACT  
NATHAN SHORT

FUCELO ARCHITECTS  
1 800.947.2960  
1 480.947.2964  
7525 e. camelback road, suite 250  
scottsdale, arizona 85251

PRELIMINARY  
NOT FOR  
CONSTRUCTION



SCOTTSDALE FIRE STATION #603  
8191 E. Indian Bend Road  
Scottsdale, Arizona 85250

REVISION	DATE
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2-DR-2018	
1st Review Comments	

FA Project No.: 1701  
Date: 20 december 2017

ELECTRICAL  
LIGHTING  
SITE PLAN

E1.0

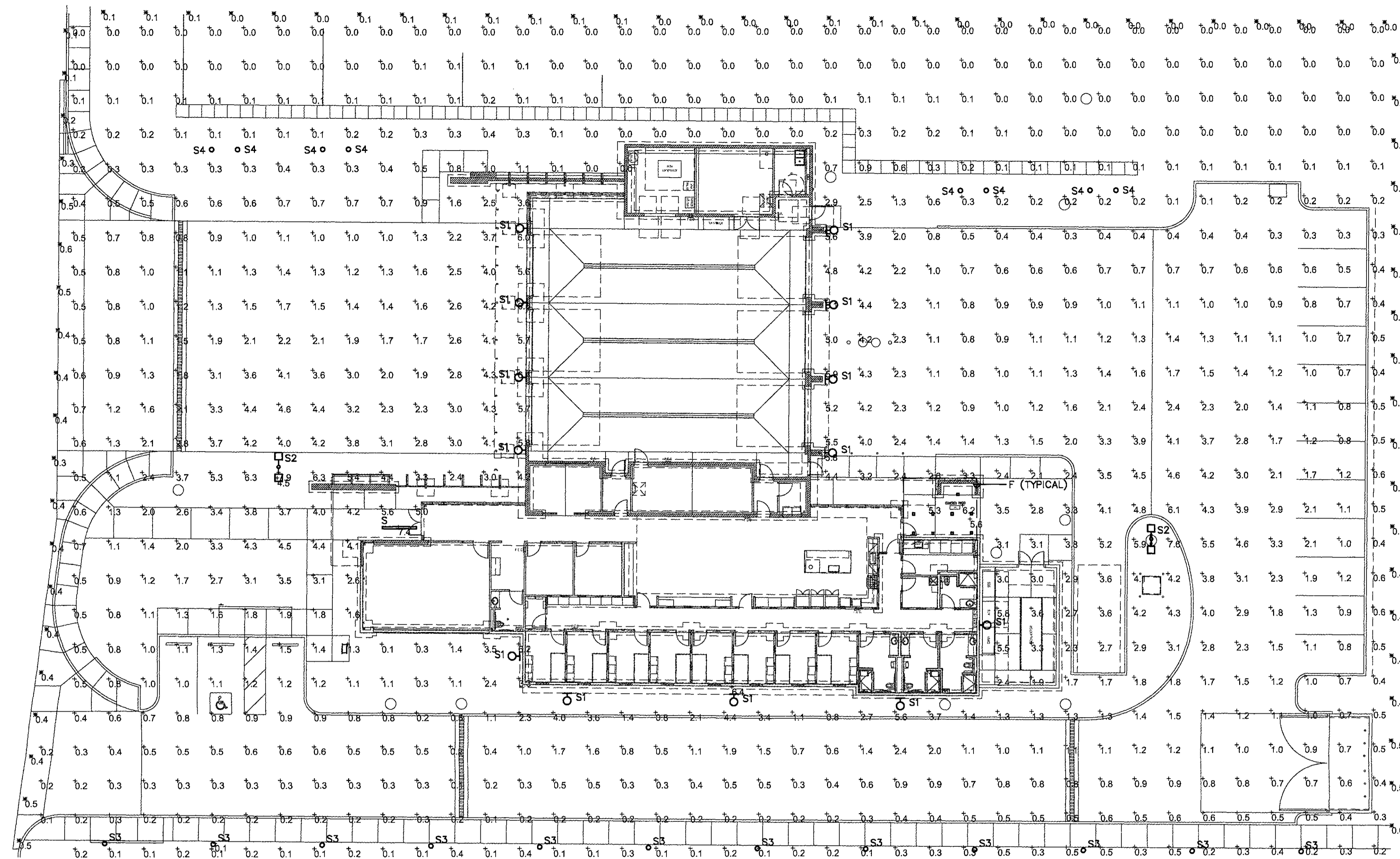
conditional use permit /  
MUMSP

1-UP-2018  
04/11/18

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PLOTTED BY: Nathan.Short

PLOTTED: 04.04.2018 - 10:09am



**ELECTRICAL SITE PHOTOMETRY PLAN**

SCALE: 1/16" = 1'-0"

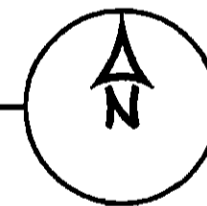
**SHEET NOTES**

- THIS PROJECT IS LOCATED WITHIN A CITY OF SCOTTSDALE E-3 SUBURBAN AREA, AND IS DESIGNED TO MEET THE ILLUMINANCE RECOMMENDATION AND LIGHT TRESPASS LIMITATIONS OF 2 FOOT-CANDLE AVERAGE, 8 FOOT-CANDLE MAXIMUM, AND 0.8 FOOT-CANDLE VERTICAL MAXIMUM AT 6 FEET ABOVE GRADE AT PROPERTY LINE. REFER TO STATISTICS TABLE.
- HORIZONTAL PHOTOMETRIC PLAN UTILIZES SPACING OF 10' X 10' BETWEEN EACH POINT.
- THE PROPERTY LINE CALCULATION UTILIZES A VERTICAL LIGHT TRESPASS CALCULATION WITH SPACING OF 10' BETWEEN EACH POINT, AND AT A HEIGHT OF 6' ABOVE GRADE. SYMBOL AND VALUES ARE ON THE SAME PLAN AND UTILIZE A DISTINCTIVE SYMBOL.
- PHOTOMETRIC PLAN USES INITIAL ILLUMINANCE (NO MAINTENANCE/ LIGHT LOSS FACTOR APPLIED).
- REFER TO STATISTICS TABLE FOR FOOT-CANDLE READING DIRECTLY UNDER EACH FIXTURE TYPE (NOT INCLUDING TYPE S4 LANDSCAPE UPLIGHT).
- TYPE S4 IS A LANDSCAPE LIGHT THAT IS AIMED IN AN UPWARD DIRECTION TO PROVIDE ILLUMINATION OF THE PALO VERDE AND MESQUITE TREES. LUMEN OUTPUT AND WATTAGE IS BELOW THE MAXIMUM ALLOWED.
- REFER TO STATISTICS TABLE FOR MAXIMUM, MINIMUM AND AVERAGE ILLUMINANCE OF EACH OF THE HORIZONTAL AND VERTICAL PHOTOMETRIC PLAN.
- ALL LIGHT FIXTURES ARE FULL CUT-OFF (NOT INCLUDING TYPE S4 LANDSCAPE UPLIGHT), AND UTILIZE EFFECTIVE MOUNTING HEIGHTS AND SHIELDING TO CONTROL GLARE AND LIGHT TRESPASS.

