



Development Review (Minor) Staff Approval

113-SA-2019

Lure Fish House at the Shops at
Gainey Village

APPLICATION INFORMATION	
LOCATION: 8877 N Scottsdale Rd Ste 402	APPLICANT: Alexander Semchenko
PARCEL: 174-29-143B	COMPANY: ADS Group, Architecture
Q.S.: 26-45	ADDRESS: 5700 Ralston St Ste 302 Ventura, CA 93003
ZONING: C-2 PCD	PHONE: 805-650-6064
Request: Remodel existing exterior entry, elevations, patio, and interior for an existing suite at an existing multi-tenant commercial development, the Shops at Gainey Village.	

STIPULATIONS

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations and material samples submitted by ADS Group, Architecture, with a City Staff approval date of May 21, 2019.
2. The location and configuration of all site improvements and minor landscape improvements shall be consistent with the site plan submitted by ADS Group, Architecture, with a City Staff date of May 21, 2019.
3. Exterior signage shall require a separate submittal, review and permits, and all exterior building wall signs shall comply with the Shops at Gainey Village Master Sign Program.


CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Provide copies of this staff approval letter, a completed Permit Application, along with the following plan sets to the One Stop Shop (or optional digital submittal) for plan review and permits:

PERMIT APPLICATION:	<input checked="" type="checkbox"/>	Completed Permit Application The permit application may be obtained or filled-out online at the following link: http://www.scottsdaleaz.gov/assets/ScottsdaleAZ/Building/APP_Permit_Commercial.pdf <i>(Please complete the permit application online prior to arriving at the City to submit your construction documents)</i>
ARCHITECTURAL:	<input checked="" type="checkbox"/>	4 sets of architectural plans, plus 1 site plan sheet and 1 elevation plan sheet
DIGITAL (OPTIONAL):	<input checked="" type="checkbox"/>	1 set of architectural plans (PDF) & this staff approval letter (PDF): https://eservices.scottsdaleaz.gov/bldgresources/plans

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature:  Date: May 21, 2019
 Andrew Chi, Planner

Planning and Development Services

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 ♦ www.ScottsdaleAZ.gov
 Page 1 of 1

Form Revision Date: 12/4/2018

Pre-Application Request



Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and city staff to discuss a proposed Development Application, and the information and process that is necessary for city staff to process the proposal.

In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with city staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

Submittal:

The completed Pre-Application Request form, all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road; or, may they be submitted digitally at following website:

<https://eservices.scottsdaleaz.gov/eServices/PreApp/Introduction>

All checks shall be payable to "City of Scottsdale."

Scheduling

After the Pre-Application submittal has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

Project Name: <u>Lure Fish House</u>	
Property's Address: <u>8877 N. Scottsdale Rd. Suite 402 (at Gainey Ranch center)</u> APN: _____	
Property's Zoning District Designation: <u>Existing commercial center: Existing T.I. previously "Drexyl" Restaurant</u>	
Property Details:	
<input type="checkbox"/> Single-Family Residential <input type="checkbox"/> Multi-Family Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other	
Has a 'Notice of Compliance' been issued? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, provide a copy with this submittal	
Owner: <u>Gainey Retail Center LLC</u> Applicant: <u>Alex Semchenko/David Cortina</u>	
Company: <u>MSREA</u> Company: <u>Fish Lover's Management, Scottsdale, LLC</u>	
Address: <u>7333 E. Doubtree Ranch Road</u> Address: <u>400 Spectrum Dr. Oxnard, CA 93030</u>	
Phone: <u>480-398-2222</u> Fax: <u>480-398-2217</u> Phone: <u>Alex (805)-650-6064</u> Fax: <u>805-650-6060</u>	
E-mail: <u>sschiller@msrea.net</u> E-mail: <u>adsgrouparch@sbcglobal.net</u>	
Synde Schiller Senior Property Manager Main Street Real Estate Advisors as Managing Agent for	
Owner Signature _____ <i>Synde Schiller</i>	Applicant Signature _____
Official Use Only Submittal Date: _____ Application No.: _____ -PA- _____	
Project Coordinator: _____	

Pre-Application Request



Development Application Type:
Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Land Divisions
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Subdivision (PP)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Subdivision (Minor) (MD)
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Wash Modification (WM)	<input type="checkbox"/> Land Assemblage
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Historic Property (HP)	Other
Exceptions to the Zoning Ordinance	Wireless Communication Facilities	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Minor Amendment (MN)	<input type="checkbox"/> Small Wireless Facilities (SW)	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Type 2 WCF DR Review Minor (SA)	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance/Accommodation/Appeal (BA)	Signs	<input type="checkbox"/> Care Home (AC)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Master Sign Program (MS)	<input type="checkbox"/> Single-Family Residential
	<input type="checkbox"/> Community Sign District (MS)	<input checked="" type="checkbox"/> Other: Restaurant Facade Remodel

Submittal Requirements: (fees subject to change every July)

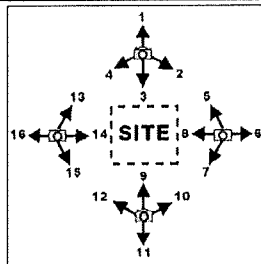
Pre-Application Fee: \$ 90
(No fees are changed for Historic Preservation (HP) properties.)

Records Packet Fee: \$ _____
Processed by staff. The applicant need not visit the Records desk to obtain the packet.
(Only required when requested by Staff)

Application Narrative:
The narrative shall describe the purpose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.

Property Owner Authorization Required
(Required for the SA and MS Pre-Applications)

- Site / Context Photographs
- Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos.
 - Photos shall be taken looking in towards the project site and adjacent to the site.
 - Photos should show adjacent improvements and existing on-site conditions.
 - Each photograph shall include a number and direction.
 - Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines.
 - Photos shall be provided 8 1/2 x 11 paper, max. two per page.



Other

Exterior Modifications at existing restaurant entry by adding focal element. Remove (e) metal awnings replace with fabric awnings at existing and added patio seating areas. Modification is on easterly and southerly generally inward facing main parking of the Gainey Center.

- *The following list of Additional Submittal Information is not required for a Pre-Application meeting, unless indicated below by staff prior to the submittal of this request.*
- *Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.*

Additional Submittal Information

- Site Plan
- Subdivision plan
- Floor Plans
- Elevations
- Landscape plans
- H.O.A. Approval letter
- Sign Criteria Regulations & Language
- Material Samples – color chips, awning fabric, etc.
- Cross Sections – for all cuts and fills
- Conceptual Grading & Drainage Plan
- Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting.
- Boundary Survey (required for minor land divisions)
- Aerial of property that includes property lines and highlighted area abandonment request.
- One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).

Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov



Planning and Development Services

7447 East Indian School Road
Scottsdale, Arizona 85251

April 24May 21, 2019

Alexander Semchenko
ADS Group, Architecture
5700 Ralston St Ste 302
Ventura, CA 93003

RE: Administrative Completeness Determination.

Dear Alex,

It has been determined that your Development Application, Case# 113-SA-2019, Lure Fish House at the Shops at Gainey Village, is administratively complete. Your Development Application is being reviewed under the City's Enhanced Application Review Methodology. City Staff will begin their 21-calendar day substantive review of the application material after payment has been received. Please submit the \$90.00 minor development application fee payment for this application by either:

- 1) Submitting payment through the online interface for the Digital Case Submittal process utilizing the Key Code F8156,

OR

- 2) Submitting payment in-person at the City's One-Stop-Shop referencing the project's case number.

Upon completion of the Staff's review of the application material, I will inform you in writing or electronically either: 1) the steps necessary to submit additional information; or, 2) City Staff will issue a written or electronic determination pertaining to this application once the review is complete. If you have any questions, or need further assistance please contact me at 480-312-7828 or at achi@ScottsdaleAZ.gov.

Sincerely,

Andrew Chi
Planner

C: Case File



Lure Fish House-Scottsdale

Planning Modification-Project Narrative

April 19, 2019

This proposal is to convert the existing Drexel Restaurant at Gainey Ranch Retail Center to the Lure Fish House Restaurant. The work is graphically depicted in submitted design renderings and design plan sheets. No overall increase in gross seating capacity above that was previously approved is proposed. An abbreviated narrative follows below.

A limited exterior remodel is proposed mostly on the easterly & southerly facades orientated to the interior of the center to add interest and revitalize the somewhat common exterior retail design. Lure Fish House Restaurants utilizes and proposes to employ an entry façade element with decorative canopy to emphasis the restaurant location and orientate customers to the entry. Additional revisions include changes to storefront, and some of the existing wall surfacing materials and paint colors within the compatibility constraints for the center.

Other exterior work will include upgrade of the existing east dining patio railings and incorporation of a see-through fire feature in the easterly exterior storefront common with this patio. A smaller dining patio, similar in design and materials is proposed on the south side of the space. However in this case, the fire feature is incorporated as part of the patio perimeter visible to customers as they approach the entry from the east. The existing exterior building mounted cantilevered metal canopies will remain above these patio areas and be refinished.

Interior modifications involve removal of the previous restaurant island cocktail bar area and replacement. The replacement bar will installed within the southerly customer area and also will incorporate a seafood/oyster bar section with seating and live action seafood charbroil grilling. Associated with the bar relocation is the rework of surrounding customer dining seating patterns and access aisles requiring relocation of the exterior storefront door accessing the existing south patio. This door relocation has been integrated with the patio see-through fire feature element also visible in the interior. The seating rework included booth seating along the perimeter precipitated modification of the glass storefront for installation of base wall which will be finished with plaster match the existing exterior.



