

**Marked Agendas
Approved Minutes
Approved Reports**

**The January 19, 2017
Development Review Board
Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 19, 2017 Item No. 5
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Sterling at Silverleaf 78-DR-2005#3

Location: 10000 E. Legacy Blvd. and 18900 N. 101st St.
(Lots 30A and 30B at DC Ranch Parcel T4b)

Request: Request approval of the site plan, landscape plan, and building elevations for a new 72-unit residential condominium development, comprised of eight, four-story buildings, with approximately 387,456 square feet of building area, all on a 5.88-acre site.

OWNER

Sterling Collection
480-315-8265

ARCHITECT/DESIGNER

Robert Hidey Architects

ENGINEER

Land Development Team

APPLICANT CONTACT

Kurt Jones
Tiffany & Bosco, PA
602-452-2729

BACKGROUND

Zoning

This site is zoned Planned Community District (P-C) with comparable Planned Community Center zoning (PCC) zoning.

Site History

In 1990, the entire DC Ranch master planned community received approval for a zoning district map amendment from R1-35 HD (Single-family Residential, Hillside District) to Planned Community (P-C) District in 1990 with Case 54-ZN-1989. In addition, a Development Plan/Agreement was approved

that established rules, processes, and understandings regarding the overall DC Ranch zoning and development process.

In 1998, the City Council approved Case 54-ZN-1989#5, which is a comprehensive update to the DC Ranch Planned Community (P-C) District. In addition, the Second Amendment to the DC Ranch Development Agreement was approved.

In 2003, the City Council approved Case 54-ZN-1989#7, another update to the DC Ranch Planned Community (P-C) District. In addition, the Third Amendment to the DC Ranch Development Agreement approved a revised Land Use Budget, revised Land Use and Circulation plan, and a revised Comparable Zoning district map. The Land Use Map shows lots 30 and 31 of parcel T4b as being Mixed-use Town Center. The zoning map shows lots 30 and 31 of parcel T4b as having CO/PCC PCD zoning.

In 2004, the City Council approved the DC Ranch Town Center Generalized Design Concept Plan (TC-GDC), Case 54-ZN-1989#8. The purpose of the TC-GDC was to address the edge conditions, zoning, land uses, open space, and architectural design within the Town Center. The zoning map in the TC-GDC showed CO/PCC PCD zoning on the property.

In 2005, the Development Review Board approved Case 78-DR-2005, a multi-story, mixed-use project containing 213 residential condominium units, approximately 20,000 square feet of commercial space, and 29 single-family lots. The single-family portion of the project was to have R1-10 PCD, with the remainder of the parcel T4b to have PCC PCD zoning. The majority of the single-family lots have been developed to date, but the condominium development was not constructed.

In 2006, the City Council approved the Final Plat for parcel DC Ranch Parcel T4b.

In 2013, the Development Review Board approved Case 78-DR-2005#2, an application that was nearly identical to the case approved in 2005, consisting of 5 multi-story buildings, 213 dwelling units, and 20,000 square feet of commercial space. This development was never constructed.

In 2015, the City Council adopted the PCC PCD zoning on the property.

Context

The property consists of lots 30A and 30B of DC Ranch Parcel T4B, which is located east of the intersection of N. Thompson Peak Parkway and E. Legacy Boulevard, within the DC Ranch Town Center. For many years this area has been planned for mixed-use development with higher densities and intensities. Lots 1 through 29 of DC Ranch Parcel T4B (directly north, south, and east of the property) are multi-story single-family homes. To the west is the Canyon Village Town Center.

Adjacent Uses and Zoning

- North Single-family residential homes zoned P-C, with comparable R1-10 zoning.
- South Single-family lots zoned P-C, with comparable R1-10 zoning.

- East Single-family lots zoned P-C, with comparable R1-10 zoning and Beardsley Wash zoned P-C, with comparable PCC zoning.
- West Canyon Village Town Center and Village Heath Club, zoned P-C with comparable PCC zoning.

Key Items for Consideration

- A reduction in density from Case 78-DR-2005#2 from 213 dwelling units to 72 units.

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The request is for approval of a site plan, landscape plan, building elevations, and phasing for the Sterling at Silverleaf residential condominium development. The development will consist of eight (8) four-story condominium buildings with a total of 72 dwelling units.

Neighborhood Communication

September 8, 2016: Applicant mailed project notification letters to property owners within 750 feet and the DC Ranch Homeowners Association. The letter included information about the proposal and notice of the upcoming neighborhood meeting.

September 16, 2016: City staff mailed postcards to property owners within 750-feet of the property informing residents that a Development Review Board application had been submitted, and how to learn more information about it.

September 20, 2016: A neighborhood meeting was held at the DC Ranch Homestead Community Center for residents to learn more about the proposed project. Residents stated some concerns regarding the architecture, height and traffic, but many comments were supportive.

The applicant presented this DRB proposal to the DC Ranch Homeowners Association on January 11, 2017. The development team has been communicating with many of the board members to date.

As of the drafting of this report, staff received one phone call with concerns about the development. Staff has also received an e-mail, which is attached to this report, with concerns about the proposed architecture.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Sterling at Silverleaf will be a new residential development comprised of eight multi-story buildings, which will contain 72 condominium units. The development will be phased, basically developing from north to south. Each phase will contain landscape improvements, parking, and refuse along with utility and stormwater improvements. Phase 1 will consist of Buildings 1 and 2, including the guard house, pool, pool house, and roadway improvements along Legacy Boulevard connecting to 101st Street. Phase 2 consists of Buildings 4 and 5, Phase 3 will consist of Building 3, Phase 4 will consist of Building 6, Phase 5 includes Building 7, and finally Phase 6 includes Building 8. A phasing plan is attached to this report.

The proposed development remains generally consistent with the previous approved proposal,

with the vehicular access provided from Legacy Boulevard and Thompson Peak Parkway to a private guardhouse entrance east of building 1. Once past the guard house, the private street continues north and eastward connecting with the existing 101st Street. Vehicles can exit the development through the Horseshoe Canyon gate to the north, but cannot enter through that point. Parking for the development will be located at grade under the second floor of each building in the parking garages, along with 16 parallel parking stalls along 101st Street, and 5 surface parking stalls located south of the pool building. New pedestrian connections will be built connecting the new development with Canyon Village, the small park site, and health club to the west. This development will also connect Canyon Village to the trails within the Beardsley wash to the east.

Each residential building will be 4-stories-tall, with building height up to 56 feet above natural grade, and mechanical screening and ornamental towers up to a height of 75 feet, which is allowed by the DC Ranch development agreement in the PCC zoning district. Each building will step down to follow the natural terrain and slope from north to south. The first floor of each building contains parking with 3 levels of residential condominiums above. Building 1 will provide a backdrop to the obelisk park located at the terminus of Legacy Boulevard, while the existing Canyon Village buildings border Legacy Boulevard on the north and south sides. The proposed architectural style is a contemporary Southwest and Mediterranean, which will create some diversity with existing Town Center architecture. The proposed earth toned stucco and tile roofs should complement the existing commercial and residential buildings in the Silverleaf area with similar rectilinear massing, rooflines, ornamental towers, and detailing. Diverse architectural styles and colors have been encouraged and built to date within DC Ranch. Shaded windows and large, recessed, covered patios are being proposed to extend the interior spaces into the outdoors both physically and visually.

