

City of Scottsdale Notes

2015 International Building Code [ord. # 4284, resolution # 10597]
 2015 International Residential Code [ord. # 4284, resolution # 10599]
 2015 International Fire Code [ord. # 4283, resolution # 10598]

- All products listed by an Evaluation Service Report (ESR) shall be installed per the report and the manufacturer's written instructions. Product substitutions shall also be listed by an ESR.
- Provide Fire Sprinkler System per Scottsdale Fire Code (IRC R313 amended)
- Separate permits required: pools, spas, fences, site walls, retaining walls, and gas storage tanks.
- Foundation & Footing depth shall be a minimum of 18 inches below grade (or per property soil report), provide a minimum of 3-inch clearance between Rebar and soil. (R403.1 amended)
- Doors between the garage and residence shall be self-closing minimum 1 3/8" thick solid core or 20 minute fire rated. (R302.5.1)
- Exterior wall penetrations by pipes, ducts or conduits shall be sealed. (R703.1)
- Wood sill plates shall be pressure treated or decay resistant. Exterior sill plates shall bear a minimum of 6 inches above finish grade. (R317.1)
- Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled 1/2" sag-resistant gypsum ceiling board. (Table R702.3.5 [d])
- Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (P2708.4)
- Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. Cement, fiber-cement or glass mat gypsum backers installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (R702.4.2)
- Plumbing fixtures shall comply with the following conservation requirements: Water closets-Tank type 1.28 gal./flush. Shower heads- 2.0 gpm. Sinks- 2.2 gpm. Lavatory-1.5 gpm (Table P2903.2 amended)
- Storage-tank type water heaters shall be installed with a drain pan and drain line. (P2801.6)
- A demand-controlled hot water circulation system shall be provided in accordance with amended Sections N1103.5.1.1 and N1103.5.1.2.
- Provide roof/attic ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R806.1 Amended)
- The building thermal envelope shall comply with climate zone 2. Energy compliance shall be demonstrated by UA tradeoff (REScheck) OR performance (REM/Rate) compliance path OR by the following prescriptive values (Table N1102.1.2):
 - Prescriptive minimum R-values: <Ceiling=R-38> / <Walls=R-13>
 - Prescriptive maximum Window Fenestration values: <U-Factor=0.40> / <SHGC=0.25>
- Provide Minimum R-3 insulation on hot water pipes. (N1103.5.3)
- Supply and return ducts in attics shall be insulated to a minimum R-8. Ducts in other portions of the building shall be insulated to minimum R-6. Ducts and air handlers located completely inside the building thermal envelope are exempt. (N1103.3.1)
- Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides.
- Exhaust air from bathrooms, kitchens and toilet rooms shall be exhausted directly to the outdoors, not recirculated or discharged indoors. (M1507.2 amended)
- Exhaust fans in bathrooms with a shower or tub shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3)
- Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (E3901.6)
- Receptacles serving kitchen countertops installed in bathrooms, garages, unfinished accessory buildings, outdoors and located within 6 feet of sinks shall have GFCI protection for personnel. (E3902)
- All branch circuits that supply 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter (AFCI) installed to provide protection of the branch circuit. (E3902.12)
- General purpose 15- and 20-ampere receptacles shall be listed tamper-resistant. (E4002.14)
- Provide Smoke Alarms in new and existing areas of home. (R314)
- Approved Carbon Monoxide Alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (R315)
- A minimum of 20 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1 amended)
- Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. (N1102.4.5)
- Provide illumination with wall switches for stairways when there are 4 or more risers. (R303.7)
- Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (E3901.2)
- Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (E3703.2)
- Both metal piping systems and grounded metal parts in contact with the circulating water associated with a hydro massage tub shall be bonded together using an insulated, covered, or bare solid copper bonding jumper not smaller than 8 AWG. (E4229)
- Provide outside combustion air to all indoor fireplaces with air intake located not higher than the firebox. (R1006.1)
- At least one thermostat shall be provided for each separate heating and cooling system. (N1103.1)

- The following three notes are applicable to New Construction only (BPI certified professionals are approved for testing air leakage in existing buildings, otherwise RESNET professionals are approved for new and existing):
 - The building shall be provided with a whole-house mechanical ventilation system that meets the requirements of Section M1507. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (N1103.6)
 - The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding five air changes per hour for detached dwelling units and seven air changes per hour for attached dwelling units. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by an approved third party (RESNET certified). A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2 amended)
 - Ducts, air handlers, and filter boxes shall be sealed in accordance with N1103.3.2. Joints and seams shall comply with Section M1601.4.1. Ducts shall be pressure tested to determine leakage by one of the following methods (N1103.3.3):
 - Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
 - Post-construction test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.
 Exception: A duct leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope. A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Building Final.