April 9, 2019

City of Scottsdale
Planning and Development Services
7447 E. Indian School Road, Suite 105
Scottsdale, AZ 85251

Dear City of Scottsdale,

Please accept this letter as Ownership's authorization and approval of the exterior plans as depicted on the Lure Fish House Restaurant plans by ADS Group dated 3/1/19 and attached hereto, as well as, to install one (1) interior tree well with tree and one (1) exterior tree well with tree on Tenant's east patio located at Shops at Gainey Village at 8877 N. Scottsdale Road, Suite 402, Scottsdale, AZ 85253.

Should you have any questions, please give me a call at 480-398-2211.

Sincerely,

MAIN STREET REAL ESTATE ADVISORS

As Managing Agent for
Gainey Village Retail Center, LLC

Paula J. Mathews, RPA®
Senior Property Manager



Paula J. Mathews
 Senior Property Manager
 Main Street Real Estate Advisors
 As Managing Agent for
 Galney Village Retail Center LLC.

Paula J. Mathews
 4/9/19

REVISION	CLIENT REVIEW
1	03-20-19

PROGRESS
 DATE: 03-01-19

Jim McKown Inc.
 INTERIOR ARCHITECTURE DESIGN
 Environmental • Building Plans
 Kitchen Design • Equipment Sales & Consulting
 10000 S. GARDEN AVENUE, SUITE 100
 JUPITER, FL 33457
 TEL: (561) 741-1111
 FAX: (561) 741-1112

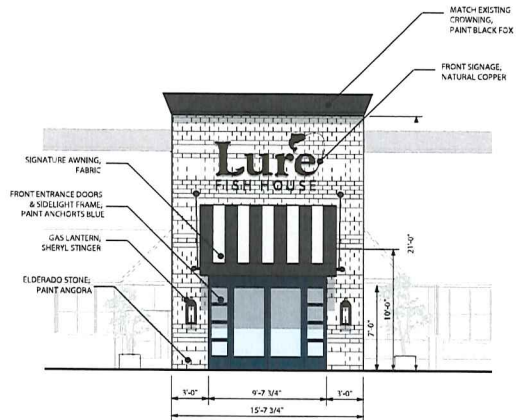
Alexander D. Senchenko
 ARCHITECT
 VENTURA PROFESSIONAL CENTER
 1000 W. WASHINGTON AVENUE, SUITE 202
 VENTURA, CA 93003
 TEL: (805) 659-6666
 FAX: (805) 659-6660
 WWW.ALEXANDERSENCHENKO.COM

ADS GROUP
 PLANNING & ARCHITECTURE • DEVELOPMENT SERVICES

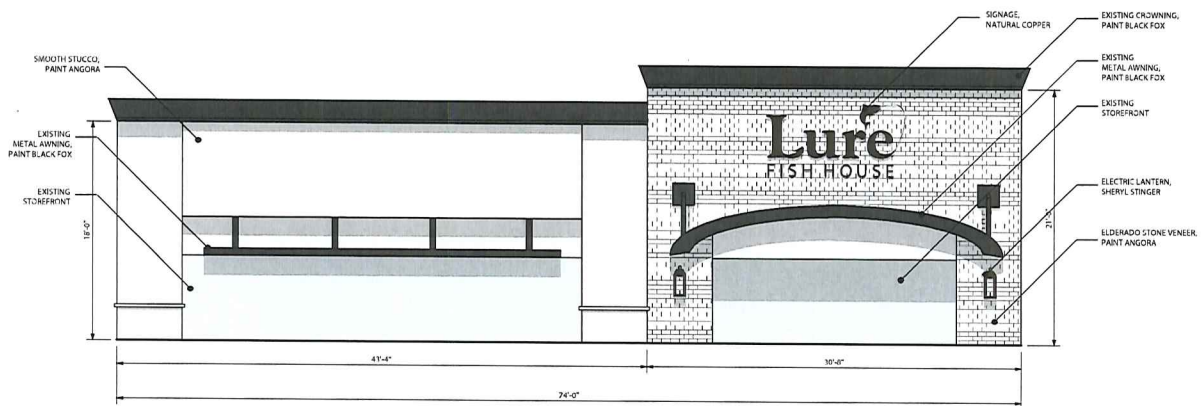
LURE FISH HOUSE
 RESTAURANT REMODEL-PRELIM. PLAN
 8877 N. SCOTTSDALE RD.
 SCOTTSDALE

DATE	-
CHECKED	-
PLLOT DATE	-
SCALE	1/4" = 1'-0"
2018 NO. 12	-
DATE	-

SHEET



3 SOUTHEAST ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

Paula J. Mathews
Senior Property Manager
Main Street Real Estate Advisors
As Managing Agent for
Gainey Village Retail Center LLC.

Paula J. Mathews
4/9/19

REVISIONS	DATE	BY
CLIENT REVIEW	03-01-19	

PROGRESS
DATE: 03-01-19

Jim McKelown Inc.
BEST TALENT DESIGN
Health Plans • Building Plans
Environm. Design • Equipment Sales & Consulting
Kitchen Design • Restaurant Renovation
CELL: (855) 207-5951

ALEXANDER D. REMONDINO
ARCHITECT
VOTING PROFESSIONAL CENTER
10000 W. 10TH AVE. SUITE 302
DENVER, CO 80202
PHONE: (303) 650-6666
FAX: (303) 650-6000
ADSG GROUP
PLANNING & ARCHITECTURE & DEVELOPMENT SERVICES

LURE FISH HOUSE
RESTAURANT REMODEL-PRELIM. PLAN
8877 N. SCOTTSDALE RD.
SCOTTSDALE

DRAWN	-
CHECKED	-
PLOT DATE	-
SCALE	1/4" = 1'-0"
SHEET NO.	-
TOTAL SHEETS	-

SHEET



PROJECT: LURE FISH HOUSE RESTAURANT

AT GAINEY RANCH RETAIL CENTER
8877 NORTH SCOTTSDALE ROAD, SUITE 402
SCOTTSDALE, ARIZONA 85253

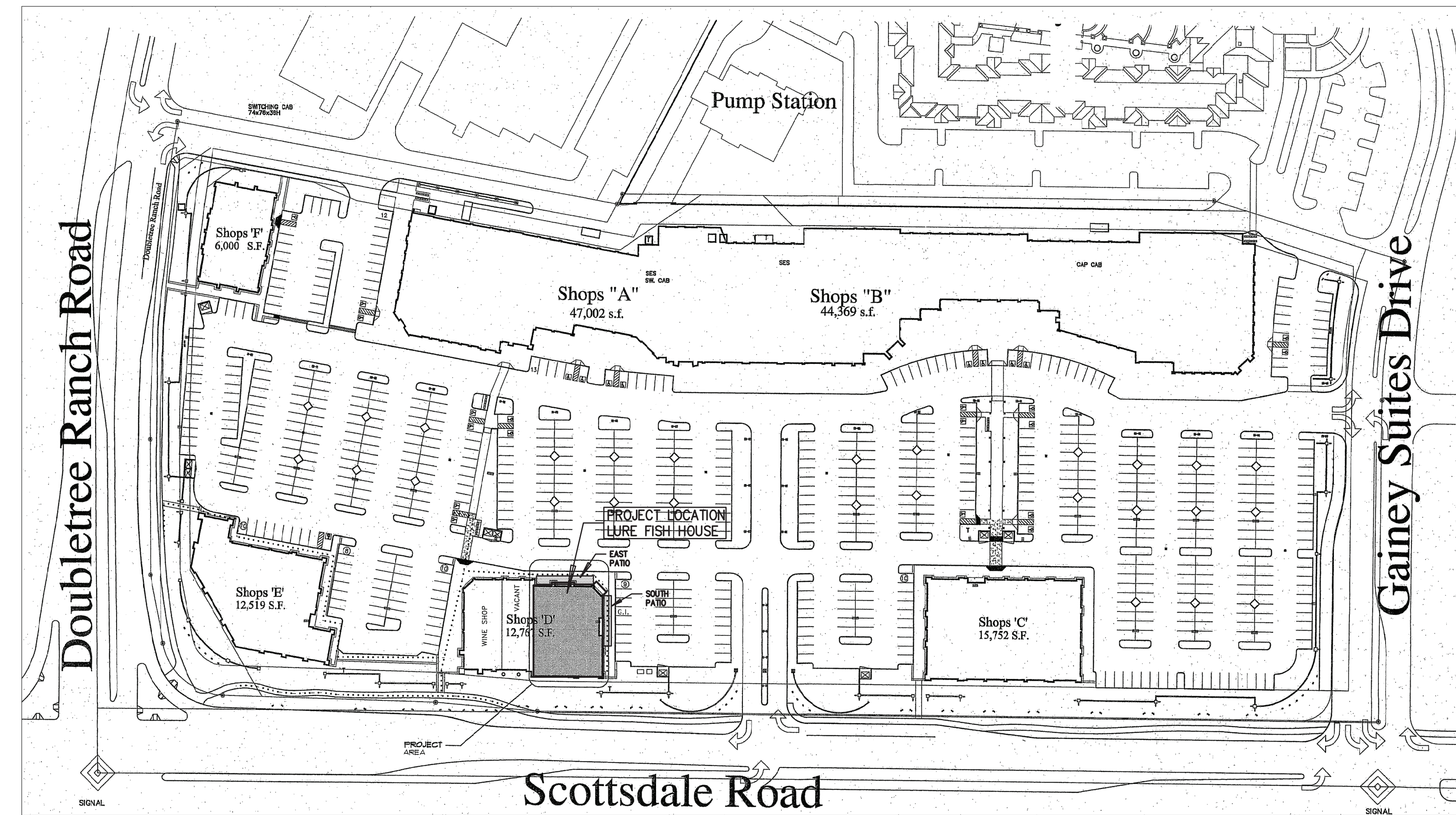
DESCRIPTION:
TENANT IMPROVEMENT TO EXISTING RESTAURANT INCLUDING REFITTING ON INTERIOR, CREATION OF ENTRY FACADE ELEMENT, REMODEL OF EXISTING OUTDOOR DINING PATIO AND ADDITION OF OUTDOOR DINING PATIO ON SOUTH SIDE OF BUILDING

