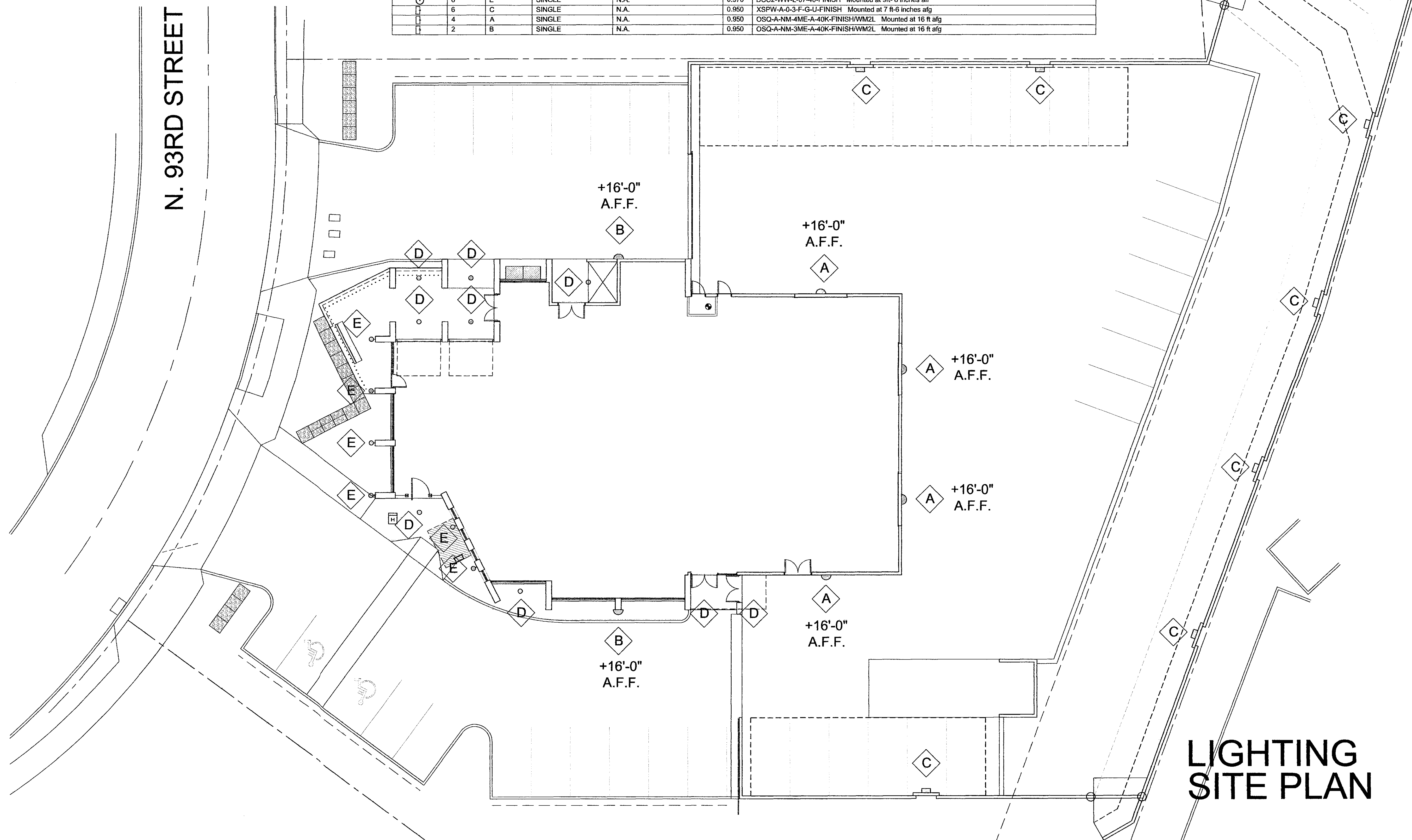


Full Size or Largest Size
(site plan, landscape, elevations)

Date: 9/2/2016
 Filename: G:\Cad Projects\1389-16-Arizona Outback Adventures\PHOTOMETRICS\1389-16-2.AGI

Calculation Summary									
Label	Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Site Lighting at grade		Illuminance	Fc	1.95	8.0	0.0	N.A.	N.A.	
Vert spill along property	line at 6 ft afg	Illuminance	Fc	0.10	0.5	0.0	N.A.	N.A.	

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	8	D	SINGLE	N.A.	0.970	DCC2-SW-L-07-40-FINISH Mounted at 11ft- 6 inches aff
○	6	E	SINGLE	N.A.	0.970	DCC2-WW-L-07-40-FINISH Mounted at 9ft- 8 inches aff
○	6	C	SINGLE	N.A.	0.950	XSPW-A-0-3-F-G-U-FINISH Mounted at 7 ft-6 inches afg
○	4	A	SINGLE	N.A.	0.950	OSQ-A-NM-4ME-A-40K-FINISH/WM2L Mounted at 16 ft afg
○	2	B	SINGLE	N.A.	0.950	OSQ-A-NM-3ME-A-40K-FINISH/WM2L Mounted at 16 ft afg



N. 93RD STREET

ARIZONA OUTBACK ADVENTURES
 DC RANCH CORPORATE CENTER - LOT 7
 17465 N. 93rd PLACE

DATE: 6.4.16
 REVISED: 9.2.16
 COS DR COMMENTS

james
 elson
 architect
 16420 north 92nd street
 suite two hundred five
 scottsdale, arizona
 85260

602.903.5311.m
 480.515.9342.f
 j4747e@ael.com
 dokeraz@hotmail.com

LIGHTING SITE PLAN

SL1
 SITE
 LIGHTING

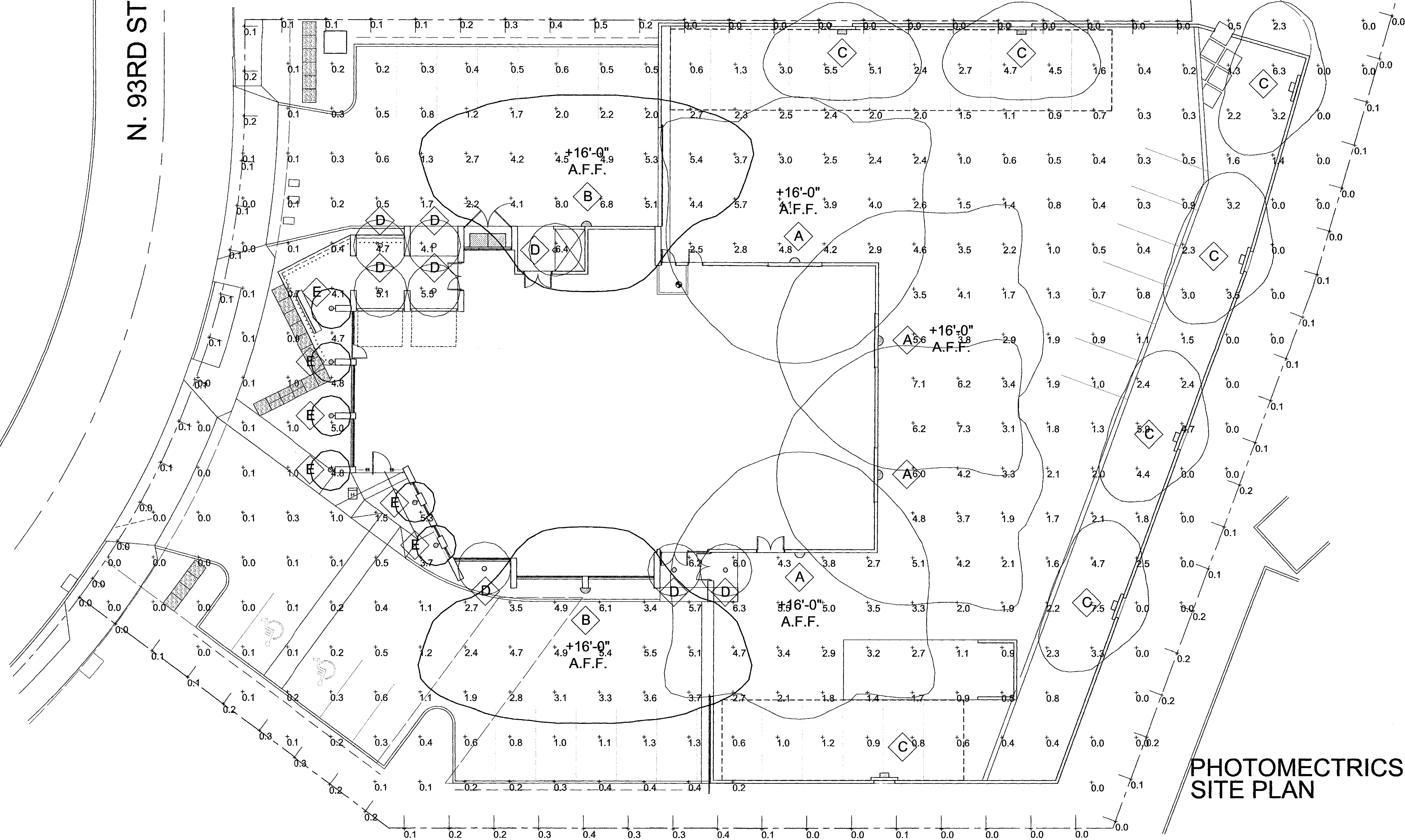
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Calculation Summary									
Label	Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Site Lighting at grade		Illuminance	Fc	1.95	8.0	0.0	N.A.	N.A.	
Vert spill along property	line at 6 ft afg	Illuminance	Fc	0.10	0.5	0.0	N.A.	N.A.	

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	8	D	SINGLE	N.A.	0.970	DCC2-SW-L-07-40-FINISH Mounted at 11ft- 6 inches aff
○	6	E	SINGLE	N.A.	0.970	DCC2-WW-L-07-40-FINISH Mounted at 9ft- 8 inches aff
□	6	C	SINGLE	N.A.	0.950	XSPW-A-0-3-F-G-U-FINISH Mounted at 7 ft-6 inches afg
□	4	A	SINGLE	N.A.	0.950	OSQ-A-NM-4ME-A-40K-FINISH/WM2L Mounted at 16 ft afg
□	2	B	SINGLE	N.A.	0.950	OSQ-A-NM-3ME-A-40K-FINISH/WM2L Mounted at 16 ft afg

N. 93RD STREET

ARIZONA OUTBACK ADVENTURES
 DC RANCH CORPORATE CENTER - LOT 7
 17465 N. 93rd PLACE



DATE: 6.4.16
 REVISED: 9.2.16
 COS DR COMMENTS

james
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16420 north 92nd street
 suite two hundred five
 scottsdale, arizona
 85260

602.903.5311.m
 480.515.9342.f
 j4747e@aol.com
 dokeraz@hotmail.com

PHOTOMETRICS
 SITE PLAN

SL2
 SITE
 PHOTOMETRICS

Wild West Lighting 1118 E. 22nd St. Carson, CA 90745 P: 480.338.9225 F: 480.338.1030	Description:	XSPW-A-0-3-F-G-U*	TYPE:	C
	Project Name:	ARIZONA OUTBACK ADVENTURES		
	Notes:			

XSP Series

XSPW™ LED Wall Mount Luminaire

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting bar are designed for installation over standard single gang 3/4" boxes and mounting single gang 3/8" boxes. The luminaire allows for through-panel or corded entry from the top, bottom, side or end. The housing design is intended specifically for LED technology including a weatherlight LED driver component and thermal management. Optic design features industry leading NanoLED™ Precision Delivery Grid™ system in multiple distributions.

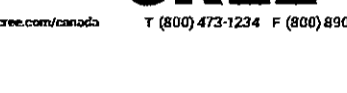
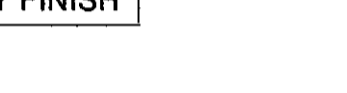
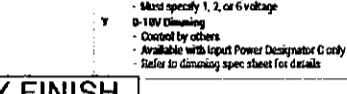
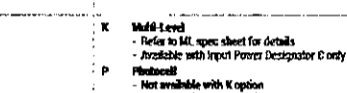
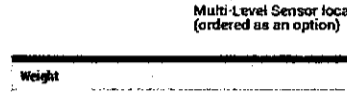
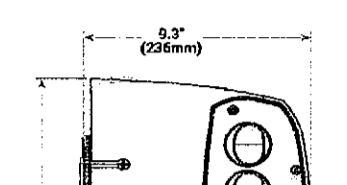
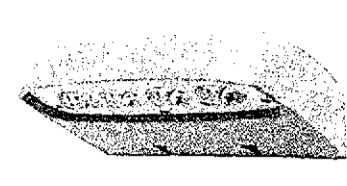
Performance Summary

NanoLED™ Precision Delivery Grid™ optic
Made in the U.S.A. of U.S. and imported parts
CRI: Minimum 70 CRI
CCT: 4000K (+/- 300K), 5700K (+/- 500K)
Limited Warranty: 10 years on luminaire/10 years on Colorfast DefogGuard™ Finish

*See www.dmf-lighting.com for warranty details

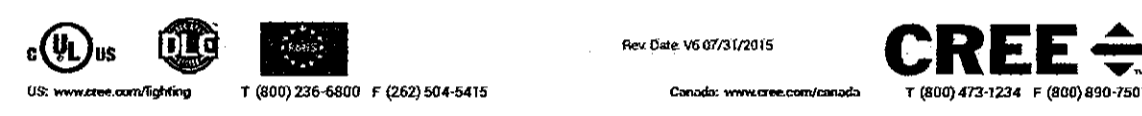
Accessories

Field-installed
Light Shield
Light Shield™ (1/2" x 1/2" x 1/2")
Light Shield™ (1/2" x 1/2" x 1/2")
Light Shield™ (1/2" x 1/2" x 1/2")
Light Shield™ (1/2" x 1/2" x 1/2")



Product	Version	Mounting	Optic	Model	Input Power Designator	Voltage	Color Options	Options
XSPW	A	W	DL	03	F	G	U	*

SPECIFY FINISH



Rev Date: V5.03/02/15
www.dmf-lighting.com T: (800) 225-6800 F: (562) 504-6415

Wild West Lighting 1118 E. 22nd St. Carson, CA 90745 P: 480.338.9225 F: 480.338.1030	Description:	OSQ-A-NM-3ME-A-40K-UL* / WM2L	TYPE:	B
	Project Name:	ARIZONA OUTBACK ADVENTURES		
	Notes:			

OSQ Series

OSQ™ LED Area/Flood Luminaire – Medium

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral weatherlight LED driver component. Versatile mounting configurations offer simple installation. The slim, low profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. X input power designator is a suitable upgrade for HID applications up to 250 Watt. X input power designator is a suitable upgrade for HID applications up to 400 Watt.

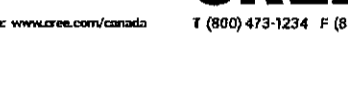
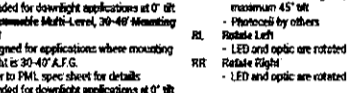
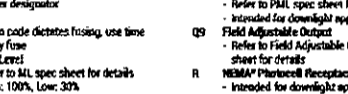
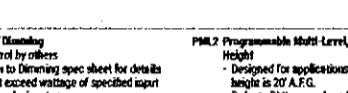
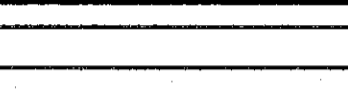
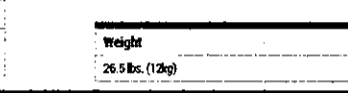
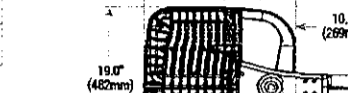
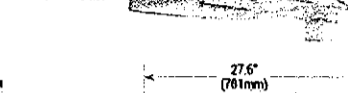
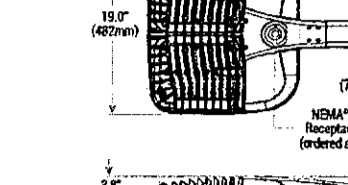
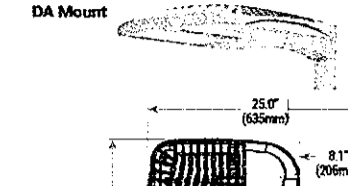
Performance Summary

NanoLED™ Precision Delivery Grid™ optic
Made in the U.S.A. of U.S. and imported parts
CRI: Minimum 70 CRI
CCT: 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)
Limited Warranty: 10 years on luminaire/10 years on Colorfast DefogGuard™ Finish

*See www.dmf-lighting.com for warranty details

Accessories

Field-installed
Light Shield
Light Shield™ (1/2" x 1/2" x 1/2")
Light Shield™ (1/2" x 1/2" x 1/2")
Light Shield™ (1/2" x 1/2" x 1/2")
Light Shield™ (1/2" x 1/2" x 1/2")



Product	Version	Mounting	Optic	Model	Input Power Designator	Voltage	Color Options	Options
OSQ	A	NM	3ME	A	40K	UL	*	

SPECIFY FINISH



Rev Date: V5.03/02/15
www.dmf-lighting.com T: (800) 225-6800 F: (562) 504-6415

Wild West Lighting 1118 E. 22nd St. Carson, CA 90745 P: 480.338.9225 F: 480.338.1030	Description:	OSQ-A-NM-4ME-A-40K-UL* / WM2L	TYPE:	A
	Project Name:	ARIZONA OUTBACK ADVENTURES		
	Notes:			

OSQ Series

OSQ™ LED Area/Flood Luminaire – Medium

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral weatherlight LED driver component. Versatile mounting configurations offer simple installation. The slim, low profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. X input power designator is a suitable upgrade for HID applications up to 250 Watt. X input power designator is a suitable upgrade for HID applications up to 400 Watt.

