



Development Review (Minor) Staff Approval

27-MS-2009#3

Mercado Del Lago Master Sign
Program Amendment

APPLICATION INFORMATION

LOCATION: 8300 N Hayden Rd	APPLICANT: Veronica Hernandez
PARCEL: 174-03-004H	COMPANY: Arizona Commercial Signs
Q.S.: 25-47	ADDRESS: 4018 E Winslow Ave Phoenix, AZ 85040
CODE VIOLATION #:	PHONE: 480-921-9900

Request: Request to amend the Mercado Del Lago Master Sign Program to update all wall sign design and placement guidelines.

STIPULATIONS

1. All signage within the Mercado Del Lago shall adhere to the Mercado Del Lago Master Sign Program Amendment submitted by Arizona Commercial Signs with this application, having a City staff approval dated 11/16/2016.
2. Except as modified above, all previous approvals and stipulations of case 27-MS-2009#2 shall continue to apply.
3. All signs shall require a separate application review, approval, and permits.
4. Any subsequent modifications to the Mercado Del Lago Master Sign Program shall require Development Review Board or staff approval, as well as review and approval from the McCormick Ranch Property Owners Association or designee.

CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit a copy of this approval letter, along with a completed Sign Permit Application, to the One Stop Shop for plan review. Sign Permit Application & Submittal Requirements: <http://www.scottsdaleaz.gov/codes/signs>

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature:  DATE: 11/16/2016

Jeff Barnes



Licensed • Bonded • Insured
#92792

4018 E. Winslow Ave. • Phoenix, AZ 85040 • Off: **480.921.9900** • Fax: 602.437.8073 • www.arizonacommercialsigns.com

November 9th, 2016

City of Scottsdale
Attn: Jeff Barns / Planning Development Services
7447 E. Indian School Rd.
Scottsdale, AZ 85251

Re: Mercado Del Lago
Pre-App. #740-PA-2016

Dear City of Scottsdale,

After careful review, the new Master Sign Plan for Mercado Del Lago at 8300 N. Hayden Rd., Scottsdale, AZ., we have come up with a superior Master Sign Plan for McCormick Ranch Association and the City of Scottsdale.

Our new Master Sign Plan has upgraded to new multi-tenant mid-size monuments on Hayden Road and a new identifier Mercado on the corner of Hayden Rd. and Royal Palm Road.

We've also have come up with another new multi-tenant for Royal Palm Road.

The wall signs have all changed to a specific silver paint color. Tenants may use Halo Illuminated letters, non-illuminated letters and a special perforated Halo and Face Lit Halo Illuminated letters.

We have several beams and we've come up with a shingle mounted sign for these applications.

All signage has been approved by the McCormick Ranch Association, owners of the shopping center and we are requesting your approval on the final Master Sign Plan for Mercado Del Lago.

Sincerely,

Scott Hudson
President

AZP

ARIZONA PARTNERS

November 7, 2016

City of Scottsdale
3939 North Drinkwater Blvd
Scottsdale, AZ 85251

Re: Master Sign Plan – Mercado del Lago
8300 North Hayden Road
Scottsdale, AZ 85258

Please accept this letter has authorization for Arizona Commercial Signs
to submit changes to the Master Sign Program on our behalf.

Best regards,



Marko Burns
Scottlin, LLC
Manager

Barnes, Jeff

From: Barnes, Jeff
Sent: Thursday, October 06, 2016 5:01 PM
To: Mark Burns (mcb@azpre.com); Veronica Hernandez (vhernandez@arizonacommercialsigns.com)
Cc: Chi, Andrew
Subject: Mercado Del Lago MSP (740-PA-2016) 1st review comments
Attachments: 201610061533.pdf

Mark and Veronica,

We have completed our review of the submitted request for master sign program for Mercado Del Lago, Pre-App# 740-PA-2016.

There are a few outstanding items that require clarification and/or modifications before we can administratively approve the MSP request.

Summary of Comments (also refer to attachment)

1. PAGE 1: See reference to example of recently approved MSP example 6-MS-2011#4.
2. PAGE 3: See language and formatting comments.
3. PAGE 3: "Beam Mounted Displays" or Standing Canopy signs are not permitted sign types in this zoning district.
4. PAGE 4: See language and formatting comments.
5. PAGE 4: "Beam Mounted Displays" or Standing Canopy signs are not permitted sign types in this zoning district.
6. PAGE 5: "Beam Mounted Displays" or Standing Canopy signs are not permitted sign types in this zoning district.
7. PAGE 6: See detail label clarification comments.
8. PAGE 7: For areas where no signs are intended to be allowed, use a different identifier than the ones that show where signs are allowed.
9. PAGE 7: Provide clarification and dimensions for the 3 signs that appear to represent tenants with non-contiguous frontage.
10. PAGE 7: Provide overall building frontage dimension.
11. PAGE 7: "Beam Mounted Displays" or Standing Canopy signs are not permitted sign types in this zoning district.
12. PAGE 8: See comments regarding sign placement within tenant frontage.
13. PAGE 8: Provide overall building frontage dimension.
14. PAGE 8: "Beam Mounted Displays" or Standing Canopy signs are not permitted sign types in this zoning district.
15. PAGE 9: See comments regarding sign placement within tenant frontage.
16. PAGE 9: Provide overall building frontage dimension.
17. PAGE 9: "Beam Mounted Displays" or Standing Canopy signs are not permitted sign types in this zoning district.
18. PAGE 10: The maximum of 2 mid-size monument signs are already accounted for by the signs approved under MSP amendment 27-MS-2009#2.
19. PAGE 10: The maximum of 2 mid-size monument signs are already accounted for by the signs approved under MSP amendment 27-MS-2009#2.
20. PAGE 11: The maximum of 2 mid-size monument signs are already accounted for by the signs approved under MSP amendment 27-MS-2009#2.
21. PAGE 12: The maximum of 2 mid-size monument signs are already accounted for by the signs approved under MSP amendment 27-MS-2009#2. This parcel has only one street frontage (Hayden Road), the Royal Palm Road alignment is just a driveway west of Hayden Road and does not constitute an additional street frontage to yield additional freestanding signage.

Refer to the following

1. 1st Review Written Comments (attached PDF)
2. 6-MS-2011#4 is a similar master sign program cases currently in-effect (Link):
 - a. <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/45453>

RESUBMITTAL

For your resubmittal, please provide the following plan set:

1. 3 copies of revised plans, 11x17, color.
2. 3 copies of revised narrative – include responses to each of the comments above.
3. 3 copies of the landlord/management company approval.
4. You may drop-off IN-PERSON the plans required above, addressed to my attention, along with this email, at the One Stop Shop, or...
5. You may resubmit DIGITALLY via email to my email inbox. Please provide a PDF of the revised sign package, PDF of the narrative, and PDF of the landlord approval.
 - a. If the file sizes exceed 5 MB, please use the City's SecureMail (cloud-based) system instead:
<https://securemail.scottsdaleaz.gov/dropbox/jbarnes@scottsdaleaz.gov>

I apologize for any inconvenience it may cause but I will be out of the office next week, returning on 10/18. If you would like to resubmit in person while I am out, please coordinate with Andrew Chi in my absence and I will work on reviewing the documents upon my return. If you would prefer to briefly discuss any of these comments over the phone before my absence next week, please let me know as soon as possible and Andrew and I will try and accommodate that on Friday (tomorrow) if possible. If you would prefer to set up a meeting to discuss the MSP proposal in further detail upon my return, please do so through our receptionist staff at 480-312-2500.

Thank you,

Jeff Barnes

Planner

City of Scottsdale

Planning & Development Services

jbarnes@scottsdaleaz.gov

(480) 312-2376

Checkout Our NEW Online Services:

- Avoid long waits at the One Stop Shop Service Counters by checking real-time wait times:
<https://eservices.scottsdaleaz.gov/bldgresources/WaitTimes>
<https://eservices.scottsdaleaz.gov/bldgresources>



Pre-Application Request

Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and city staff to discuss a proposed Development Application, and the information and process that is necessary for city staff to process the proposal.