General Builder's Notes

- All work shall comply with all applicable codes and ordinances.
- The Contractor shall verify all dimensions and conditions in the field. If a dimensional error occurs or a condition not covered in the drawings is encountered, the Contractor shall notify the architect before commencing that portion of the work.
- The Contractor shall notify the architect if discrepancies are noted in these Contract Documents, in sufficient time as to not cause delay.
- Dimensions take precedence over scale on the Construction Documents.
- Details, notes, and finishes shall be applicable to all typical conditions whether or not referenced at all places on these plans.
- The Contractor shall verify all existing grades and shall review all grading conditions prior to commencement of work.
- The Contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage throughout construction.
- The Contractor shall verify all equipment loads and notify the the architect of any changes in size, weight, and location, or additional load to those indicated on the drawings.
- The Contractor shall supervise and direct the work, using the best skill and attention. He shall be solely responsible for all methods, techniques, sequences, and procedures, and for coordinating all portions of the work under the contract.
- All manufactured articles, material, and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written specifications or instructions unless hereinafter specified to the contrary.
- The Contractor shall verify the location of existing utilities and protect them.
- The starting of work by any contractor or subcontractor shall be considered prima facie evidence that he has inspected and accepted all conditions involved in his work and finds them satisfactory.
- The Contractor shall be responsible for safety in the area of work in accordance with all applicable safety codes.
- Each Contractor is responsible for any damage to adjacent work and is responsible for the repair and solid damage at his own expense.
- These drawings are for permit only. The Contractor is responsible for any standard or special detailing not specified herein.

City of Scottsdale Site Notes

- Pools require separate approval and permit
- Pools shall not be emptied or backwashed into washes, streets, or on to an adjacent lot, or tract of land. (DSPM2-2.501.D.4.c.)
- All mechanical equipment (air conditioner, pool equipment, etc.) shall be screened a minimum of 1 foot above the highest portion of the equipment from all sides and shall be compatible with the adjacent building. Show location of equipment on siteplan
- A guest house shall never be offered for rent. (ZOSec.5.012.A.6.c.andSec.5.102.A.6.c.)
- A guest house shall not exceed a gross footprint size greater than 50% of the footprint size of the principal building. (ZOSec.5.012.A.6.b.andSec.5.102.A.6.b.)
- Any proposed modifications to natural water courses and all walls and fences crossing natural water courses shall be designed in accordance with the standards and policies specified in chapter 37 (drainage and floodplain ordinance) of the Scottsdale Revised Code.
- Temporary/Security Fencing that is required or is optionally provided shall be in accordance with the Zoning Ordinance and the Design Standards and Policies Manual. (ZOSec.7.700;DSPM1-1.407)