Open space and landscaping will comply with the Generalized Design Concept Plan for Town Center. Although open space is not required on these specific parcels within the Town Center, the developer is proposing more open space than the previously approved application. Open Space or gathering areas comprise of 2.3 acres or 40 percent of the site. Tree lined streets will be provided with open spaces located between all of the buildings. Due to the topography of the site, many of these areas incorporate retaining walls, steps, and architectural features to terrace the landscape.

In conclusion, this project will complete the DC Ranch Town Center, and will provide a different residential option within DC Ranch. The proposed development is in conformance with the City Council approved Generalized Design Concept Plan for the DC Ranch Town Center, albeit with much less density than what was anticipated. This proposal is similar in height to the 2005 and 2013 approved version of the Sterling at Silverleaf, but with significantly less units. This request also appears to be less controversial than the 2013 proposal, where there were concerns about density, traffic and building heights. Prior to construction, this proposal and construction drawings will also need to be review and approved by the DC Ranch Covenant Commission to ensure it is keeping with the vision of DC Ranch.

Development Information

- Existing Use: Undeveloped
- Proposed Use: 72-unit condominium development
- Parcel Size: 5.88 net acres
256,252 square feet
- Building Height Allowed: 56 feet, 75 feet for mechanical screening and ornamental towers
- Building Height Proposed: 56 feet, approx. 68 feet for mechanical screening and ornamental towers
- Parking Required: 131 spaces
- Parking Provided: 148 spaces in garages, 16 parallel stalls on street, 5 stalls near amenity area
- Open Space Required: 48.8 acres throughout entire Town Center
- Open Space Provided: 95,560 square feet / 2.19 acres (this project)
62.89 acres throughout Town Center
- Number of Dwelling Units Proposed: 72 # units
- Density/Dwelling Units Allowed: 4 dwelling units per gross acre of Planned Community Center zoning. (213 units)

600 dwelling units are allowed within the Town Center east of Thompson Peak Parkway
- Density/Dwelling Units Proposed: 1.35 dwelling units per acre of Planned Community Center zoning. (72 units)

153 dwelling units provided within the Town Center east of Thompson Peak Parkway

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve 78-DR-2005#3 per the attached stipulations, finding that the DC Ranch Town Center Generalized Design Concept Plan and the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

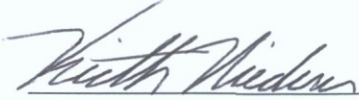
Planning and Development Services

Current Planning Services

STAFF CONTACT

Keith Niederer
Senior Planner
480-312-2953
E-mail: kniederer@ScottsdaleAZ.gov

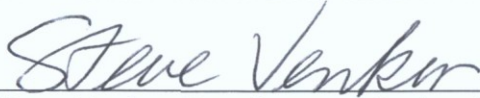
APPROVED BY



Keith Niederer, Report Author

1-11-2017

Date

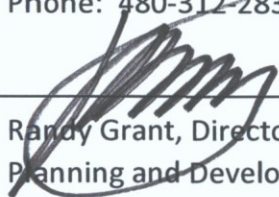


Steve Venker, Development Review Board Coordinator

Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

1/11/17

Date



Randy Grant, Director

Planning and Development Services

480-312-2664, rgrant@scottsdaleaz.gov

1/12/17

Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Site Plan
 - 5. Pedestrian and Vehicular Circulation Plan
 - 6. Building Elevations
 - 7. Perspectives
 - 8. Streetscape Elevations
 - 9. Architectural Details
 - 10. Landscape and Hardscape Plans
 - 11. Phasing Plan
 - 12. City Notification Map
 - 13. Correspondence

**Stipulations for the
Development Review Board Application:
Sterling at Silverleaf
Case Number: 78-DR-2005#3**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Robert Hidey Architects, with a city staff date of 11/17/2016.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Robert Hidey Architects, with a city staff date of 12/20/2016.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by CollectiV, with a city staff date of 12/20/2016.
 - d. The case drainage report submitted by LD Team and accepted in concept by the Stormwater Management Department of the Planning and Development Services on 12/6/2016.
 - e. The water and sewer basis of design report submitted by LD Team and accepted in concept by the Water Resources Department on 12/12/2016.
 - f. The construction phasing shall comply with the Phasing Plan, submitted by Espiritu Loci, with a city staff date of 12/20/2016.
 - g. Traffic striping and signage shall comply with the Fire and Circulation exhibit, submitted by LD Team with a date by City Staff of 12/20/2016, with the exception that mid-block pedestrian crossings should be enhanced, to the satisfaction of Traffic Engineering staff.
 - h. The development shall comply with the DC Ranch – Generalized Design Concept Plan for the Town Center that was approved by the City Council on 5/17/2004.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable cases are 54-ZN-1989, 54-ZN-1989#5, 54-ZN-1989#7, 54-ZN-1989#8, 78-DR-2005, 17-PP-2005, 16-SA-2004, 350-SA-2004 & 398-SA-2005.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
5. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
6. All exterior conduit and raceways shall be painted to match the building.
7. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
8. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible.
9. All walls shall match the architectural color, materials and finish of the buildings.

SITE DESIGN:

DRB Stipulations

10. Before or with the final plans submittal, the owner shall submit Release of Easement application(s) for any existing easements on the property that are no longer needed or in conflict with the proposed development.
11. With the final plans submittal, the owner shall submit plans ensuring that all sidewalk ramps are ADA compliant, per Section 12-1.300 of the Design Standards and Policies Manual.
12. With the final plans submittal, the owner shall ensure all ADA parking facilities are complaint with Section 12 and Figure 12.1-2 of the Design Standards and Policies Manual.

EXTERIOR LIGHTING:

Ordinance

- B. Exterior luminaires, except those fixtures approved in the DC Ranch Thematic Character Study for Planning Units II and IV, shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except sign, parking lot canopy and landscape lighting.

- C. The individual luminaire lamp shall not exceed 250 watts.
- D. The maximum height of any pole or site lighting, measured from finished graded to the bottom, of any exterior luminaire shall not exceed 16 feet.
- E. All exterior lighting poles shall match the light poles within Canyon Village and the Park District.
- F. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- G. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- H. The initial vertical luminance at 6-foot above grade, along the south and east property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

DRB Stipulations

13. Incorporate the following parking lot and site lighting into the project's design:

Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

Building Mounted Lighting:

- e. All luminaires shall be recessed or shielded so the light source is not directly visible from off-site.

Landscape Lighting

- f. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- g. Landscaping lighting shall only be utilized to accent plant material.
- h. All landscape lighting directed upward, shall be aimed away from off-site.
- i. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from off-site.
- j. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

VEHICULAR AND BICYCLE PARKING:

Ordinance

- I. ADA parking shall be provided at the rate of four (4) percent of the provided parking, in conformance with Section 9.105 of the Scottsdale Zoning Ordinance. With the final plans

submittal, the owner shall submit a revised site plan and project data sheet showing conformance with this requirement.

DRB Stipulations

- 14. Bike rack design shall be in conformance with the approved DC Ranch bike rack detail.