In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with city staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

Submittal:

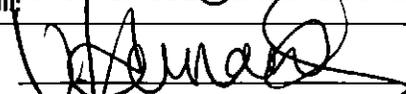
The completed Pre-Application Request form and all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road; or, may they be submitted digitally at following website:

<https://eservices.scottsdaleaz.gov/eServices/PreApps/Default.aspx>

All checks shall be payable to "City of Scottsdale."

Scheduling

After the Pre-Application submittal has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

Project Name: Mercado Del Lago	
Property's Address: 8300 N. Hayden Rd.	APN: _____
Property's Zoning District Designation: _____	
Property Details:	
<input type="checkbox"/> Single-Family Residential <input type="checkbox"/> Multi-Family Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other	
Has a 'Notice of Compliance' been Issued? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, provide a copy with this submittal	
Owner: Mark Burns	Applicant: Veronica Hernandez/Scott Hudson
Company: Arizona Partners	Company: Arizona Commerical Signs
Address: 8300 N. Hayden Rd #A-200	Address: 4018 E. Winslow Ave
Phone: 480-330-2050 Fax: _____	Phone: 480-921-9900 Fax: 602-437-8073
E-mail: mcb@azpre.com	E-mail: vhernandez@arizonacommericalsigns.com
	
Owner Signature	Applicant Signature
Official Use Only Submittal Date: 9/19/16	Application No.: 740-PA-2016
Project Coordinator: _____	

Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088



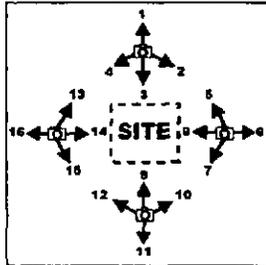
Pre-Application Request

Development Application Type:
Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input checked="" type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> General Plan Amendment (GP)
Exemptions to the Zoning Ordinance	Land Divisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivision (PP)	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Subdivision (Minor) (MD)	<input type="checkbox"/> Adult Care (AC)
<input type="checkbox"/> Variance (BA)		<input type="checkbox"/> Single-Family Residential
<input type="checkbox"/> Minor Amendment (MN)		<input type="checkbox"/> Other:

Submittal Requirements: (fees subject to change every July)

<input checked="" type="checkbox"/> Pre-Application Fee: \$ _____ (No fees are changed for Historic Preservation (HP) properties.)	<ul style="list-style-type: none"> The following list of Additional Submittal Information is not required for a Pre-Application meeting, <u>unless</u> indicated below by staff prior to the submittal of this request. Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.
<input type="checkbox"/> Records Packet Fee: \$ _____ Processed by staff. The applicant need not visit the Records desk to obtain the packet. <i>(Only required when requested by Staff)</i>	
<input checked="" type="checkbox"/> Application Narrative: The narrative shall describe the purpose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.	
<input checked="" type="checkbox"/> Property Owner Authorization Letter <i>(Required for the SA and MS Pre-Applications)</i>	
<input type="checkbox"/> Site / Context Photographs <ul style="list-style-type: none"> Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos. Photos shall be taken looking in towards the project site and adjacent to the site. Photos should show adjacent improvements and existing on-site conditions. Each photograph shall include a number and direction. Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines. Photos shall be provided 8 1/2 x 11 paper, max. two per page. 	<p>Additional Submittal Information</p> <input type="checkbox"/> Site Plan <input type="checkbox"/> Subdivision plan <input type="checkbox"/> Floor Plans <input type="checkbox"/> Elevations <input type="checkbox"/> Landscape plans <input type="checkbox"/> H.O.A. Approval letter <input type="checkbox"/> Sign Criteria Regulations & Language <input type="checkbox"/> Material Samples – color chips, awning fabric, etc. <input type="checkbox"/> Cross Sections – for all cuts and fills <input type="checkbox"/> Conceptual Grading & Drainage Plan <input type="checkbox"/> Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting. <input type="checkbox"/> Boundary Survey (required for minor land divisions) <input type="checkbox"/> Areal of property that includes property lines and highlighted area abandonment request. <input type="checkbox"/> One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).
<input type="checkbox"/> Other <hr/>	



Veronica Hernandez

From: Scott Hudson <shudson@arizonacommercialsigns.com>
Sent: Tuesday, September 13, 2016 1:49 PM
To: vhernandez@arizonacommercialsigns.com
Subject: FW: 8300 N HAYDEN RD

From: Barnes, Jeff [mailto:JBarnes@scottsdaleaz.gov]
Sent: Thursday, September 08, 2016 7:42 AM
To: 'Scott Hudson'
Cc: vhernandez@arizonacommercialsigns.com
Subject: RE: 8300 N HAYDEN RD

Scott,

To submit the pre-app, you do not need to set up a meeting first. You can use the pre-app form available online (<http://www.scottsdaleaz.gov/Assets/ScottsdaleAZ/Building/PARrequest.pdf>) and just be sure to include that association approval along with the updated sign criteria and material information you would usually submit for a MSP amendment (if I recall correctly that was the next step, amending the MSP to include the updated building signage?).

Jeff

From: Scott Hudson [mailto:shudson@arizonacommercialsigns.com]
Sent: Thursday, September 08, 2016 7:27 AM
To: Barnes, Jeff
Cc: vhernandez@arizonacommercialsigns.com
Subject: FW: 8300 N HAYDEN RD

Good morning Jeff. We are ready to come in for a Pre-app. for the wall signs. Do we meet 1st and pick up all the paper work? Please let me know? Thanks Scott

From: Valerie Venable [mailto:vvenable@mrpoa.com]
Sent: Tuesday, September 06, 2016 8:46 AM
To: shudson@arizonacommercialsigns.com
Subject: FW: 8300 N HAYDEN RD

From: Valerie Venable [mailto:vvenable@mrpoa.com]
Sent: Wednesday, August 31, 2016 1:02 PM
To: shudson@arizonacommercialsigns.com
Subject: 8300 N HAYDEN RD

At your request, please see the attached.

Thank you,

Valerie Venable | Office Manager
MRPOA 9248 N 94th Street, Scottsdale, AZ 85258

O (480) 860-1122 ext. 200 F (480) 860-1530
E vvenable@mrpoa.com W www.mrpoa.com

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McCormick Ranch
Property Owners' Association

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McCormick Ranch Property Owners' Association, Inc.

9248 N 94TH ST
SCOTTSDALE, AZ 85258

Phone: 480-860-1122

Fax: 480-860-1530

8/18/2016

SCOTTLIN, LLC
ARIZONA PARTNERS
8300 N HAYDEN RD #A-200
SCOTTSDALE, AZ 85258

Re: Architectural Submittal for 8300 N HAYDEN RD

Dear Homeowner:

The Architectural Control Committee for McCormick Ranch Property Owners' Association, Inc. has reviewed and **APPROVED** the architectural submittal for your changes to the master sign plan per the plans submitted.

This approval by the MRPOA Architectural Control Committee shall be null and void if City of Scottsdale permits are required and have not been obtained prior to commencement of work, or if such permits were denied. No project approved by the Architectural Control Committee shall be deemed final until all required permits have been obtained and copies thereof have been received by the MRPOA office.

If you have any questions, please contact the Association at (480)860-1122, ext. 200, or by email at admin@mrpoa.com.

All construction must commence within forty-five (45) days of this approval letter. If the project is not started within forty-five (45) calendar days, it must be resubmitted to the Committee unless prior authorization from the Committee is otherwise received. The project must be completed within sixty (60) calendar days, unless prior authorization from the Committee is otherwise received. If approval was a result of a violation issued against the property, applicant will have fifteen (15) calendar days to bring the property into compliance.