Bench mark

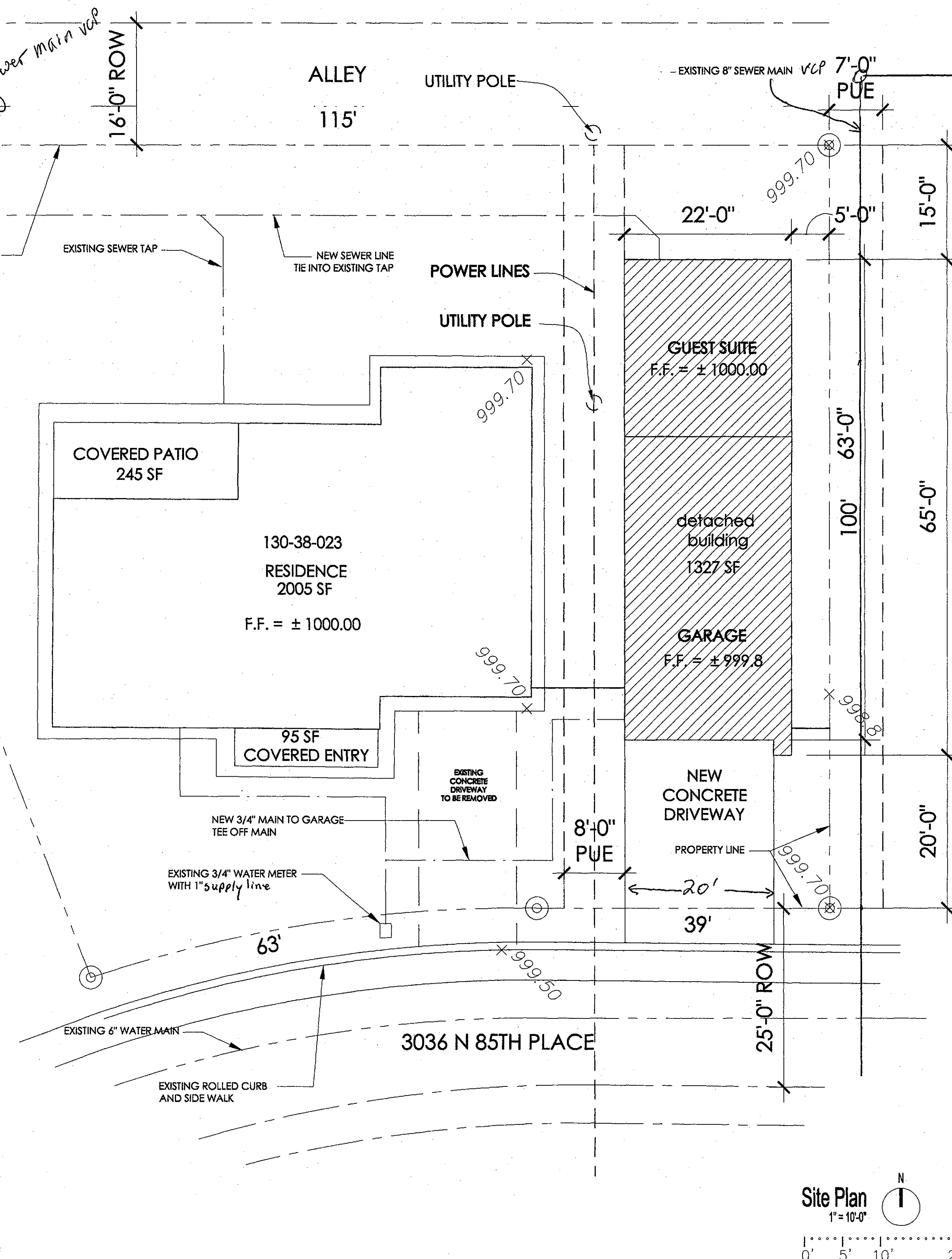
ELEVATION = ASSUMED 1000.00 (CITY OF SCOTTSDALE DATUM)
 FINISHED FLOOR TO BE MIN. 14" ABOVE GRADE