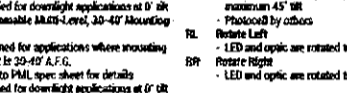
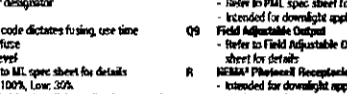
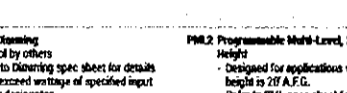
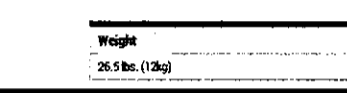
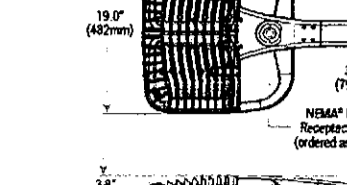
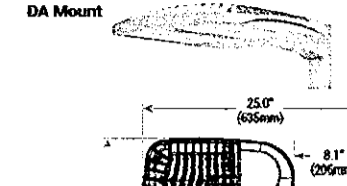
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Light Shield™ (1/2" x 1/2" x 1/2")



Product	Version	Mounting	Optic	Model	Input Power Designator	Voltage	Color Options	Options
OSQ	A	NM	4ME	A	40K	UL	*	

SPECIFY FINISH

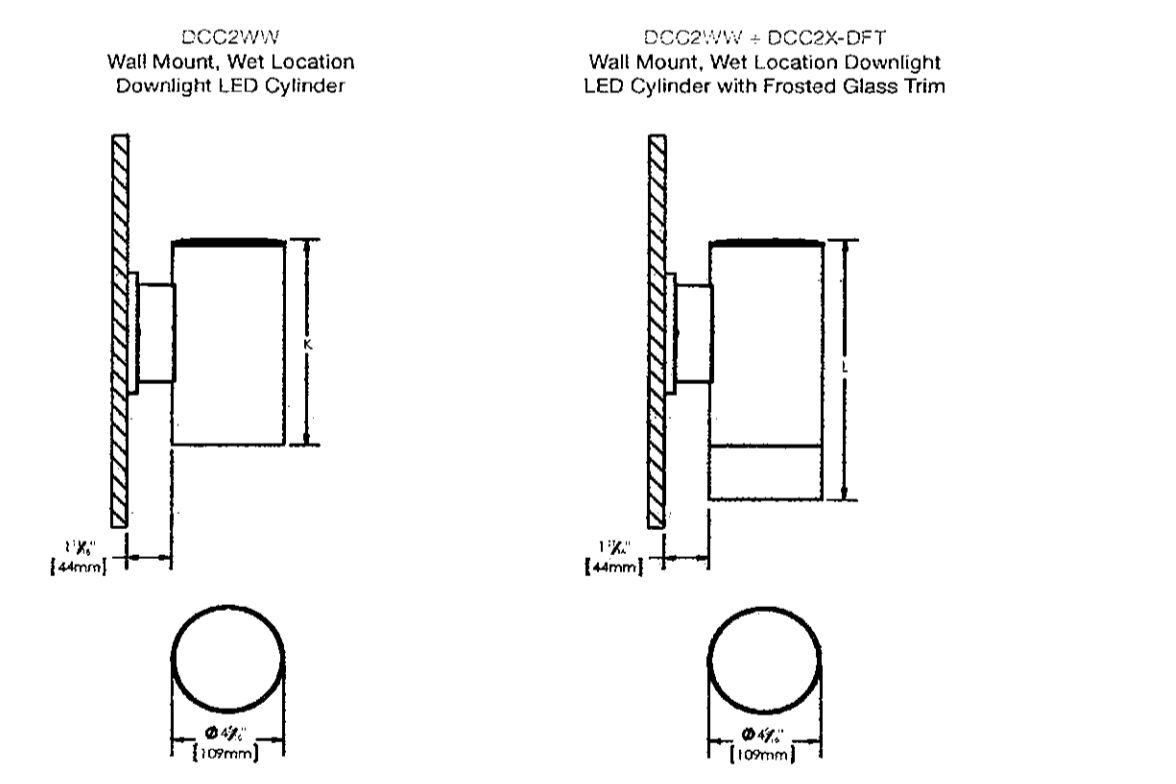


Rev Date: V5.03/02/15
www.dmf-lighting.com T: (800) 225-6800 F: (562) 504-6415

Wild West Lighting 1118 E. 22nd St. Carson, CA 90745 P: 480.338.9225 F: 480.338.1030	Description:	DCC2-WW-L-07-40*	TYPE:	E (WALL SCENCE)
	Project Name:	ARIZONA OUTBACK ADVENTURES		
	Notes:			



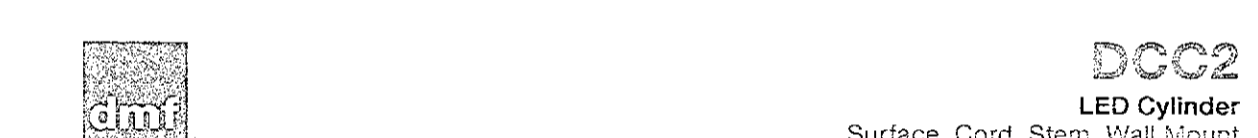
LUMINAIRE DIMENSIONS



CYLINDER SIZE	K	CYLINDER SIZE	L
Medium	8 1/2" (216 mm)	Medium	10 1/2" (267 mm)
Large	12 1/2" (318 mm)	Large	14 1/2" (368 mm)

dmf Lighting 1118 E. 22nd St. Carson, CA 90745 T: 1.800.441.4422
www.dmf-lighting.com Page # of 12 1V-04-01-16

Wild West Lighting 1118 E. 22nd St. Carson, CA 90745 P: 480.338.9225 F: 480.338.1030	Description:	DCC2-SW-L-07-40*	TYPE:	D
	Project Name:	ARIZONA OUTBACK ADVENTURES		
	Notes:			



PRODUCT SPECIFICATIONS

Luminaire
LED: Tightly binned, high performing white Cree™ LED.
LUMEN OUTPUT (POWER): 750 lm (11.8W), 1000 lm (14.7W) x 750 lm (23.6W), 1 x 750 lm, 1 x 1000 lm (28.5W), 2 x 1000 lm (29.4W).
CRI: 93+.
CCT: 2700K, 3000K, 3500K, 4000K.
BURNING: Color variation within 2-step MacAdam ellipse.
DRIVER: Integral electronic driver for 120/277V 50/60Hz operation. Electronic driver compatible with forward and reverse phase-control dimming at 120V only.
DIMMING: TRIAC/ELV for 120V only with flicker-free dimming down to 5% of total lumen output standard. Optional 0-10V, Lutron Hi-Lume™ 1% EcoSystem™ with Soft-on, Fade-to-Black™ or Lutron Hi-Lume 1% 3-wire LED dimming available for 120/277V.
EMERGENCY LIGHTING: Optional Emergency Battery Backup Units available for emergency lighting up to 120 minutes.
LIFE TIME: 50,000 hours at 70% lumen maintenance.
PHOTO METER TESTING: Tested in accordance to IESNA LM-79-2008.
CYLINDER: Extruded aluminum body. Available in 4" (small), 8" (medium), 12" (large).
FINISH: White, Black, Bronze, Brushed Aluminum, Custom Color.
PENDANT MOUNT: 24" black plastic cord with round canopy standard, custom length available up to 48" (cord); 24" steel stem with round canopy and hanging straight endpost up to 30" (8" standard, custom length available up to 96" (stem)).
LISTINGS: eULus Listed, ENERGY STAR™ qualified, Title 24 compliant, CEI listed, UL Listed for Damp Location, UL Listed for Wet Location (wet models).
WARRANTY: 5 year limited warranty.

Trim
CONSTRUCTION: Die cast aluminum.
ACCESSORY: Frosted glass.

Installation
JUNCTION BOX: Surface, Cord, Stem and Wet Location Stem Mounts install in most 3" octagonal, 4" octagonal, 3" round and 4" round boxes. Wall Mount installs in most one-gang switch boxes. Wet Location Wall Mount installs in most two-gang switch, 3" octagonal, 4" octagonal, 3" round, 4" round and 4" square boxes.

Product Code	Type
Project	Contact
Date	Date

dmf Lighting 1118 E. 22nd St. Carson, CA 90745 T: 1.800.441.4422
www.dmf-lighting.com Page 1 of 12 1V-04-01-16

ARIZONA OUTBACK ADVENTURES
DC RANCH CORPORATE CENTER - LOT 7
17465 N. 93rd PLACE

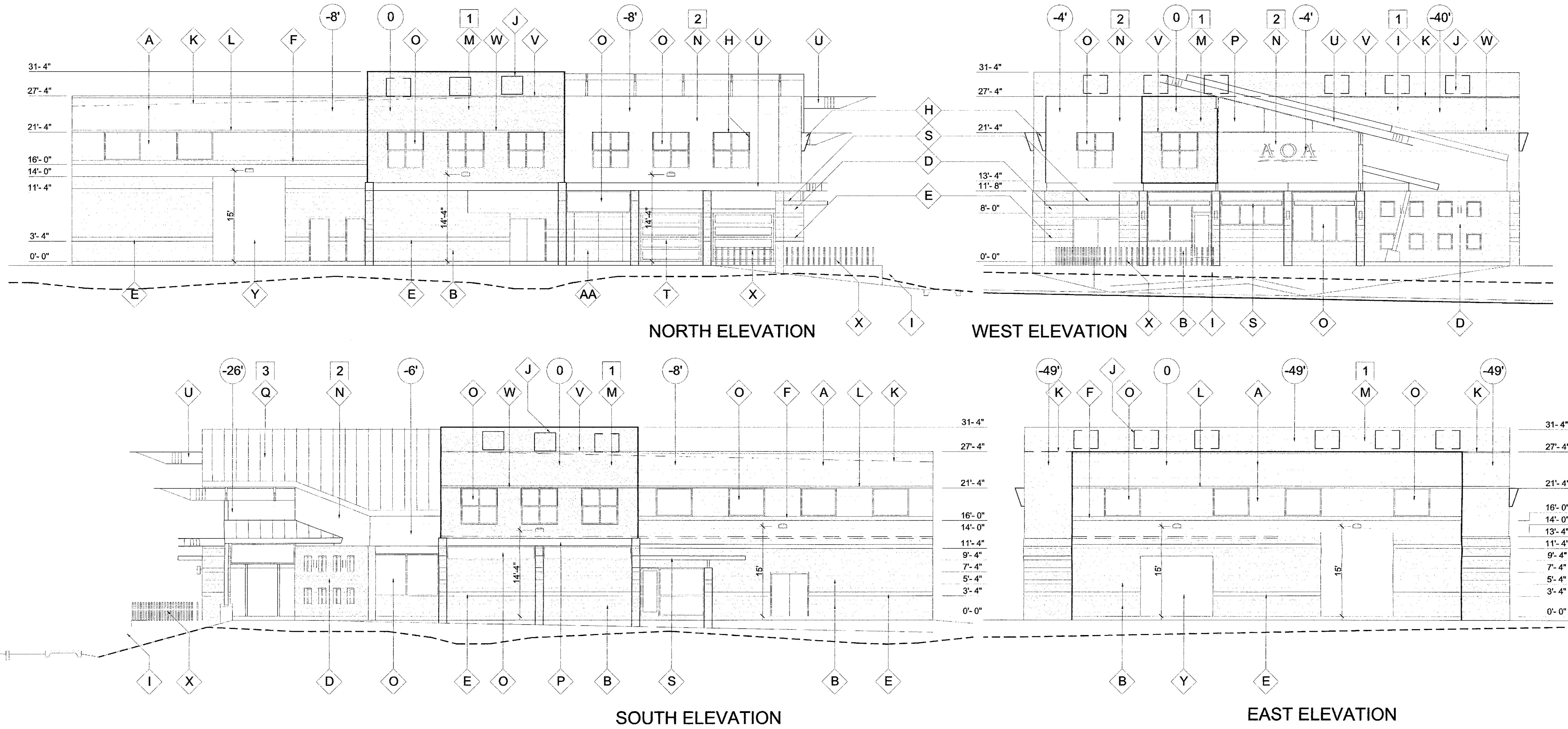
DATE: 6.4.16
REVISED: 9.2.16
COS DR COMMENTS

james elson
architect

16420 north 92nd street
suite two hundred five
scottsdale, arizona
85260

602.903.6311.m
480.515.9342.f
j4747e@aol.com
dokeraz@hotmail.com

SL3
LIGHTING
FIXTURES



ELEVATION KEY NOTES

- | | | |
|---|---|---|
| AA ELECTR. SERVICE ENTRANCE RECESSED BEHIND 2nd FLR. O.H. | G 8X4X16 STD. C.M.U. ACCENT BAND | M E.I.F.S. OVER METAL FRAMING |
| A 8X8X16 STD. C.M.U. | H 1/2" STEEL BENT PL. SOLAR SCREEN - SEE 9/SD-4 FOR DETS. | N RUSTED STEEL S.M.SIDING OVER METAL FRAMING |
| B 8X8X16 SPLIT FACE C.M.U. | I GABION RETAINING WALL SEE SD-1 & SD-4 FOR DETS. | O 1" DK.SOLAR BRONZE INSULATED GLASS IN DK. BRNZ.ANOD.ALUM.STOREFRONT |
| C 8X8X16 SCORED STD. C.M.U. - SAND BLASTED | J ROOF TOP MECH. EQUIP. BEHIND PARAPET WALL TO BE COMPLETELY SCREENED - SHOWN DASHED - SEE SECTIONS, SD-2 & ROOF PLAN, A-3 | P 1" DK.SOLAR BRONZE INSULATED GLASS IN GLAZING GASKET |
| D 8X8X16 C.M.U. PIER STD. & SPLIT FACE TO MATCH BUILDING WALLS PATTERN | K OUTLINE OF ROOF BEYOND - SHOWN DASHED | Q STANDING SEAM METAL ROOF OVER STL. BM. FRAM. |
| E 8X8X16 STD. C.M.U. ACCENT BAND | L 8X4X16 SPLIT FACE C.M.U. ACCENT BAND | R LIGHT FIXTURE - SEE PHOTOMETRIC SITE PLAN - SL-1 & SITE LIGHTING PLAN SL-2 FOR FIXT. TYPE. |

COLOR KEY NOTES

- | |
|--|
| 1 TAWNY OWL DET 640 (LRV 26) |
| 2 RUSTED STEEL PANELS SOUTHWEST RUST - 24 ga. |
| 3 STANDING SEAM METAL ROOF CHARCOAL GREY - 24 ga. |
| 4 RECLAIMED WOOD (MASONRY STAIN) DET 625 (LRV 47) |
| 5 PIGEON GRAY (MASONRY STAIN) DE 6214 (LRV 43) |

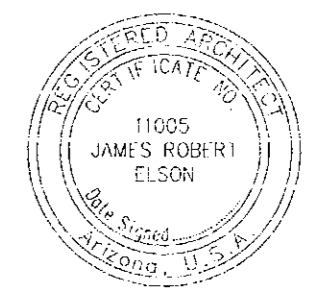
WALL PLANE LEGEND

- | |
|---|
| 0 REFERENCE WALL PLANE |
| -6 DISTANCE BEHIND REFERENCE WALL PLANE (FEET) |

- | |
|--|
| S 8X4X1/2 T.S.SHADE CANOPY W/ 1/2" PERF. STEEL SHADE SCREEN |
| T ANOD.ALUM.SECTIONAL O.H. GARAGE DOOR W/ SOLAR GREY GLASS |
| U STEEL BEAM |
| V 2" REVEAL |
| W 4" REVEAL |
| X 2" STD. STL. PIPE FENCE |
| Y STEEL COILING O.H. GARAGE DOOR |
| Z SECOND FLOOR SHOWN DASHED |

DATE: 6.4.16
 REVISED:

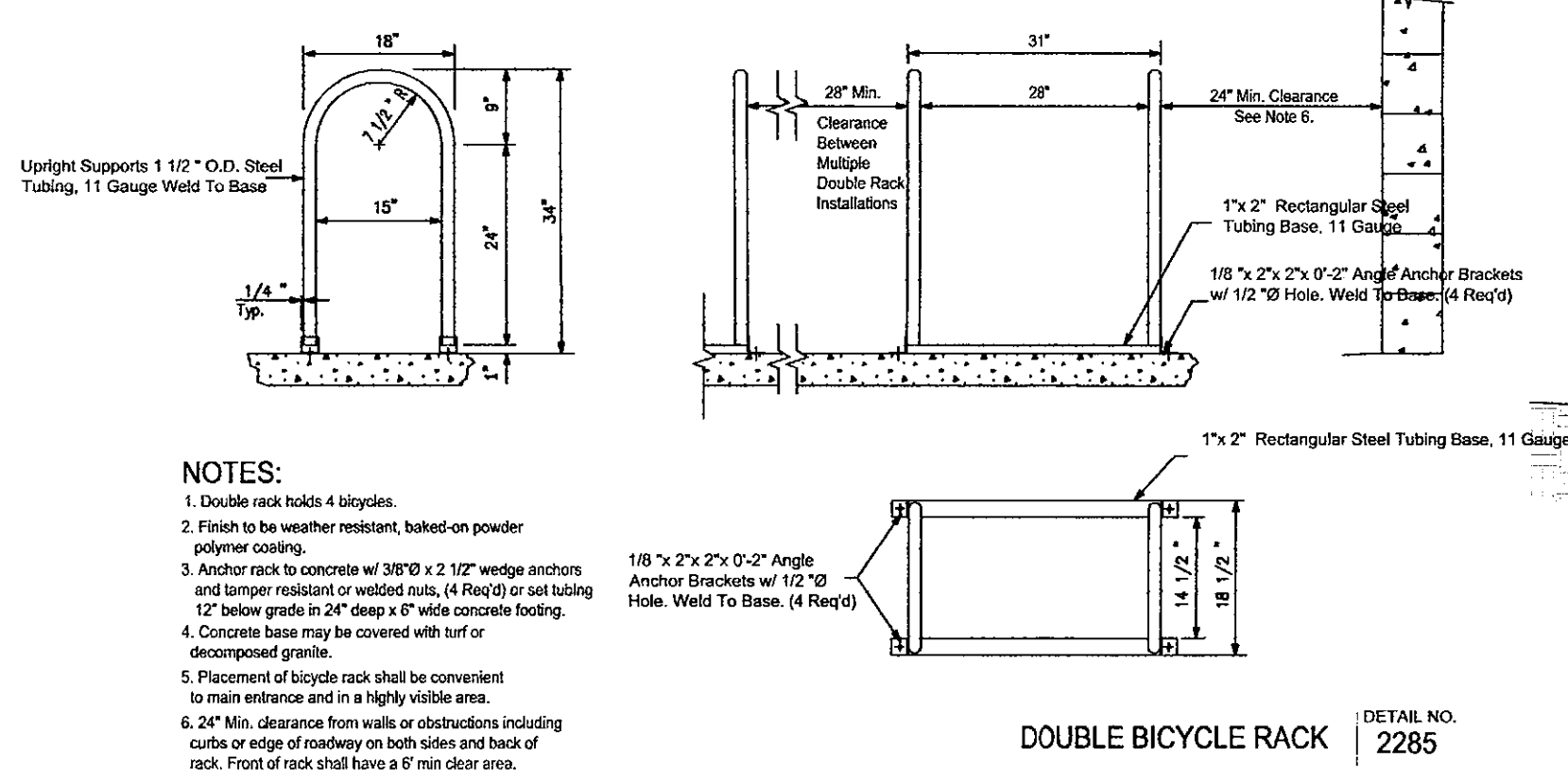
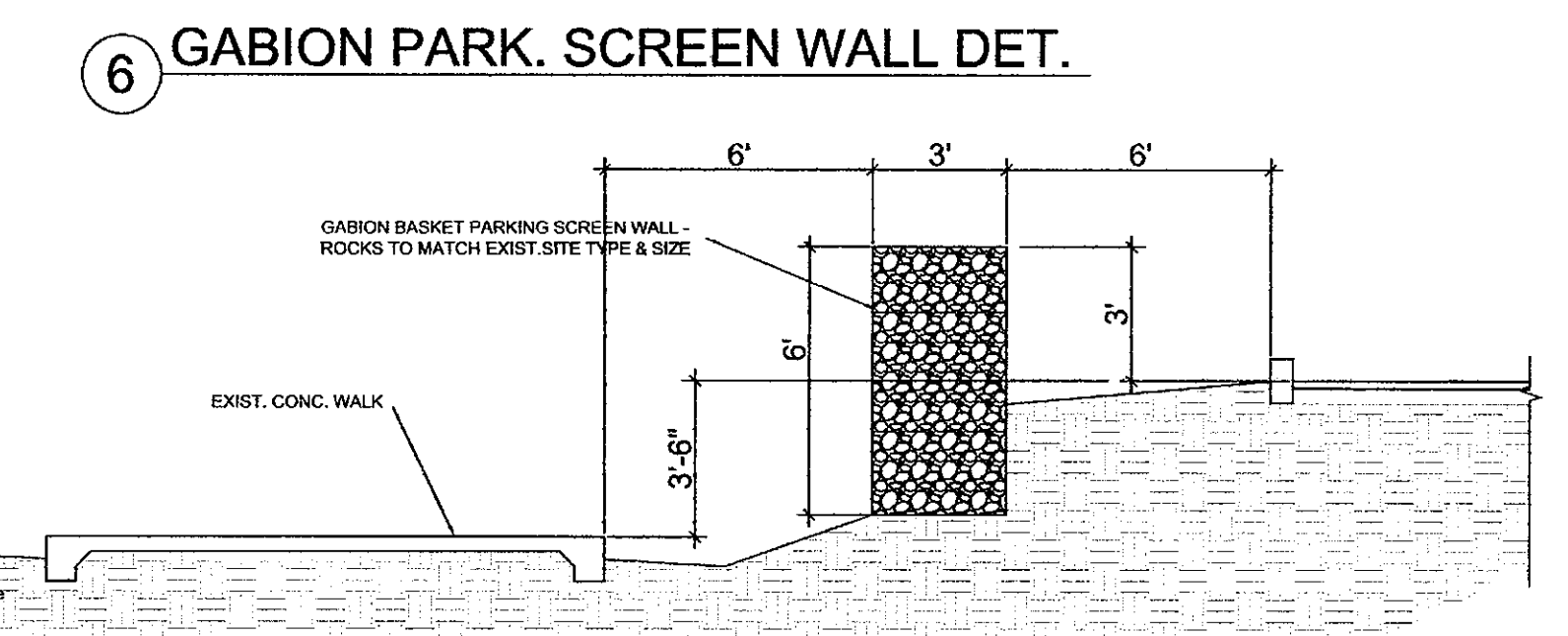
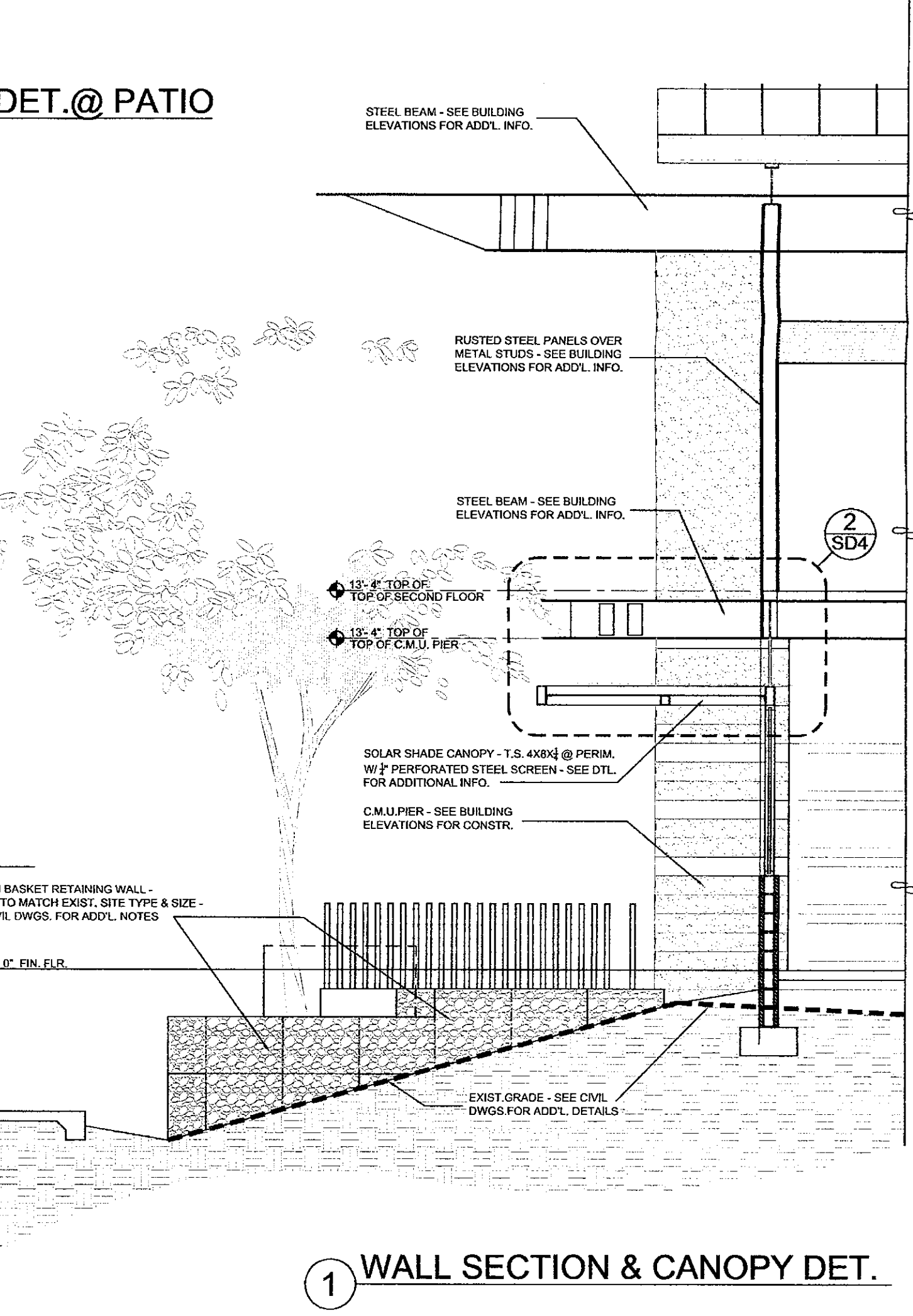
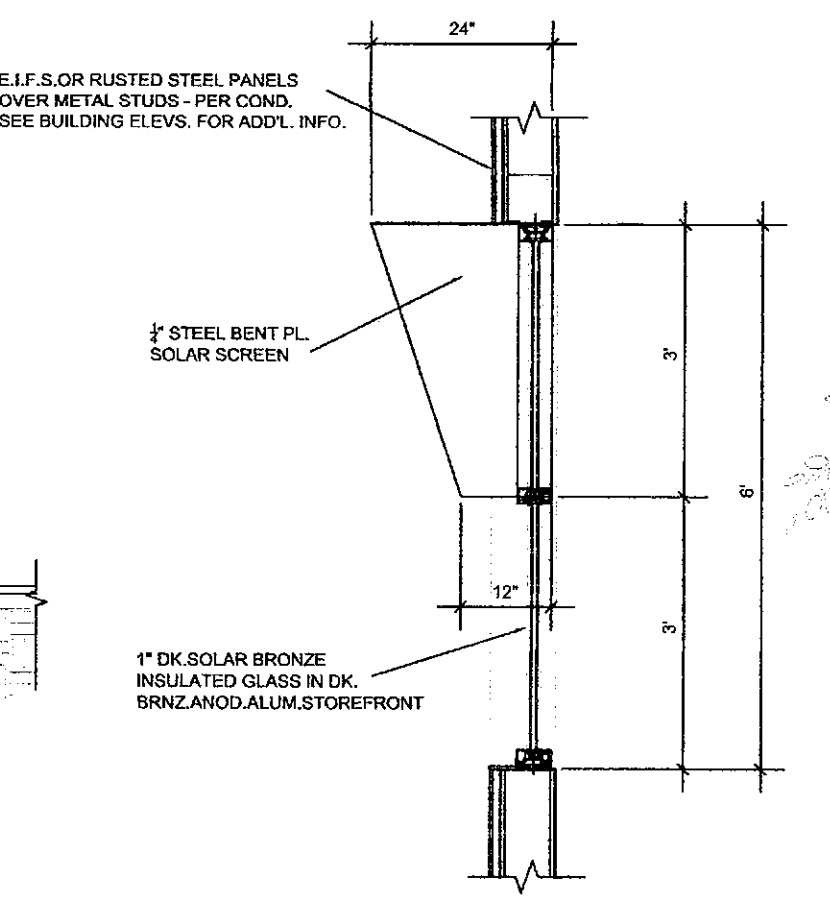
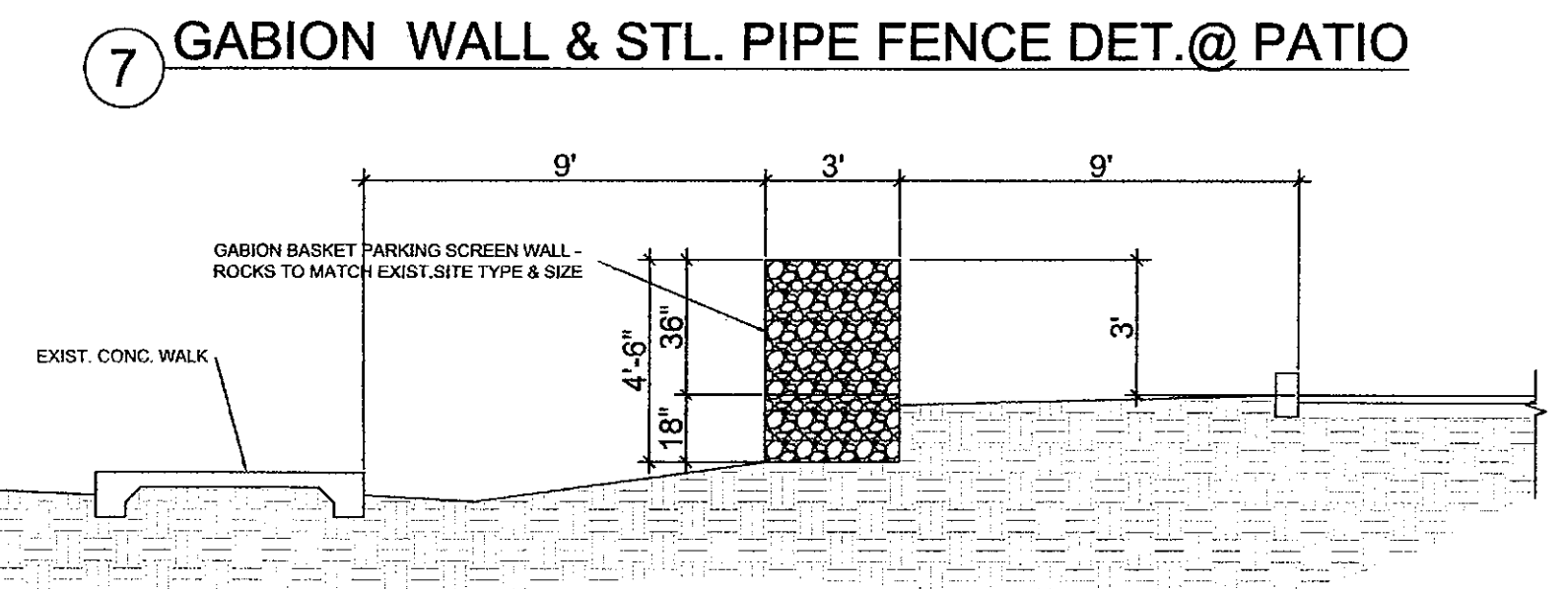
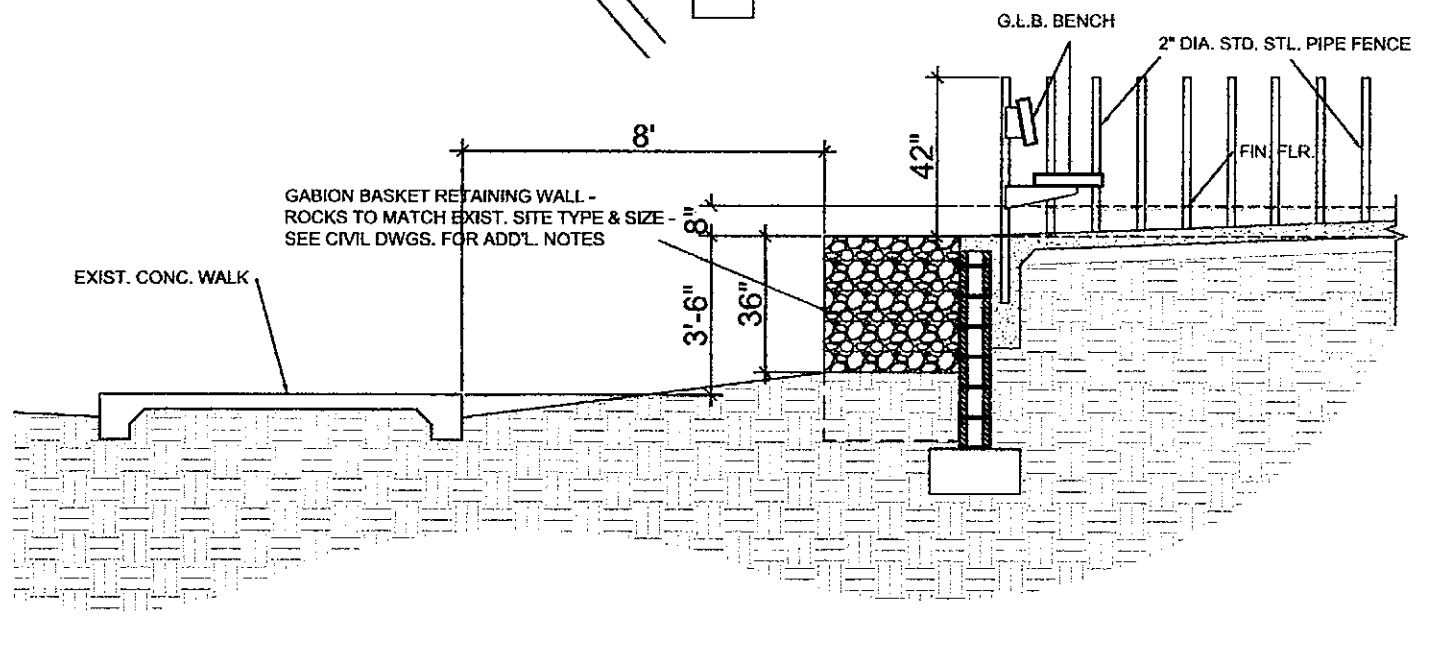
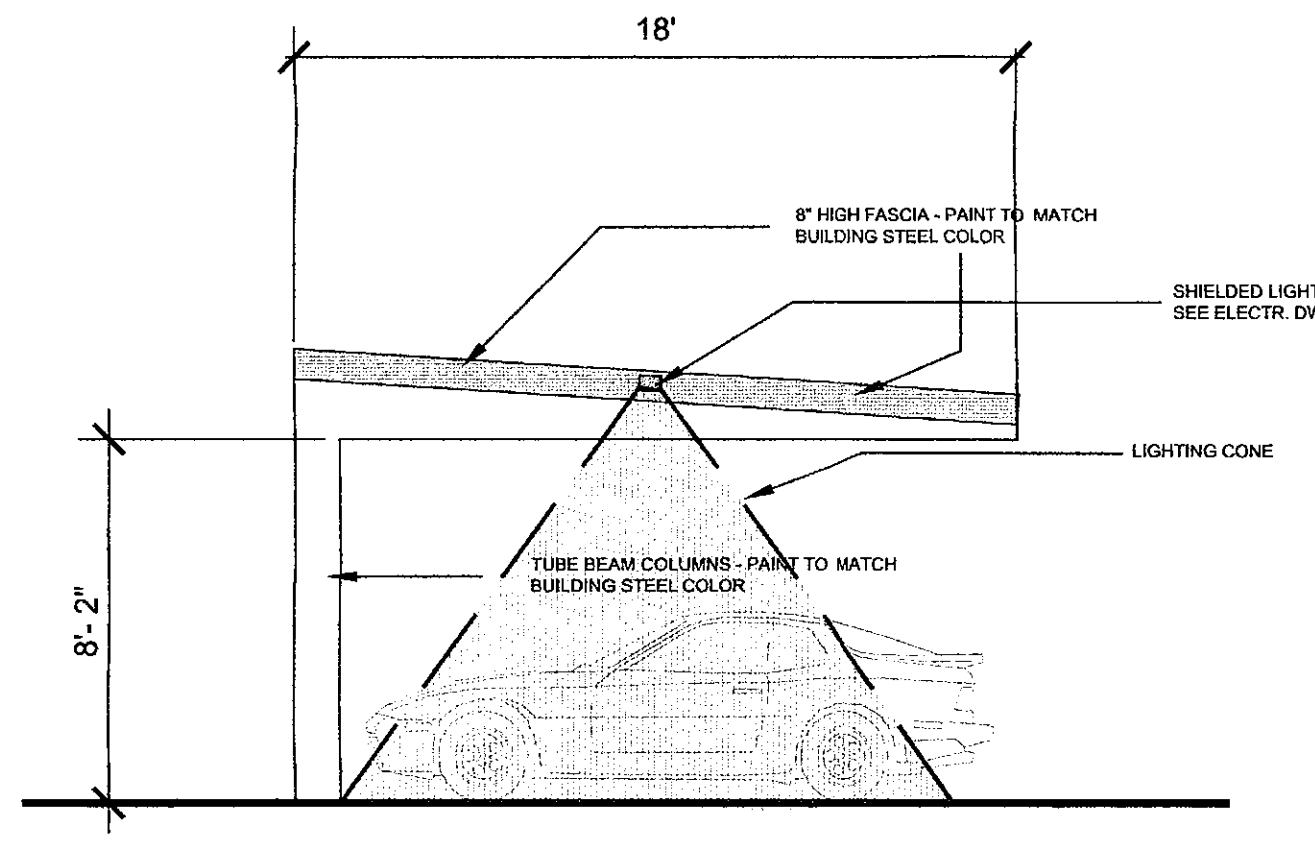