ACC approval of plans shall not constitute a representation, warranty, or guarantee that such plans and specifications comply with engineering design practices or zoning and building ordinances, or other governmental agency regulations or restrictions. The ACC shall not be responsible for reviewing, nor shall its approval of any plans or design, be deemed approved from the standpoint of structural safety or conformance with building or other codes. By approving such plans and specifications, neither the ACC, the Members thereof, the Association, any Member thereof, their Board of Directors, any Members thereof, or the Declarant assumes any liability or responsibility therefore or for any defect in the construction or improvement from such plans or specifications. As provided in the CC&R's neither the ACC, the Association, the Board of Directors or the Association or any Members thereof, nor the Declarant or Developer shall be liable to any Member, Owner, Occupant, or other person or entity for any damage, loss or prejudice suffered or claimed on account of (1) the approval or disapproval of any plans, drawings, or specifications, whether or not defective, or (2) the construction or performance of any work whether or not pursuant to the approved plans, drawings, or specifications.

Your patience and cooperation with the architectural review process is appreciated.

Best regards,

McCormick Ranch Property Owners' Association, Inc.

MERCADO DEL LAGO

MASTER SIGN PROGRAM



27-MS-2009#3
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
11/16/16 DATE INITIALS

Prepared by



Arizona
COMMERCIAL SIGNS
Nationwide Sign Systems
4018 E. WINSLOW
PHOENIX, ARIZONA 85040
SCOTT HUDSON 480-921-9900 OFFICE
480-570-1912 CELL

For



AZP
ARIZONA PARTNERS



SIGN CRITERIA
MERCADO DEL LAGO

INTRODUCTION

This criteria has been developed to insure design compatibility among all signs at MERCADO DEL LAGO, Scottsdale, Arizona. Conformance to the criteria will be strictly enforced. Any sign installed that is not conforming to this criteria and not approved by Developer/Landlord, must be removed or brought into conformance by the Applicant and/or its Sign Contractor. The Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code. Sign permits must be obtained from the City of Scottsdale. The following is a description of the design criteria:

GENERAL SIGNAGE REQUIREMENTS

Any reference herein to the word Tenant or Tenants shall be construed to be the same as Owner or Owners.

1. All tenant signage must be reviewed and approved by The McCormick Ranch Architectural Review Committee prior to installation.
2. The Landlord shall review the shop drawings and specification of the (2) two sets and (1) one set return to the Applicant marked "Approved", "Approved as Noted", or "Revised and Re-Submit".
3. "Revise and Re-Submit" drawings will be returned to the Applicant with comments. These drawings shall be revised by the Applicant and re-submitted to the Landlord for its approval.
4. Upon receipt of the Landlord's approval, Applicant shall proceed with City of Scottsdale permit process. Subsequent to city approval, Applicant may proceed with installation.
5. No signs, advertisements, notices, or other lettering shall be exhibited, inscribed, painted, Or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of the Developer/Landlord.
6. Applicant or its Representatives shall obtain all permits for its exterior sign and its installation. Applicant shall be responsible for all requirements and specifications.
7. Applicant shall have the sole responsibility for compliance with all applicable statues/codes, ordinances, or other regulations for all work performed on the premises by or on behalf of the Applicant.
8. The Landlord's approval of Applicant's plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by the Landlord that said items are in compliance with applicable statues/codes, ordinances, or other regulations.
9. All signage is subject to City of Scottsdale approval and this master sign exhibit. Developer/Landlord will support all applications for signs in compliance with this exhibit but cannot guarantee city approval.
10. All signage shall be constructed and installed at Tenant's expense.
11. Tenant and the Tenant's Contractor shall be responsible for the repair of any damage caused by installation or removal of any signage.
12. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
13. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
14. Any penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
15. All exposed metals shall be painted to render them inconspicuous.
16. No exposed tubing, conduit, or raceways will be permitted. All conductors, transformers, and other equipment shall be concealed.
17. All electrical signs shall bear the UL label and be mounted on top of letters.

17. All electrical signs shall bear the UL label and be mounted on top of letters.
18. All signs shall conform to the Uniform Building Code Standards.
19. All electrical signs shall conform to the National Electrical Code Standards.
20. Tenant shall be liable for the operation of their Sign Contractor.
21. Painted lettering will not be permitted.
22. Flashing, moving, or audible signs will not be permitted with the exception of drive-thru menu boards and speakers.
23. Logos may be permitted. All logos may be pan-channel with company graphics and must be approved by the Landlord.
24. Window Glass: Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Developer/Landlord prior to fabrication or implementation. Maximum coverage per pane: 25%
25. Letter style and color shall be subject to the approval by the Developer/Landlord.
26. Monument Sign: All Tenant panels to be routed copy and backed-up with plex or vinyl over plex.
27. Wall: Buyer signage shall be placed in the designed sign bands. Flexibility will be given to the L.L. to allow signs that are, in some (as shown on sheet #9) cases, not contiguous with the tenant's leased space but subject to L.L. and City approval.
28. No signs on the lakeside of the development.
29. All sign band areas can use Non-Illuminated Reverse Pan Channel, Halo-Illuminated Reverse Pan Channel or Perforated Halo/Front Illuminated Reverse Pan Channel letters.

BUILDING WALL SIGN REQUIREMENTS

1. All tenants may use Non-Illuminated Reverse Pan Channel Letters.
2. All tenants may use Halo-Illuminated Reverse Pan Channel Letters with White LEDS.
3. All tenants may use Halo/Front-Illuminated Reverse Pan Channel Letters with white acrylic faces, .040 Perforated Aluminum overlay, clear Lexan backs and White LEDS.
4. All tenants that are less than 200' from "Right of Way" will have 1 sq.ft. to 1 linear foot of longest frontage.
5. All tenants that are 200' or more from "Right of Way" will have 1.5 sq.ft. to 1 linear foot of longest frontage.
6. All tenants that have more than 2 leased sides of building may divide sq.ft. between sides.
7. Sum Total Sign Area: longest frontage x 1.5 / per business, code: 8.501.I.A
8. All may use 80% of sign band area.

WALL SIGN LETTER SPECIFICATIONS

1. Reverse Pan Channel letters to have 3.5" returns of .063 aluminum.
2. Non-Illuminated Letters shall be flush mounted.
3. Halo-Illuminated Letters shall be mounted 1.5" off fascia.
4. Illumination shall be White LED's.
5. Letters shall be painted Matthews 18074 "Sparkle Silver Metallic" with semi-gloss finish.

LOGO SPECIFICATIONS

1. Logos to be Halo/Front Illuminated, Matthews "Sparkle Silver Metallic" returns, "Silver Trim Cap, white acrylic face, clear Lexan backs, whites LED's.
Tenants may use logo colors.

BEAM MOUNTED SIGNS - SHINGLE SIGNS

1. Beam Mounted Signs must not be lower than 7'-6" from grade.
2. Letters returns to be 3.5" in depth painted Matthews "Sparkle Silver Metallic", .75" "Silver" trim cap, .125" white acrylic face and 3630-121 Silver" vinyl overlay. Perforated Metal shall be .040 aluminum, 3/16" holes painted Matthews "Sparkle Silver Metallic".
Beam mounted signs will require an opaque back.
3. Tenants may use Beam Mounted specifications for wall signs, refer to page 5 for specifications.

LARGE SIGN BAND

1. (1) Line of copy - 36"
2. (2) Lines of copy - 48"
3. Sign not to exceed 80% of sign band width.

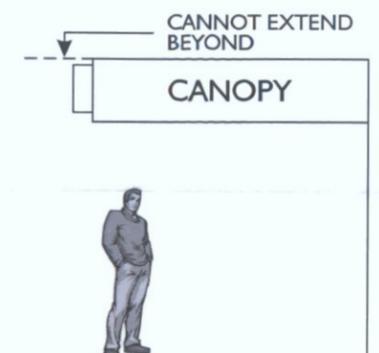
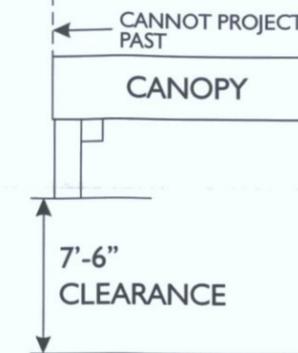
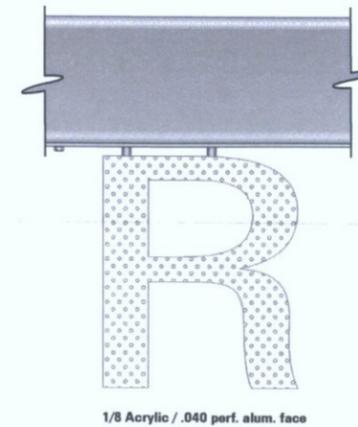
MEDIUM SIGN BAND

1. (1) Line of copy - 24"
2. (2) Lines of copy - 36"
3. Sign not to exceed 80% of sign band width.