PROJECT TEAM

PROPERTY OWNER: GAINEY RETAIL CENTER, LLC C/O MSREA 7333 E. DOUBLETREE RANCH RD. SCOTTSDALE, AZ ATTN: SYNDE SCHILLER	TENANT: LURE FISH HOUSE 400 SPECTRUM DR. OXNARD, CA. 93030 ATTN: DAVID CORTINA PHONE: 805-386-3556
PROJECT DESIGN: ADS GROUP 5700 RALSTON ST. SUITE 302 VENTURA, CA. 93003 ATTN: ALEX SEMCHENKO PHONE: (805) 650-6064 FAX: (805) 650-6060 LICENSE: #CA C21156	RESTAURANT DESIGN CONSULTANT: JIM MCKEOWN INC. 5700 RALSTON ST. SUITE 302 VENTURA, CA 93003 ATTN: JIM MCKEOWN PHONE: 805-650-6064

SHEET SCHEDULE

- PRELIMINARY DRAWINGS:**
- PR-1 COVER AND SITE PLAN
 - PR-2.0 RESTAURANT FLOOR PLAN
 - PR-2.1 EXTERIOR DINING PATIO PLAN
 - PR-2.2 ROOF PLAN
 - PR-3 EXTERIOR 3D RENDERING
 - PR-4 EXTERIOR COLOR ELEVATIONS
 - PR-5 COLOR & MATERIALS SHEET

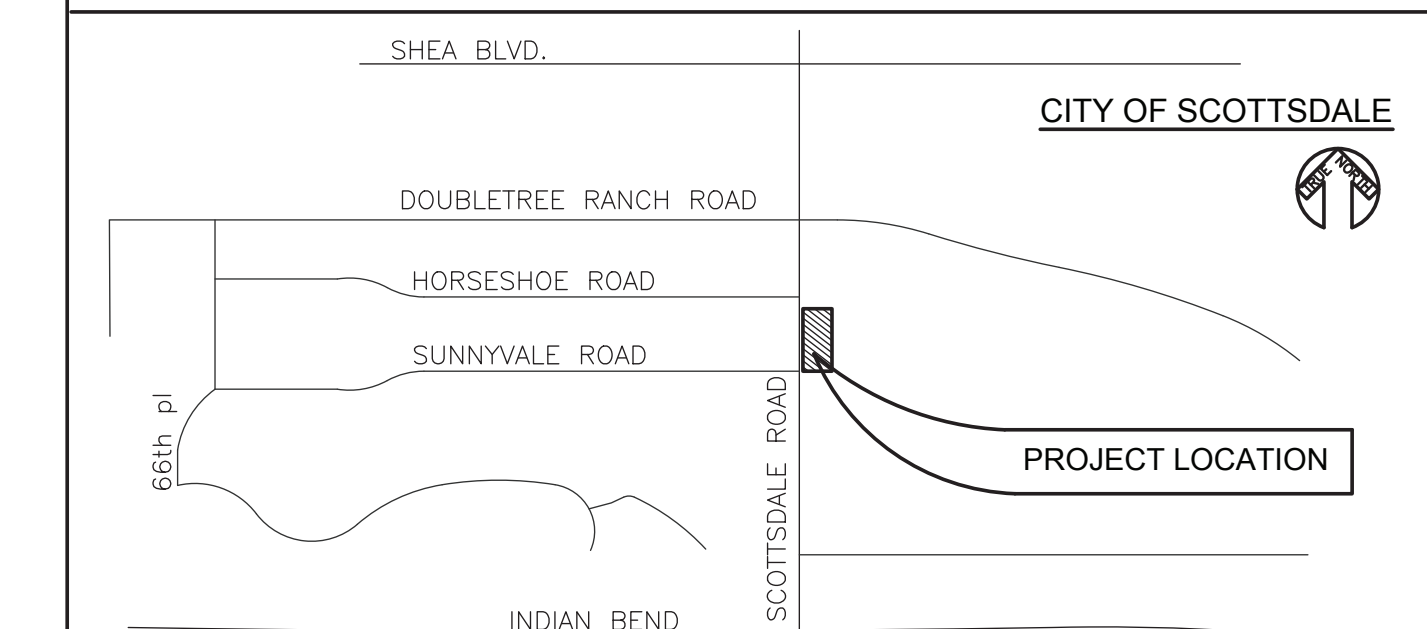


1 SITE PLAN
SCALE: NOT TO SCALE

PROJECT INFORMATION		04-23-19
EXISTING TENANT SPACE INFORMATION—FROM PREVIOUS PERMIT "DREXEL" RESTAURANT CONST. PERMIT #6444-15 (2016) BUILDING APN: 172-29-143B ZONING: C-2 PCD TENANT SPACE FLOOR AREA: 6,325 S.F. (NO CHANGE) PREVIOUSLY APPROVED OCCUPANCY: INSIDE DINING & PERSONNEL=220 PERSONS INSIDE PERSONNEL =12 PERSONS EASTSIDE DINING PATIO= 35 PERSONS TOTAL OCCUPANTS=267 PERSONS BUILDING CODE DATA: THIS SPACE—OCCUPANCY GROUP: A-2 (RESTAURANT) BALANCE OF BLDG.—OCCUPANCY GROUP: M & B CONSTRUCTION TYPE: V-B SPRINKLERS: YES NUMBER OF STORIES: ONE BUILDING AREA TOTAL: 12,000 S.F. THIS PERMIT FLOOR AREA: 6,325 S.F. (NO CHANGE) NEW TENANT SPACE FLOOR: 6,375 S.F. SPACE OCCUPANCY: A-2 (RESTAURANT) BUILDING TYPE: V-B	PROPOSED THIS REQUEST LURE FISH HOUSE RESTAURANT TENANT SPACE FLOOR AREA: 6,325 S.F. ADDED AREA AT ENTRY: 50 S.F. NEW TENANT SPACE FLOOR: 6,375 S.F. PROPOSED OCCUPANCY: INSIDE DINING =196 PERSONS INSIDE PERSONNEL =12 PERSONS EASTSIDE DINING PATIO =28 PERSONS SOUTH SIDE DINING PATIO =24 PERSONS TOTAL OCCUPANTS=248 PERSONS BUILDING CODE DATA: THIS SPACE—OCCUPANCY GROUP: A-2 (RESTAURANT) BALANCE OF BLDG.—OCCUPANCY GROUP: M & B CONSTRUCTION TYPE: V-B SPRINKLERS: YES NUMBER OF STORIES: ONE BUILDING AREA TOTAL: 12,000 S.F. THIS PERMIT FLOOR AREA: 6,325 S.F. ADDED AREA AT ENTRY: 50 S.F. NEW TENANT SPACE FLOOR: 6,375 S.F. SPACE OCCUPANCY: A-2 (RESTAURANT) BUILDING TYPE: V-B	

CASE# 113-SA-2019
SITE PLAN
APPROVED
STIPULATION SET
RETAIN FOR RECORDS
05/21/19 *Andrew Chi*
DATE **APPROVED BY**

VICINITY MAP NOT TO SCALE



SYMBOL LEGEND

- | | |
|--|--|
| PLAN KEY NOTE
DOOR
DETAIL IDENTIFICATION SHEET WHERE DRAWN
SECTION IDENTIFICATION SHEET WHERE DRAWN | INTERIOR ELEVATION SYM.
DET. GROUP NUMBER
SHEET WHERE DRAWN
WALL ORIENTATION KEY
REVISION BUBBLE REFERENCE |
|--|--|

REVISIONS	BY
△ CLIENT REVIEW 03-01-19	
△ CITY P.L.G. SUB 04-23-19	

PROGRESS
DATE: 04-23-19

Jim McKeown Inc.
RESTAURANT DESIGN
Environmental Health Plans Building Plans
Kitchen Design Consulting
JIM MCKEOWN@JMKINC.COM
Phone: (805) 650-3355 Cell: (805) 207-5651