AIRPORT:

DRB Stipulations

- 15. With the final plans submittal, the owner/developer shall provide noise disclosure notice to occupants, potential homeowners, employees and/or students in a form acceptable to the Scottsdale Aviation Director.
- 16. With the final plans submittal, the owner/developer shall provide a signed and completed Avigation Easement in a form acceptable to the City for recording.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- J. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.

DRB Stipulations

- 17. Prior to final plans approval, the owner shall dedicate a minimum 20-foot-wide Water Facilities Easement over all water mains outside of designated tracts in accordance with Section 6-1.419 of the Design Standards and Policies Manual, or to the satisfaction of Engineering staff.
- 18. Prior to final plans approval, the owner shall dedicate vehicular and pedestrian Cross-Access Easements in accordance with Section 5-1.1002 of the Design Standards and Policies Manual.
- 19. Prior to final plans approval, the owner shall dedicate Emergency and Services Vehicle Access Easements over all drive aisles, per Section 3-1.503 of the Design Standards and Policies Manual.

WATER AND WASTEWATER STIPULATIONS:

DRB Stipulations

- 20. Before the Improvement Plan submittal, the owner shall obtain approval of the Final Basis of Design Reports (water and wastewater) from the Water Resources Department. The Final Basis of Design Reports shall be in conformance with the Design Standards and Policies Manual Section 6-1.200 and 7-1.200 and shall address.
- 21. With the final plans submittal, the owner shall submit a revised Wastewater Basis of Design Report providing for private on-site sewer for a guard house and pool building.
- 22. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Department requirements.
 - a. With the final plans submittal, the owner shall submit a revised Water Basis of Design report, which removes all existing water services and mains not being used at the main

(the gate valve closed, blind flanged and the box removed) and listing the timeframes of construction, in accordance with Sections 6-1.402 and 6-1.416 of the Design Standards and Policies Manual.

- b. With the final plans submittal, the owner shall submit a revised Wastewater Design Report, which removes all existing sewer stubs not reused (securely capped at the right-of-way line and abandoned) in accordance with Section 7 of the Design Standards and Policies Manual.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

23. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
24. Any headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.



The Sterling at Silverleaf

78-DR-2005#3



Q.S.
39-52

Google Earth Pro Imagery



The Sterling at Silverleaf

78-DR-2005#3



Q.S.
39-52

2015 GIS Orthophoto

The Sterling at Silverleaf

78-DR-2005#3

Sterling at Silverleaf
Development Review Board
Project Narrative
(11.14.16)

DC Ranch is an established master planned community located east of Pima Road along both sides of Thompson Peak Parkway as it traverses west of the McDowell Mountains. Development of DC Ranch commenced in 1999 and is almost complete with the exception of undeveloped custom lots throughout the community's single family neighborhoods. With this application, we are seeking Development Review Board ("DRB") approval of a site plan, elevations and landscaping plans for the last property to be developed within DC Ranch Town Center. The property that is the subject of this application, is located at the terminus of Legacy Boulevard on the east side of Thompson Peak Parkway. The request is for the development of a 72 unit condominium project referred to as Sterling at Silverleaf. There is a significant amount of background that precedes this request which will be outlined in this Project Narrative together with a detailed overview of the new proposal.

I. Project Location

As noted above the site is located at the terminus of Legacy Boulevard as it proceeds east of Thompson Peak Parkway into the area that is partially developed as Canyon Village and also referred to as the DC Ranch Town Center ("Town Center" or "Canyon Village"). More precisely, the site consists of Lots 30 and 31 of DC Ranch Parcel T4b which totals approximately 5.88 acres (the "Property"). While the Property is located within the Town Center, it is also included within the Silverleaf neighborhood within DC Ranch with important physical relationships to both Silverleaf and the Town Center.

II. Property Owner/Developer

The Property is currently owned by the Sterling Collection, LLC ("Owner"), who is in escrow to sell the property to DMB Associates ("DMB") and The New Home Company ("TNHC") (collectively, "DMB/TNHC" or "applicant") who are in partnership in the purchase and development of Sterling at Silverleaf.

TNHC, a publicly traded company based out of Orange County, California, is one of the pre-eminent home builders in the western United States. TNHC develops high end luxury single family, condominium and multi-family projects in California and Arizona. TNHC is developing the exclusive *Resort Residences at Mountain Shadows* in the Town of Paradise

Valley which are anticipated to open for sales in late 2016. TNHC is recognized as one of the finest luxury home builders in the western United States and have received numerous awards for their projects. Development in Silverleaf is a natural and logical extension of the type and quality of project they build.

DMB is partnering with TNHC to develop the Sterling at Silverleaf. As the previous owner of the Property and the developer of DC Ranch and Silverleaf, DMB is highly invested in the manner in which this Property is planned and developed. DMB is pleased to be able to partner with another high caliber developer with a proven track record of superior projects, and believes this is the right team to be completing the development of Silverleaf and the Town Center. DC Ranch and Silverleaf remain one of their proudest accomplishments and DMB desires to continue this tradition and legacy with this development.

Given their intimate knowledge of DC Ranch, DMB/TNHC have assembled a design team whose principals have had significant long-term involvement in the planning and execution of DC Ranch. The design team includes Robert Hidey Architects, Espiritu Loci, CollectiV Landscape Architects, LD-Team and Tiffany & Bosco. Principals working on this project have detailed knowledge of the site characteristics as well as the design expectations of DC Ranch, including areas of architecture, land planning, landscape architecture, engineering and project entitlements.

III. Property Zoning

The Property is zoned Planned Community Development ("PCD") with comparable Planned Community Center ("PCC") zoning¹ as approved as part of the overall DC Ranch zoning that is applicable to the entire community. By way of background, the PCD zoning along with amended standards were approved by the City of Scottsdale (the "City") in 1998 as part of a settlement of litigation. A development agreement (the Second Amendment to the Development Agreement, recordation number 98-0970077 (the "2nd Amendment") was approved on October 19, 1998. The 2nd Amendment has been amended several times with additional provisions that may or may not be applicable to any particular property including the Property. As part of the 2nd Amendment, amended standards and stipulations were also approved. As required by the 2nd Amendment, the Town Center Generalized Design Concept ("TC-GDC") was approved and amended in 2004 (the "TC-GDC Amended") by City Council. The TC-GDC Amended outlines the vision and additional development parameters for the development of the Property as well as the adjacent properties. Additional discussion on the TC-GDC Amended occurs below.

¹ The City Council approved Ordinance Number 4221 on August 25, 2015.

IV. Request

As noted above, the request is for approval of a site plan, elevations, and landscaping plans from the DRB (the "Request"). Specifically, the Request is for approval of 72 luxury condominiums in eight (8) buildings ("Sterling at Silverleaf"). This project has been re-imagined, re-engineered and redesigned and is a fresh, new and more appropriate plan compared to the contentious project that was debated and approved 3 years ago. Importantly, the project has been right sized and overall residential units have been significantly reduced to 72 from the 213 previously approved. The Property will be the capstone of the Canyon Village development and final layering of luxury products in Silverleaf.

The re-imagined Sterling at Silverleaf has been envisioned to complete the development of this remaining parcel in a manner that engages and is consistent in scale with the existing development at Legacy and Thompson Peak, yet which also complements and provides a transition to the development in Silverleaf and specifically the Sterling Villas as well as other exclusive development in Horseshoe Canyon. Buildings have been carefully sited to take advantage of the magnificent view corridors into the McDowell Mountains. Because the site slopes downward as you proceed west and south, building massing and heights step down as you proceed west from 101st Street.