SMALL SIGN BAND

1. (1) Line of copy - 24"
2. (2) Lines of copy - 30"
3. Sign not to exceed 80% of sign band width.

Example of Typical Beam Mounted Face with Wireway & Halo Illuminated Sign Display



REFER TO PAGE 10

INTERNALLY ILLUMINATED STEEL BEAM MOUNTED DISPLAY

SCALE: none

LETTERS: Face & halo illuminated pan channel letters. Mounted to wireway. 3-1/2" returns w/ 3/4"-1" trim cap.

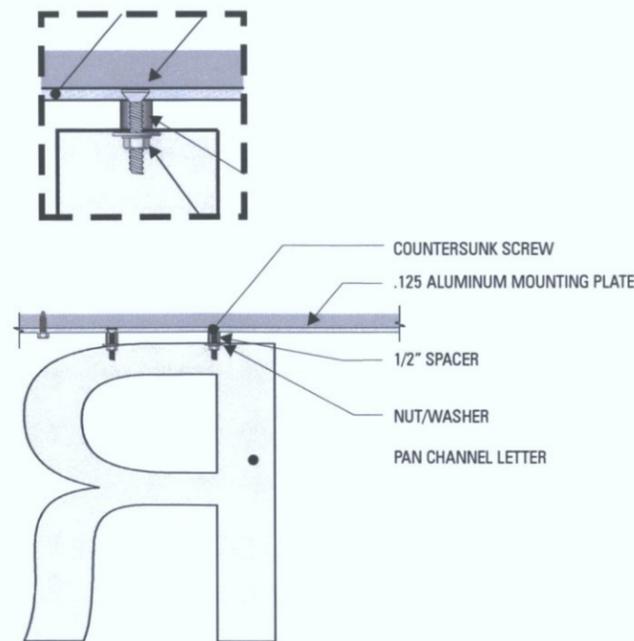
1/8" white acrylic faces w/ first surface 3m #230-121 Silver translucent vinyl and 3/16" .040" perforated aluminum overlays, opaque backs.

No neon.

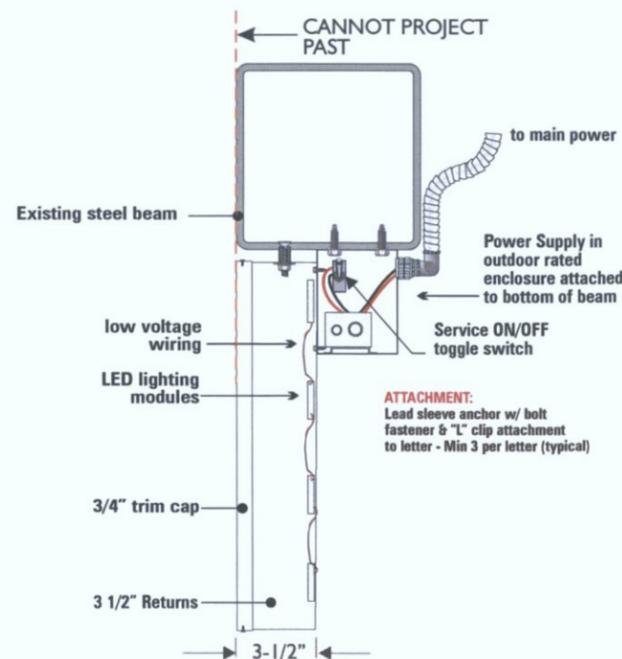
LOGOS are allowed. Face &/or halo illuminated pan channel. Mounted to wireway. 5" returns w/ 3/4" Brushed aluminum trim cap.

1/8" white acrylic faces w/ first surface 3m #230-121 Silver translucent vinyl and .040" perforated aluminum overlays.

No neon.



ATTACHMENT DETAIL - REAR VIEW
Not to scale



UL THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES.

WALL SIGN WITH BEAM FACE SPECIFICATIONS

INSTALLATION/BUILD DETAILS NOT TO SCALE

LED ILLUMINATED REVERSE CHANNEL LETTERS WITH POLYCARBONATE BACKS AND REMOTE TRANSFORMER

UL THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES.

THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 14B.

ELECTRICAL LETTER YES NO

LOGO ELECTRICAL SPECIFICATIONS

U.L. REQUIRED OTHER _____

NON U.L. REQUIRED _____

(2) 20 AMP CIRCUITS REQUIRED

ACTUAL AMP LOAD _____

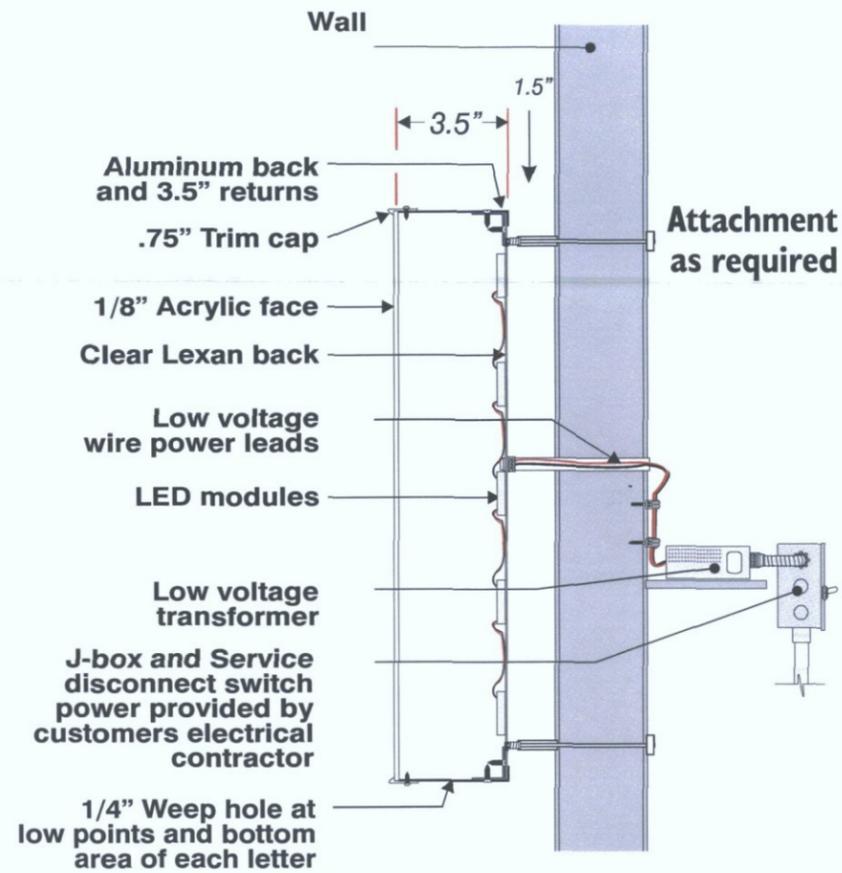
120 VOLTS 277 VOLTS

OTHER _____



INSTALLATION/BUILD DETAILS

NOT TO SCALE



HALO/FRONT ILLUMINATED LOGO MOUNTED TO WALL

UL THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
E213532

UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES.
E213532

THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 148.