LIGHT LOSS FACTOR SHOWN AS 1 (INITIAL ILLUMINANCE)

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	S1	15	EATON - LUMARK	XTOR2B-W BZ	WALL MOUNTED AREA LIGHT AT 14'	4000K LED	1	XTOR2B-W.ies	2102	1	18.2
[Symbol]	S2	2	EATON - MCGRAW-EDISON	GLEON-AF-02-LED-E1-T4FT-BZ-HA-LCF / SSS 17.5' W/ 2.5' BASE	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS, MOUNTED @ 20' AFG	4000K LED	32	GLEON-AF-02-LED-E1-T4FT.ies	382	1	226
[Symbol]	S3	12	PACIFIC	BGFT 30-LED-4K-MT-BZ NC	42" TALL ROUND LED BOLLARD WITH CAST ALUMINUM LOUVERS	4000K LED	1	BRC-XX-26CF.IES	3600	1	30
[Symbol]	S4	S4 IS NOT INCLUDED IN PHOTOMETRY PLAN AS IT IS AIMED UPWARD.									
[Symbol]	F	4	EATON - HALO	SMD4R6940WH	4" SURFACE DOWNLIGHT	4000K LED	28	SMD4R6940WH.ies	27.14276	1.0	9.8
[Symbol]	S	1	BIRCHWOOD	VAN-LED-400-DR REC STND MW FW XX EB HAT	RECESSED WET LOCATION LINEAR	4000K LED	4	VAN-LED-400-HLO-30-4-MW-FW.ies	400	1.0	10.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
F	+	5.6 fc	5.6 fc	5.6 fc	1.0:1	1.0:1
PROPERTY LINE	X	0.2 fc	0.6 fc	0.0 fc	N/A	N/A
S	+	7.4 fc	7.4 fc	7.4 fc	1.0:1	1.0:1
S1	+	5.8 fc	5.8 fc	5.8 fc	1.0:1	1.0:1
S2	+	4.5 fc	4.5 fc	4.5 fc	1.0:1	1.0:1
S3	+	0.1 fc	0.1 fc	0.1 fc	1.0:1	1.0:1
S4	+	8.4 fc	8.4 fc	6.4 fc	1.0:1	1.0:1
SITE	+	1.3 fc	7.9 fc	0.0 fc	N/A	N/A



**FUCELLO ARCHITECTS**  
 1 480.947.2964  
 1 480.947.2964  
 7525 e. camelback road, suite 204  
 scottsdale, arizona 85251

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



**SCOTTSDALE FIRE STATION #603**  
 8191 E. Indian Bend Road  
 Scottsdale, Arizona 85250

REVISION	DATE
1-UP-2018 & 2-DR-2018	4.04.18
1st Review Comments	

FA Project No.: 1701  
 Date: 20 december 2017

**ELECTRICAL  
PHOTOMETRY  
PLAN**

**E2.0**

conditional use permit / MUMSP

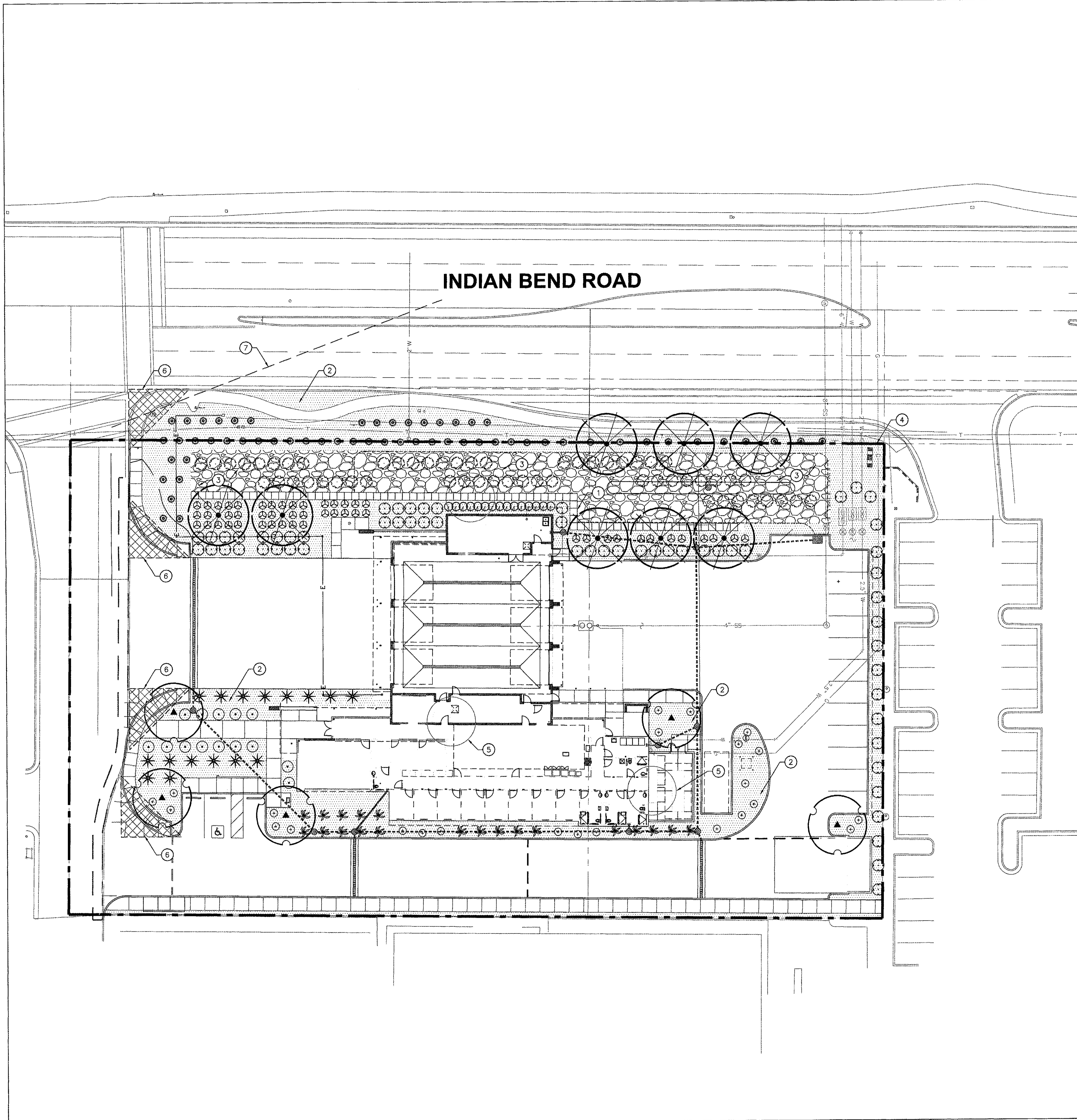
**esd**  
 ENERGY SYSTEMS DESIGN  
 7135 East Camelback Road  
 Suite 275  
 Scottsdale AZ 85251  
 P: 480.481.4900  
 F: 480.481.4903  
 PROJECT # 171049  
 DESIGN CONTACT

1-UP-2018  
04/11/18









**PLANTING SCHEDULE**

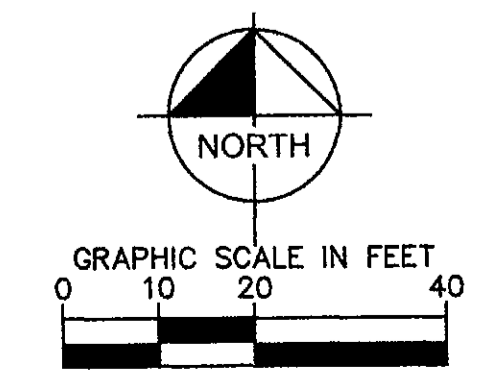
TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Parkinsonia x 'Desert Museum' Desert Museum Palo Verde (Upright)	3" Cal., 14' Ht., 10' Width Min.	8
	Prosopid hybrid 'Phoenix' Hybrid Mesquite	2" Cal., 11' Ht., 7' Width Min.	5

SHRUBS, ACCENTS & GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Stenocereus marginatus Mexican Fence Post	5 Gal.	15
	Aloe barbadensis Medicinal Aloe	5 Gal.	50
	Leucophyllum laevigatum Chihuahuan Sage	5 Gal.	59
	Muhlenbergia lindheimeri 'Autumn Glow' Big Muhly	5 Gal.	56
	Muhlenbergia capillaris 'Regal Mist' Gulf Muhly	5 Gal.	58
	Dasyliion wheeleri Desert Spoon	5 Gal.	16
	Dalea frutescens 'Sierra Negra' Black Dalea	5 Gal.	14
	Agave desmettiana Octopus Agave	5 Gal.	20
	Lantana montevidensis Purple Trailing Lantana	5 Gal.	24

MATERIALS	DESCRIPTION	QTY
	Decomposed Granite 3/4" Screened, 2" Depth Min., Color: Painted Desert or Approved Equal	15,025 SF
	Rock Mulch 3"-5" Rock Mulch, 4" Depth Min., Color: Painted Desert or Approved Equal	5,713 SF

**CONSTRUCTION KEY NOTES**

- ① GABION BASKET WALL, REFERENCE SITE DETAILS
- ② DECOMPOSED GRANITE, TYP., INSTALL PER COS STD. DETAIL NO. 2620-1
- ③ ROCK MULCH, TYP., REFERENCE LANDSCAPE SCHEDULE ABOVE
- ④ PROPERTY LINE
- ⑤ EXISTING TREE TO BE REMOVED
- ⑥ TRAFFIC SAFETY TRIANGLE, TYP.
- ⑦ SIGHT DISTANCE LINE, TYP.