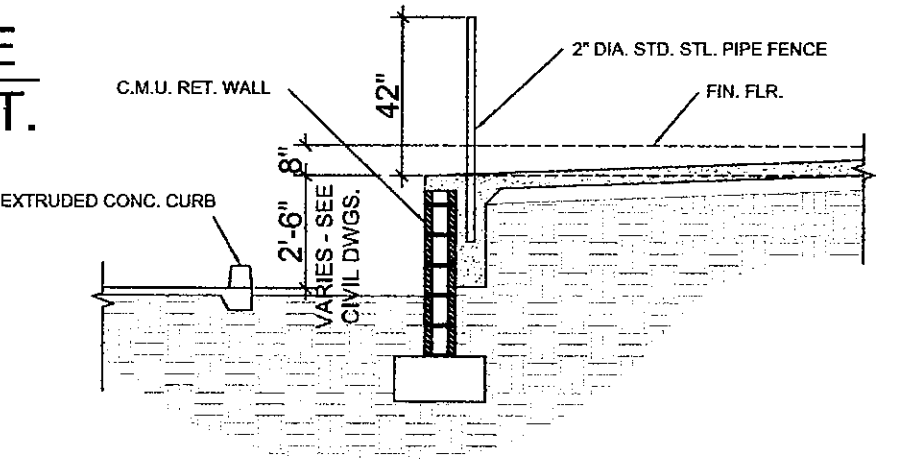
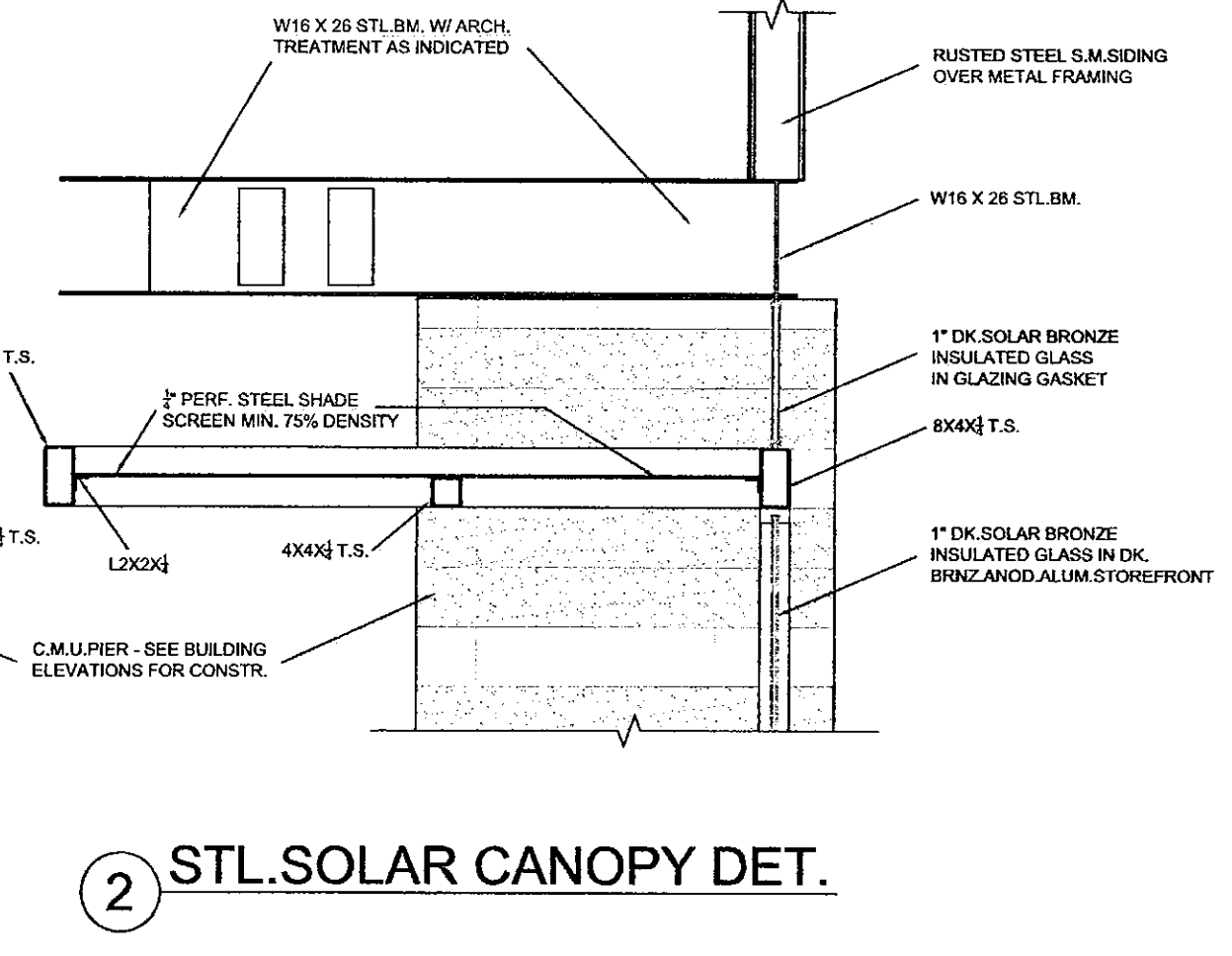
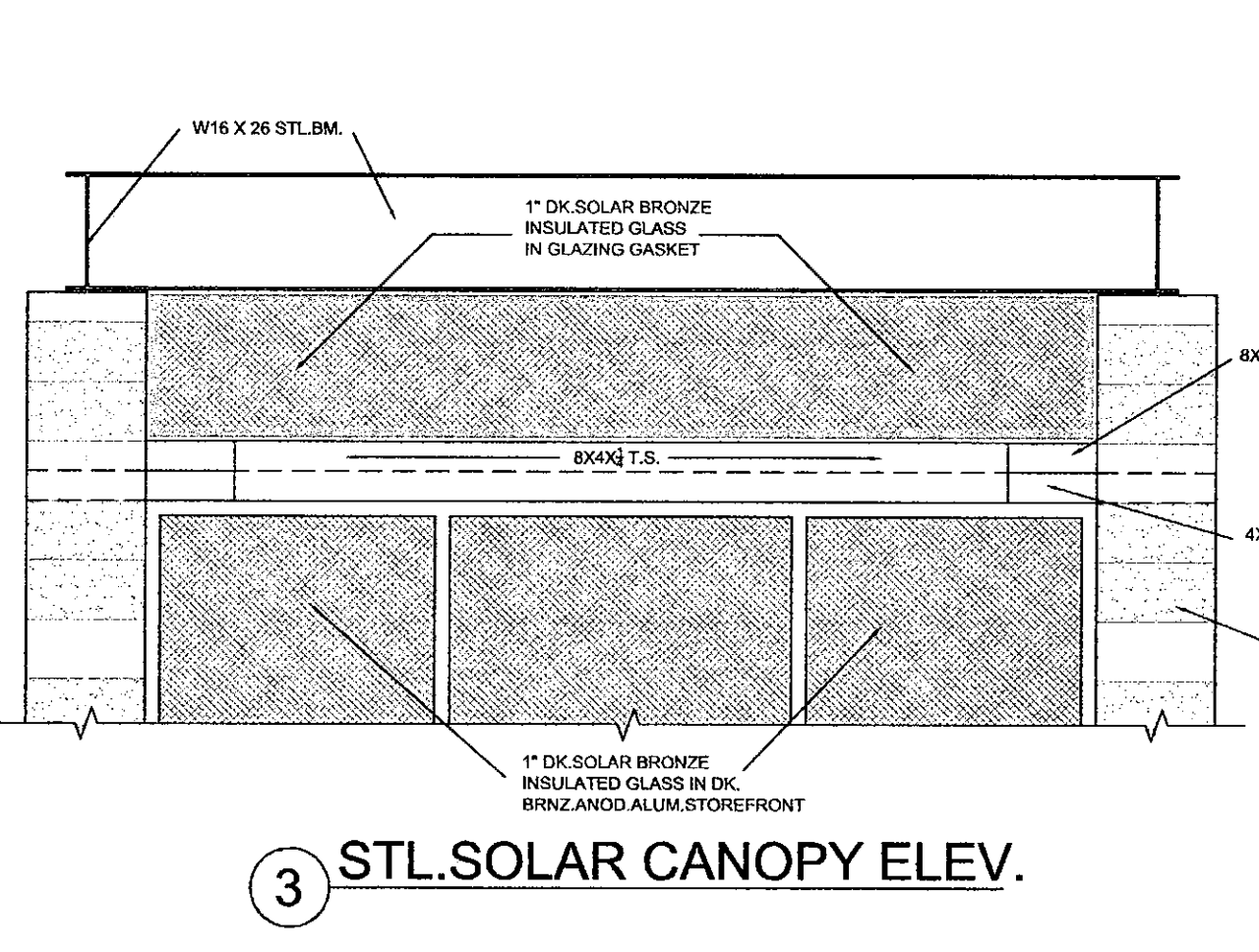
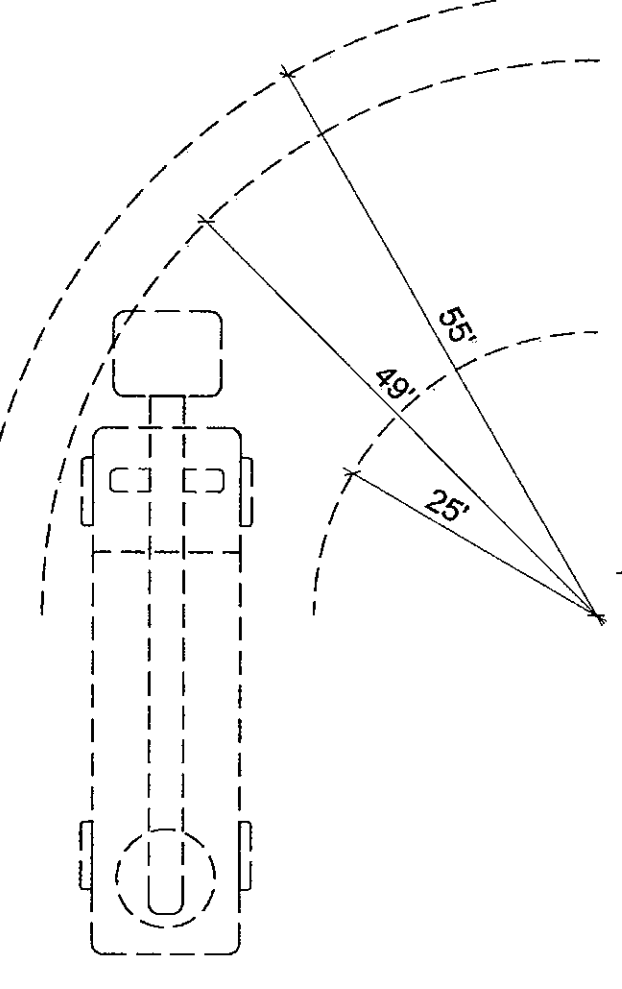
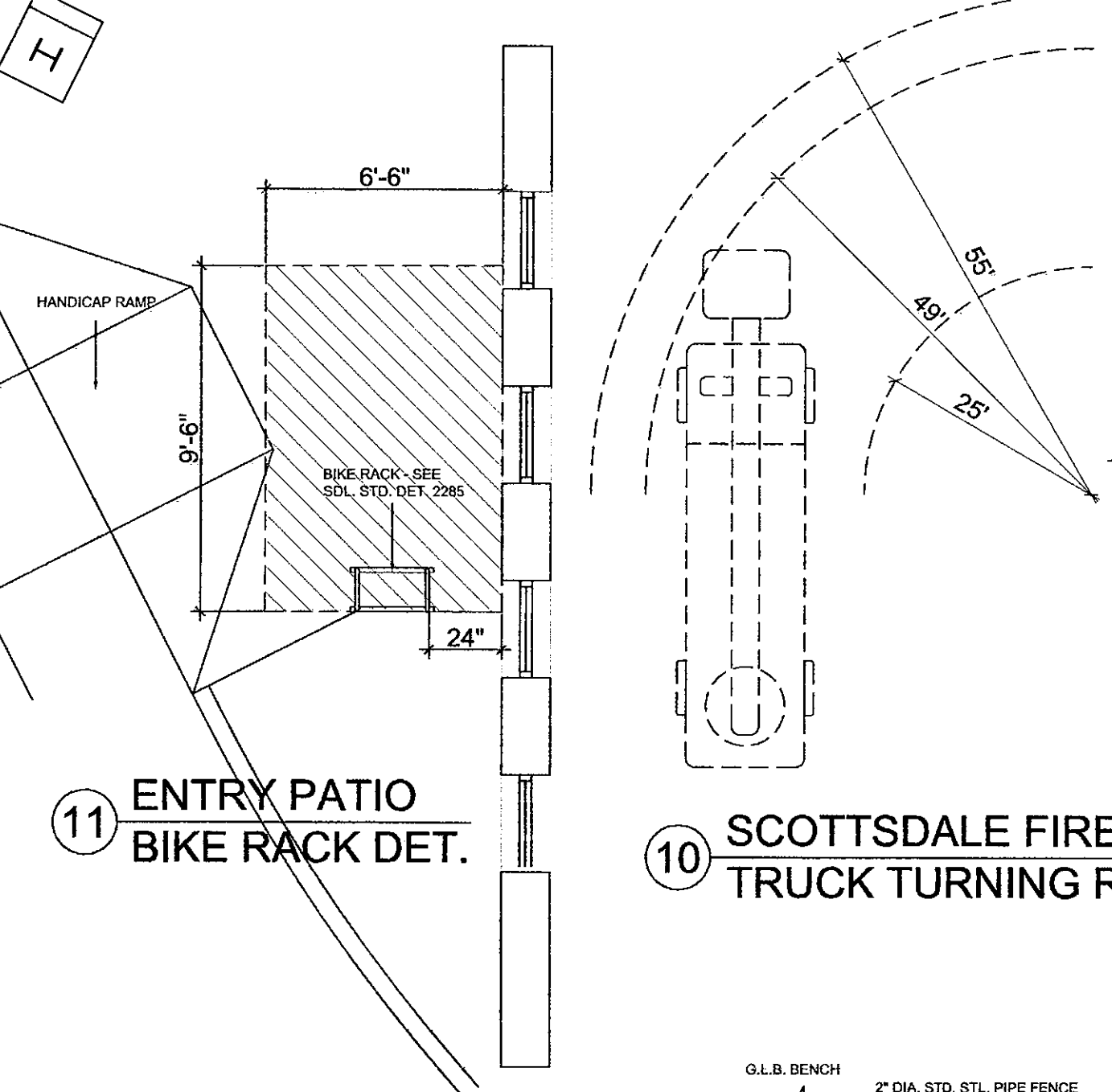
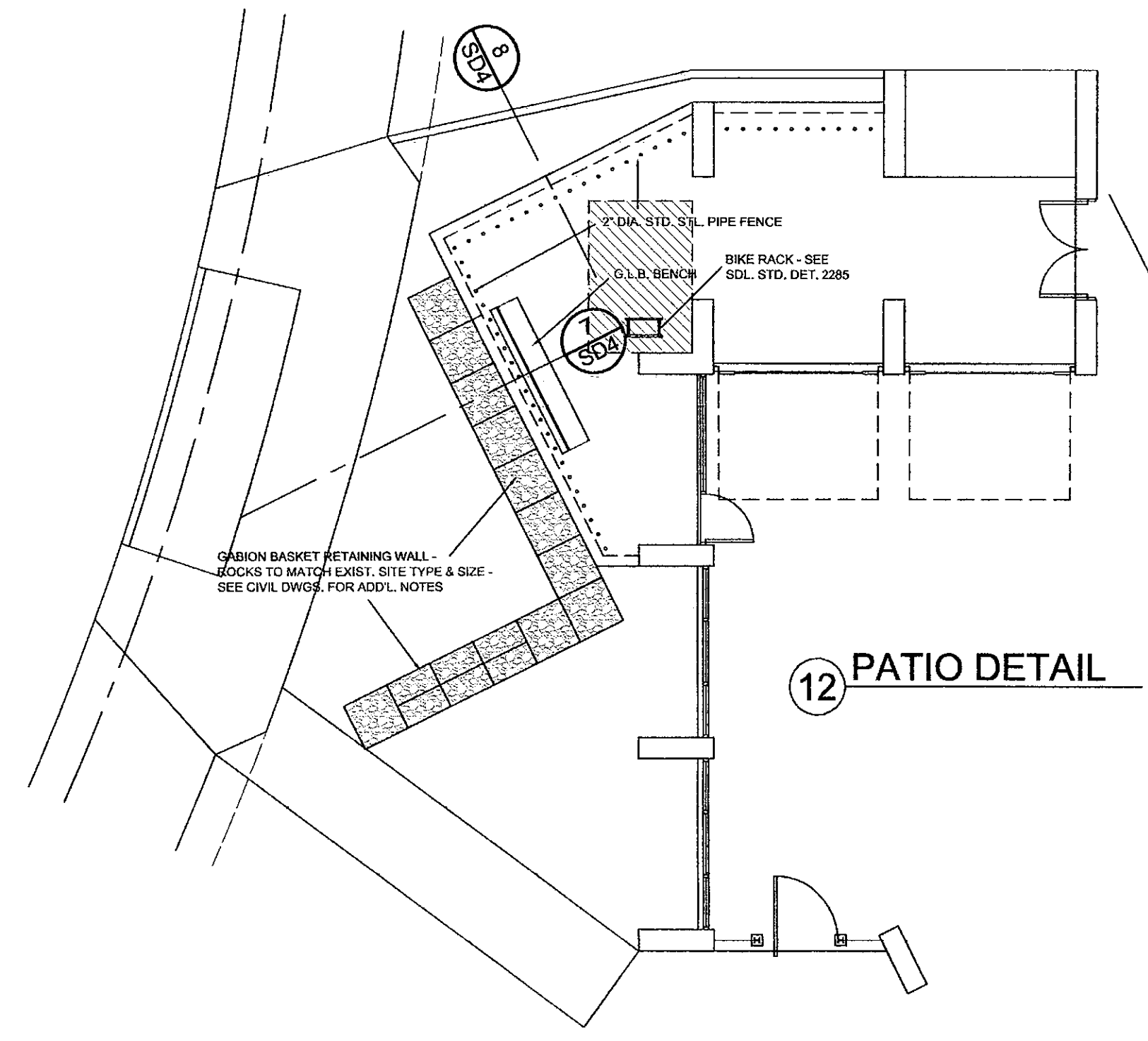
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 APPROVED
 DATE INITIALS