ELECTRICAL LETTER YES NO

LOGO ELECTRICAL SPECIFICATIONS

U.L. REQUIRED OTHER _____
 NON U.L. REQUIRED _____

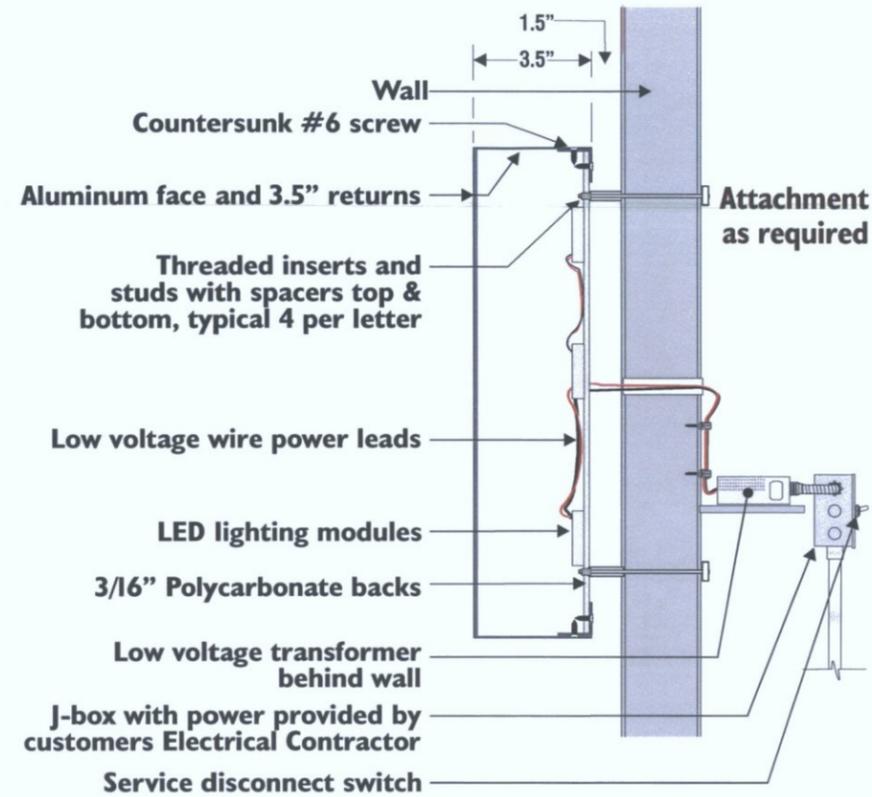
(2) 20 AMP CIRCUITS REQUIRED
ACTUAL AMP LOAD _____

120 VOLTS 277 VOLTS
 OTHER _____



INSTALLATION/BUILD DETAILS

NOT TO SCALE



LED ILLUMINATED REVERSE CHANNEL LETTERS WITH POLYCARBONATE BACKS AND REMOTE TRANSFORMER

UL THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
E213532

UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES.
E213532

THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 148.

ELECTRICAL LETTER YES NO

LOGO ELECTRICAL SPECIFICATIONS

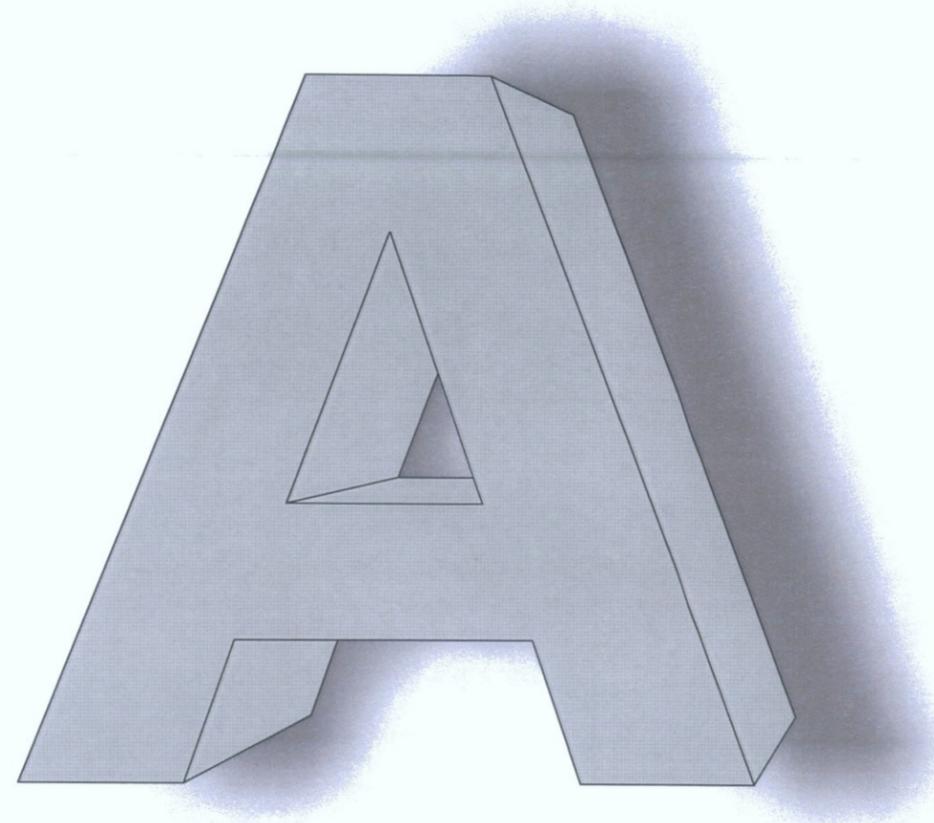
U.L. REQUIRED OTHER _____

NON U.L. REQUIRED _____

(2) 20 AMP CIRCUITS REQUIRED
ACTUAL AMP LOAD _____

120 VOLTS 277 VOLTS

OTHER _____



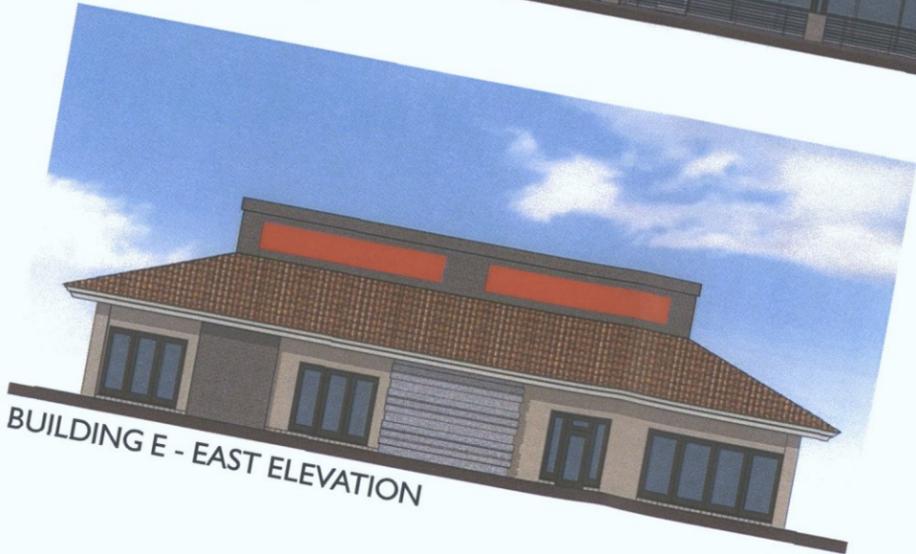


BUILDING D & E - SOUTHEAST ELEVATION



BUILDING F - NORTH ELEVATION

- LARGE SIGN BAND
- MEDIUM SIGN BAND
- SMALL SIGN BANDS
- SHINGLE MOUNT



BUILDING E - EAST ELEVATION



BUILDING F - EAST ELEVATION

SIGN BANDS / BUILDING "A"