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NOT FOR  
CONSTRUCTION**



**Kimley»Horn**



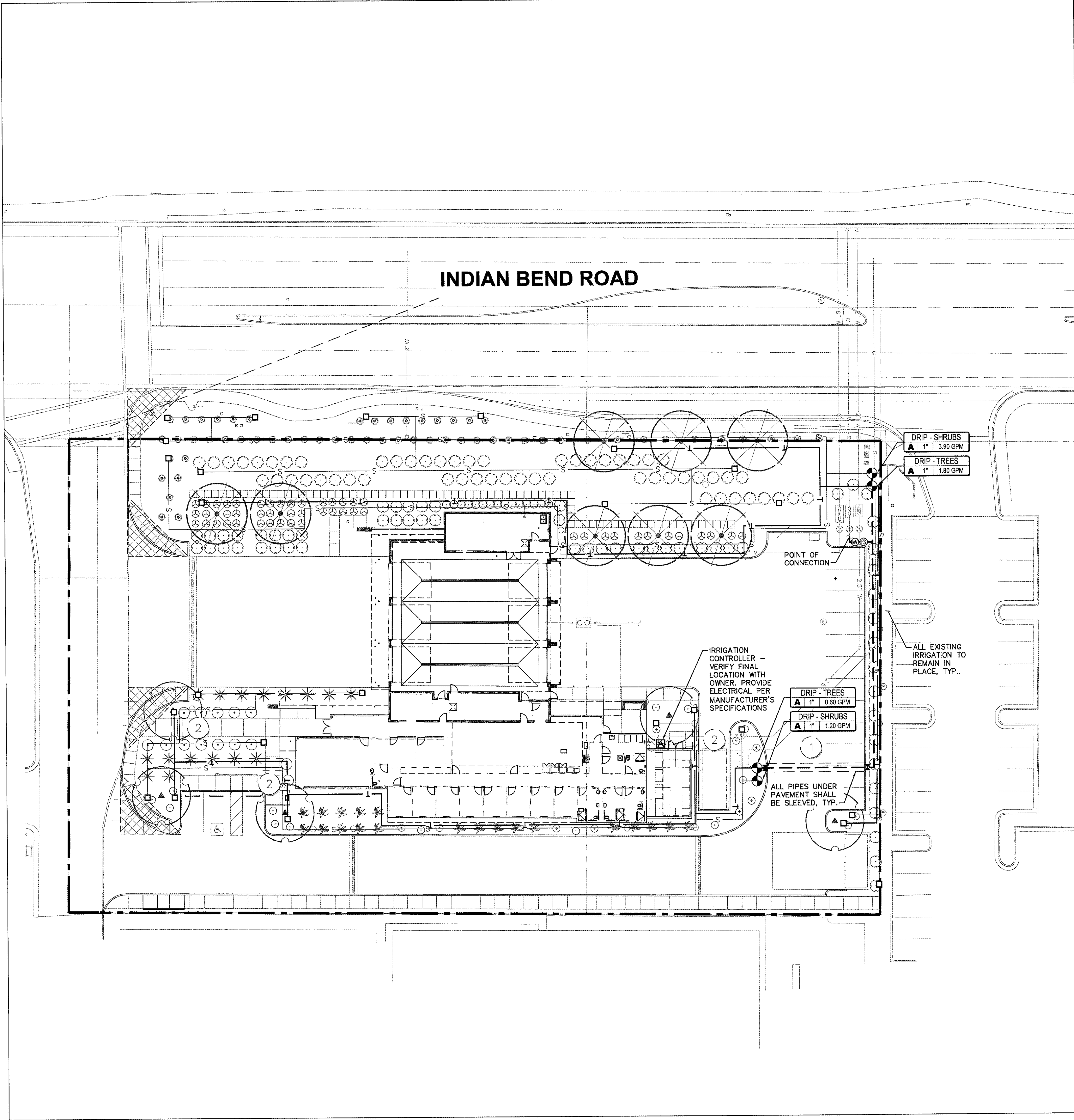
**SCOTTSDALE FIRE STATION #603**  
 8191 E. Indian Bend Road  
 Scottsdale, Arizona 85250

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landscape  
plan

**L1.1**  
conditional use permit /  
MUMSP



**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER / MODEL / DESCRIPTION	QTY
▲	Rain Bird ESP12LXMEF with ESPLXMS8 module in Outdoor Mounted Metal Cabinet; Coordinate Location w/ Owner.	1
-	Water Meter: See Civil Plans for Details	-
∞	Backflow Preventer: See Civil Plans for Details	-
⊗	Rain Bird 150-EFB-CP 1-1/2" Master Valve, Normally Closed	1
⊙	Rain Bird FS150B 1-1/2" Brass Flow Sensor	1
✕	NIBCO TS-113 Class 125 Full Port Bronze Gate Valve	2
⊕	Rain Bird 150-PEB Valve Kit and 1-1/2" Ball Valve. Install one valve per box per details, rectangular box, min. 12" clearance between valves	4
□	Drip Zone Flush End Cap (PER cos STD. Detail 2648)	25
EMITTERS NOT SHOWN	BOWSMITH ML200 Series Multi-port emitter with 1/2" FPT inlet. Per COS Std. Detail 2641-1 and 2641-2. Use Multi-Outlet Emitters on Shrubs and Trees.	AS REQD

SYMBOL	SIZE AND DESCRIPTION	QTY
⊗	SCH 40 SLEEVE / Spears or equal. Sleeve shall be min. 2x size of pipe within. One pipe per sleeve. Install independent 2" sleeve for wiring. *X* denotes quantity	105 LF

SYMBOL	SIZE AND DESCRIPTION	QTY
—	SCH 40 PVC Mainline - 1-1/2"	175 LF
—	SCH 40 PVC Tree Lateral Pipe (Size per table below)	955 LF
—	SCH 40 PVC Shrub Lateral Pipe (Size per table below)	1,820 LF

FLOW (GPM)	PIPE SIZE
0-6.0	3/4"
6.1-10	1"
10+	1-1/4"

**NOTE:**  
IRRIGATION EQUIPMENT IS SHOWN DIAGRAMMATICALLY. ALL EQUIPMENT AND PIPING SHALL BE PLACED WITHIN LANDSCAPE AREAS, UNLESS SLEEVED BENEATH PAVEMENT AS SHOWN. AVOID CONFLICTS WITH UTILITIES AND PLANT MATERIALS.