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A4
 FLOOR PLAN



- NOTES:
1. Double rack holds 4 bicycles.
 2. Finish to be weather resistant, baked-on powder polymer coating.
 3. Anchor rack to concrete w/ 3/8"Ø x 2 1/2" wedge anchors and bumper resistant or welded nuts, (4 Req'd) or set tubing 12" below grade in 24" deep x 9" wide concrete footing.
 4. Concrete base may be covered with turf or decomposed granite.
 5. Placement of bicycle rack shall be convenient to main entrance and in a highly visible area.
 6. 24" Min. clearance from walls or obstructions including curbs or edge of roadway on both sides and back of rack. Front of rack shall have a 6' min clear area.

DATE: 6.4.16
 REVISED: 9.2.16
 C.O.S. DR
 COMMENTS

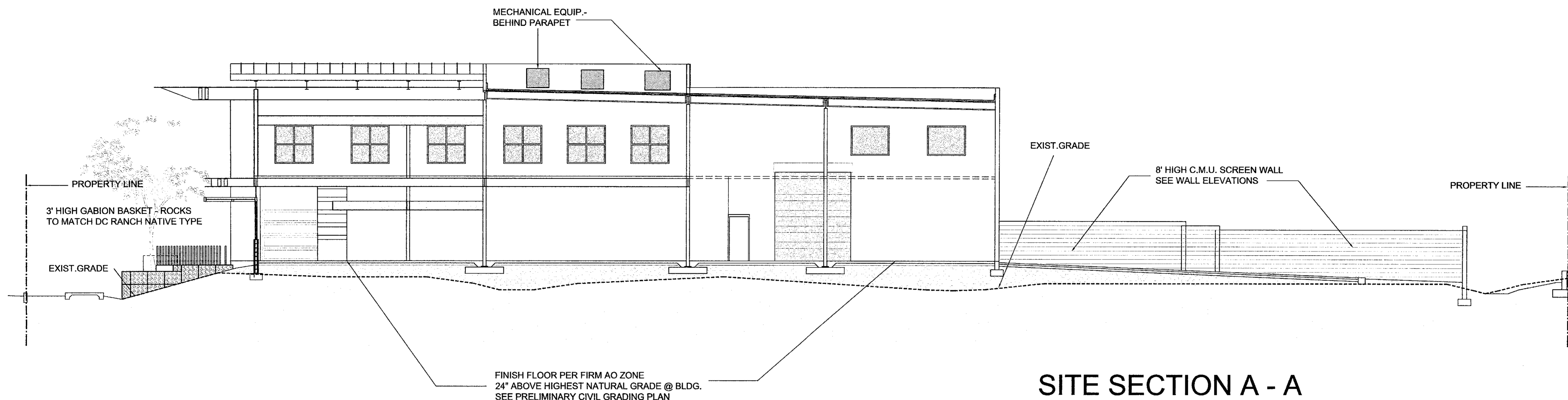
james elson
 architect

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 suite 019, hundred five
 scottsdale, arizona
 85260

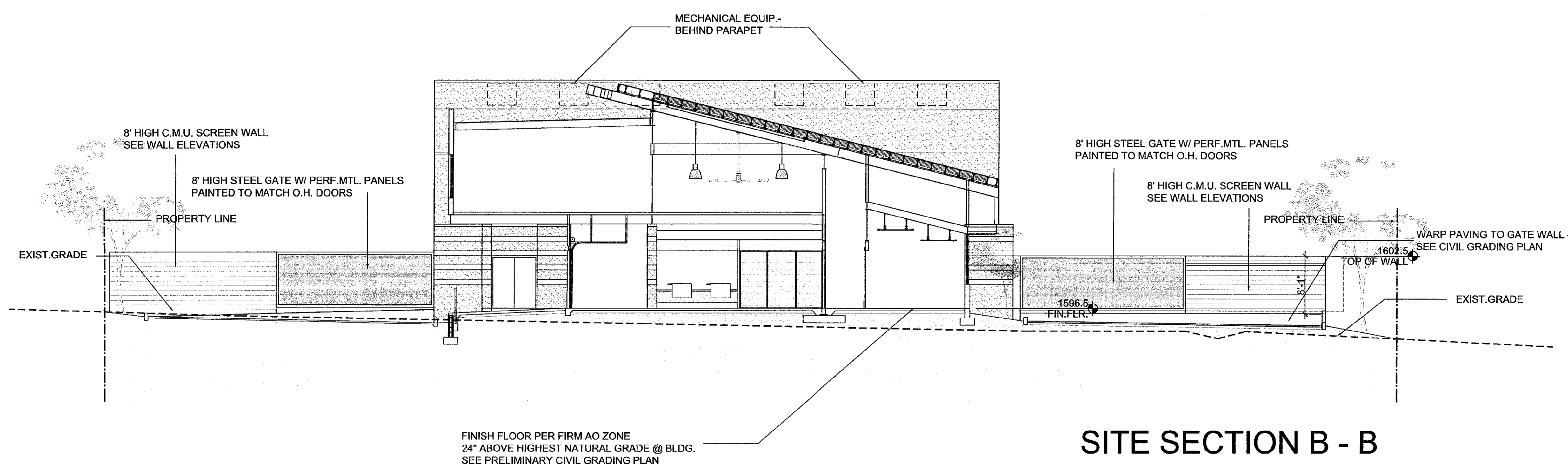
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SITE & MISC. DETAILS

SD4
 MISC. SITE
 DETAILS



SITE SECTION A - A



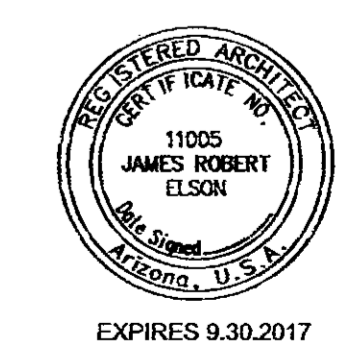
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DATE	6.4.16
REVISED	9.2.16
	C.O.S. DR
	COMMENTS

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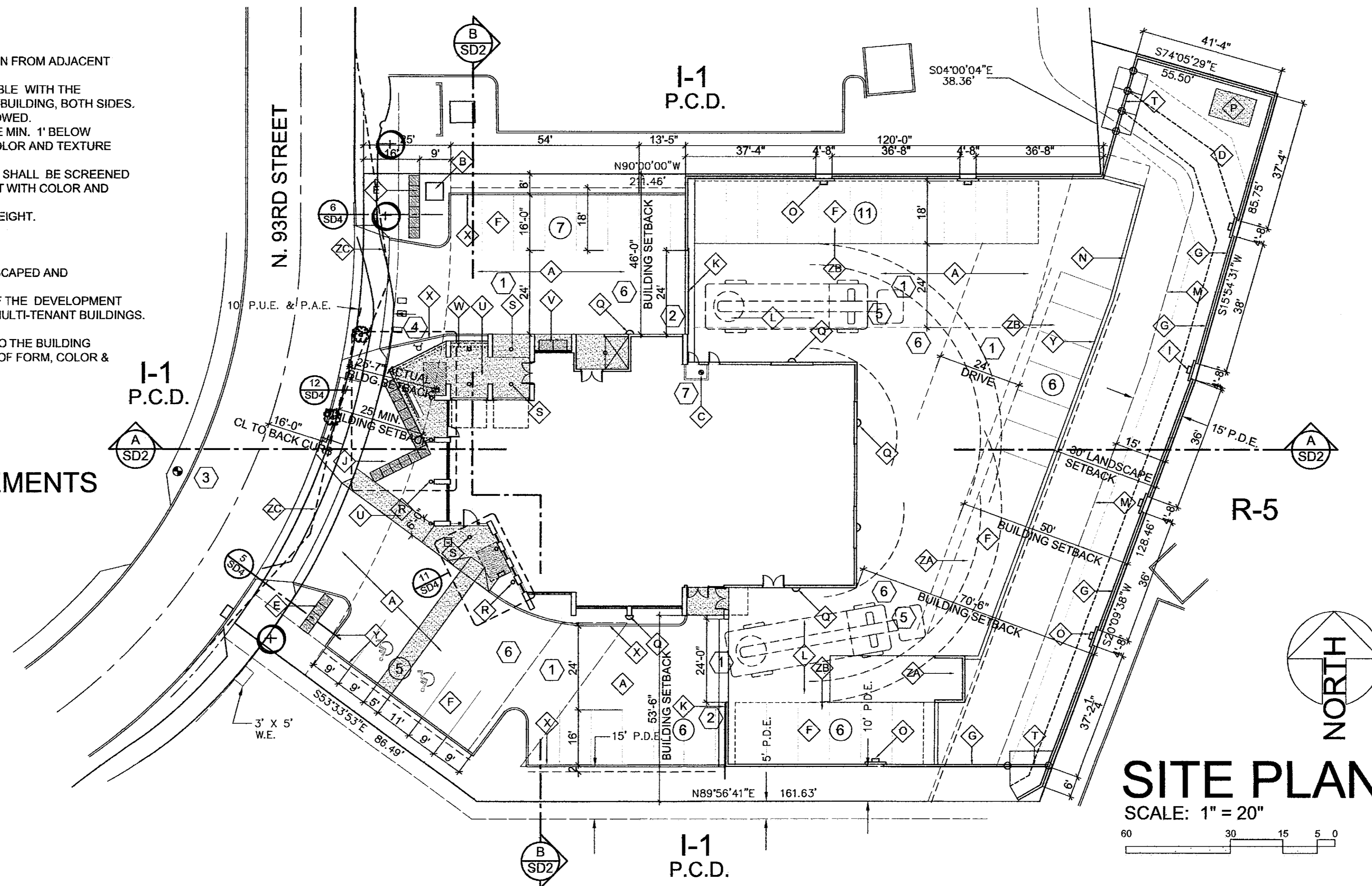
SD2
 SITE
 SECTIONS

PLANNING NOTES

- NO SIGNS SHALL BE ALLOWED WITHIN A BUILDING WHICH CAN BE SEEN FROM ADJACENT PROPERTIES THROUGH OVERHEAD DOORS.
- REFUSE ENCLOSURES SHALL BE SCREENED BY MATERIALS COMPATIBLE WITH THE BUILDING MATERIALS. COLOR AND TEXTURE SHALL MATCH THE BUILDING, BOTH SIDES.
- NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- ALL ROOFTOP MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE MIN. 1' BELOW PARAPET & COMPLETELY SCREENED BY PARAPET WALLS WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
- ALL GROUND MOUNTED MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS AT LEAST 1'-0" ABOVE HEIGHT OF TALLEST UNIT WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
- ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
- SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
- NO EXTERIOR LADDERS SHALL BE VISIBLE.
- FLAG POLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
- NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- ALL EQUIPMENT, UTILITIES OR OTHER APURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR & TEXTURE.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- NO TURF AREAS SHALL BE PROVIDED.

FIRE ORDINANCE REQUIREMENTS

- MINIMUM DRIVE WIDTHS FOR FIRE ACCESS - 24' - Fire Ordinance 4045, 503.2.1
- KEY SWITCH/PRE-EMPTION SENSOR @ GATE - Fire Ordinance 4045, 503.6.1.
- EXIST. FIRE HYDRANT. SPACING IN COMPLIANCE WITH - Fire Ordinance 4045, 507.5.1.2.
- FDC LOCATION - Fire Ordinance 4045, 912.
- FIRE TRUCK TURNING RADII IN COMPLIANCE WITH DSPM 2-1-802(5) - SEE DETAIL - SHT. SD-4
- FIRE LANE BEARING CAPACITY SHALL BE 83,000 lb. PER DSPM 2-1-802(3).
- FIRE SPRINKLER RISER ROOM PER DSPM 6-1-504(1) - SEE 1st FLOOR PLAN - SHT. A-1



SITE PLAN

SCALE: 1" = 20'

Project Description:

Corporate offices and warehousing for Arizona Outback Adventures, that specializes in guided day & multi-day tours for cycling, hiking & back packing in Arizona, Utah Colorado & California. Additionally, they provide rafting, kayaking & paddle boarding trips on the Salt River. Retail use will be provided for bike rentals and an annual sale for their fleet of rental bicycles at the end of their season. The retail use will comply with the requirements of the Scottsdale Zoning Ordinance for the I-1 Use. (1,000 sf or 10% of the building area per the Floor Plan Work Sheet)

Project Address:

16465 N. 93rd Street
Scottsdale, AZ. 85255

Site Areas:

Gross Site Area 43,736 sf (1 acre)
Net Site Area 43,736 sf (1 acre)

Lot Coverage:

Coverage Allowed:
43,736 X 50% = 21,868 sf
Coverage Provided:
12,550 / 43,736 = 28.7%

Building Height:

Maximum Allowed: 36'-0" at the 50' setback
24'-0" at the 30' setback
(Rear setback adj. to Resid.)
Height Provided: 31'-4"

Building Setbacks:

REQUIRED:
Front / Street: 25'
Side Yards: 10'
Rear Yard: (a) 10'
Adj. to Residential (Rear Yard) 30'
Landscape Buffer Adj. to Resid. (Req'd. per DC Ranch Development Guidelines) 30'

(a) 50' Building setback required adjacent to residential for building heights greater than 24'

PROVIDED:
Front / Street: 25'-0"
Side Yards: North 46'-0" South 53'-6"
Rear Yard: 70'-6"
Landscape req. adj. to Resid. 30'-0"

Building Code Data:

Construction Type: III B w. A.F.S.
Occupancy Groups: (a)
Occup. Descr.
B Office
S-2 Warehouse
F-1 Bike maint.
(a) Occupancy groups & non-separated use per I.B.C. Section 508.3.2

Fire Protection:

NFPA 13

Building Areas:

FIRST FLOOR (GROSS AREAS)
Office 2,099 sf
Retail 496 sf
Manuf. (Bike maint. & prep. kitchen) 942 sf
Warehouse 3,918 sf
Total 7,455 sf
SECOND FLOOR
Office 3,642 sf
Warehouse 1,453 sf
Total 5,095 sf
Total Building Area 12,550 sf

Parking Requirements:

PARKING REQUIRED:
OFFICE
1st Floor 2,099
2nd Floor 3,642
Total Office 5,741/300 = 19.1 spaces
Retail 496/250 = 2.0 spaces
Manuf. 942/500 = 1.9 spaces
WAREHOUSE
1st Floor 3,918
2nd Floor 1,453
Total Warehouse 5,371/800 = 6.7 spaces
Total Req'd. 30 spaces
PARKING PROVIDED:
Bicycle Parking Req'd. - 1 / 10 spaces = 4 Bicycles
Bicycle Parking Prov. - 4 Bicycles @ racks + Additional @ pipe fencing @ N.W. patio

Open Space Calculations:

REQUIRED:
Base O.S. Required - Lot Area X 10%
43,736 X 10% (12' bldg. hgt.) = 4,373 sf
+ 31.33 - 12 = 19.33 x 0.4% = 7.7% 3,368 sf
Total Base Open Space Required = 7,741 sf

Parking Lot Landscaping Req'd. - 15%
21,722 X 15% = 3,258 sf
Total Open Space Req'd. 10,999 sf

INTERIOR PARKING L.S. REQUIRED:
33.3% OF TOTAL REQUIRED
3,258 X 33.3% = 1,086 sf

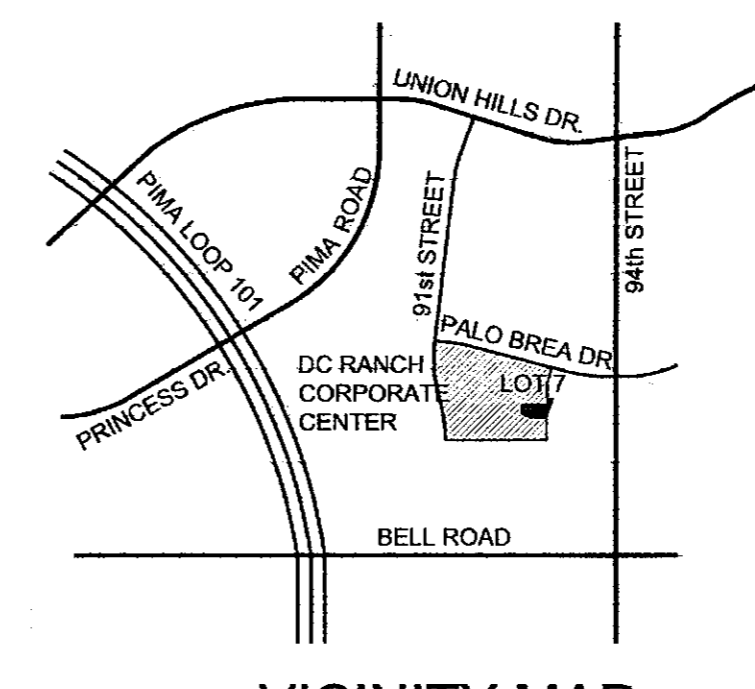
Interior Parking Lot O.S. Provided 1,654 sf

TOTAL O.S. PROVIDED:
Base O.S. Provided 9,399 sf
Parking Lot O.S. Provided 3,334 sf
Total O.S. Provided 12,743 sf

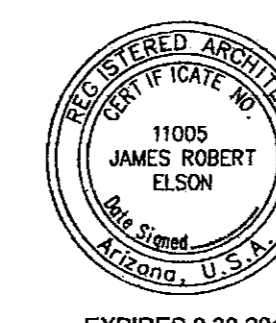
BUILDING VOLUME CALCULATIONS:
Allowable - Site Area X 9
43,736 X 9 = 393,624 cf
Building Volume Provided 191,880 cf

Sloped Roof Areas:

25% of total building footprint per DC Ranch Development Guidelines
Section 5 ARCHITECTURAL DESIGN STANDARDS Roof Form
Building Footprint 7,455 sf
Sloped Roof Required X 25% = 1,846 sf
Main Roof Area 1,676 sf
Entry Canopy 239 sf
Total Sloped Roof Area 1,915 sf



VICINITY MAP



SITE PLAN KEY NOTES

- ASPHALT CONC. PAVING PER CIVIL DWGS. & SOILS REPORT
- NEW ELECTR. TRANSFORMER - EXACT LOCAT. PER A.P.S. - SCREENED BY GABION WALL
- FIRE SPR. RISER IN A.F.S. RISER ROOM W/ H.M. DOOR ACCESS FROM EXTER.
- FLOOD CONTROL RIP RAP - SEE CIVIL ROCKS TO MATCH NATIVE STONE FOR TYPE & SIZE
- 3' HIGH GABION BASKET PARKING SCREEN WALL - ROCKS TO MATCH NATIVE STONE FOR TYPE & SIZE
- PARKING SPACE PER C.O.S. STANDARD 9' X 18' MIN. (9' X 16' W/ 24" O.H. PER COND.)
- 8' HIGH C.M.U. SECURITY WALL COMB. 8X8X16 STD. & SPLIT FACE SEE WALL ELEVS. FOR DETAILS
- 8X8X16 C.M.U. PIER STD. & SPLIT FACE TO MATCH BUILDING WALLS PATTERN
- 8X8X16 C.M.U. ACCENT INSERT - SEE WALL ELEVS. FOR DETAILS
- GABION BASKET RETAINING WALL ROCKS TO MATCH NATIVE STONE FOR TYPE & SIZE SEE SHT. A-4 FOR DETS.
- 8' HIGH ROLLING STL. GATE T.S. W/ PERF. MTL. TO MATCH SOLAR CANOPIES - SEE DET. PROVIDE 'KNOX' BOX FOR F.D. ACCESS
- FIRE TRUCK ACCESS CLEARANCES SEE SCOTTSDALE FIRE TRUCK DET.
- 15' WIDE DRAINAGE EASEMENT - SEE CIVIL DWGS. FOR DETAILS
- 30' LANDSCAPE BUFFER FROM RESID.
- WALL PACK SECURITY LIGHTING MOUNTED ON WALL - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- STAFF BREAK AREA - COLORED CONC.
- WALL PACK SECURITY LIGHTING MOUNTED ON BUILDING WALL - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- WALL SCONCE - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- CAN LIGHT FIXT. - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- WASH CROSSING @ WALL PER COS STD. DET. 2515
- COLORED CONCRETE WALK OR PATIO
- ELECTRICAL SERVICE RECESSED BEHIND 2ND FLOOR O.H.
- 2" DIA. STD. STL. PIPE FENCE
- EXTRUDED CONC. CURB
- 12" W X 12" C.I.P. CONC. RIBBON CURB
- CONCRETE PAVERS TO STAFF BREAK AREA
- REFUSE ENCLOSURE PER C.O.S. STD DET. 2146-1.
- COVERED PARKING (FUTURE) UNDER SEPARATE PERMIT SEE DET. - SHT. A-4
- VISIBILITY TRIANGLE PER COS REQ'S.