SITE PLAN APPROVED
 BY THE CITY OF SCOTTSDALE PLANNING DEPARTMENT

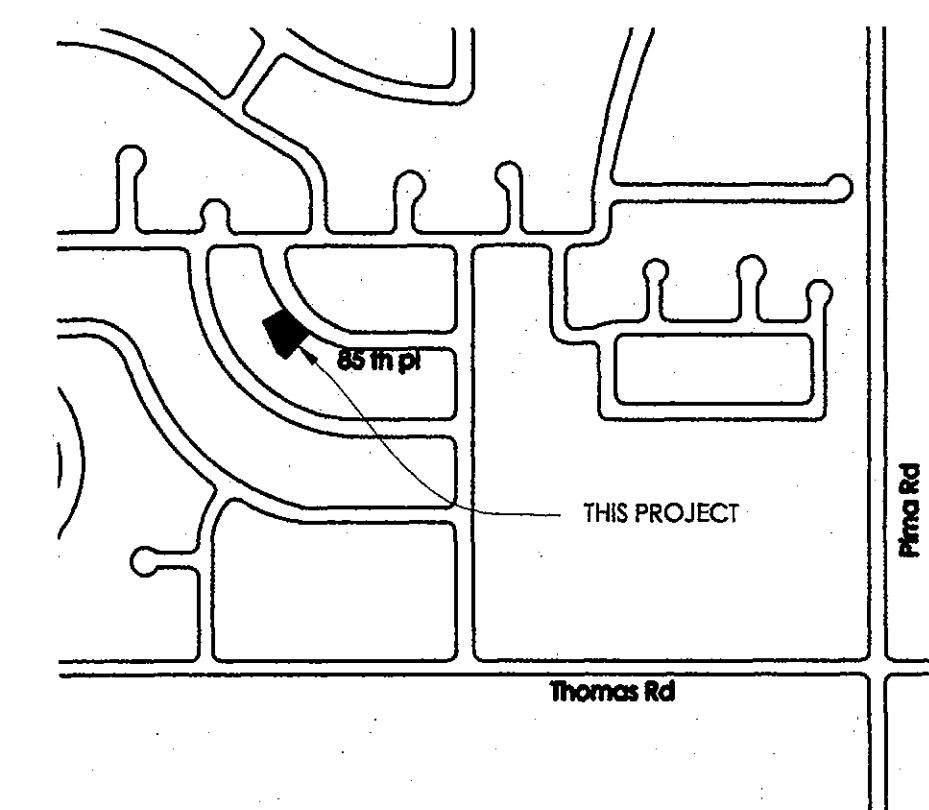
937-20
 PLAN CHECK NUMBER
 CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS SHALL REQUIRE APPROVAL

Community Number	Panel # Panel Date	Suffix	Date of FIRM (Index Date)	FIRM Zone	Base Flood Elevation (In AO Zone use Depth)
045012	2235 10/16/13	L	11/4/15	X	N/A

The lowest floor elevation(s) and/or flood proofing elevation(s) on this plan are sufficiently high to provide protection from flooding caused by a 100-year storm, and are in accordance with Scottsdale Revised Code, Chapter 37 – Floodplain and Stormwater Regulation.



Vicinity Map N.T.S.



Project Directory

OWNER:
 William M Speros trust

DESIGNER:
 JCL design/build
 4500 S. Lakeshore Dr.
 Suite 280
 Tempe, AZ 85282
 480.734.0094
 solidrock15@yahoo.com

Governing Building Codes

All construction shall comply with the following codes and City of Scottsdale amendments:

- 2015 International Building Code
- 2015 International Mechanical Code
- 2015 National Electrical Code
- 2015 International Fire Code
- 2015 International Residential Code
- 2015 International Plumbing Code
- 2015 Energy Conservation Code

Energy Note:

2015 IRC - New and/or remodeled building envelope areas shall comply with the following: Fenestration = 0.40 max U-Factor, 0.25 max SHGC. Min. R-13 @ frame walls & floors, R-4/4 @ Mass wall, R-38 @ ceilings. Duct insulation located outside the building envelope requires minimum R-8 and R-5 when located in floor joists. Minimize air leakage per R402.4.

Project Data

PROJECT DESCRIPTION: New Detached Guest house and Garage.

FIRE SPRINKLER SYSTEM TO BE DESIGNED UNDER DEFERRED SUBMITTAL.

PROPERTY ADDRESS: 3036 N 85TH PL SCOTTSDALE 85251

PARCEL NUMBER: 130-38-023 QS#15-48

ZONING: R1-7

OCCUPANCY TYPE: R-3 Single Family Residential

CONSTRUCTION TYPE: V-B

BUILDING SIZE:
 Livable - 1,990 sf
 Covered Patios - 539 sf
 Remodel - 500 sf
 Addition - 1,453 sf

Total Footprint - 3,553 sf

LOT SIZE: 0.19 acres 12,318 sf

Lot coverage 32%

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ARCHITECTURAL

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Special Notes

- PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS, AND VENTS PER R703.B.

JCL design build
 4/14/2020
 319
 4500 S Lakeshore dr suite # 280
 Tempe, AZ 85282
 solidrock15@yahoo.com

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Speros Residence
 3036 N 85TH PL
 SCOTTSDALE 85251

Plan Check # 937-20

S
 Site Plan

ENGINEERING DRAINAGE PLANNING
 937-20
 2/20/2020