The vision for the development of this Property was established long ago with the approval of the DC Ranch Town Center plans which set forth a plan for an activity center with increased intensity, density and a mix of uses. With DC Ranch and north Scottsdale reaching maturity, the viability of these more intense uses has also matured. With this type of project, residents of DC Ranch and Silverleaf have many options to stay within their community and live in housing options that suit their lifestyle. Given the existing development in DC Ranch and the development of exclusive neighborhoods within DC Ranch, Silverleaf, the DC Ranch Country Club and the Parks neighborhoods, the fit and finish and scale of the proposed project is in keeping with the surrounding area.

Overall, Sterling at Silverleaf represents a reduction in intensity, with the following differences:

- Units reduced to 72 from 213 (*a reduction of 141 units*)
- Building heights remain generally the same. The PCC PCD zoning district within DC Ranch allows for certain uses a building height of 56 feet with potential mechanical screening and ornamental tower elements up to 75 feet. The current design of the building is at 56' with approximately 12 additional feet for the proposed mechanical screening and ornamental town elements.

- Gated access will be provided with some modification to traffic movements. Access to 101st Drive will be provided behind the gate.
- Architecture is designed to be compatible with the existing Town Center building, but provide for large patios to take advantage of the view corridors to the mountains and valley lights. The emphasis will focus on the units window walls providing a less dominant building mass.

DMB and TNHC anticipate that construction will begin in mid-2017 with sales commencing in 2017.

V. Surrounding Context

Sterling at Silverleaf is being developed as infill, as the site is almost entirely surrounded by existing development. Immediately to the west of the Property are two (2) developed properties including the Canyon Village commercial/office complex which sits on approximately 5.5 acres, with approximately 92,400 square feet of office and restaurant uses in several buildings and a parking garage ("Canyon Village Offices"). To the south of the Canyon Village Offices is the DC Ranch Village Health Club and Spa (the "Village Club") which is developed on six (6) acres and consists of a building with approximately 60,000 square feet. The Village Club provides recreation, fitness and spa amenities to members of the Village Club with some services (spa) available to the public. Sterling at Silverleaf will complete the development of the "Town Center" and will create the mixed use, higher intensity environment envisioned by the TC-GDC Amended.

Properties to the west, south and north of Sterling at Silverleaf are almost entirely developed with the Sterling Villas and Estate Villas. All three of the uses (Villas, Estate Villas and the proposed condominiums) were owned by the Sterling Collection, LLC and were planned, marketed and developed to all integrate together. The Owner has developed and sold most of the Villas and the Estate Villas, but has decided to not pursue the development of the condominiums. The Villas and the Estate Villas are two (2) stories and are accessed via a private street which will also be utilized by Sterling at Silverleaf.

VI. Site Access

Access to Sterling at Silverleaf remains generally consistent with the 2013 proposal whereby entry access for residents is provided exclusively from Legacy Boulevard via the private access roads in Canyon Village and a private gated automotive entry east of Building 1. The access road has been modified from early approvals with the elimination of a portion of the existing private roadway. Once past the gatehouse, the private street will proceed east to connect with existing 101st Street.

The private gated access will be operated and maintained by the sub-association for the Sterling at Silverleaf condominiums and residents of the condominiums will be the only residents who will be able to utilize this access as an entry. As previously agreed to with the DC Ranch Association, residents of the Sterling at Silverleaf condominiums will not be able to utilize the Horseshoe Canyon gatehouse for entry (unless they are members of the Silverleaf Golf Club). Residents of the Sterling at Silverleaf condominiums will be able to exit at the Horseshoe Canyon gate and likewise, any resident in Horseshoe Canyon can also exit out the new Sterling gatehouse.

In addition to the expanded private roads, pedestrian connections will be provided through Property thereby completing the connection from Canyon Village to the comprehensive DC Ranch path and trail system within the Beardsley Wash. Completion of the pedestrian access will encourage non-vehicular modes of transportation and pedestrian activity in and around DC Ranch, including the Village Club, Canyon Village Offices and retail uses in the area. Secured pedestrian access will be provided at several locations between Sterling at Silverleaf and the adjacent Town Center Parcels to encourage pedestrian activity and to create integration between the uses.

VII. Project Character and Architecture

Upon crossing Thompson Peak Parkway on Legacy, one enters the Canyon Village area with beautiful architecture enveloping the view corridor. The proposed Sterling at Silverleaf will provide an anchor and capstone for this small yet richly designed space. An iconic building matching the scale in terms of height will complete the story and finally provide a backdrop for the obelisk park. Consistent with the story of DC Ranch, architecture will provide a rich layer of diversity and quality with different styles and interpretations all living together in a seamless and natural fashion. The architecture for the proposed Sterling at Silverleaf will mirror that pattern, and while fresh with significant nods to contemporary and clean lines, will provide echoes of the Mediterranean/southwestern styles so often repeated in Silverleaf. Use of larger yet appropriately scaled window surfaces to take advantage of view sheds will be seen, while colors and materials will be used to provide grounding and context to surrounding development.

The ground level will provide a heavy base and fully enclose the parking areas on this floor. The heavy base is typical of historic architecture styles and is a key transition element included in these contemporary structures. Entry towers on each building provide direct elevator access to each unit and only 2 or 4 units per floor. The towers are topped with hipped tile roofs and accented by a central window column. These masses replicate the historic Mediterranean tower forms with more contemporary finishes. They also anchor the

upper level balconies that wrap the corner like historic Monterey forms. Windows on the side facades are punched opening in the larger wall masses. Again inspired by historic forms but finished in contemporary elegant material and details. Patio rail detailing will provide interest and texture to the simplified architecture.

VIII. Development Considerations

	Allowed	Proposed
Number of Units	213	72
Density	4 DU/AC (gross)	1.4 DU/AC (gross)
Setbacks:		
North	5'	5+'
East	5'	5+'
South	5'	5+'
West	5'	5+'

A. Open Space

The open space requirements for parcels located within the Town Center area of DC Ranch have been carefully planned for the area as a whole and are clearly outlined in the TC-GDC Amended. Included in this submission is an updated tracking of the Open Space and Land Use Budget which outlines how and where the Town Center open space requirements are being met.

While open space is not required on the Property, the project provides significantly more additional intimate open spaces between buildings, landscape adjacent to existing roadways and formal park settings. Approximately 2.3 acres or 40% of the Property is open space. In addition to the existing park at the end of Legacy Boulevard, a formal iconic park has been created and exists at the entrance to Sterling at Silverleaf, which from Horseshoe Canyon, opens to the northeastern view of Tom's Thumb within the McDowell Sonoran Preserve. This park is defined by flanking one-way streets, two-story single family homes, and capped by buildings 3 and 4 on axis. Open spaces are proposed between all of the buildings. Many of these spaces include dramatic changes in grade and incorporate retaining walls, steps, and architectural features to terrace the landscape. Courts are formed by building masses surrounding a central pool amenity on the north half of the Property. The courts on the south half are formed in concert with the adjacent building in the T4b parcel to enclose 101st Street on three sides. These interior courts take on desert resort like qualities.