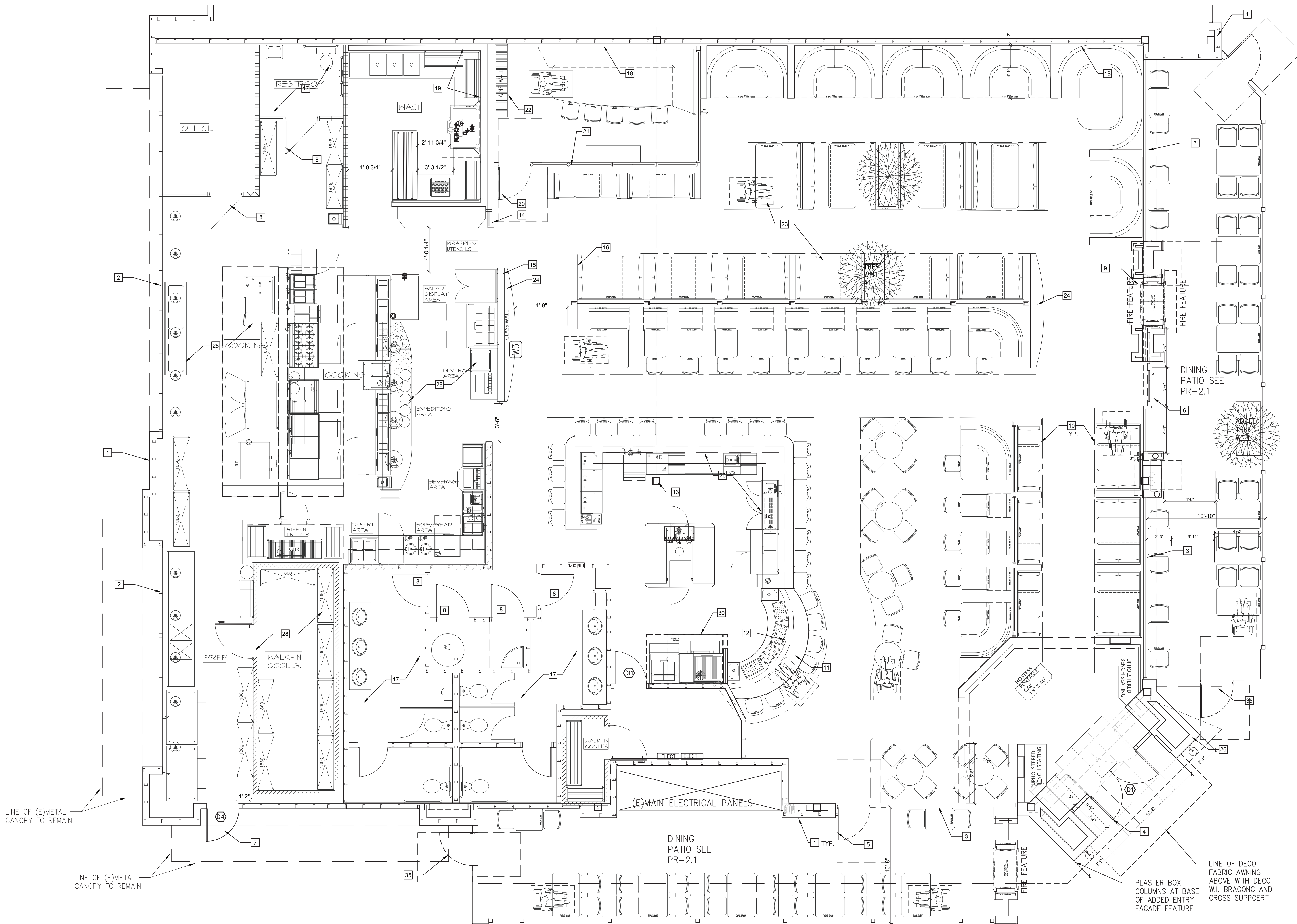
ADS GROUP
ARCHITECTURE • ARCHITECTURE • DEVELOPMENT SERVICES
ALEXANDER D. SEMCHENKO
ARCHITECT
REG. VENTURA PROFESSIONAL CENTER
5700 RALSTON ST. SUITE 302
VENTURA, CA 93003
PHONE: (805) 650-6064
FAX: (805) 650-6060

COVER SHEET & SITE PLAN
LURE FISH HOUSE RESTAURANT
RESTAURANT REMODEL-PRELIM. PLANS
8877 NORTH SCOTTSDALE ROAD, SUITE 402
SCOTTSDALE, ARIZONA 85253

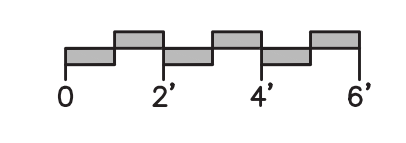
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CHECKED	-
PLOT DATE	-
SCALE	-
JOB NO.	-
E-FILE	-
AS-SHOWN	-

PR-1.0

SHEET



1 RESTAURANT FLOOR PLAN
SCALE: 1/4"=1'-0"



CASE# 113-SA-2019 FLOOR PLAN

APPROVED

**STIPULATION SET
RETAIN FOR RECORDS**

05/21/19 *Andrew Chi*
DATE **APPROVED BY**

KEY NOTES

1. EXISTING EXTERIOR WALL TO REMAIN
2. (E) WINDOWS TO REMAIN.
3. (E) WINDOWS TO BE REPLACED WITH BASE WALL AND EXTENDED HT. WINDOW SYSTEM WITH TRANSOM WINDOW ABOVE
4. ACCESSIBLE ENTRY DOOR(S). DOOR(S) MUST COMPLY AS FOLLOWS: DOOR TO OPEN ABLE WITH A SINGLE CONTINUOUS ACTION WITHOUT THE USE OF SPECIAL KNOWLEDGE KEY OR OTHER DEVICE. DOOR TO BE SIGNED- "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" POSTED DIRECTLY ABOVE THE DOOR PER CBC. SECTION 1008.1.8 & 1008.1.8.3
5. SECONDARY EXIT DOOR W/PANIC EXITING HARDWARE.
6. AUTOMATIC SLIDING DOOR
7. (E) SERVICE DOOR TO REMAIN.
8. (E) H.C. ACCESSIBLE 3'x7" INTERIOR DOOR & FRAME UNIT.
9. ADDED VENTLESS GAS APPLIANCE FIRE FEATURE WITH MASONRY FACED SURROUND
10. LINE OF ACCESSIBLE PATHWAY MIN. 44" WIDE SHOWN DASHED TO WHEELCHAIR ACCESSIBLE TABLES EXITS AND RESTROOMS.
11. ACCESSIBLE BAR COUNTER LOCATION MAX. HT 34" A.F.F.
12. OYSTER BAR TOP W/BAR-DIE WALL WHITE MARBLE WITH SS. STEEL INSETS
13. (E) BUILDING STRUCTURAL COL. TO REMAIN.
14. FULL HT PARTITION WALL (SEE WALL SCHEDULE)
15. BASE WALL WITH KITCHEN VIEW GLASS ABOVE
16. LOW PARTITION WALL TO HT. COORDINATE WITH FINAL BOOTH HEIGHTS
17. (E) ACCESSIBLE RESTROOM TO REMAIN.
18. ADD SOUND PROOFING AT DINING & GROUP ROOM WALL
19. ADD FURRED OUT SOUND PROOFING PARTITION AT DISH AREA-THIS LINE
20. INTERIOR DOOR
21. INTERIOR WINDOW
22. WINE BOTTLE RACK
23. TENANT'S FURNITURE SEATING TABLES & BOOTHS. NOTE: 5% OF SEATING IN THIS ROOM MUST BE ADA ACCESSIBLE AND LOCATED ON THE ACCESSIBLE PATH OF TRAVEL IN THE FACILITY. SEE DETAIL 2 ON SHEET A-3.0 FOR PROPER CLEARANCES. (LOCATION DETERMINED BY OWNERS SEATING AND FURNITURE LAYOUT)
24. RADIUS ACCENT COUNTER WITH CAB. BASE BELOW
25. TENANT'S ADDED KITCHEN & BAR EQUIPMENT SEE APPROVED EHD "K" PLANS FOR EXTENT OF NEW EQUIPMENT. ALL WALL MOUNTED EQUIPMENT REQUIRES 16 GA. STEEL WALL BACKING EXTENDED MIN. 6" BEYOND EDGE & TOP OF EQUIPMENT TO NEXT STUD. G.C. TO VERIFY EXTENTS.
26. MODIFIED ENLARGED ENTRY FACADE ELEMENT THIS AREA DEMO'D LOCATIONS SHOWN DASHED. SEE STRUCTURAL DRAWINGS
27. EXTERIOR DINING PATIOS. SEE PLAN AND SECTION SHEET

*NOTE: ALL SURFACES AND DECORATIVE FINISHES SHALL BE FLAME RESISTANT IN ACCORDANCE WITH CFC SECTION 1103.3

WALL TYPE LEGEND

WALLTYPE	SYMBOL OF WALL
1. (E) WALL	
2. NON-BEARING INTERIOR PARTITION WALL TO CLG HEIGHT, 2x4 DF WOOD STUD FRAMING 16" O.C. 5/8" TYP.X GWB BOTH SIDES & R.13 SOUND/THERMAL INSUL. (2x6" AT PLUMB.)	
3. NON-BEARING INTERIOR FULL HT. PARTITION WALL TO ROOF ABOVE, 2x4 DF WOOD STUD FRAMING 16" O.C. 5/8" TYP.X GWB BOTH SIDES & R.13 SOUND/THERMAL INSUL. (2x6" AT PLUMB.)	