SMALL SIGN BAND

SMALL SIGN BAND



MEDIUM SIGN BAND

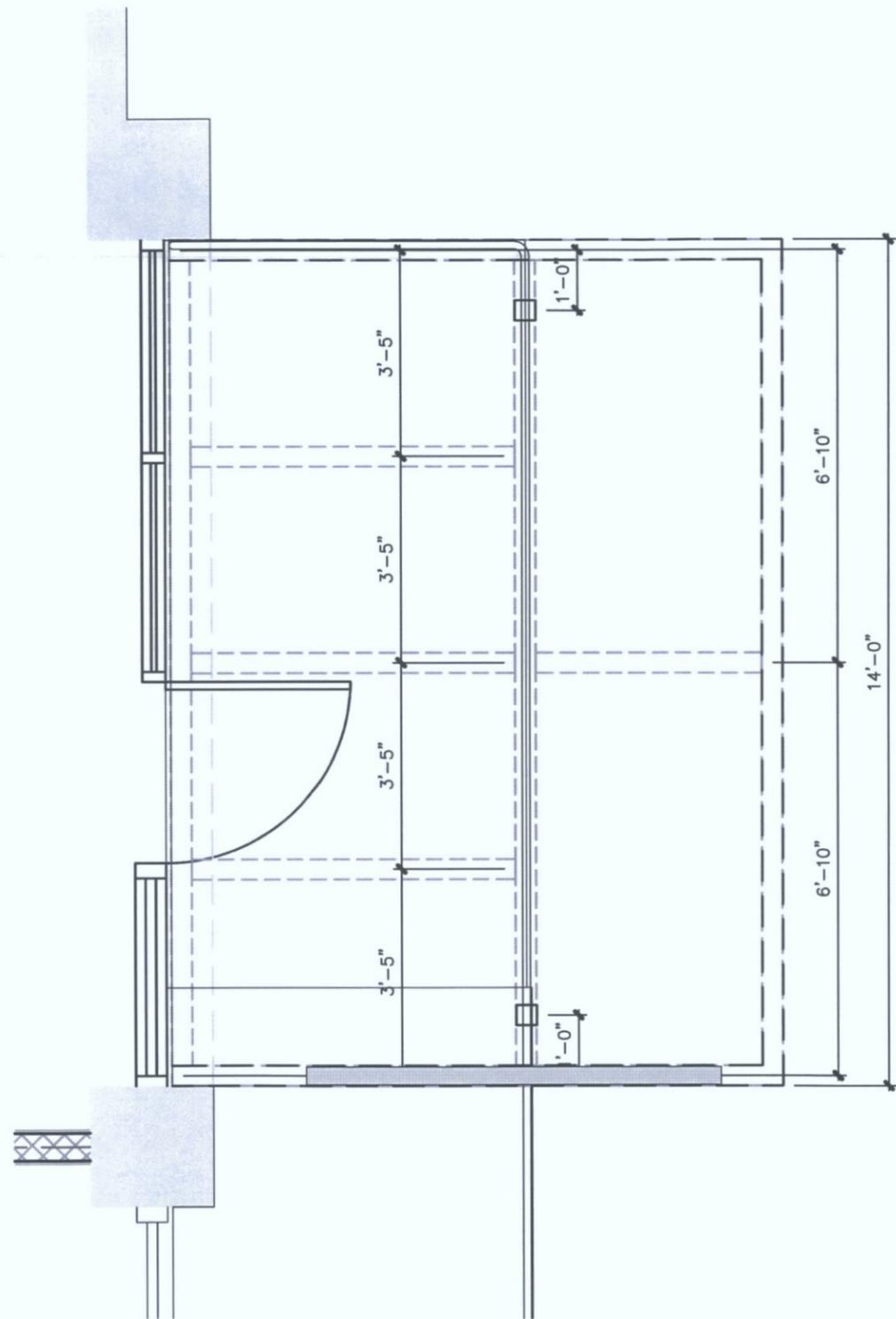
OFFICE WITH MEDIUM FASCIA"

SMALL SIGN BAND

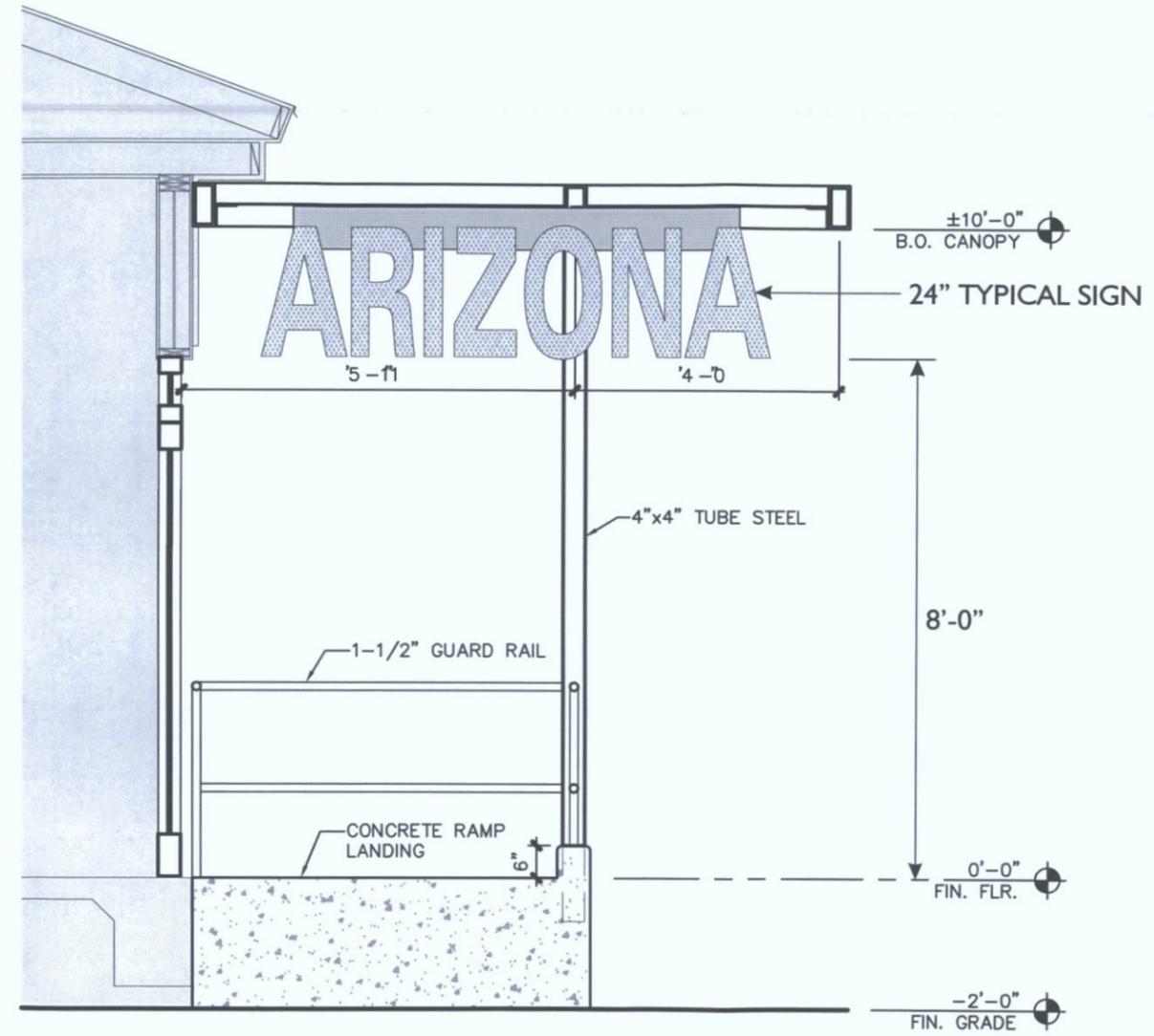


75' FRONTAGE TOP OFFICES
75' FRONTAGE BOTTOM
OFFICE/RETAIL

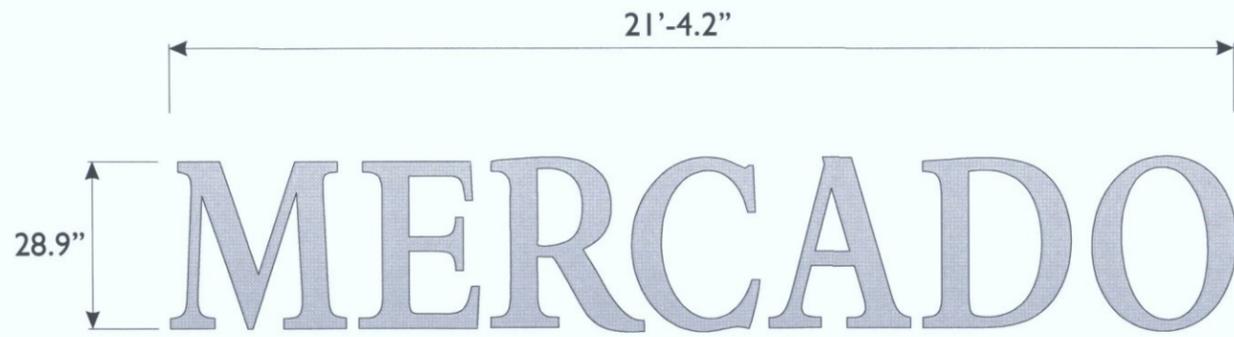
WALL IS FOR NON-CONTIGUOUS
2nd STORY TENANTS