ARIZONA OUTBACK ADVENTURES
DC RANCH CORPORATE CENTER - LOT 7
17465 N. 93rd PLACE

DATE: 6.4.16
REVISED: 9.2.16
COS DR COMMENTS

james elson
architect

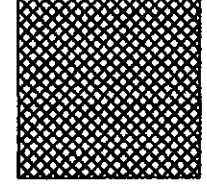
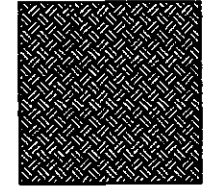
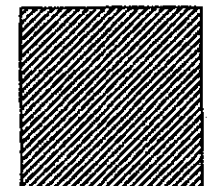
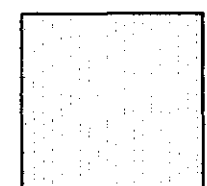
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suite two hundred five
scottsdale, arizona
85260

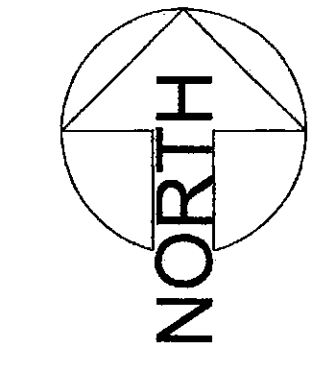
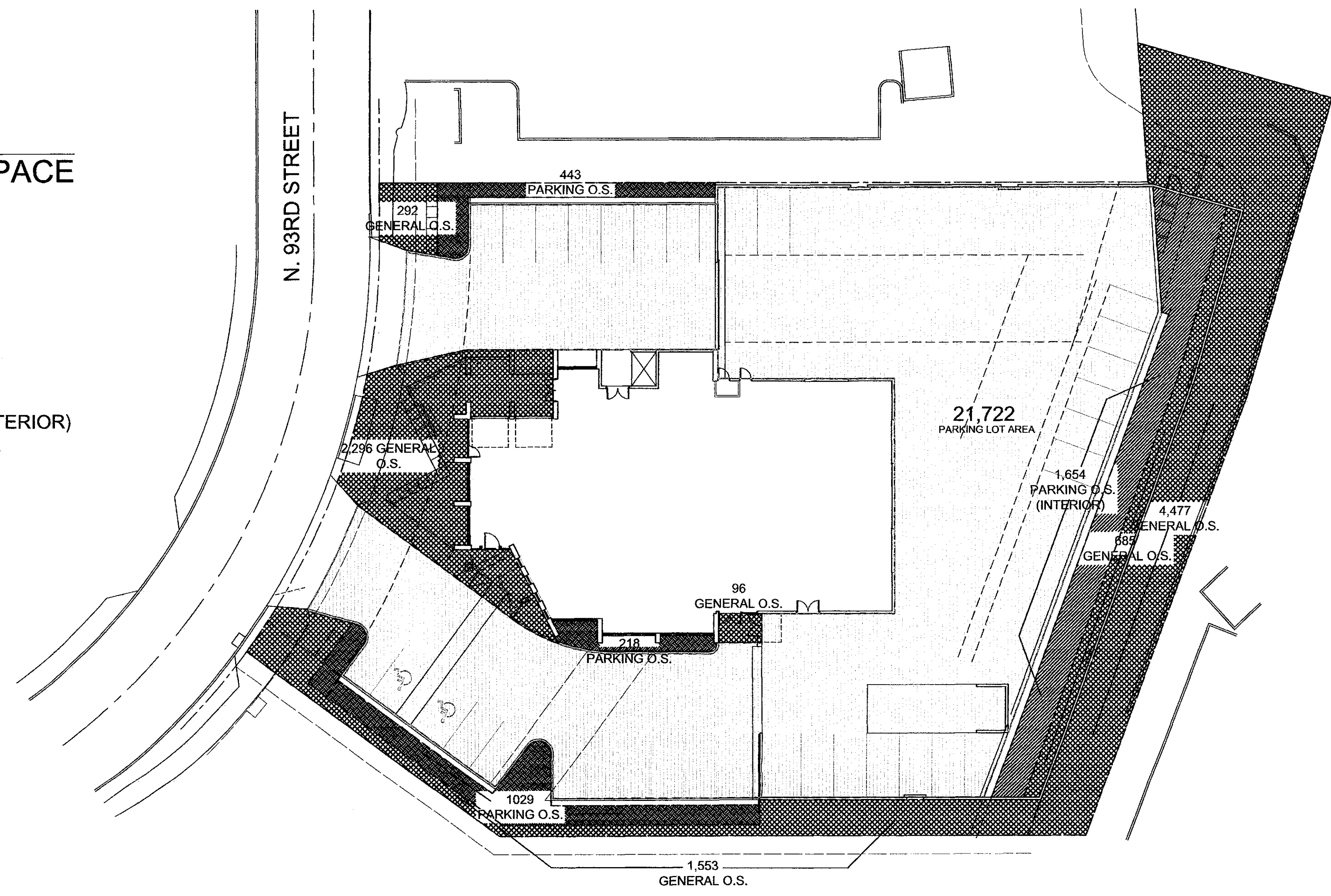
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SD1
SITE PLAN

LEGEND

OPEN SPACE

-  GENERAL OPEN SPACE
-  PARKING OPEN SPACE
-  PARKING (INTERIOR) OPEN SPACE
-  PARKING LOT AREA



OPEN SPACE SITE PLAN

SCALE: 1" = 20"

Project Description:

Corporate offices and warehousing for Arizona Outback Adventures, that specializes in guided day & multi-day tours for cycling, hiking & back packing in Arizona, Utah Colorado & California. Additionally, they provide rafting, kayaking & paddle boarding trips on the Salt River. Retail use will be provided for bike rentals and an annual sale for their fleet of rental bicycles at the end of their season. The retail use will comply with the requirements of the Scottsdale Zoning Ordinance for the I-1 Use. (1,000 sf or 10% of the building area per the Floor Plan Work Sheet)

Project Address:

16465 N. 93rd Street
 Scottsdale, AZ. 85255

Site Areas:

Gross Site Area 43,736 sf (1 acre)
 Net Site Area 43,736 sf (1 acre)

Lot Coverage:

Coverage Allowed:
 43,736 X 50% = 21,868 sf
 Coverage Provided:
 12,550 / 43,736 = 28.7%

Building Height:

Maximum Allowed: 36'-0" at the 50' setback
 24'-0" at the 30' setback
 (Rear setback adj. to Resid.)
 Height Provided: 31'-4"

Building Setbacks:

REQUIRED:	
Front / Street:	25'
Side Yards:	10'
Rear Yard:	(a) 10'
Adj. to Residential (Rear Yard)	30'
Landscape Buffer Adj. to Resid.	30'
(Req'd. per DC Ranch Development Guidelines)	

(a) 50' Building setback required adjacent to residential for building heights greater than 24'

PROVIDED:	
Front / Street:	25'-0"
Side Yards:	
North	46'-0"
South	53'-6"
Rear Yard:	70'-6"
Landscape req. adj. to Resid.	30'-0"

Building Code Data:

Construction Type: IIIB w. A.F.S.
 Occupancy Groups: (a)
 Occup. Descr.
 B Office
 S-2 Warehouse
 F-1 Bike maint.
 (a) Occupancy groups & non-separated use per I.B.C. Section 508.3.2

Fire Protection:

NFPA 13

Building Areas:

FIRST FLOOR (GROSS AREAS)	
Office	2,099 sf
Retail	496 sf
Manuf. (Bike maint. & prep. kitchen)	942 sf
Warehouse	3,918 sf
Total	7,455 sf
SECOND FLOOR	
Office	3,642 sf
Warehouse	1,453 sf
Total	5,095 sf
Total Building Area	12,550 sf

Parking Requirements:

PARKING REQUIRED:	
OFFICE	
1st Floor	2,099
2nd Floor	3,642
Total Office	5,741/300 = 19.1 spaces
Retail	496/250 = 2.0 spaces
Manuf.	942/500 = 1.9 spaces
WAREHOUSE	
1st Floor	3,918
2nd Floor	1,453
Total Warehouse	5,371/800 = 6.7 spaces
Total Req'd.	30 spaces

PARKING PROVIDED: 41 spaces
 Bicycle Parking Req'd. - 1 / 10 spaces = 4 Bicycles
 Bicycle Parking Prov. - 4 Bicycles @ racks + Additional @ pipe fencing @ N.W. patio

Open Space Calculations:

REQUIRED:	
Base O.S. Required - Lot Area X 10%	
43,736 X 10% (12' bldg. hgt.) =	4,373 sf
+ 31.33 - 12 = 19.33 x 0.4% = 7.7%	3,368 sf
Total Base Open Space Required =	7,741 sf

Parking Lot Landscaping Req'd. - 15%
 21,722 X 15% = 3,258 sf
 Total Open Space Req'd. 10,999 sf

INTERIOR PARKING I.S. REQUIRED:	
33.3% OF TOTAL REQUIRED	
3,258 X 33.3% =	1,086 sf

Interior Parking Lot O.S. Provided 1,654 sf

TOTAL O.S. PROVIDED:	
Base O.S. Provided	9,399 sf
Parking Lot O.S. Provided	3,334 sf
Total O.S. Provided	12,743 sf

BUILDING VOLUME CALCULATIONS:	
Allowable - Site Area X 9	
43,736 X 9 =	393,624 cf
Building Volume Provided	191,880 cf

Sloped Roof Areas:

25% of total building footprint per DC Ranch Development Guidelines Section 5 ARCHITECTURAL DESIGN STANDARDS Roof Form	
Building Footprint	7,455 sf
Sloped Roof Required X 25% =	1,846 sf
Main Roof Area	1,676 sf
Entry Canopy	239 sf
Total Sloped Roof Area	1,915 sf

STIPULATION SET
 RETAIN FOR RECORDS
 APPROVED
 W. H. H. INITIALS



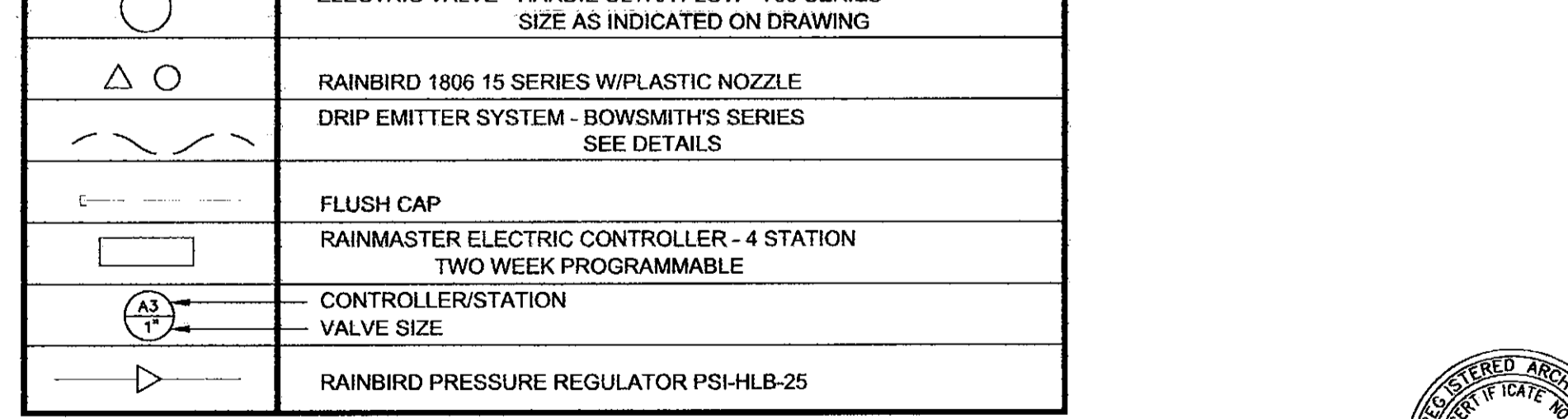
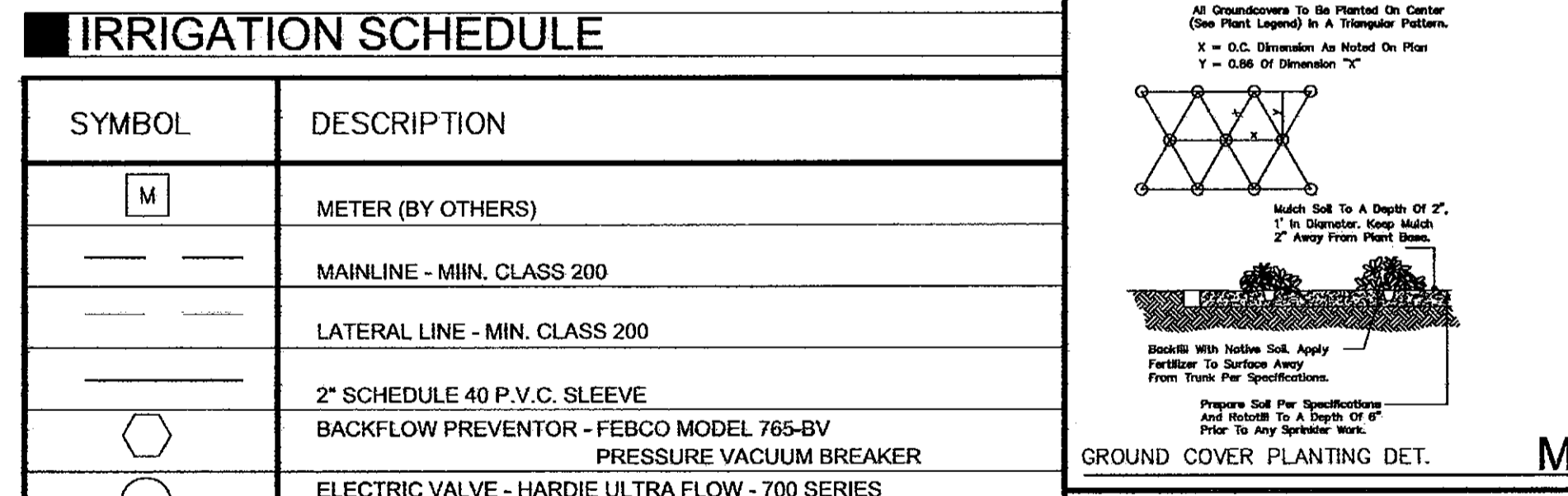
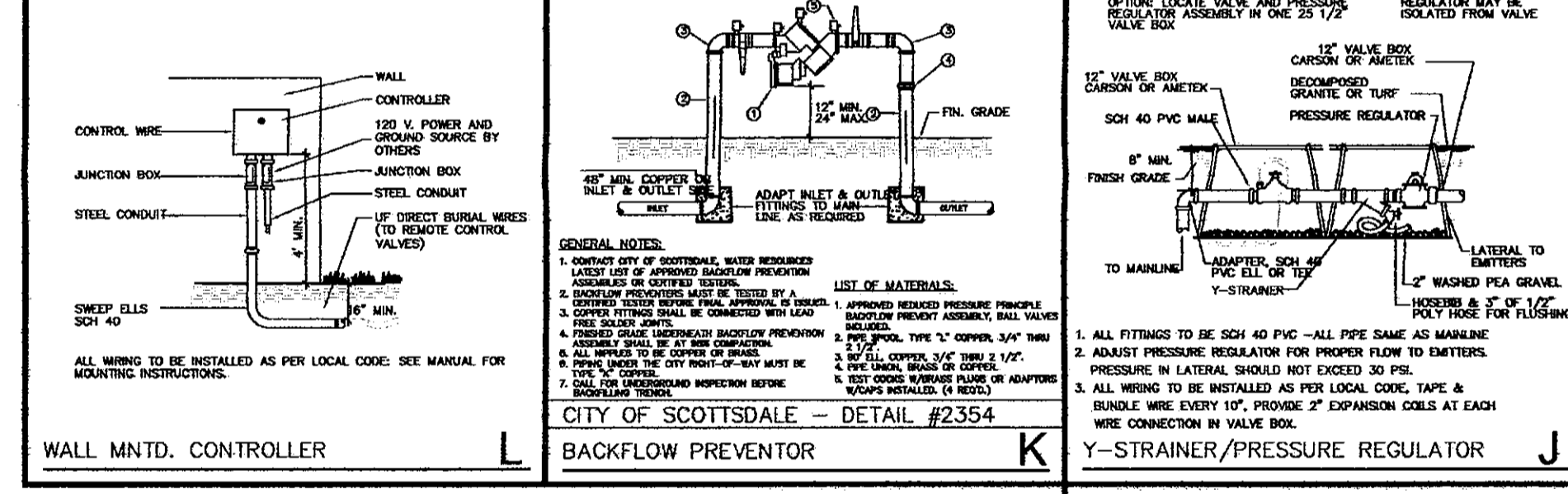
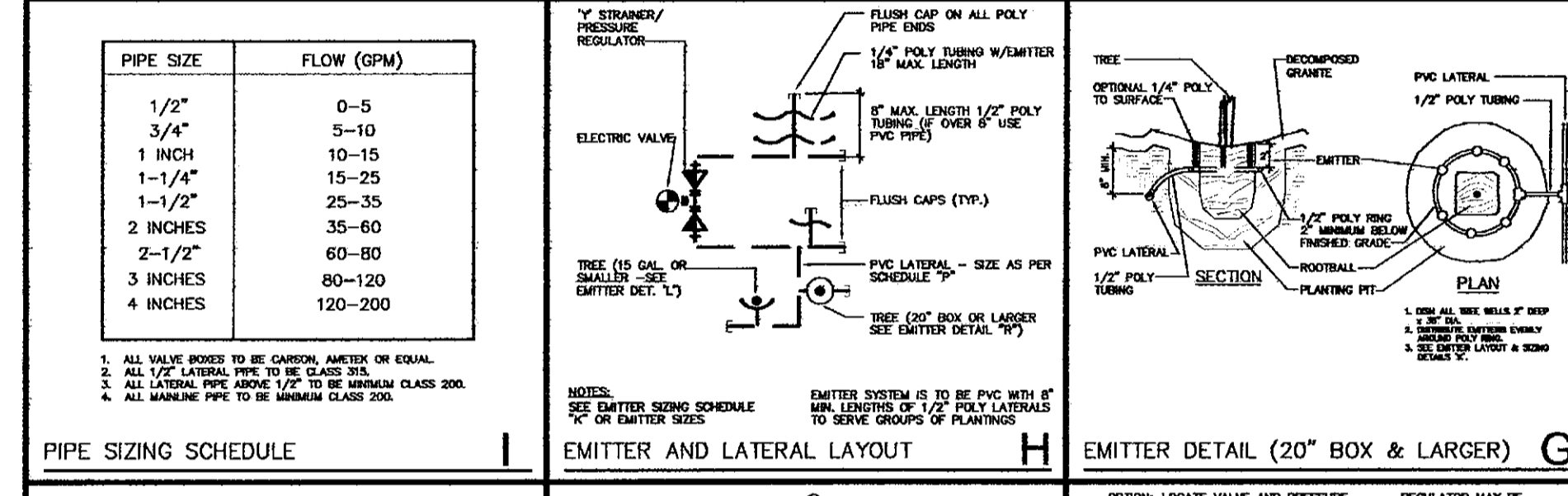
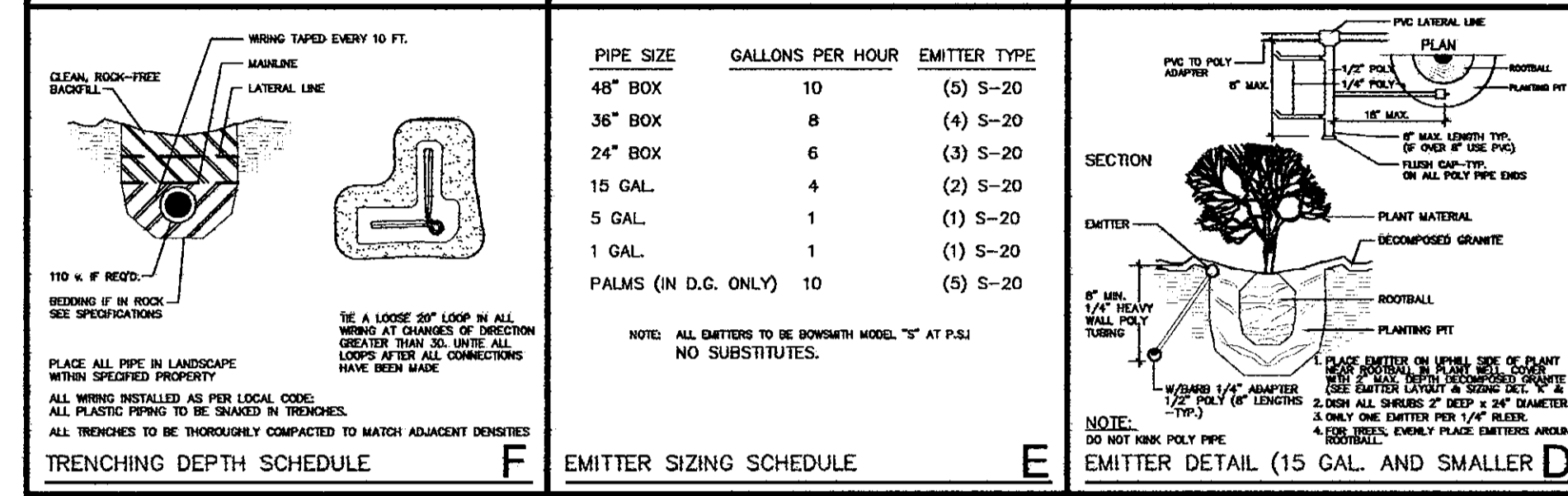
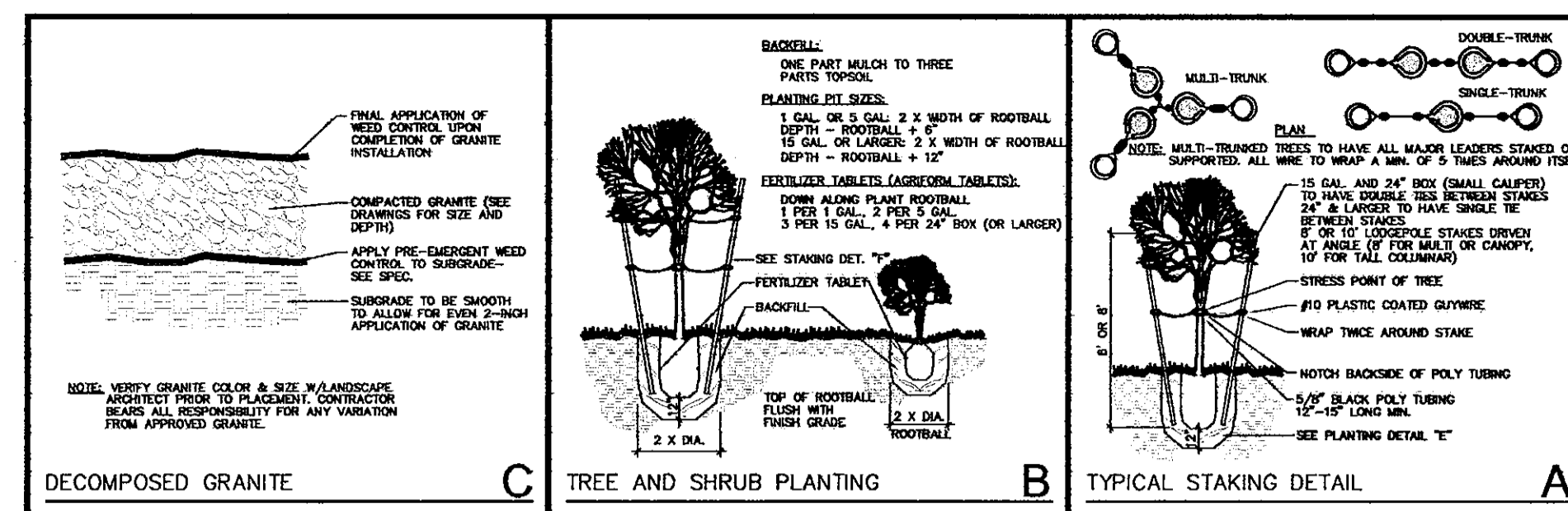
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 architect