**FUCELLO ARCHITECTS**  
 480.947.2860  
 480.947.2864  
 7525 e. camelback road, suite 204  
 scottsdale, arizona 85251

**PRELIMINARY NOT FOR CONSTRUCTION**



**Kimley-Horn**



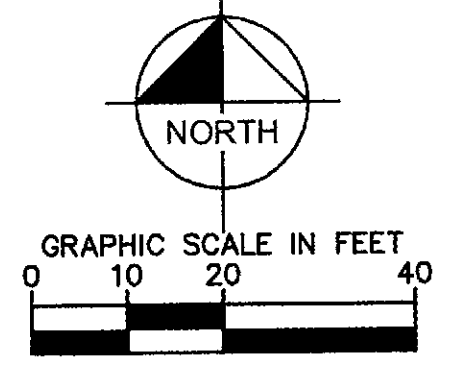
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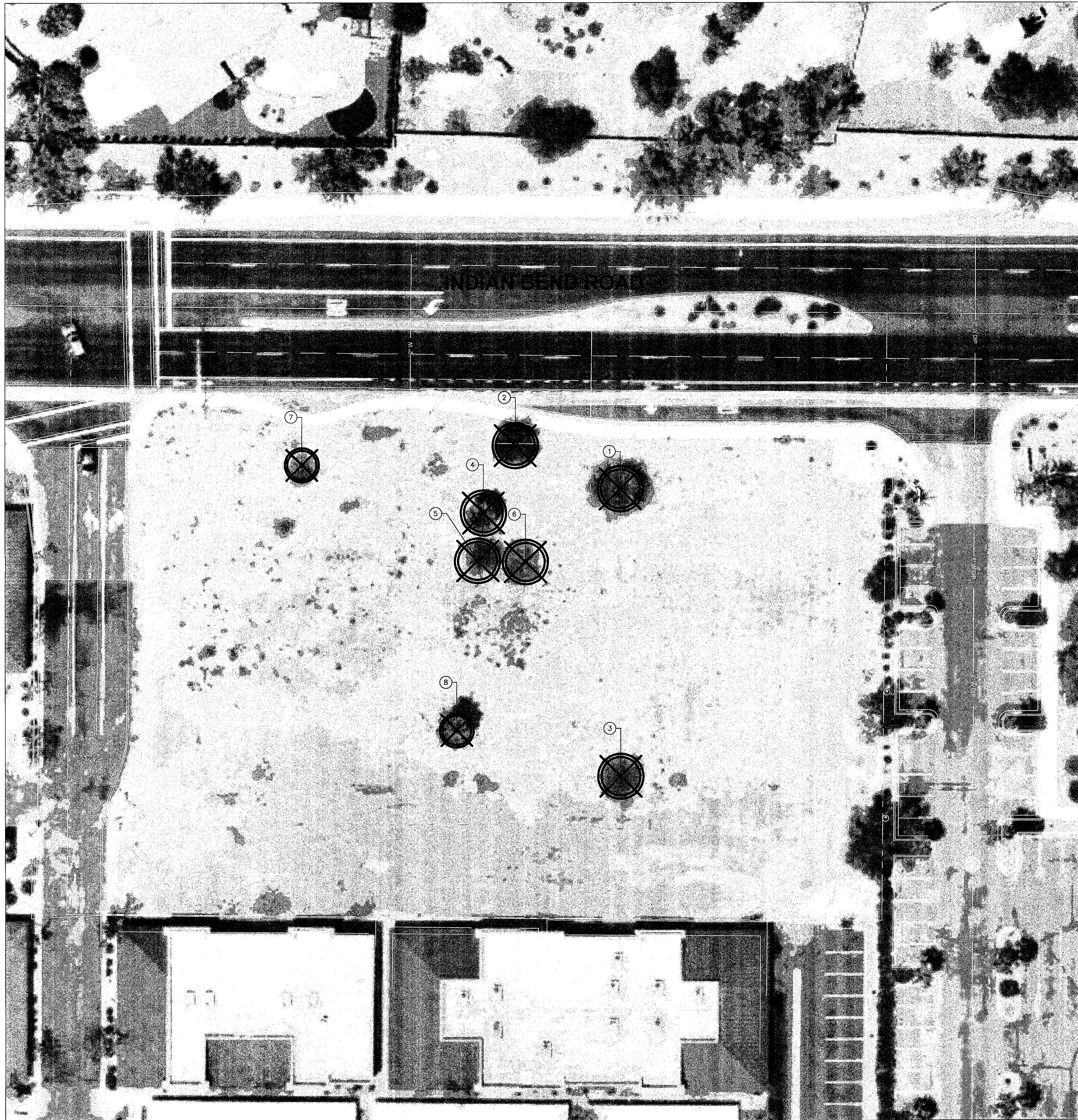
FA Project No.: 1701  
Date: 20 december 2017

irrigation plan

**L2.0**  
conditional use permit / MUMSP



1-UP-2018  
04/11/18



**EXISTING NATIVE PLANT MATERIALS**

#	PLANT TYPE	CALIPER	SALVAGE ABILITY	DISPOSITION	REASON
1	PALO VERDE	8"	NOT SALVAGABLE	DESTROY	POOR CONDITION; SURFACE ROOTS
2	MESQUITE	24"	NOT SALVAGABLE	DESTROY	AVERAGE CONDITION; SPLIT BASE
3	PALO VERDE	14"	NOT SALVAGABLE	DESTROY	AVERAGE CONDITION; SPLIT BASE
4	PALM	-	NOT SALVAGABLE	DESTROY	N/A; SPECIES NOT PROTECTED
5	PALO VERDE	3"	NOT SALVAGABLE	DESTROY	POOR CONDITION; UNDER 4" CALIPER
6	PALO VERDE	3"	NOT SALVAGABLE	DESTROY	POOR CONDITION; UNDER 4" CALIPER
7	PALO VERDE	3"	NOT SALVAGABLE	DESTROY	POOR CONDITION; UNDER 4" CALIPER
8	PALM	-	NOT SALVAGABLE	DESTROY	N/A; SPECIES NOT PROTECTED

**INVENTORY LEGEND**

SYMBOL	DESCRIPTION
	EXST TREE - PRESERVE IN PLACE
	EXST TREE - REMOVE
	EXST TREE - SALVAGE

**NOTE**

PER MEETING AUGUST 17, 2017 WITH GREG BLOEMBERG, THIS PROJECT WILL NOT REQUIRE A FORMAL NATIVE PLANT SUBMITTAL BASED ON EXISTING SITE CONDITIONS.