IX. Background

A. Previous DRB Cases

On two (2) previous occasions, the DRB has approved applications for the Property. These approvals occurred in September 2005 (Case 78-DR-2005) and in October 2013 (Case 78-DR-2005#2). The 2005 approval included the twenty-nine (29) single-family lots as well as the condominium portion (Lots 30 and 31) which included 213 units in several buildings up to fifty-six (56) feet high with seventy-five (75) foot towers and mechanical enclosures together with 20,000 square feet of commercial space. The 2013 approval essentially proposed the same application with the 29 units excluded.

While the 2005 DRB case was approved with little fanfare, the 2013 case was the subject of significant neighborhood opposition. Objections were focused on questions concerning the zoning, density and height. As part of this effort, an appeal to the Board of Adjustment was submitted objecting to the Planning Director's interpretation that the PCC zoning on the Property allows the development of 213 condominiums. The Board of Adjustment upheld the decision of the Planning Director.

The proposed Sterling at Silverleaf overall represents decreases in several areas from the two (2) previously approved cases, including 1) reduction in residential units (72 units vs. 213), 2) elimination of the on-site commercial, and 3) reduction in development footprint (corresponding increase in on-site open space). Because of the sloping grade and length of the proposed balconies, building height, when measured from existing grade remains approximately the same. The architecture does represent a departure from previously approved versions, as the newer, more contemporary influenced interpretation of a Mediterranean architecture style will create a greater sense of diversity in the Town Center. While architectural diversity is present, the proposed architecture is designed specifically to complement the existing commercial and residential structures, with similar rectilinear massing, rooflines, towers and architectural detailing. The concept is to blend and complement the existing context, while at the same time, creating a fresh interpretation of styles. This blending of styles and character is endemic to the Silverleaf design criteria (for residential) where diversity of architecture and colors is encouraged.

B. DC Ranch Town Center Area

The 1998 DC Ranch zoning established a specific process for the development and approval of a vision for the DC Ranch Town Center. Within these documents, a vision for DC Ranch was articulated which included the idea that DC Ranch is a special place by virtue of its size, natural beauty, and location in the heart of an emerging southwestern desert city. The vision for DC Ranch is one of excellence, diversity and a true sense of community. Distinct residential neighborhoods and diverse community commercial, recreational, educational,

civic, and cultural uses are woven together at DC Ranch in a fashion that enhances the overall context.

The unique opportunity identified in early planning documents was that for DC Ranch, the ability to provide an array of land uses that complement the needs of the residential neighborhoods existed. The integration and mix of uses were envisioned and ultimately were established at Market Street, DC Crossing and now, within Town Center. From the earliest concepts of DC Ranch, Town Center was a part of the overall vision. DC Ranch was also created with an understanding and respect for the history of Scottsdale and the surrounding region. For the benefit of diversity, the DC Ranch vision also encouraged a fresh interpretation of regional architecture to avoid the sameness so common where an agreed upon vision does not exist.

In line with the DC Ranch vision, Town Center was envisioned as a unique mix of retail, commercial, office, employment, and residential uses in close proximity to potential educational and recreational facilities. The Sterling at Silverleaf project will fulfill the original vision of the Town Center and is designed to provide one of the last major components of the Town Center mix of uses – high-quality urban residential in the activity center.

1. DC Ranch Development Agreement and Town Center Generalized Design Concept

The 2nd Amendment and subsequent amendments to the Development Agreement govern the development of DC Ranch. The 2nd Amendment together with subsequent amendments, outline the process and regulation for development of DC Ranch, requiring among other documents, community wide and planning unit master plans. Additionally, the 2nd Amendment establishes special study areas, which require additional levels of planning. One such area is the Town Center Study Area.

As noted above, the 2nd Amendment requires that a “generalized design concept” be created and approved for the Town Center. The purpose of the generalized design concept is to address the transition of land use intensity and building massing within and adjacent to the edge of Town Center. The requirement to provide a generalized design concept for the Town Center was a supplemental effort to establish the character of DC Ranch Town Center and provide a framework within which the typically applicable development review process will occur. Ultimately the TC-GDC was approved by the City Council in July of 1999. In April 2004, the TC-GDC Amended was approved and the City Council approved substantial reduction in the density and intensity of uses in this area of DC Ranch.

The Sterling at Silverleaf project has been designed consistent with the requirements of TC-GDC Amended. The TC-GDC Amended established the Land Uses, Land Use Budget, Setbacks, Character Areas and Open Space Required in the Town Center as further articulated below.

2. *TC-GDC Amended Land Uses*

With the goal to encourage a harmonious mix of uses, the TC-GDC Amended designates this portion of the Town Center as "Integrated Residential" which may include condominiums and residential units like those proposed with integration to adjacent commercial use by the use of common architectural elements, common landscape themes, and pedestrian and vehicular connections.

3. *TC-GDC Amended Setbacks*

Per the section of the City Council approved TC-GDC titled, "Zoning." "Setbacks between zoning districts within Town Center shall be eliminated so that parcels can be planned and developed as an integrated whole." It continues, "A building spacing of 0' or 10' as regulated by zoning will still be maintained." This project has been designed to be integrated into a setting between the adjacent single family residential units and the commercial centers. As approved by the City's Design Review Board in 2005 and 2013, the plan for the Sterling at Silverleaf is to integrate with these surrounding uses so that they appear as a cohesive and complementary development – consistent with projects that develop over time. This project as composed will complete the original design intent with buildings designed within the approved amended setbacks.

4. *TC-GDC Amended Character Areas*

The TC-GDC Amended designates the area of this proposed development in the Town Center as the, "Mixed Use Activity Center," character area with an, "Activity Center," overlay over the central western portion of the site. The "Mixed Use Activity Center," character area encourages pedestrian activity with shaded arcades, courtyards and tree-lined street for the comfort of users. The character area also encourages on-street parking in close proximity to destinations without negatively impacting the core pedestrian experience. Tree-lined streets and courtyards are designed throughout the proposed project, encouraging pedestrian activity. Separate fitness and spa amenities are not being provided within the proposed project to encourage the use of the adjacent commercially provided amenities with strong pedestrian links between the two. The project connects at the core with pedestrian connections to the adjacent commercial, single family neighborhoods and the regional path and trail system along the Beardsley Wash. The "Activity Center" is focused

around the park on Legacy Boulevard and is designated as the area with the greatest pedestrian activity. It stresses that “pedestrian generators be focused in this zone to promote a sense of energy and vitality that is critical to the success of Town Center areas.” The design of the proposed project supports these goals by relating to existing commercial space along the street frontages in this zone. Imagery of the character areas provided in the TC-GDC Amended include a page of residential which includes many multi-story buildings in architectural styles, detail and massing similar to that being proposed with this project.

5. *TC-GDC Amended Open Space Required*

Per the TC-GDC Amended, “In an effort to create a Town Center as a composite project, the Open Space requirements will be consolidated.” A land use and open space budget tracker is submitted with each DRB application for projects within the Town Center area. In total, the TC-GDC requires 48.8 acres of open space in the Town Center area, which has been previously satisfied.

The TC-GDC Amended outlines very specific requirements for the development of this Property. The proposed development project follows these guidelines and completes the original design intent. To ensure its integration with the rest of the Town Center elements, this proposal has used designers familiar with DC Ranch design criteria, building layout, landscape character and architectural styles as the rest of the Town Center development.