1 BUILDING B - PARTIAL FLOOR PLAN VIEW
SCALE: 3/8" = 1'-0"

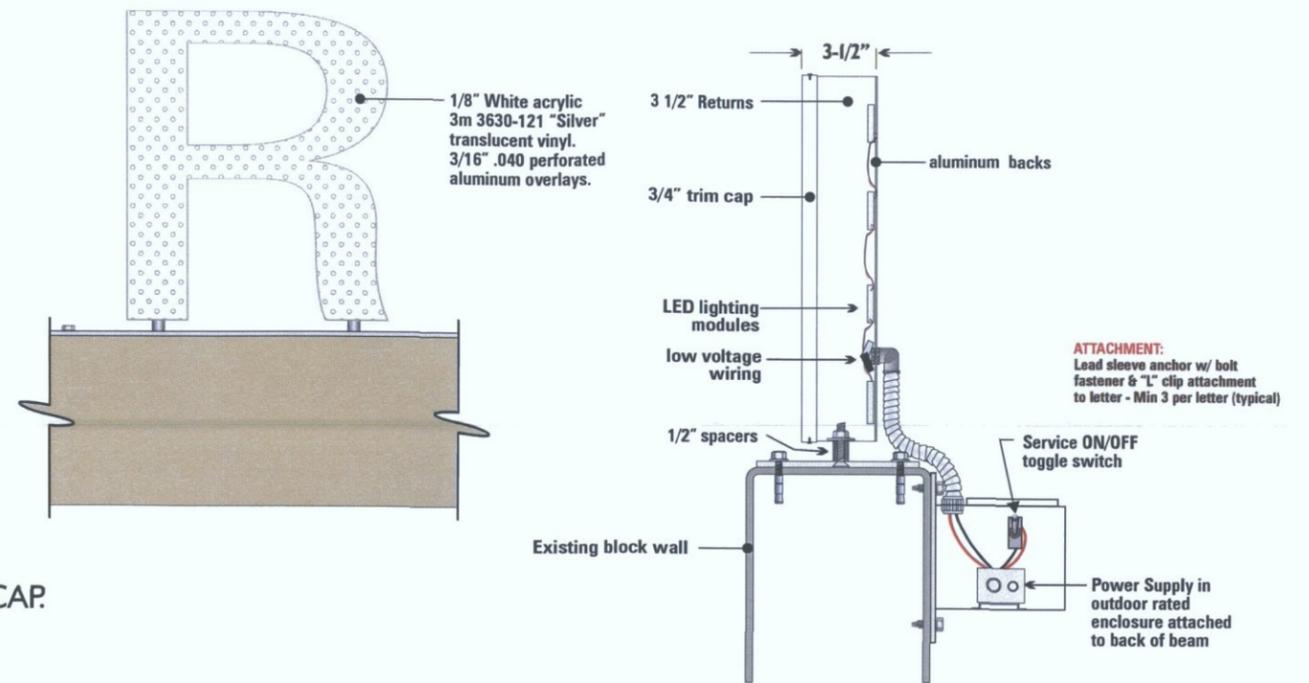


2 CANOPY SECTION
SCALE: 3/8" = 1'-0"



A WALL MOUNTED INTERNALLY-ILLUMINATED PAN CHANNEL LETTERS
 SCALE: 3/8" = 1'-0" 37.21 SQ.FT.

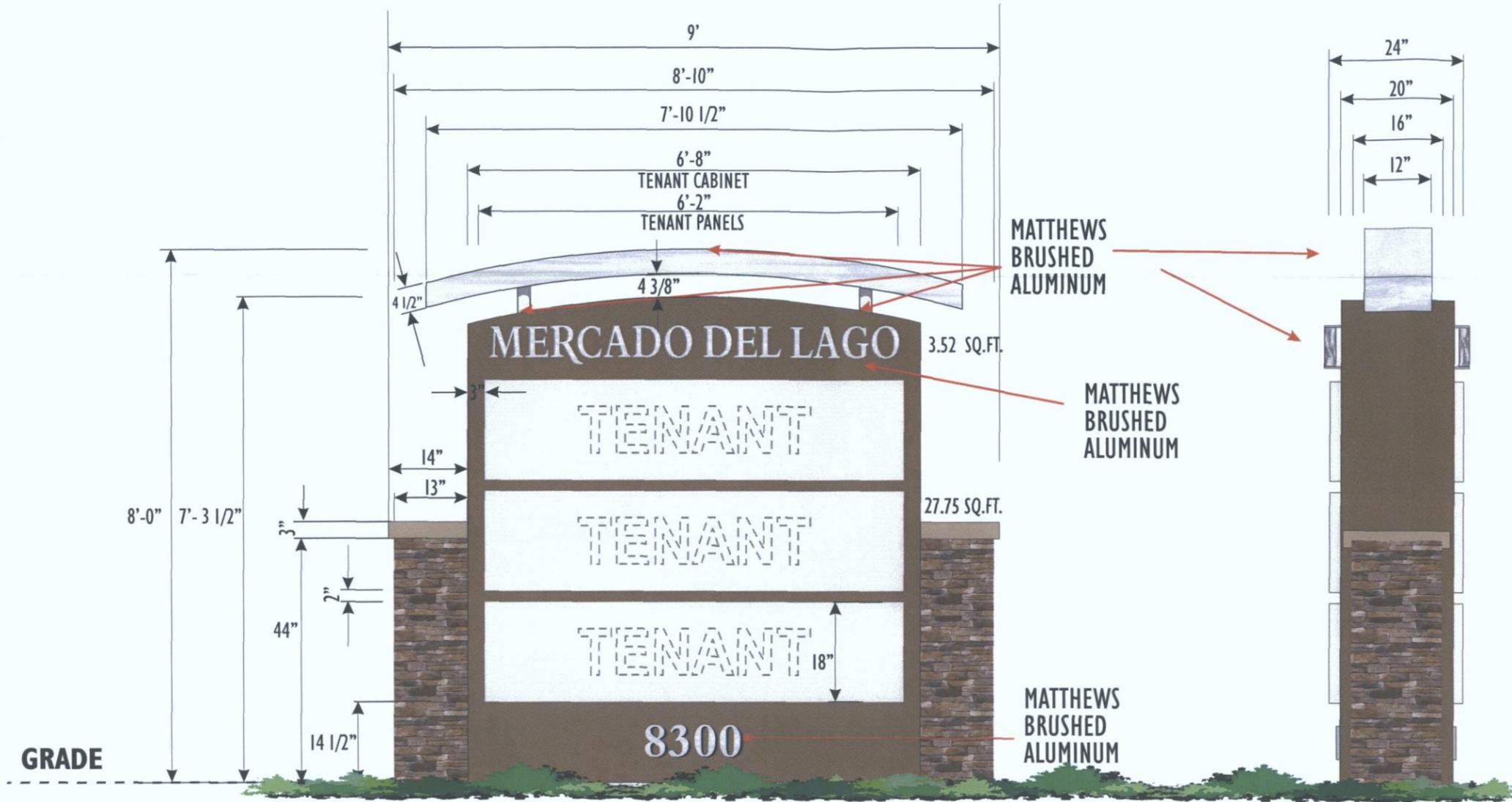
LETTERS: INTERNALLY-ILLUMINATED PAN CHANNEL LETTERS. PIN MOUNTED TO TOP OF WALL.
 3-1/2" RETURNS PAINTED MATHEWS 18074 SPARKLE SILVER METALLIC, 3/4" BRUSHED ALUMINUM TRIM CAP.
 1/8" WHITE ACRYLIC FACES W/ FIRST SURFACE 3M #230-121 SILVER TRANSLUCENT VINYL
 AND 3/16" .040" PERFORATED ALUMINUM OVERLAYS, OPAQUE ALUMINUM BACKS.
 MOUNT ON TOP OF WALL.