**FUCELLO ARCHITECTS**  
 1 480.947.2980  
 480.947.2984  
 7525 E. Campbell  
 Scottsdale, Arizona 85251

PRELIMINARY  
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CONSTRUCTION



KimleyHorn



**SCOTTSDALE FIRE STATION #603**  
 8191 E. Indian Bend Road  
 Scottsdale, Arizona 85250

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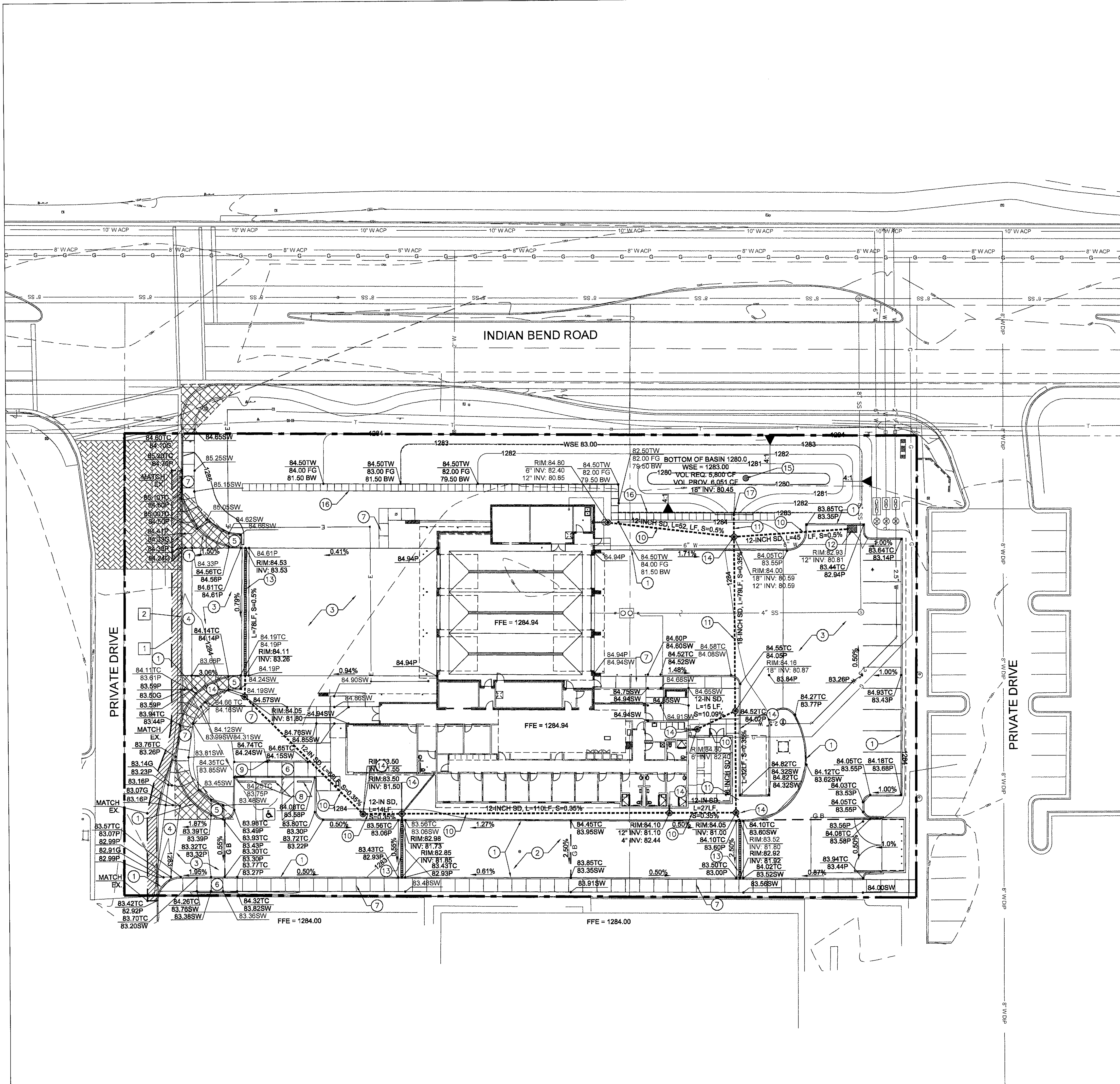
FA Project No: 1701  
Date: 20 december 2017

native plant  
inventory  
exhibit

**LI1.0**

conditional use permit /  
MUM SP

1-UP-2018  
1/3/2018



**REMOVE & REPLACEMENT KEY NOTES**

- 1 SAWCUT, REMOVE AND REPLACE PAVEMENT AS PER CITY OF SCOTTSDALE STANDARD PAVEMENT REPLACEMENT DETAIL 2200. 85 SY
- 2 SAWCUT AND REMOVE CONCRETE CURB, TYP. 165 LF

**CONSTRUCTION KEY NOTES**

- 1 CONSTRUCT 6" VERTICAL CONCRETE CURB AS PER MAG STD. DTL. 222 TYPE 'A'. 1,214 LF
- 2 CONSTRUCT AC PAVEMENT SECTION AS PER APPROVED GEOTECHNICAL REPORT. AC PAVEMENT SECTION 3-INCHES OVER 8-INCHES AB ON 95% COMPACTED SUB-GRADE. 655 SY
- 3 CONSTRUCT CONCRETE PAVEMENT SECTION AS PER APPROVED GEOTECHNICAL REPORT. CONCRETE PAVEMENT SECTION 8-INCHES WITH 6X8 W1.4XW1.4 OVER 8" PREPARED SUB-GRADE OVER 95% COMPACTED SUB-GRADE. 19,145 SF
- 4 CONSTRUCT 6 FT WIDE CONCRETE VALLEY GUTTER & APRON AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2240. 2 EA
- 5 CONSTRUCT DIRECTIONAL SIDEWALK RAMP AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2233-2. WITH DETECTABLE WARNING SURFACE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2231. 3 EA
- 6 CONSTRUCT MID-BLOCK SIDEWALK RAMP AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2235-2. WITH DETECTABLE WARNING SURFACE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2231. 2 EA
- 7 CONSTRUCT CONCRETE SIDEWALK AS PER MAG STD DTL 230, 3,000 PSI, MAG 'A'. 2,450 SF
- 8 INSTALL CONCRETE PRECAST SAFETY CURB AS PER MAG STD. DTL 150, TYPE 'B-3' WITH REBAR CONNECTION, TYP. 3 EA
- 9 INSTALL ADA PARKING SIGNAGE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2124. INSTALL SIGN POST AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2131. 1 EA
- 10 INSTALL 12-HDPE STORM DRAIN PIPE, WITH TRENCHING AND BEDDING AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 290 LF
- 11 INSTALL 18-HDPE STORM DRAIN PIPE, WITH TRENCHING AND BEDDING AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 290 LF
- 12 INSTALL CONCRETE CATCH BASIN AS PER MAG STD. DTL 535, TYPE 'F' WITH GRATE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2535. 130 LF
- 13 INSTALL TRENCH DRAIN IN NEW 8-INCH THICK CONCRETE, 4,000 PSI, MAG 'A'. TRENCH DRAIN TO BE ACO POWER DRAIN, S300K OR APPROVED EQUAL WITH HEAVY DUTY IRON GRATE. 130 LF
- 14 INSTALL NYOPLAST CATCH BASIN WITH HEAVY DUTY IRON GATE. CONTRACTOR TO CONNECT ROOF DRAIN TO CATCH BASIN FOR ROOF DRAIN TRANSITION TO STORM DRAIN. 8 EA
- 15 INSTALL MAXWELL DUAL CHAMBER DRYWELL. 1 EA
- 16 CONSTRUCT GABION WALL. 380 LF
- 17 CONSTRUCT HEADWALL WITH TRASH RACK WITH GABION WALL. 1 EA

EARTHWORK  
 CUT 350 CY  
 FILL 345 CY  
 NET FILL 5 CY

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION



KimleyHorn



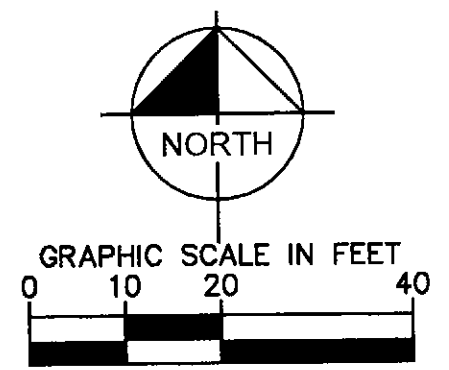
**SCOTTSDALE FIRE STATION #603**  
 8191 E. Indian Bend Road  
 Scottsdale, Arizona 85250