REVISIONS		BY
WD. PROGRESS ISSUE	03-21-19	
WD. PROC. ISSUE OWNERS APP.	04-16-19	
CITY PLNG SUB	04-23-19	

PROGRESS
DATE: 04-23-19

Jim McKeown Inc.
RESTAURANT DESIGN
Environmental Health Plans Building Plans
Kitchen Design Consulting
JIM.MCKEOWN@GMAIL.COM
Phone: (805) 650-3335 Cell: (805) 207-5651

ALEXANDER D. SEMCHENKO
ARCHITECT
VENTURA PROFESSIONAL CENTER
1000 W. BROADWAY, SUITE 302
VANOC, WA 98086
PHONE: (805) 650-6064
FAX: (805) 650-6060

AD GROUP
PLANNING & ARCHITECTURE & DEVELOPMENT SERVICES

FLOOR PLAN
LURE FISH HOUSE
RESTAURANT REMODEL-PRELIM. PLAN
8877 N. SCOTTSDALE RD.
SCOTTSDALE

DRAWN	-
CHECKED	-
PLOT DATE	-
SCALE	1/4"=1'-0"
JOB NO.	-
E-FILE	-

PR-2.0

SHEET

REVISIONS	BY
CLIENT REVIEW 03-01-19	
DESIGN & CLIENT REV-AJL RE-ISSUE 03-08-19	
CITY PLNG SUB 04-23-19	

PROGRESS
DATE: 04-23-19

Jim McKeown Inc.
RESTAURANT DESIGN
Environmental Health Plans Building Plans
Kitchen Design
Jim McKeown Design & Construction, LLC
Phone: (805) 650-3335 Cell: (805) 207-5651

ALEXANDER D. SEMCHENKO
ARCHITECT
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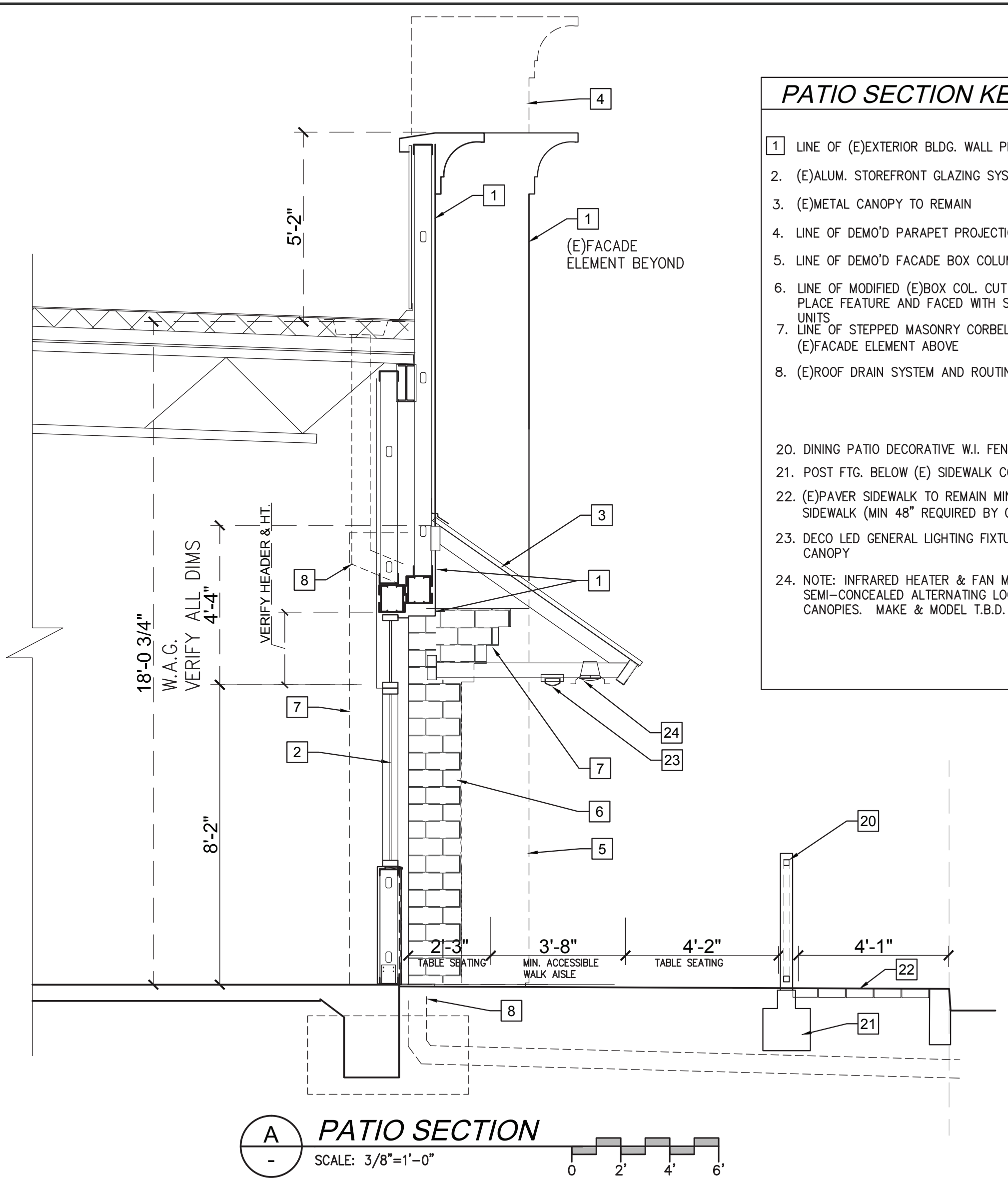
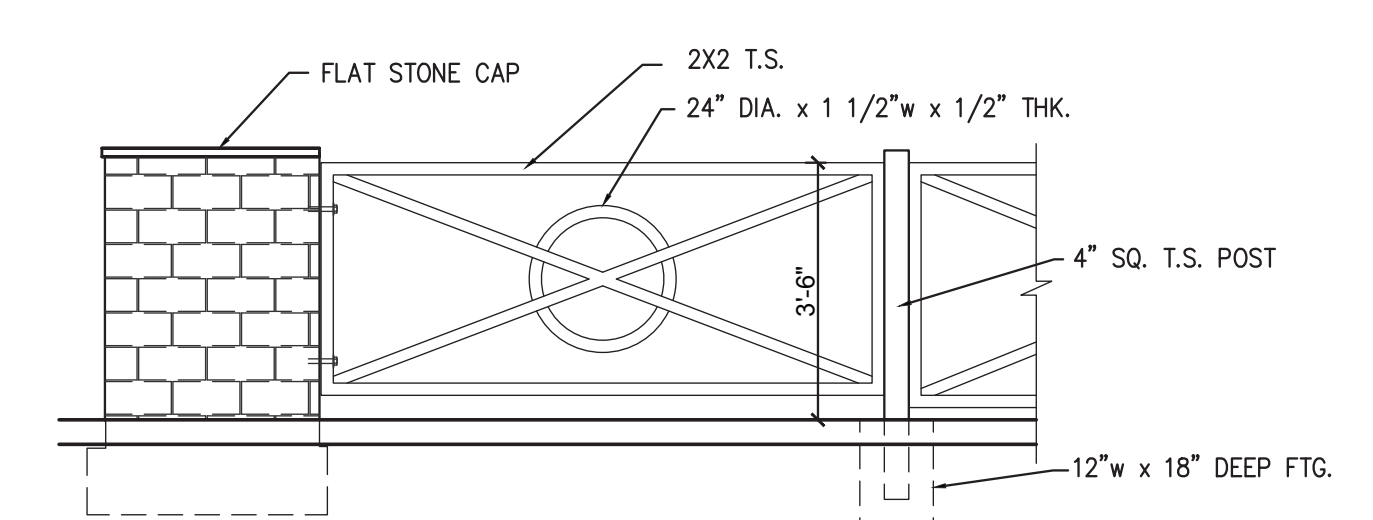
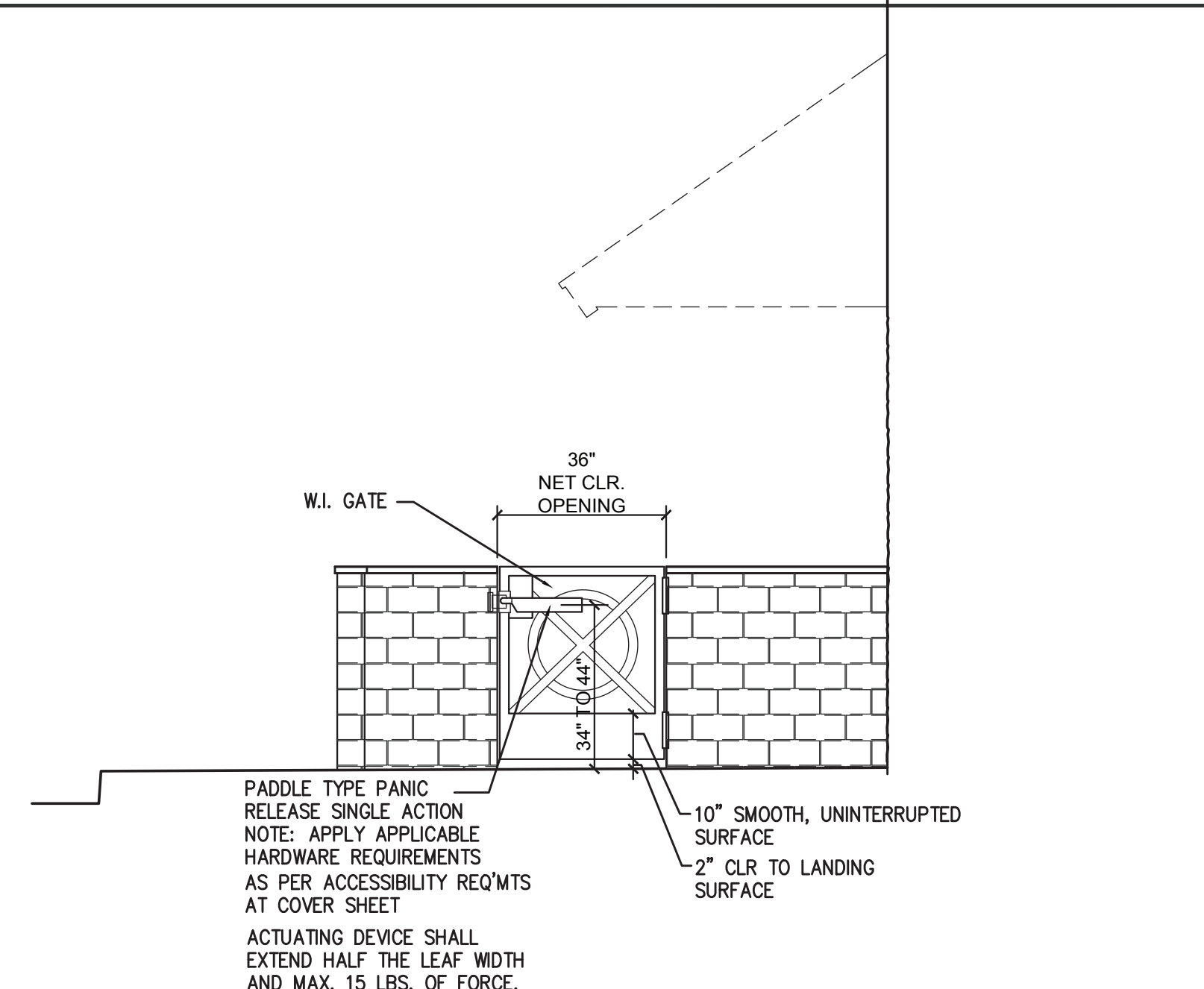
AD GROUP
PLANNING & ARCHITECTURE ■ DEVELOPMENT SERVICES