X. Describe how the proposed development is consistent with the Character and Design Chapter of the Scottsdale General Plan, the Zoning Ordinance, any pertinent master plan, scenic corridor guideline, or streetscape guideline.

A. *Compatibility with City of Scottsdale General Plan*

The land use plan of City of Scottsdale General Plan, approved by the City Council in 2001 and ratified by the voters in March 2002 (the “General Plan”), identifies this general area of DC Ranch as the confluence of three (3) categories including “Urban Neighborhoods”, “Commercial” and “Suburban Neighborhoods”, all reflecting the location of a Town Center. This specific property is located within the area of the Urban Neighborhoods category. With this designation it is evident that the General Plan, reflecting the vision of the DC Ranch Town Center, anticipated a mixed use type development in this area.

Additionally, the Growth Area Map of the General Plan, identifies this general area as an “Activity Area” which is defined as an area where development is concentrated, but to a lesser degree than a Growth Area. While the original vision for DC Ranch anticipated a

more robust Town Center, for the most part, DC Ranch has developed as planned with a majority of the land area used for suburban neighborhoods, neighborhood parks, golf courses and hillside open space and accented by three (3) small urban cores. Sterling at Silverleaf is within the Town Center (later known as Canyon Village). This project realizes the vision of the "Urban Neighborhood" category denoted on the General Plan and will complete the mixed use character of the area. Designed as prescribed in the General Plan, "These high-density uses are generally located near retail centers, offices, or other compatible non-residential uses."

B. Consistency with the Character and Design Element of the General Plan

DC Ranch is not located within a Character Area, but rather is identified as a "Future Character Area". The Character and Design Element of the General Plan does provide three (3) designations for the DC Ranch area as follows: 1) Character Type: Suburban/Suburban Desert Character Types; 2) Streetscape: Natural.

C. Consistency with Zoning

1. DC Ranch DA – PCC Zoning

As previously noted, the Property is zoned PCD – PCC as part of the 2nd Amendment. As part of the 2nd Amendment, *Schedule J*, the development standards for PCC Zoning to be used are those that existed as of March 6, 1990, also identified at that time in *Section 5.2500* PCC Planned Community Center of the City Zoning Ordinance. The base zoning development standards outline requirements for floor area ratio, volume, open space, building height, density, and yards, all of which are modified by other areas of the 2nd Amendment (or other amendments thereto) or by the TC-GDC Amended. The PCC zoning permits the proposed uses including residential physically integrated with commercial establishments at a density of four (4) dwelling units per gross acre. While the TC-GDC's Land Use Budget amends this, there are 53.25 gross acres of PCC zoning in the Town Center area permitting 213 dwelling units per the base zoning. This project proposes 72 dwelling units. The open space development standards require that courtyards shall be a minimum of one (1) percent of the net lot area. While open space is consolidated by the TC-GDC Amended, this project provides approximately 2.3 acres of open space, in excess of the base zoning.

2. 2nd Amendment– Schedule G

In accordance with *Schedule G Section 6.0 C.* of the 2nd Amendment, "Non-residential District including resort and hotel," and "Uses in Sections 7.102 A, B," in "Class 3 Lower Desert Areas," are permitted a building height of fifty-six (56) feet above natural grade with ornamental towers and mechanical enclosures permitted to a height of seventy-five (75) feet above natural grade. The proposed development plan has been modified from the previous City of Scottsdale Design Review Board approved plans to reduce the amount of roof area over fifty-six (56) feet. All of the proposed development complies with the 2nd Amendment height requirements.

D. Consistency with Scenic Corridor Guideline

There are no adopted scenic corridor guidelines that impact the Property.

E. Consistency with Streetscape Guidelines

There are no adopted streetscape guidelines that impact the Property.

F. Consistency with Other Requirements – DC Ranch Covenant Commission (Private Design Guidelines and approval process)

In addition to the requirements of the City's General Plan, Zoning and the TC-GDC Amended, the character of the proposed development is reviewed by the DC Ranch Covenant Commission, the private governance entity, to ensure it is in keeping with the vision for this portion of DC Ranch. The project as proposed has been designed consistent with the architectural design character required in the Silverleaf, Town Center and Canyon Village character areas of DC Ranch. The project has been submitted to the DC Ranch Covenant Commission for design review and approval. The final plans and details of each building as well as the final landscape plans will be required to be reviewed and gain the approval of the DC Ranch Covenant Commission before construction of each element may begin.

X. Explain how the proposed development will contribute to the general health, welfare, safety and convenience of persons residing or working in the vicinity.

Sterling at Silverleaf will contribute to the general health, welfare, safety and convenience of persons residing or working in the vicinity in several ways. The development of the Property will improve the site by completing the development of the area, removing the unsightly construction fencing and provide the connections from existing development to the east to the commercial development at Legacy Boulevard. Development of the condominium project will provide a housing opportunity for residents in the area that allows for a lock and

leave lifestyle, and further, one that is conveniently located to the existing Canyon Village Offices and Village Club. Many tenants in the office building reside in DC Ranch and providing an opportunity to live close to the office will be a benefit. The proposed use is consistent with and in keeping with all DC Ranch zoning and was anticipated since its inception.

XII. Describe the spatial relationship that will exist between near-by structures and the proposed development, as well as open spaces, and topography, both within the project site and in the surrounding context.

In 2004, the TC-GDC Amended was approved and work began to design a mixed use center at the base of the McDowell Mountains. While greatly reduced in size from what was originally envisioned, an intimate Town Center was developed which circles a small plaza with a focal obelisk and fountain that capped the end of Legacy Boulevard. The pedestrian activity of the center is anchored by the fitness, recreation and spa activities of the 60,000 square foot complex on the south side of the plaza. The outdoor pools of the Village fitness complex were designed to open to the southern sun exposure and so these uses were placed on the south side of the plaza. On the north side, pedestrian activity is encouraged by quasi-retail uses on the ground floor along the plaza with convenient on street parking. Office space above and in two adjacent buildings north of the plaza provide office locations for professionals, many of whom reside in DC Ranch. The existing buildings were placed to hold the street edge and taper in height as they progressed north. Many design elements were included to provide a creative transition to the single family custom home lots to the north. On the east end of the plaza residential uses in the form of higher density condominiums as proposed will frame the view at the end of Legacy Boulevard with the mountain peaks towering above. These buildings are designed to sit furthest back in the composition so that the residential units could be a part of the adjacent Silverleaf residential community, secured from the commercial portions of the area.

Surrounding the condominium buildings on three sides, dense multi-story single family homes (3,000 – 4,000 square foot homes on small lots) provide the transition to other residential and open space uses further east in Silverleaf. North of the condominium buildings, surrounded by dense single family residential homes is an intimate neighborhood park. This park provides a picturesque entry from the residential neighborhoods. This arrangement of uses provides the potential for a walkable live-work-play environment with strong connections to the regional trail system via Thompson Peak Parkway and the Beardsley Wash trail providing access to the McDowell Mountain Sonoran Preserve. All of the elements of this Town Center core have been constructed except the condominium buildings. The Sterling at Silverleaf request is for the re-approval for the condominium

buildings portion of this Town Center core. The proposed development has been designed to complete the original vision.