REVISION	DATE
1-UP-2018 & 2-DR-2018	4.04.18
1st Review Comments	

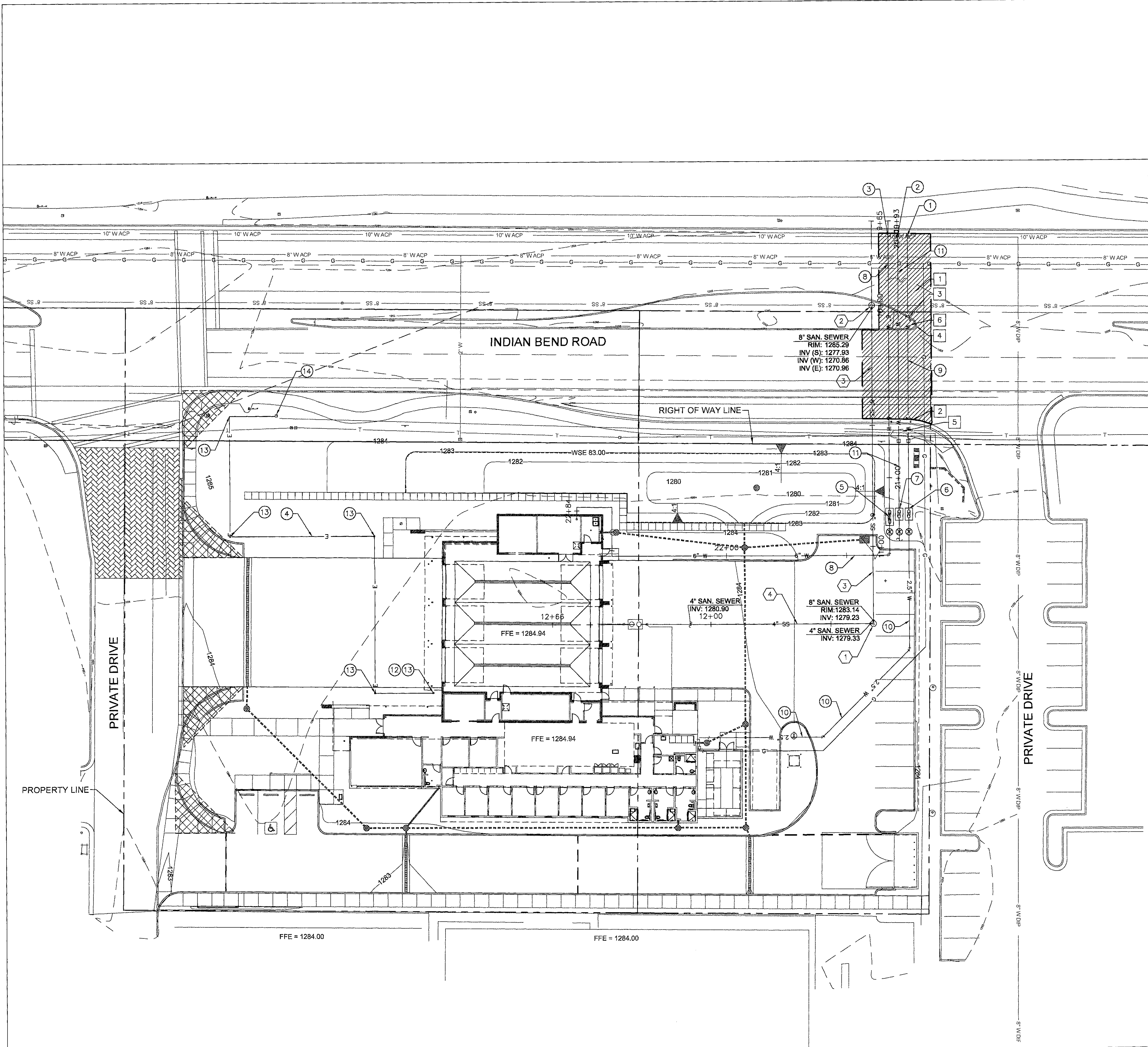
FA Project No.: 1701  
 Date: 20 december 2017

grading &  
 drainage  
 plan

**C1.0**  
 conditional use permit /  
 MUMSP



1-UP-2018  
 04/11/18



**REMOVE & REPLACEMENT KEY NOTES** QTY

- 1 SAWCUT, REMOVE AND REPLACE PAVEMENT AS PER CITY OF SCOTTSDALE STANDARD PAVEMENT REPLACEMENT DETAIL 2200. 215 SY
- 2 SAWCUT, REMOVE AND REPLACE CONCRETE CURB & GUTTER AS PER MAG STANDARD DETAIL 220-1, TYPE 'A'. 30 LF
- 3 SAWCUT, REMOVE AND REPLACE CONCRETE CURB AS PER MAG STANDARD DETAIL 222, TYPE 'A'. 36 LF
- 4 SAWCUT AND REMOVE CONCRETE CURB, TYP. 0 LF
- 5 SAWCUT AND REMOVE EXISTING SIDEWALK TO NEAREST JOINT FOR FULL PANEL REMOVAL AND REPLACE AS PER MAG STD. DTL. 230, 4-INCH THICK. 170 SF
- 6 CONSTRUCT MEDIAN CURB AND NOSE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2226. 1 EA

**WATER KEY NOTES**

- 1 INSTALL 2-INCH WATER SERVICE LINE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2330. 90 LF
- 2 INSTALL 1-1/2-INCH WATER SERVICE LINE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2330. 90 LF
- 3 INSTALL 6-INCH FIRE LINE CONNECTION AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2362-2. 1 EA
- 4 INSTALL 2-INCH ELECTRICAL CONDUIT FOR CONNECTION WITH EXISTING SIGNAL CONTROLLER AT SWC OF SIGNAL INTERSECTION. 220 LF
- 5 INSTALL 6-INCH REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY AS PER CITY OF SCOTTSDALE DETAIL 2353. 1 EA
- 6 INSTALL 2-INCH REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY AS PER CITY OF SCOTTSDALE DETAIL 2354 WITH GUARDSHACK LOCKABLE ENCLOSURE OR APPROVED EQUAL WITH 4-INCH THICK CONCRETE SLAB. BUILDING DOMESTIC WATER. 1 EA
- 7 INSTALL 1-1/2-INCH REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY AS PER CITY OF SCOTTSDALE DETAIL 2354 WITH GUARDSHACK LOCKABLE ENCLOSURE OR APPROVED EQUAL WITH 4-INCH THICK CONCRETE SLAB. IRRIGATION POINT OF CONNECTION. 1 EA
- 8 INSTALL 6-INCH DIP, CLASS 350 WATER LINE WITH POLYWRAP AND RESTRAINED JOINTS AS PER MAG STD. DTL. 303-1 & 303-2. TRENCH AND BACKFILL AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 1 EA
- 9 INSTALL 2-INCH SCH. 40 WATER LINE. TRENCH AND BACKFILL AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 113 LF
- 10 INSTALL 2 1/2-INCH SCH. 40 WATER LINE. TRENCH AND BACKFILL AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 153 LF
- 11 INSTALL 1-1/2-INCH SCH. 40 WATER LINE. TRENCH AND BACKFILL AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 155 LF
- 12 INSTALL ELECTRICAL PULL BOX, TYP. 5 EA
- 13 SEE ELECTRICAL PLANS FOR CONTINUATION TO BUILDING.
- 14 CONTRACTOR TO CONTINUE ELECTRICAL WITHIN SIGNAL RACEWAY TO CONNECT INTO SIGNAL CABINET LOCATED ON SOUTHWEST CORNER OF INTERSECTION. TIE INTO EXISTING ELECTRICAL BOX. 1 EA

**SEWER KEY NOTES**

- 1 CONSTRUCT SANITARY SEWER MANHOLE AS PER MAG STD DTL. 420-1 WITH FRAME AND COVER AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2421. 1 EA
- 2 CONTRACTOR TO TAP EXISTING 8-INCH SEWER LINE AND INSTALL CONCRETE SANITARY SEWER MANHOLE AS PER MAG STD DTL 420-1 WITH SANITARY SEWER DROP CONNECTION AS PER MAG STD DTL 426, TYPE 'B'. FRAME AND COVER TO BE AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2421. 1 EA
- 3 INSTALL 8-INCH SANITARY SEWER LINE WITH TRENCH AND BACKFILL AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 135 LF
- 4 INSTALL 4-INCH SANITARY SEWER LINE WITH TRENCH AND BACKFILL AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2201, TYP. 75 LF

NOTE:  
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CONTRACTOR TO INSTALL ELECTRIC BALL MARKERS AS PER THE CITY OF SCOTTSDALE STANDARD DETAIL 2397 ON ALL WATER AND SEWER LINE INSTALLATION.

SANITARY SEWER SEPARATION / PROTECTION FROM WATER UTILITIES AS PER CITY OF SCOTTSDALE STANDARD DETAIL 2401.