PATIO PLAN
LURE FISH HOUSE
RESTAURANT REMODEL-PRELIM. PLAN
8877 N. SCOTTSDALE RD.
SCOTTSDALE

DRAWN -
CHECKED -
PLOT DATE -
SCALE VARIES
JOB NO. -
E-FILE -

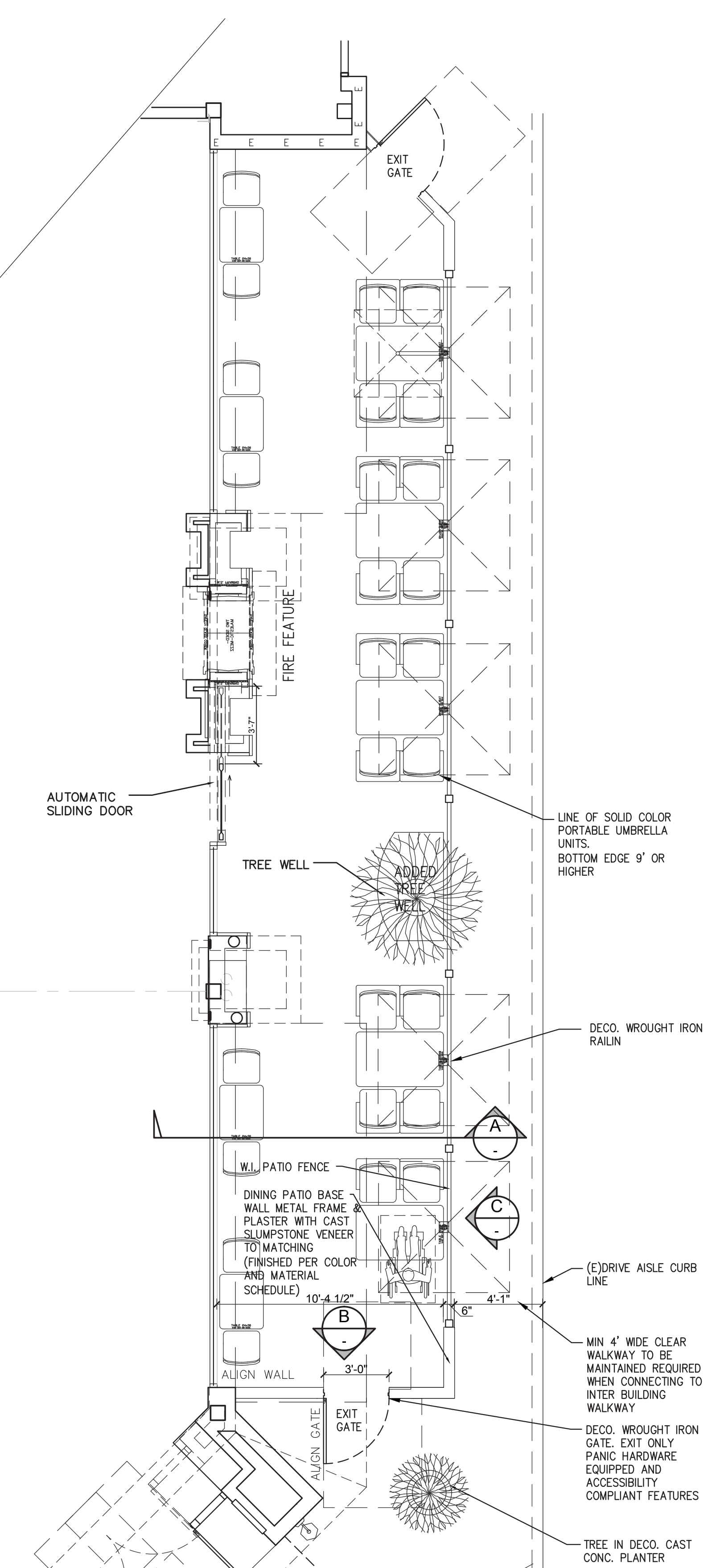
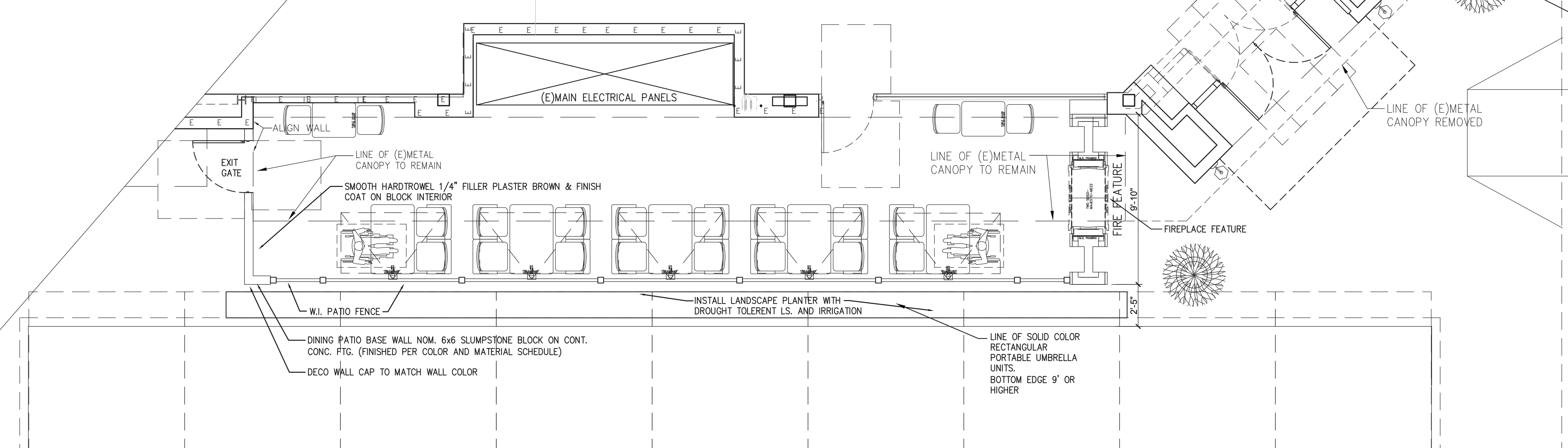
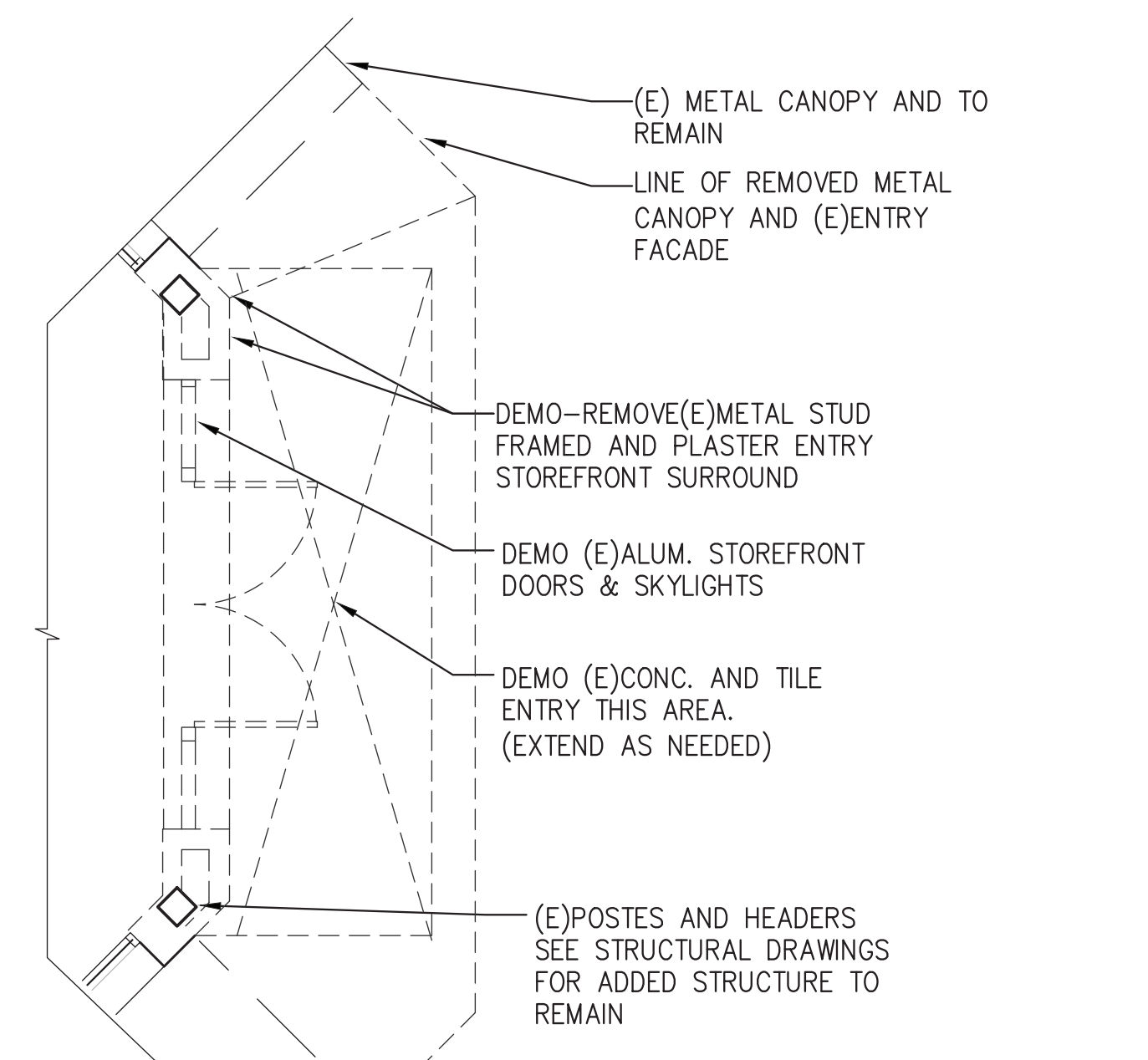
PR-2.1
SHEET