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 dokeraz@hotmail.com

OS1
 SITE PLAN
 OPEN SPACE
 CALCS.

	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	No.	
TREES	TREES					
		CERCIDIUM FLORIDUM	BLUE PALO VERDE	SIZE REQ'S. SEE (a)	8	
		CERCIDIUM MICROPHYLLUM	FOOTHILLS PALO VERDE		8	
		CERCIDIUM PRAECOX	PALO BREA		15	
		ACACIA SMALLII	SWEET ACACIA		6	
ACCENTS	ACCENTS					
	(a) SINGLE TRUNK TREES MIN. 3" CALIPER MULTI-TRUNK TREES MIN. 1 1/2" CALIPER					
		CARNEGIA GIGANTEA	SAHUARO	SALVAGE	3	
		DASYLIRION WHEELERI	DESERT SPOON	5 GAL.	4	
		ECHINOCACTUS GRUSONII	GOLDEN BARREL	12"	5	
		FOQUIERIA SPLENDENS	OCOTILLO	15 GAL.	2	
		HESPERALOE PARVIFLORUM	RED YUCCA	5 GAL.	9	
		OPUNTIA SANTA-RITA	TUBAC	5 GAL.	4	
	SHRUBS	SHRUBS				
			AMBROSIA DELTOIDEA	TRIANGLE BURSAE	5 GAL.	62
		ASCLEPIAS SUBULATA	DESERT MILKWEED	5 GAL.	8	
		BRACAMERIA LARICIFOLIA	TURPENTINE BUSH	5 GAL.	53	
		CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE RED BIRDS	5 GAL.	9	
		CALLIANDRA CALIFORNICA	BAJA RED FAIRY DUSTER	5 GAL.	7	
		HYMENOXYSS ACAULIS	ANGELITA DAISY	5 GAL.	16	
		JUSTICIA CALIFORNICA	CHUPAROSA	5 GAL.	45	
		PENSTEMON EATONII	FIRECRACKER PENSTEMON	5 GAL.	10	
		PENSTEMON PARRYI	PARRY'S PENSTEMON	5 GAL.	9	
		RUELLIA PENINSULARIS	DESERT RUELLIA	5 GAL.	9	
		SPHAERALCEA AMBIGUA	GLOBE MALLOW	5 GAL.	33	
GROUND COVERS		GROUND COVERS				
			ACACIA REDOLENS	DESERT CARPET ACACIA	5 GAL.	10
			BAILEYA MULTIRADIATA	DESERT MARIGOLD	5 GAL.	9
		DALEA GREGGI	TRAILING INDIGO BUSH	5 GAL.	18	
		OENOTHERA BERLANDIERI	MEXICAN EVENING PRIMROSE	5 GAL.	8	



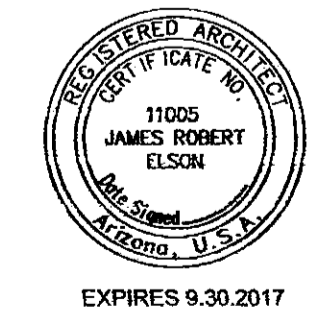
A HANGAR FOR AJR INDUSTRIAL
4134 N. SATURN LANE
STELLAR INDUSTRIAL AIRPARK, LOT 29
CHANDLER, ARIZONA 85226

DATE: 2.20.16
REVISED:

james elson
architect

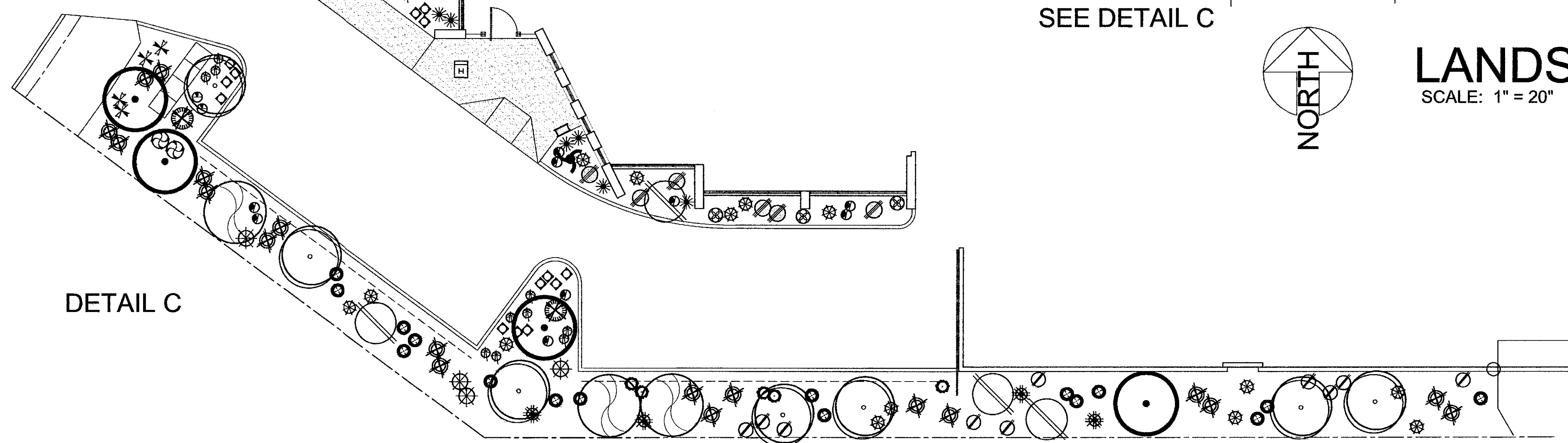
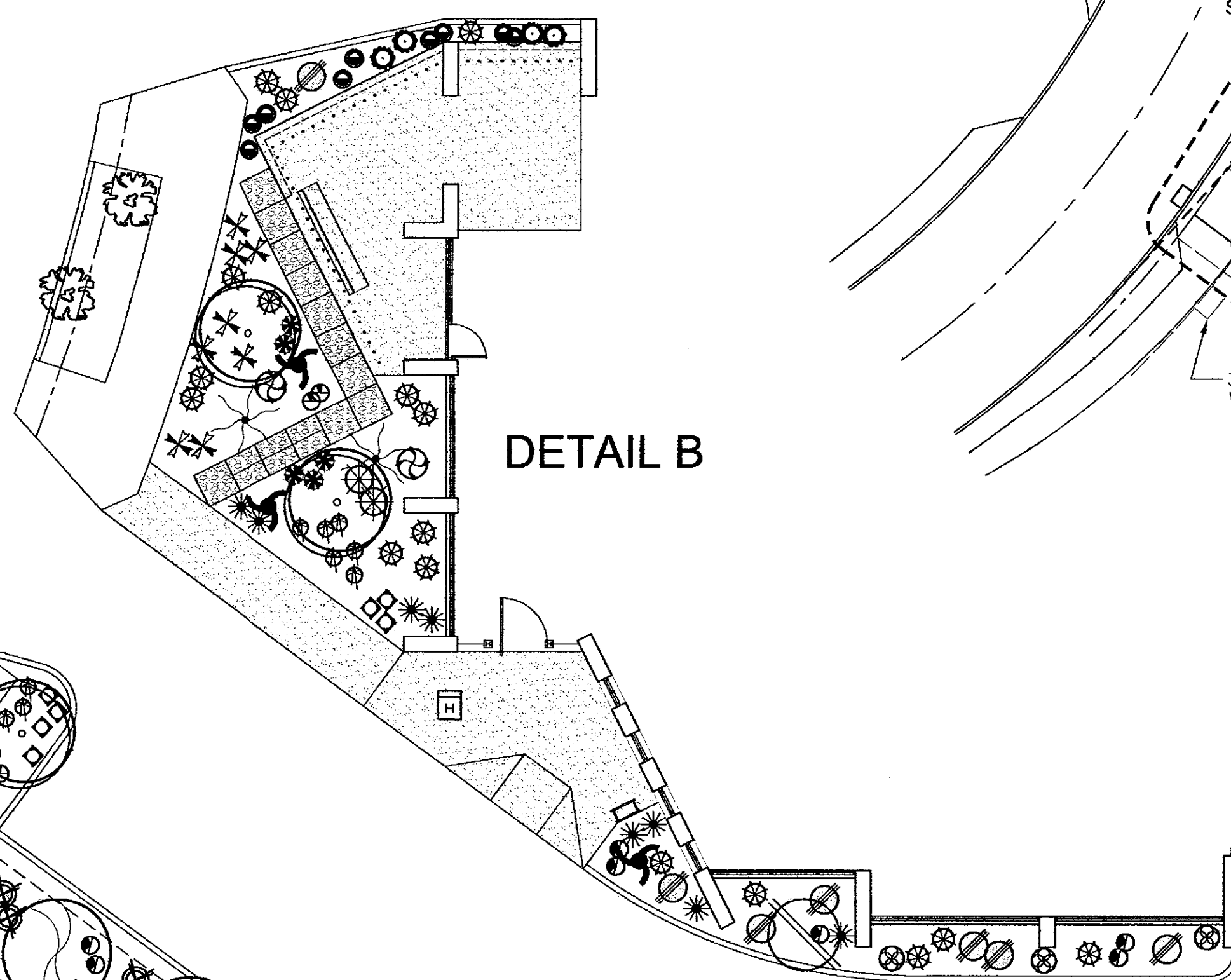
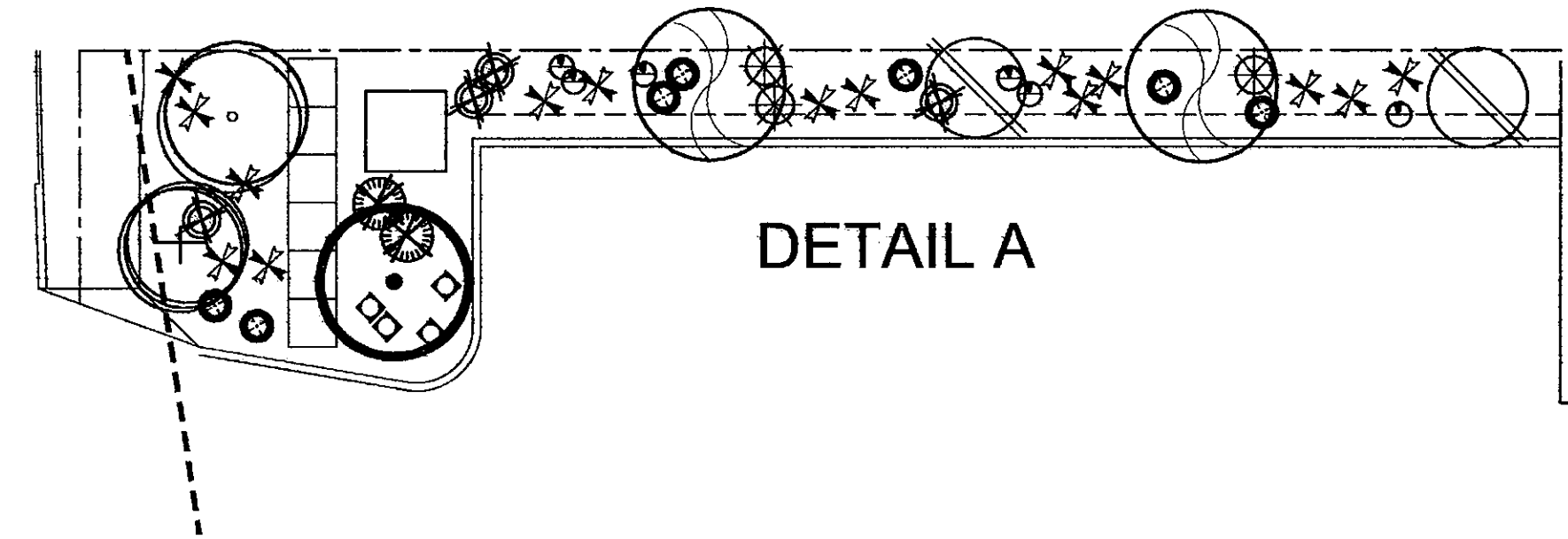
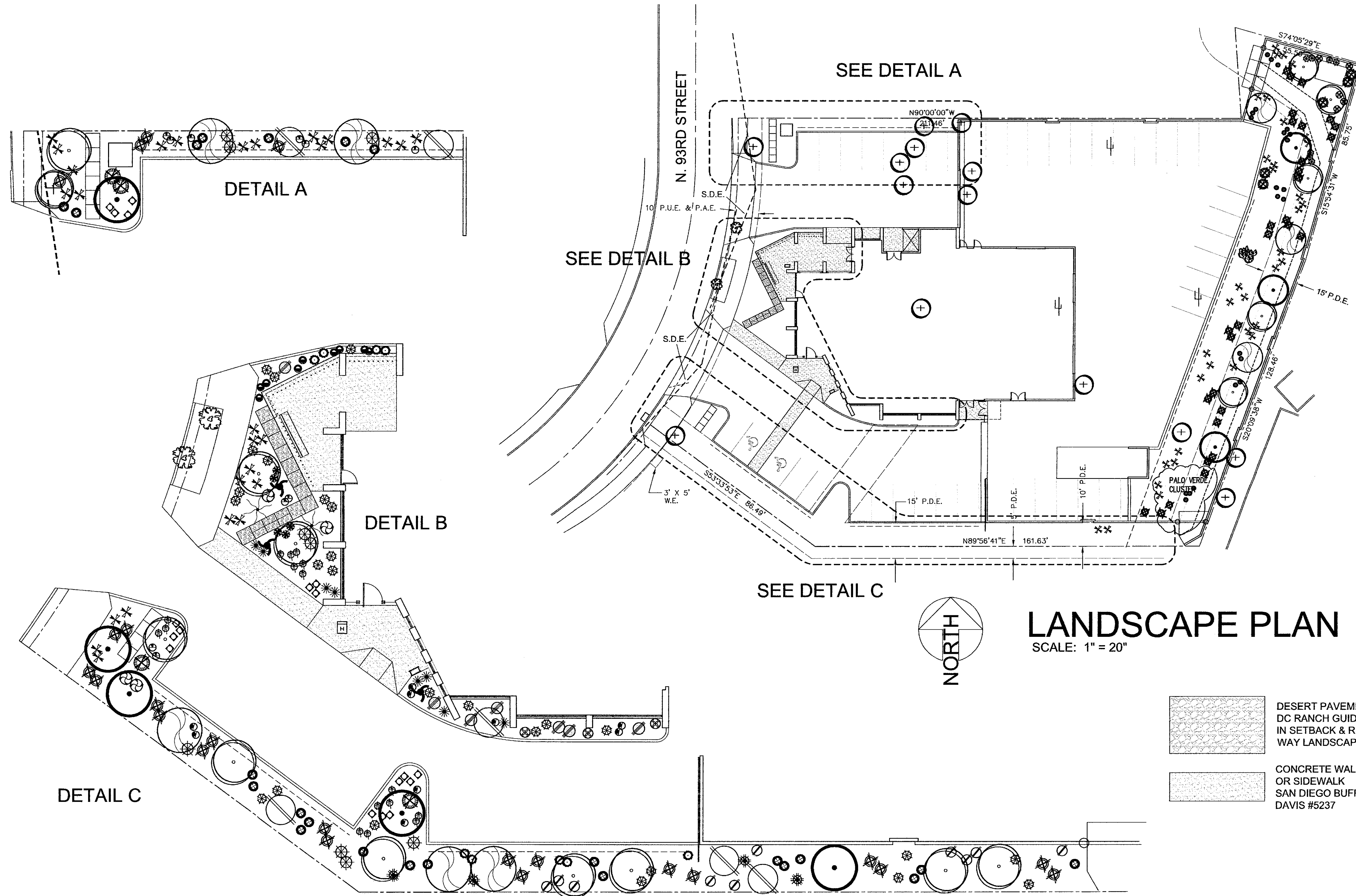
16611 north 91st street
suite one hundred five
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85260