**FUCELLO ARCHITECTS**  
 1 480.947.2989  
 1001 S. Baseline Rd. Suite 204  
 Scottsdale, Arizona 85251  
 7526 e. camelback road suite 204  
 scottsdale, arizona 85251

PRELIMINARY  
NOT FOR  
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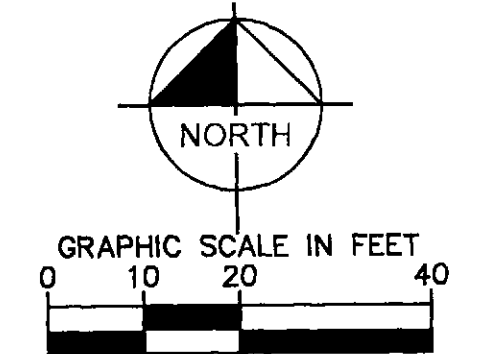
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water & sewer  
plan

**C1.1**  
conditional use permit /  
MUM SP



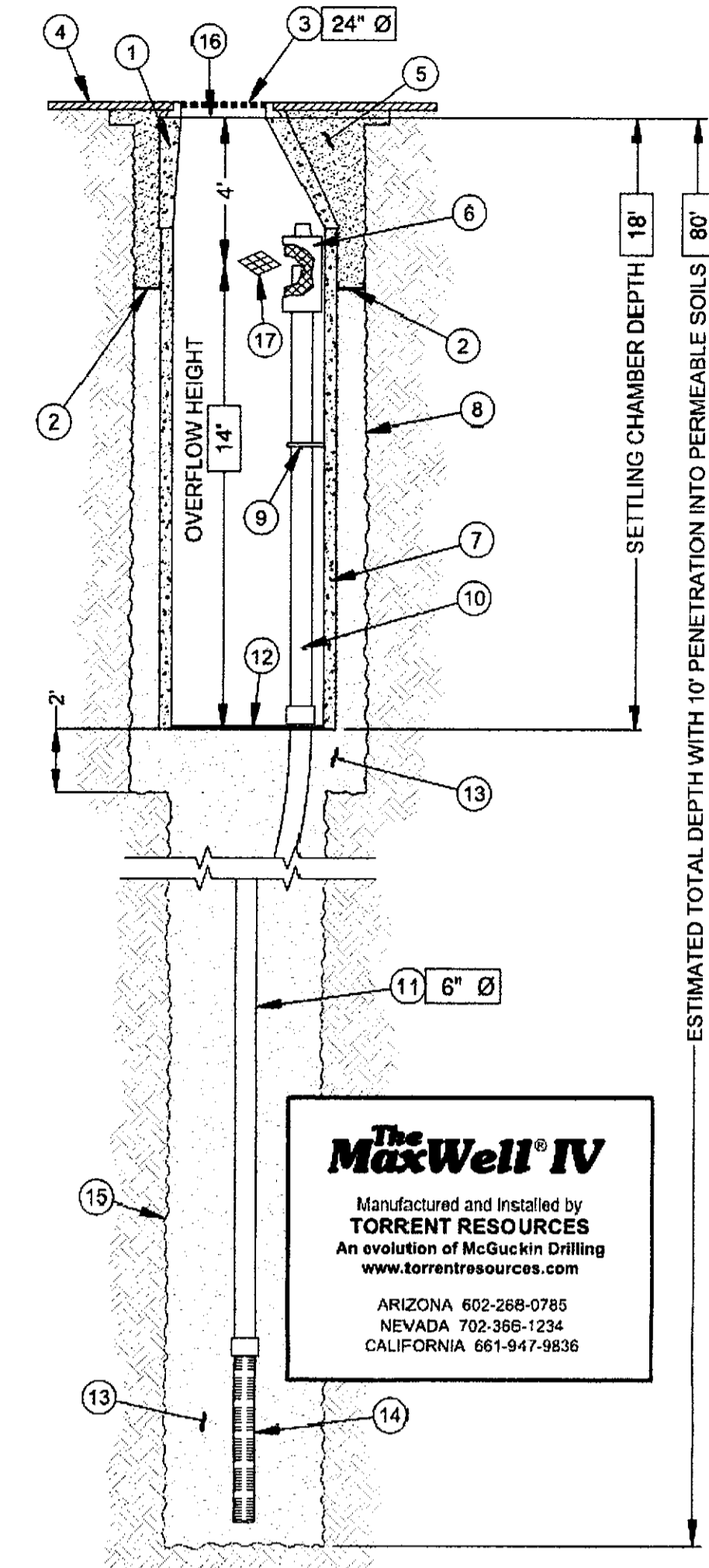
1-UP-2018  
04/11/18

**Fire Station 603 - Scottsdale, AZ**  
The MaxWell® IV Drainage System Detail And Specifications

○ NOTES

1. MANHOLE CONE - MODIFIED FLAT BOTTOM.
2. MOISTURE MEMBRANE - 6 MIL. PLASTIC. APPLIES ONLY WHEN NATIVE MATERIAL IS USED FOR BACKFILL. PLACE MEMBRANE SECURELY AGAINST ECCENTRIC CONE AND HOLE SIDEWALL.
3. BOLTED RING & GRATE - DIAMETER AS SHOWN. CLEAN CAST IRON WITH WORDING "STORM WATER ONLY" IN RAISED LETTERS. BOLTED IN 2 LOCATIONS AND SECURED TO CONE WITH MORTAR. RIM ELEVATION ±0.02' OF PLANS.
4. GRADED BASIN OR PAVING (BY OTHERS).
5. STABILIZED BACKFILL - 1 SACK SLURRY.
6. PUREFLO® DEBRIS SHIELD - ROLLED 16 GA. STEEL X 24" LENGTH WITH VENTED ANTI-SIPHON AND INTERNAL .265" MAX. SWO FLATTENED EXPANDED STEEL SCREEN X 12" LENGTH. FUSION BONDED EPOXY COATED.
7. PRE-CAST LINER - 4000 PSI CONCRETE 48" ID. X 54" OD. CENTER IN HOLE AND ALIGN SECTIONS TO MAXIMIZE BEARING SURFACE.
8. MIN. 6" Ø DRILLED SHAFT.
9. SUPPORT BRACKET - FORMED 12 GA. STEEL. FUSION BONDED EPOXY COATED.
10. OVERFLOW PIPE - SCH. 40 PVC MATED TO DRAINAGE PIPE AT BASE SEAL.
11. DRAINAGE PIPE - ADS HIGHWAY GRADE WITH TRI-A COUPLER. SUSPEND PIPE DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE. DIAMETER AS NOTED.
12. BASE SEAL - GEOTEXTILE OR CONCRETE SLURRY.
13. ROCK - WASHED, SIZED BETWEEN 3/8" AND 1-1/2" TO BEST COMPLEMENT SOIL CONDITIONS.
14. FLOFAST® DRAINAGE SCREEN - SCH. 40 PVC 0.120" SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT. 120" OVERALL LENGTH WITH TRI-B COUPLER.
15. MIN. 4" Ø SHAFT - DRILLED TO MAINTAIN PERMEABILITY OF DRAINAGE SOILS.
16. FABRIC SEAL - U.V. RESISTANT GEOTEXTILE - TO BE REMOVED BY CUSTOMER AT PROJECT COMPLETION.
17. ABSORBENT - HYDROPHOBIC PETROCHEMICAL SPONGE. MIN. 128 OZ. CAPACITY.