- ### PATIO SECTION KEY NOTES
- LINE OF (E) EXTERIOR BLDG. WALL PLASTER SURFACE
 - (E) ALUM. STOREFRONT GLAZING SYSTEM
 - (E) METAL CANOPY TO REMAIN
 - LINE OF DEMO'D PARAPET PROJECTION-(TBD)
 - LINE OF DEMO'D FACADE BOX COLUMN-(LOWER SECTION)
 - LINE OF MODIFIED (E) BOX COL. CUT BACK INTEGRATED WITH FIRE PLACE FEATURE AND FACED WITH SLUMPSTONE VENEER FACING UNITS.
 - LINE OF STEPPED MASONRY CORBEL ALIGNING BELOW CORNER (E) FACADE ELEMENT ABOVE
 - (E) ROOF DRAIN SYSTEM AND ROUTING MODIFY AS NEEDED-TBD.
- DINING PATIO DECORATIVE W.I. FENCING
 - POST FTG. BELOW (E) SIDEWALK CONC. PAVERS
 - (E) PAVER SIDEWALK TO REMAIN MIN 48" FINISHED CLEAR SIDEWALK (MIN 48" REQUIRED BY CITY)
 - DECO LED GENERAL LIGHTING FIXTURES CONCEALED IN (E) METAL CANOPY
 - NOTE: INFRARED HEATER & FAN MISTER SYSTEMS IN SEMI-CONCEALED ALTERNATING LOCATIONS ALONG METAL CANOPIES. MAKE & MODEL T.B.D.

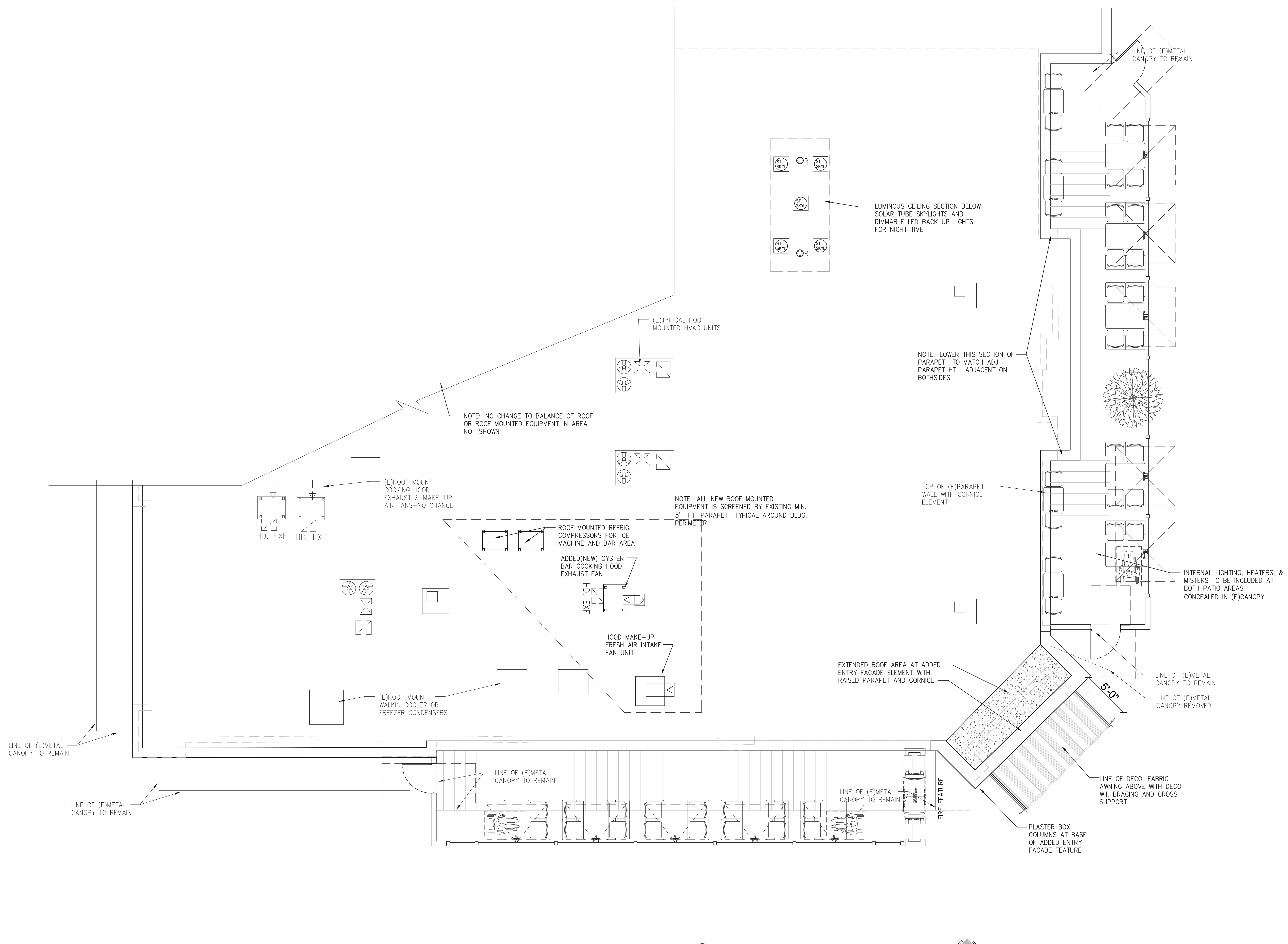


CASE# 113-SA-2019
DINING PATIO PLANS

APPROVED
STIPULATION SET
RETAIN FOR RECORDS
05/21/19 *Andrew Chin*
DATE **APPROVED BY**



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1 AWNING & ROOF PLAN
SCALE: 1/4"=1'-0"

CASE# 113-SA-2019
AWNING & ROOF PLAN

APPROVED

STIPULATION SET
RETAIN FOR RECORDS

05/21/19 *Andrew Chi*
DATE APPROVED BY

REVISIONS	BY
CLIENT REVIEW 03-01-19	
DESIGN & CLIENT REV-ADJ. RE-ISSUE 03-08-19	
CITY PLNG SUB 04-23-19	

PROGRESS
DATE: 04-23-19

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PRELIM. PLAN
LURE FISH HOUSE
RESTAURANT REMODEL-PRELIM. PLAN
8877 N. SCOTTSDALE RD.
SCOTTSDALE