EXISTING

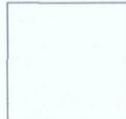
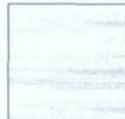


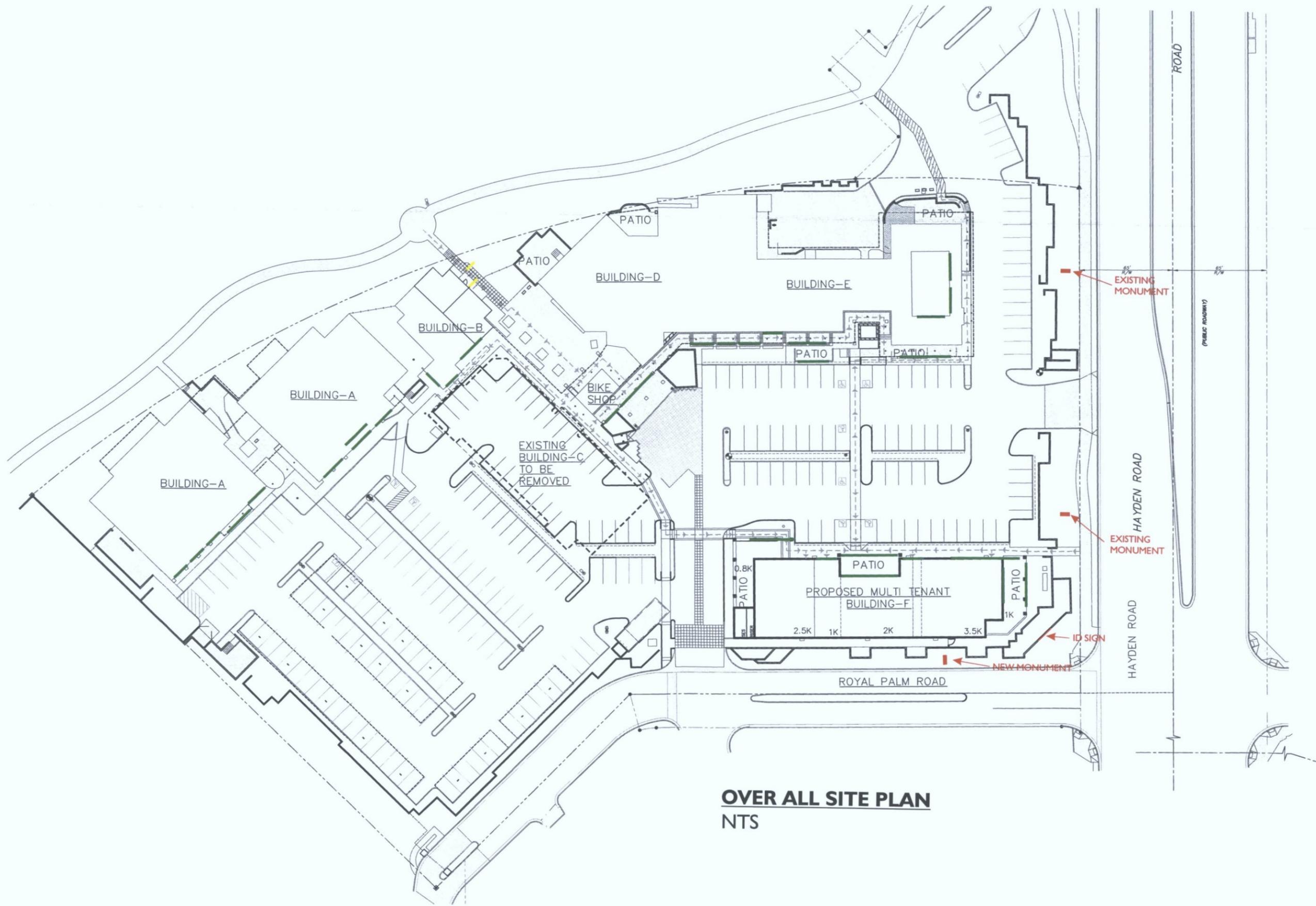
SCALE: 1/4" = 1'-0"



A D/F INTERNALLY ILLUMINATED TENANT PANEL PYLON QTY. 1
 SCALE: 1/2" = 1'-0" 31.27sf

COLOR & MATERIALS LEGEND

					
DUNN EDWARDS RIVERBED DEC767	"WEDDING WHITE" #A0071 GLIDDEN PAINTS	"SAND MOTIF" #A1748 GLIDDEN PAINTS	MATTHEWS BRUSHED ALUMINUM 41342 SP	"Sienna Stack LedgeStone with black grout"	"Frazee CL 2875A"



OVER ALL SITE PLAN
NTS

EXISTING SHOPS FACING SOUTH



EXISTING SHOPS FACING SOUTH



EXISTING SHOPS AND OFFICE FACING SOUTH



EXISTING OFFICE FACING SOUTH



FACING NORTH WEST OFFICES



FACING NORTH EAST OFFICES



FACING EAST NEW SHOPS BEING BUILT. BUILDING TO RIGHT TO BE REMOVED



FACING WEST NEW SHOPS BEING BUILT. BUILDING TO LEFT TO BE REMOVED



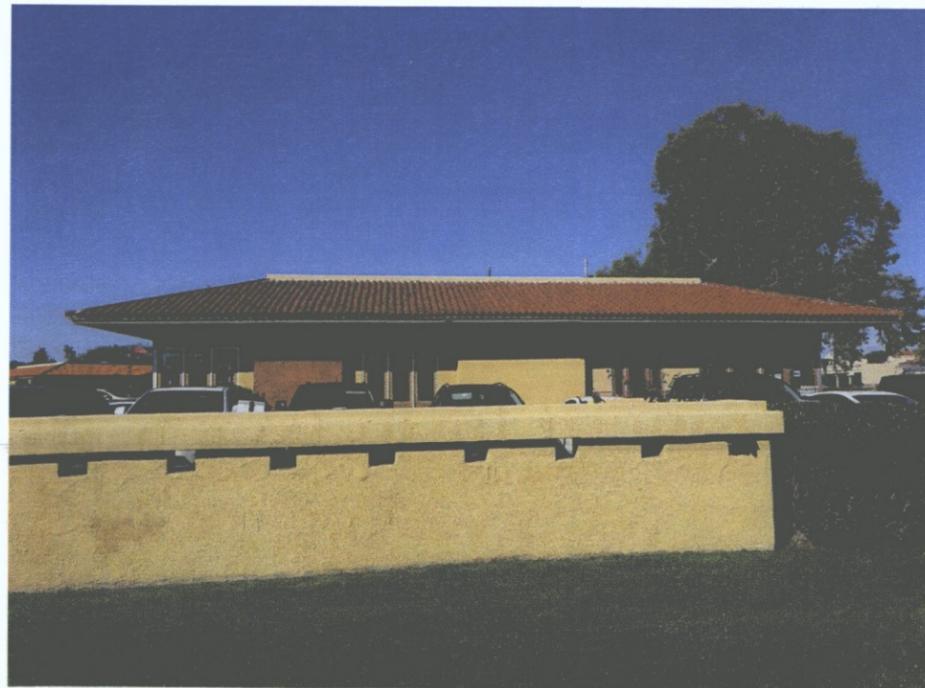
FACING NORTH NEW SHOPS B. BEING BUILT. SHINGLE SIGN ON PAGE 10.



EXISTING SHOPS FACING NORTH MIDDLE TO EAST SIDE OF PROPERTY



EXISTING SHOPS FACING WEST



EXISTING SHOPS FACING SOUTH WEST



EXISTING SHOPS FACING SOUTH WEST