**NOTE:**  
INSTALLING ANY DRYWELL OTHER THAN A MAXWELL REQUIRES A SUBMITTAL FOR THE PROJECT ENGINEER'S APPROVAL



Manufactured and Installed by  
**TORRENT RESOURCES**  
An evolution of MedStacker Drilling  
www.torrentresources.com  
ARIZONA 602-268-0785  
NEVADA 702-398-1234  
CALIFORNIA 661-847-8836

AZ Lic. R0027865 A, R0007907 B & ADDR 361  
CA Lic. S00816 C & D, 1162  
NV Lic. 0059560 A, 104 Lic. 0054 UG4  
US Patent No. 4,923,300; 7,712,668; 7,819,199; 7,950,204



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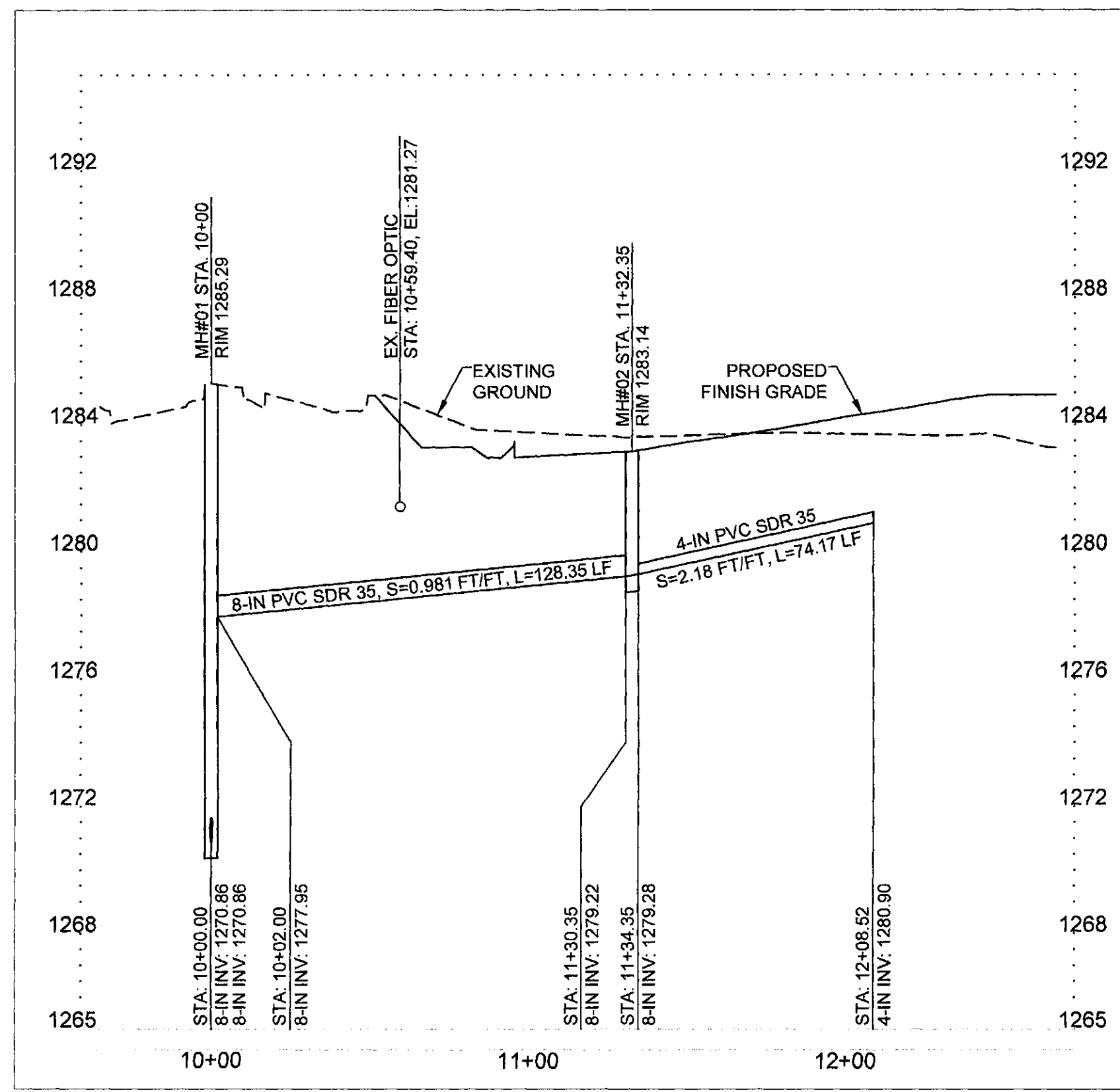
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civil details  
plan

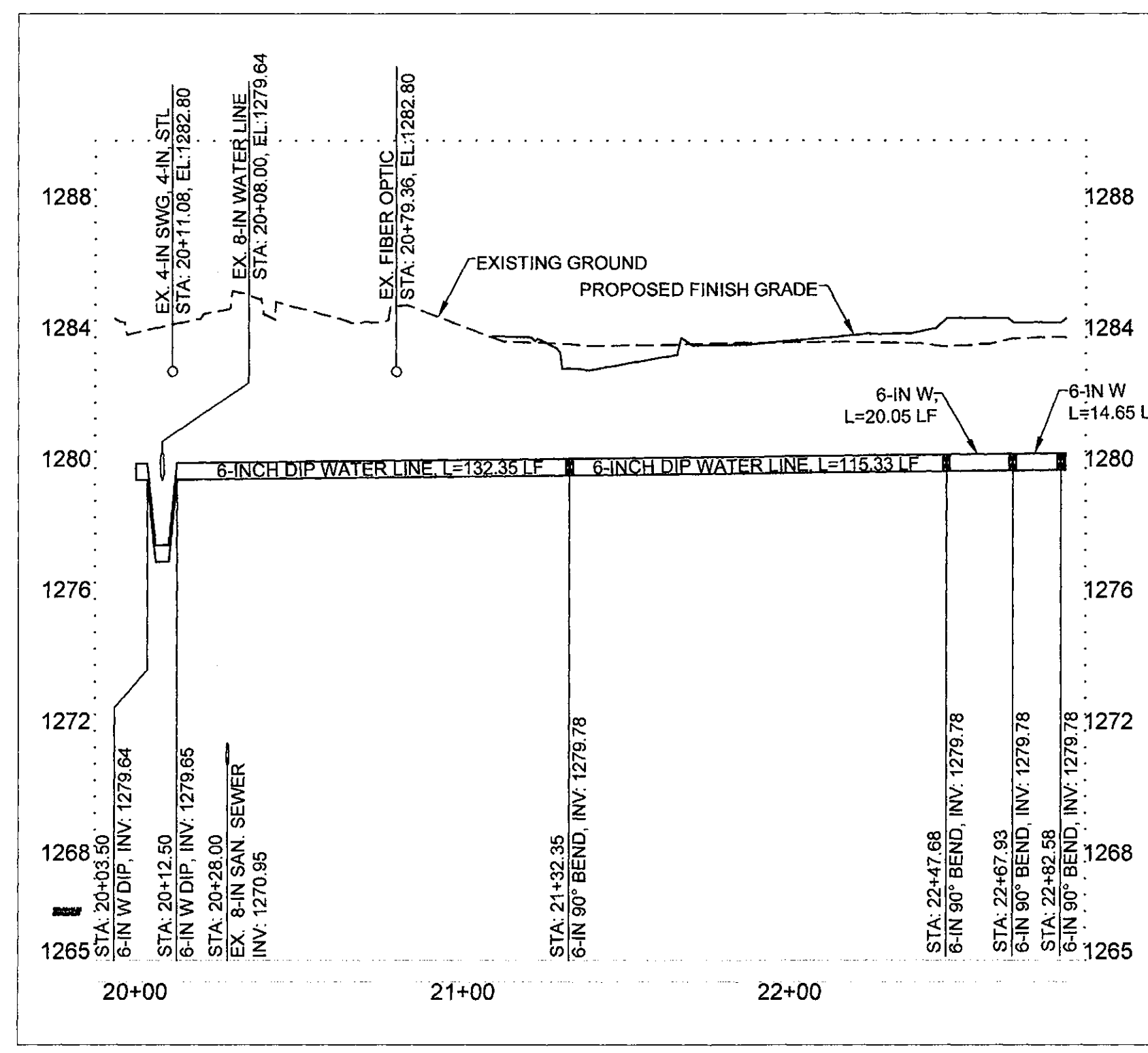
**C1.3**  
conditional use permit /  
MUMSP





SANITARY SEWER PROFILE

N.T.S.



FIRE LINE PROFILE

N.T.S.



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SCOTTSDALE FIRE STATION #603  
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water & sewer  
 profiles

**C1.2**  
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**C1.1**  
 conditional use permit /  
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- 7 INSTALL 1-1/2-INCH REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY AS PER CITY OF SCOTTSDALE DETAIL 2364 WITH GUARDSHACK LOCKABLE ENCLOSURE OR APPROVED EQUAL WITH 4-INCH THICK CONCRETE SLAB. IRRIGATION POINT OF CONNECTION. 1 EA
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