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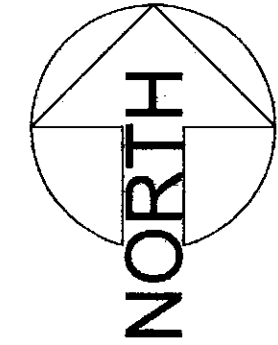


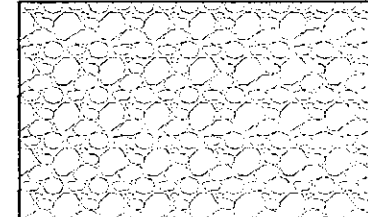
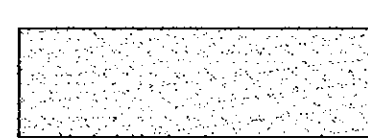
LANDSCAPE & IRRIGATION DETAILS

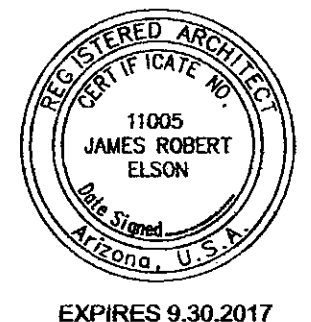
L2
LANDSCAPE
IRRIGATION
DETAILS &
SCHEDULE



LANDSCAPE PLAN
SCALE: 1" = 20"



-  DESERT PAVEMENT PER DC RANCH GUIDELINES IN SETBACK & RIGHT OF WAY LANDSCAPE AREAS
-  CONCRETE WALK OR SIDEWALK SAN DIEGO BUFF DAVIS #5237



ARIZONA OUTBACK ADVENTURES
DC RANCH CORPORATE CENTER - LOT 7
17465 N. 93rd PLACE

DATE: 6.4.16
REVISED:

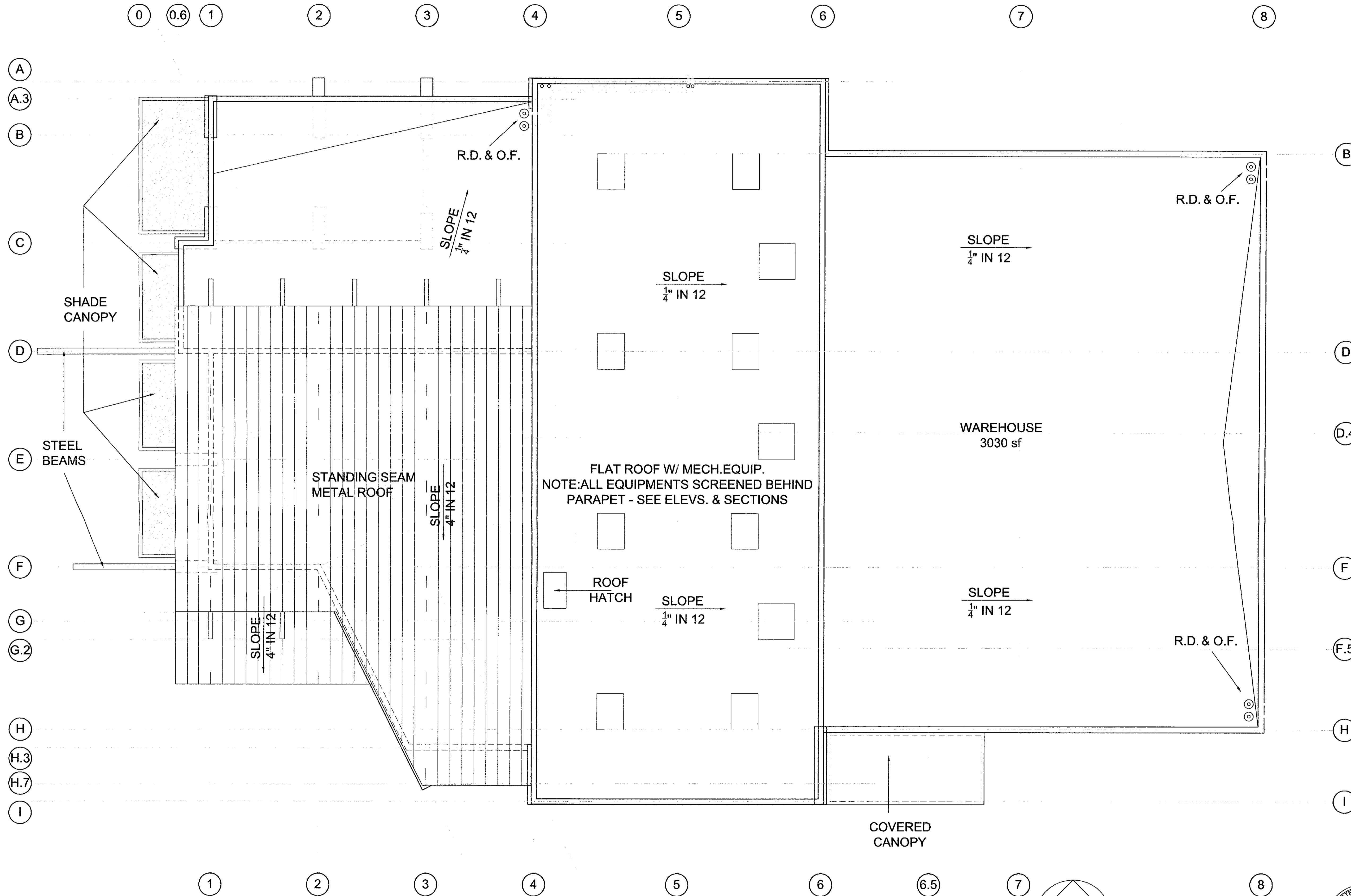
james elson
architect

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j4747e@aol.com
dokeraz@hotmail.com

STIPULATION SET
RETAIN FOR RECORDS
APPROVED: [Signature]
DATE: [Signature] INITIALS

L1
LANDSCAPE
PLAN



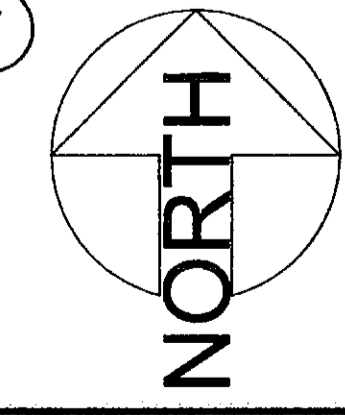
ARIZONA OUTBACK ADVENTURES
 DC RANCH CORPORATE CENTER - LOT 7
 17465 N. 93rd PLACE

DATE: 6.4.16
 REVISED:
 9.2.16
 COS DR COMMENTS

james
 elson
 architect

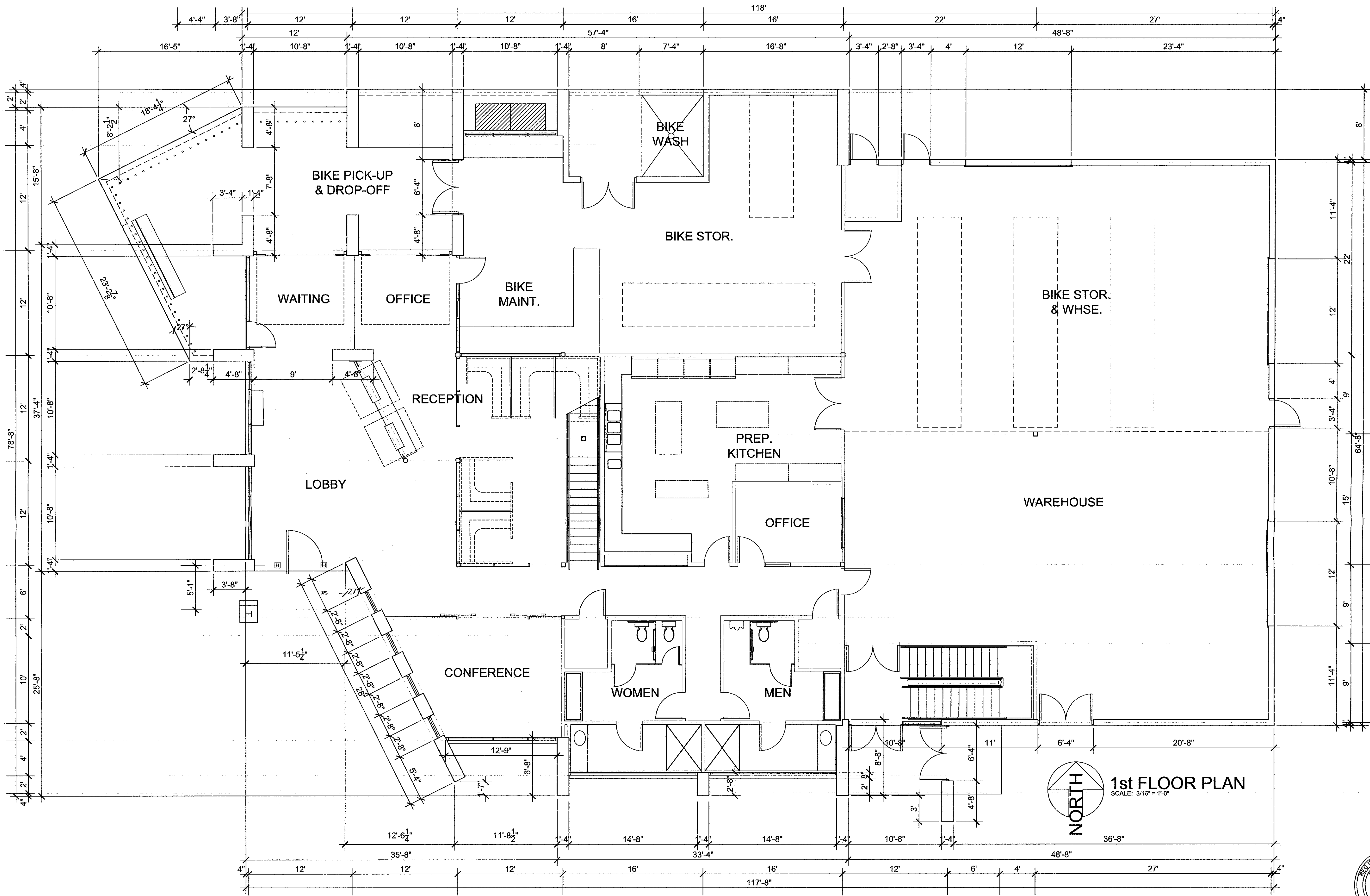
16420 north 92nd street
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 j4747e@aol.com
 dokerez@hotmail.com



ROOF PLAN
 SCALE: 3/16" = 1'-0"

A3
 ROOF
 PLAN



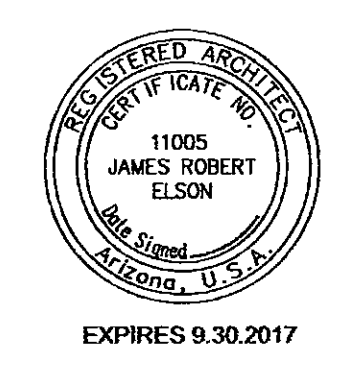
ARIZONA OUTBACK ADVENTURES
 DC RANCH CORPORATE CENTER - LOT 7
 17465 N. 93rd PLACE

DATE 6.4.16
 REVISED 9.2.16
 C.O.S. DR
 COMMENTS

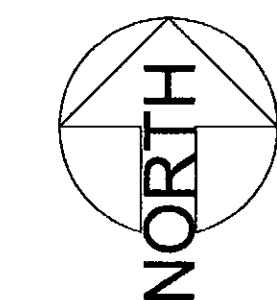
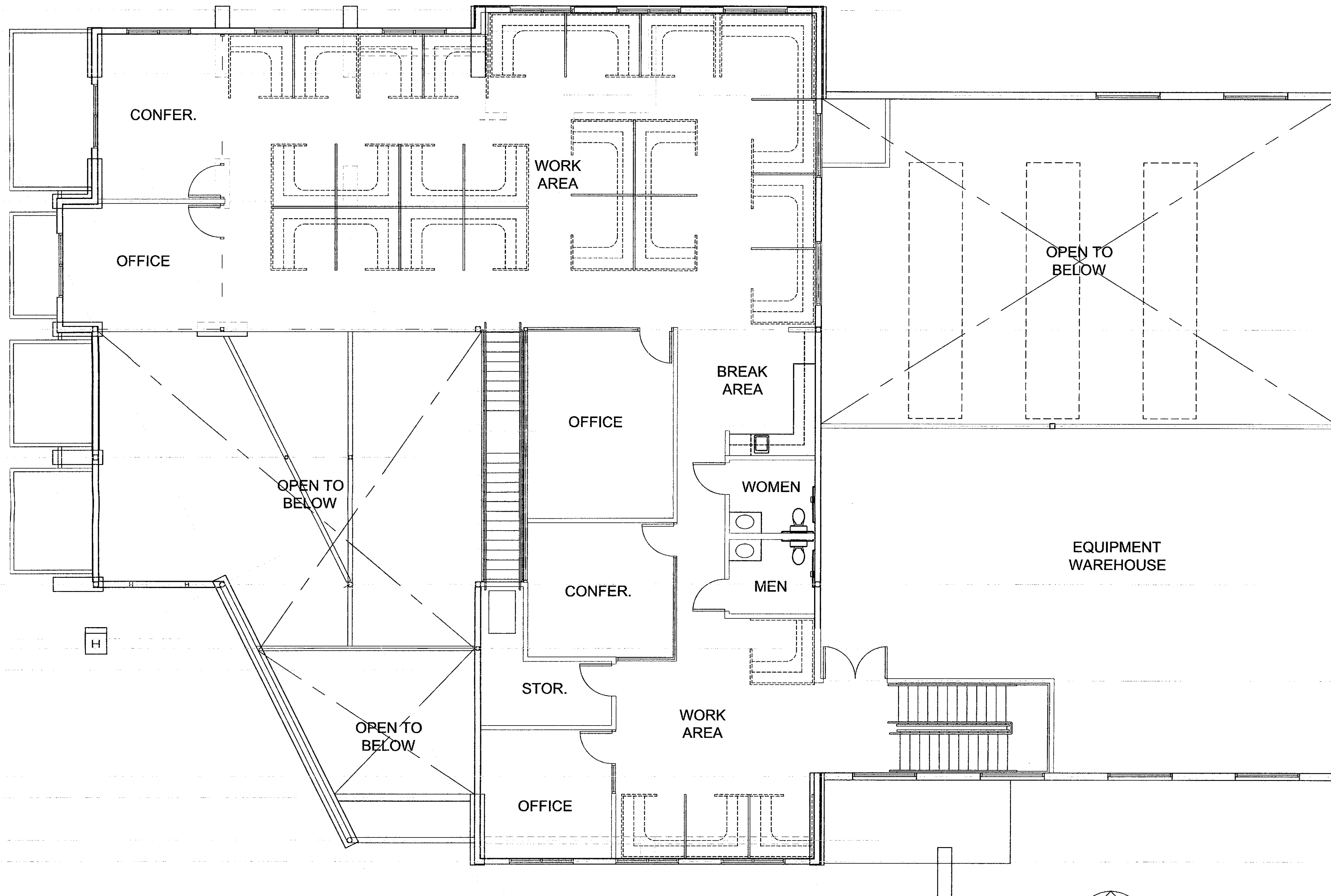
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 elson
 architect

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 scottsdale, arizona
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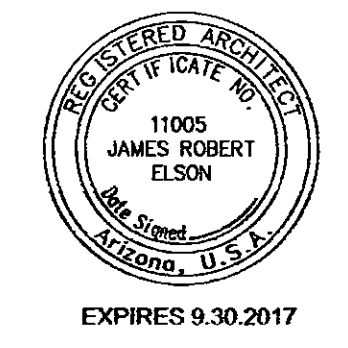
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 dokera2@hotmail.com



A1
 FLOOR
 PLAN



2nd FLOOR PLAN
SCALE: 3/16" = 1'-0"



ARIZONA OUTBACK ADVENTURES
DC RANCH CORPORATE CENTER - LOT 7
17465 N. 93rd PLACE

DATE 6.4.16
REVISED 9.2.16
C.O.S. DR
COMMENTS

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A2
FLOOR
PLAN