The topography of the Property along the eastern edge of the Town Center area must be maintained as the natural edge to the Beardsley Wash. This is the major controlling topographic element in the area. The topography of the Property generally falls from northeast to south west. The two commercial elements of the area take advantage of this fall to hide the parking structure and provide access to the pools from the lowest level of the fitness complex. The proposed development has also been designed to take advantage of the natural fall across the site. The existing neighborhood park cascades down decorative steps to the private roadway north of Buildings 3 and 4 and then the site continues to retreat to the community pool amenity which is surrounded by Buildings 1, 2, 3 and 4. Below all buildings one level of partially underground parking are tucked into the grade.

XIII. Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking areas, loading and service areas.

While the proposed development does not front any public streets, access to Sterling at Silverleaf is provided primarily via a private drive from the intersection of Thompson Peak Parkway and Legacy Boulevard. This existing access is a private extension of Legacy Boulevard between the two commercial components of the DC Ranch Town Center, around the plaza in the center of Legacy Boulevard, terminating in the site entrance of the proposed development. This access provides direct automotive access from the Loop 101 freeway via Pima Road and Legacy Boulevard. As requested by local residents as part of the 2013 DRB case, the automotive access to the proposed development from Legacy Boulevard will occur as an extension of the drive via a manned guardhouse access. Upon entrance through the gates, parking for units will be within an at-grade and underground beneath each building. Two (2) spaces will be provided for each unit and access to these private parking areas will be via card access for each building. Some on-street parking is also provided throughout the development at the community amenity and along 101st Street. Trash for the proposed development is collected and taken to a compactor co-located with the trash dumpsters and back-of-house utilities for the Canyon Village Offices. Fire access is provided as requested by City Staff via an access route south of the proposed development between DC Ranch Parcel T4b and the Village Club.

Pedestrian connections are provided through the proposed development to all adjacent uses. Pedestrian connections between the proposed development, the adjacent neighborhood park and adjacent residential uses are provided via a sidewalk along 101st Street. This route provides pedestrian access to the Silverleaf Golf Club east of the Property

as well. Five (5) pedestrian routes, one at the manned guardhouse, one south of Building 8, one south of Building 6, one at Building 1 and one at Building 5 provide access to the commercial center of Canyon Village and the plaza at the east end of Legacy Boulevard. These routes also provide access to the Village Club.

The circulation of the proposed development is designed to complete the plan for the DC Ranch Town Center. This area is intended to be the capstone of this area and as such pedestrian and automotive activity is concentrated in this area. Simple, safe and convenient routes are provided for both automotive and pedestrian access including on-street and underground parking solutions.

XIV. Describe how the architectural characteristics of the proposed development relate to character elements and design features of the structures that are within the surrounding context.

The proposed development is designed by a design team that has extensive and long term experience in planning and designing within DC Ranch. This team has created a carefully orchestrated composition of desert appropriate architectural and open space settings to tie the entire district together as one place while providing an accent to the overall character of the residential neighborhoods of Silverleaf. The architecture is a contemporary interpretation of Southwestern or Mediterranean architectural styles found throughout Scottsdale and DC Ranch. It incorporates materials, colors and architectural features common to the area. The earth-toned stucco and tile roofs are complementary to the surrounding buildings and homes with glass and intricate metal elements that steer the architecture in a modern direction. The intention of the architecture is to not match existing buildings, but to blend styles in a manner that complements and feels natural for this area.

The landscape character uses the same palette of street furniture, materials and plants to tie the various projects together in one seamless expression. The site plan focuses pedestrian activity on the core surrounding the plaza at the end of Legacy Boulevard. The site plan also subtly provides privacy to the residential uses without creating isolation. The site plan for the proposed development is designed to complete the site plan for the larger DC Ranch Town Center area.

As part of the DC Ranch community, this project celebrates its setting in the Sonoran Desert. Designed as a Canyon Village at the foothills of the McDowell Mountains, the DC Ranch Town Center strives to create a unique urban destination to attract visitors and locals to its setting. Using desert appropriate architecture influenced by the region's Spanish history, the place is anchored by a small central fountain and a plaza with European detailing and Sonoran Desert landscape character. Shade is a key design element, and shaded, tree-lined

streets, narrow shaded mews between tall buildings, and shaded courtyards are all integral to the design of the Town Center and this proposed development. In the architecture the desire for shade influences the recessed openings and private shaded patios to bring the outdoors into the units. The site plan for the proposed development provides an additional pedestrian link between from the plaza area to the regional trail system along the Beardsley Wash strengthening the community's sense of stewardship of the desert by inviting interaction. Underground parking is provided beneath all of the condominium buildings in this proposed development. This parking solution not only encourages pedestrian activity by shorting walking distances between uses, but also reduces heat in the environment by reducing large asphalt surface parking areas. In a similar way the placement of the Town Center was as a result of a detailed analysis of the Sonoran Desert environment throughout DC Ranch. A location was selected that did not require major interruptions to the natural water and wildlife corridors through the community. As a result, the Town Center and this proposed development sit in one of the flattest areas of DC Ranch bounded on the east by the Beardsley Wash and on the west by the Reata Wash.

XV. Describe how the design features and details of the proposed development have been utilized to screen all mechanical equipment, appurtenances and utilities.

In the Town Center area, most mechanical equipment is located on the roofs of the buildings in architecturally screened areas. The proposed development will locate most mechanical equipment in a similar location and screen it with architectural elements similar to the other buildings in the DC Ranch Town Center area. Ground mounted utilities will be placed to minimize their impact on the streetscape and pedestrian routes. When possible, mechanical equipment may be placed in the underground garages to minimize their presence on the ground plane. Back-of-house and trash collection is consolidated at a location northwest of Building "3". This location allows these elements to be co-located with the back of house and trash equipment servicing the Canyon Village commercial center. Screening for the trash and back-of-house elements will match the screening provided by the commercial center so that it appears designed as an integral whole.

XVI. Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines and other design guidelines.

- A. Consistency with Sensitive Design Principles as amended by DRB on March 8, 2001
1. The design character of any area should be enhanced and strengthened by new development.

- Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.
- Building design should be sensitive to the evolving context of an area over time.

Response: The proposed Sterling at Silverleaf has been designed with the surrounding properties in mind. The architecture, materials and colors were designed to provide a seamless transition from the commercial uses to the west and the lower scale residential uses to the east. The Request proposes an iconic building matching the scale of the existing commercial buildings and which will provide a backdrop for the obelisk park. Consistent with the story of DC Ranch, architecture will provide a rich layer of diversity and quality with different styles and interpretations all living together in a seamless and natural fashion.

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:
 - Scenic views of the Sonoran desert and mountains
 - Archaeological and historical resources

Response: The orientation of the buildings will take advantage of the surrounding scenic views of the valley views and mountains. The Town Center was designed with taller buildings to create a strong mixed-use environment while appropriately transitioning to the lower scale development nearby. The concentration of density on this site allows other sensitive areas within DC Ranch to be preserved for its archaeological and historical resources.

3. Development should be sensitive to existing topography and landscaping.
 - A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.

Response: The Property is developed with the natural terrain in mind. The Property slopes from north to south and the buildings will take advantage of this varying topography and blend into the natural surroundings of the Town Center.

4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.

Response: *Sterling at Silverleaf has minimal impacts to the Sonoran desert as the site has been previously graded. The large wash corridor to the east of the site satisfies this sensitive design guideline.*

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.
- Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.