DRAWN	-
CHECKED	-
PLOT DATE	-
SCALE	1/4"=1'-0"
JOB NO.	-
E-FILE	-

PR-2.2
SHEET



1 EXTERIOR VIEW

REVISIONS	BY
PLANNING SUBMITTAL 04-10-19	

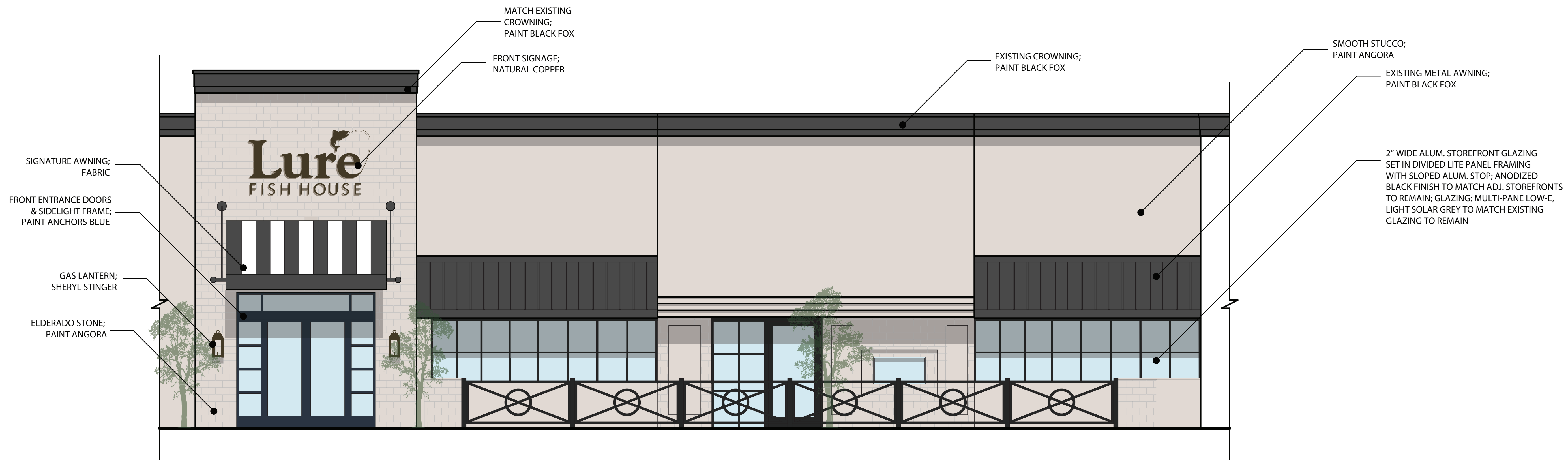
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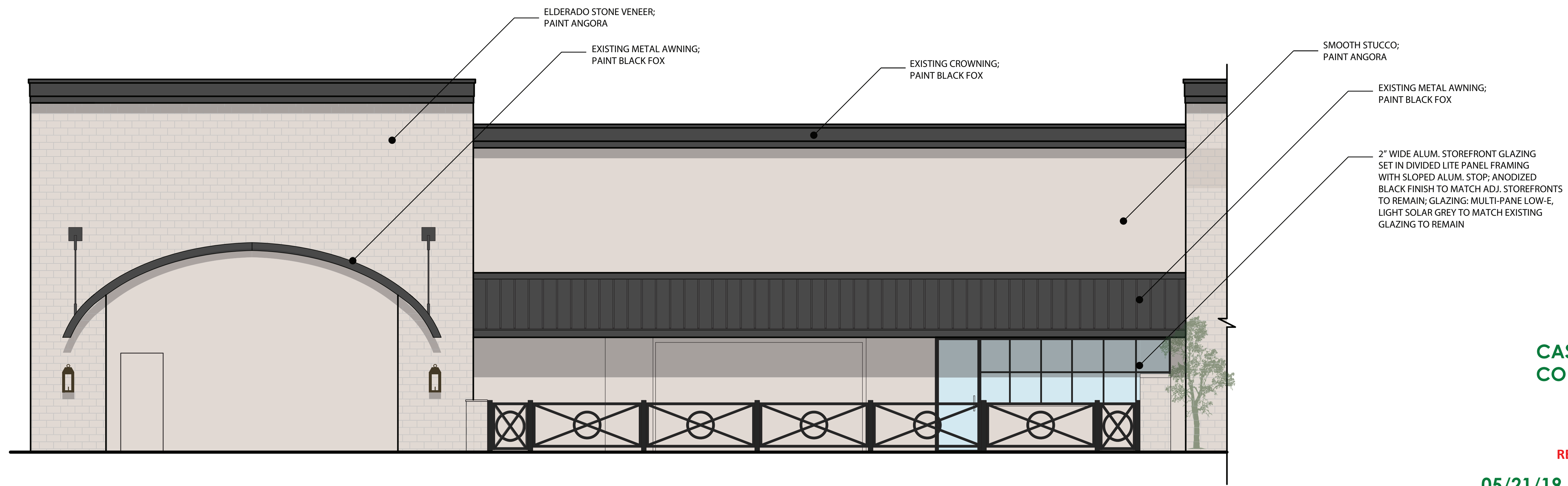
LURE FISH HOUSE
 RESTAURANT REMODEL-PRELIM PLAN
 AT GAINNEY RANCH RETAIL CENTER
 8877 N. SCOTTSDALE RD.
 SCOTTSDALE, AZ

DRAWN	-
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PLOT DATE	-
SCALE	-
JOB NO.	-
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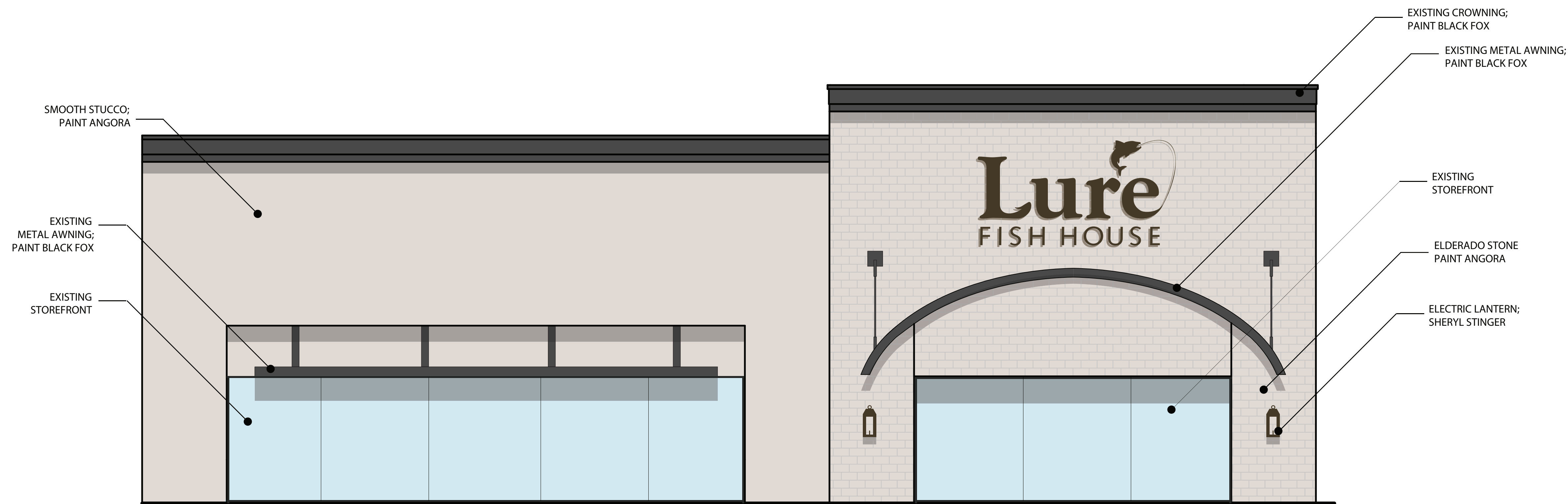
PR-3
 SHEET



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

CASE# 113-SA-2019
COLOR ELEVATIONS

APPROVED

STIPULATION SET
RETAIN FOR RECORDS

05/21/19 *Andrew Chiu*
DATE APPROVED BY

REVISIONS	BY
PLANNING SUBMITTAL 04-10-19	

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LURE FISH HOUSE
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AT GAINEY RANCH RETAIL CENTER
8877 N. SCOTTSDALE RD.
SCOTTSDALE, AZ

DRAWN	-
CHECKED	-
PLOT DATE	-
SCALE	1/4"=1'-0"
JOB NO.	-
E-FILE	-

PR-4

SHEET

REVISIONS	BY
PLANNING SUBMITTAL 04-10-19	

**CASE# 113-SA-2019
MATERIAL & COLOR SAMPLES**

APPROVED

STIPULATION SET
RETAIN FOR RECORDS

05/21/19 *Andrew Chi*
DATE APPROVED BY

BLACK FOX
PAINT - SW 7020
(METAL AWNING, CROWNING)

NATURAL COPPER
(SIGNAGE, LANTERN)

FIRESIST AWNING FABRIC
FLANNEL - 82022-0000

ALUMINUM STOREFRONT
ANODIZED BLACK FINISH TO
MATCH ADJ. STOREFRONTS

ANGORA
PAINT - SW 6036
(BRICK & STUCCO)

EXISTING METAL AWNING
(PAINT BLACK FOX)

SHERYL STRINGER
MEDIUM STYLE 3 LANTERN
NATURAL COPPER FINISH

FIRESIST AWNING FABRIC
IVORY - 82015-0000

MULTI-PANE LOW- E GLAZING
LIGHT SOLAR GREY TO MATCH
EXISTING GLAZING

ELDERADO STONE
CAPISTRANO
(PAINT ANGORA)

ANCHORS AWEIGH BLUE
PAINT - SW 9179
(FRONT ENTRANCE DOORS,
PATIO FENCING & SIDELIGHT
FRAME)

1 MATERIAL PALETTE

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PLANNING • ARCHITECTURE • DEVELOPMENT SERVICES

LURE FISH HOUSE
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AT GAINERY RANCH RETAIL CENTER
8877 N. SCOTTSDALE RD.
SCOTTSDALE, AZ

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JOB NO.	-
E-FILE	-

PR-5

SHEET