Response: *Sterling at Silverleaf will enclose the obelisk park and create a cohesive development pattern for the Town Center area. Continuous sidewalks, landscaping and integrated infrastructure will all be a part of the proposal.*

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Response: *Sterling at Silverleaf will have several pedestrian connections to the Town Center uses as well as the residential neighborhoods to the east and north. Pedestrian connections are provided through the proposed development to all adjacent uses. Pedestrian connections between the proposed development, the adjacent neighborhood park and adjacent residential uses are provided via a sidewalk along 101st Street. This route provides pedestrian access to the Silverleaf Golf Club east of the Property as well. Five (5) pedestrian routes, one at the manned guardhouse, one south of Building 8, one south of Building 6, one at Building 1 and one south of Building 5 provide access to the commercial center of Canyon Village and the plaza at the east end of Legacy Boulevard. These routes also provide access to the Village Club.*

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
- Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.

Response: *Sterling at Silverleaf includes landscaped walkways and pedestrian connections that will allow residents convenient access to the other Town Center uses.*

The proposed buildings and existing buildings will cast shadows along the walkable areas throughout the day. Shade is a key design element, and shaded, tree-lined streets, narrow shaded mews between tall buildings, and shaded courtyards are all integral to the design of the Town Center and this proposed development. In the architecture, the desire for shade influences the recessed openings and private shaded patios to bring the outdoors into the units. The site plan provides additional pedestrian links from the plaza area to the regional trail system along the Beardsley Wash strengthening the community's sense of stewardship of the desert by inviting interaction.

8. Buildings should be designed with a logical hierarchy of masses:

- To control the visual impact of a building's height and size
- To highlight important building volumes and features, such as the building entry.

***Response:** The buildings are designed with a logical hierarchy of masses and pedestrian access points. The proposed building masses are smaller than previous proposals and allows for open space pockets throughout the Town Center.*

9. The design of the built environment should respond to the desert environment:

- Interior spaces should be extended into the outdoors both physically and visually when appropriate
- Materials with colors and coarse textures associated with this region should be utilized.
- A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities
- Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.

***Response:** The proposed buildings focus around window walls and large patios to extend the interior spaces into the outdoors both physically and visually. This is the trademark of the proposed building design. The materials, textures and overall building design will reflect DC Ranch's rich architectural styles.*

10. Developments should strive to incorporate sustainable and healthy building practices and products.

- Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.

Response: *The site has designed and utilizes desert appropriate landscaping and materials. Construction materials and methods are being considered that will reduce energy consumption and endure over time.*

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

- The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement
- The landscaping should complement the built environment while relating to the various uses.

Response: *The landscape character uses the same palette of street furniture, materials and plants to tie the various projects together in one seamless expression. The site plan focuses pedestrian activity on the core surrounding the plaza at the end of Legacy Boulevard. The site plan also subtly provides privacy to the residential uses without creating isolation. The site plan for the proposed development is designed to complete the site plan for the larger DC Ranch Town Center area.*

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

- Water, as a landscape element, should be used judiciously
- Water features should be placed in locations with high pedestrian activity.

Response: *The pool amenity proposed for the residents is simple yet elegant. The request will utilize drought tolerant landscaping in peripheral areas with lush landscaping located where pedestrians and residents gather on the Property.*

13. The extent and quality of lighting should be integrally designed as part of the built environment.

- A balance should occur between the ambient light levels and designated focal lighting needs.
- Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

Response: *The proposed lighting plan will be planned to minimize lighting yet provide appropriate lighting that meetings zoning criteria. All exterior lighting will be shielded and directed downward so as not impact existing residential neighborhoods nearby.*

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility

Response: *Minimal signage will be proposed on the buildings. Quality monument signage will be located at the vehicular entrance providing for a sense of arrival to the project. No other major signage will be proposed for the project.*

B. Consistency with City of Scottsdale Section 1.904 Criteria

A. In considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Response: *The above narrative demonstrates that the design and theme of the Request is consistent with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan. We have provided this justification throughout the project narrative.*

2. The architectural character, landscaping and site design of the proposed development shall:

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

Response: *As described above, the topography of the Property along the eastern edge of the Town Center area must be maintained as the natural edge to the Beardsley Wash. This is the major controlling topographic element in the area. The topography of the Property generally falls from northeast to south west. The two commercial elements of the area take advantage of this fall to hide the parking structure and provide access to the pools from the lowest level of the fitness complex. The proposed development has also been designed to take advantage of the natural fall across the Property.*

- b. Avoid excessive variety and monotonous repetition;

Response: *There are two (2) main building designs proposed for the Request. The Property's shape and the placement of the different buildings minimize any monotonous repetition on the site.*

- c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;

Response: *Our justification above demonstrates our response to the City's Sensitive Design Principles. Please refer to the above section in the Project Narrative.*

- d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and

Response: *The Property within DC Ranch as a result of the 2nd Amendment is not required to comply with the City of Scottsdale Environmentally Sensitive Land ("ESL") ordinance. As a whole the community does comply with many of the ESL principles and exceeds the ESL requirements in many areas. The DC Ranch community provides significant natural hill side open space in excess of the requirements of the 2nd Amendment. The DC Ranch community plan also protects many significant landscape and cultural resources while providing public trail access via the Beardsley Wash corridor to the McDowell Mountain Sonoran Preserve Trail Head and the peaks. Height in DC Ranch is measured in ways similar to the ESL ordinance with maximum building heights being measured from the pre-existing natural grade of the site. This helps to ensure that all buildings step with the terrain. The placement of the Town Center and this proposed development were carefully analyzed as part of the original design concept. Various view sheds were studied to make certain the Town Center was sited appropriately in the larger DC Ranch setting using three-dimensional computer modeling.*

- e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.

Response: *The Request is not within the Historic Property Overlay District.*

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: *Access to Sterling at Silverleaf remains generally consistent with the 2013 proposal whereby entry access for residents is provided exclusively from Legacy Boulevard via the private access roads in Canyon Village and a private gated automotive entry south of Building 1. The access road has been modified from early approvals with the elimination of a portion of the existing private roadway. Once past the gatehouse, the private street will proceed east to connect with existing 101st Street. The private gated access will be operated and maintained by the sub-association for the Sterling at Silverleaf condominiums and residents of the condominiums will be the only residents who will be able to utilize this access as an entry. As previously agreed*

to with the DC Ranch Association, residents of the Sterling at Silverleaf condominiums will not be able to utilize the Horseshoe Canyon gatehouse for entry (unless they are members of the Silverleaf Club). Residents of the Sterling at Silverleaf will be able to exit at the Horseshoe Canyon gate and likewise, any resident in Horseshoe Canyon can also exit out the new Sterling gatehouse.

~~4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.~~

***Response:** All mechanical units will be screened by architecturally integrated parapets and ornamental tower elements.*

5. Within the Downtown Area, building and site design shall:

- a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
- b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
- c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
- d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
- e. Incorporate enhanced design and aesthetics of building mass, height, materials, and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

***Response:** The request is not within the Downtown Area.*

6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:

- a. Accessibility to the public;
- b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
- c. Location near the primary pedestrian or vehicular entrance of a development;
- d. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and

e. Location in conformance to standards for public safety. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and

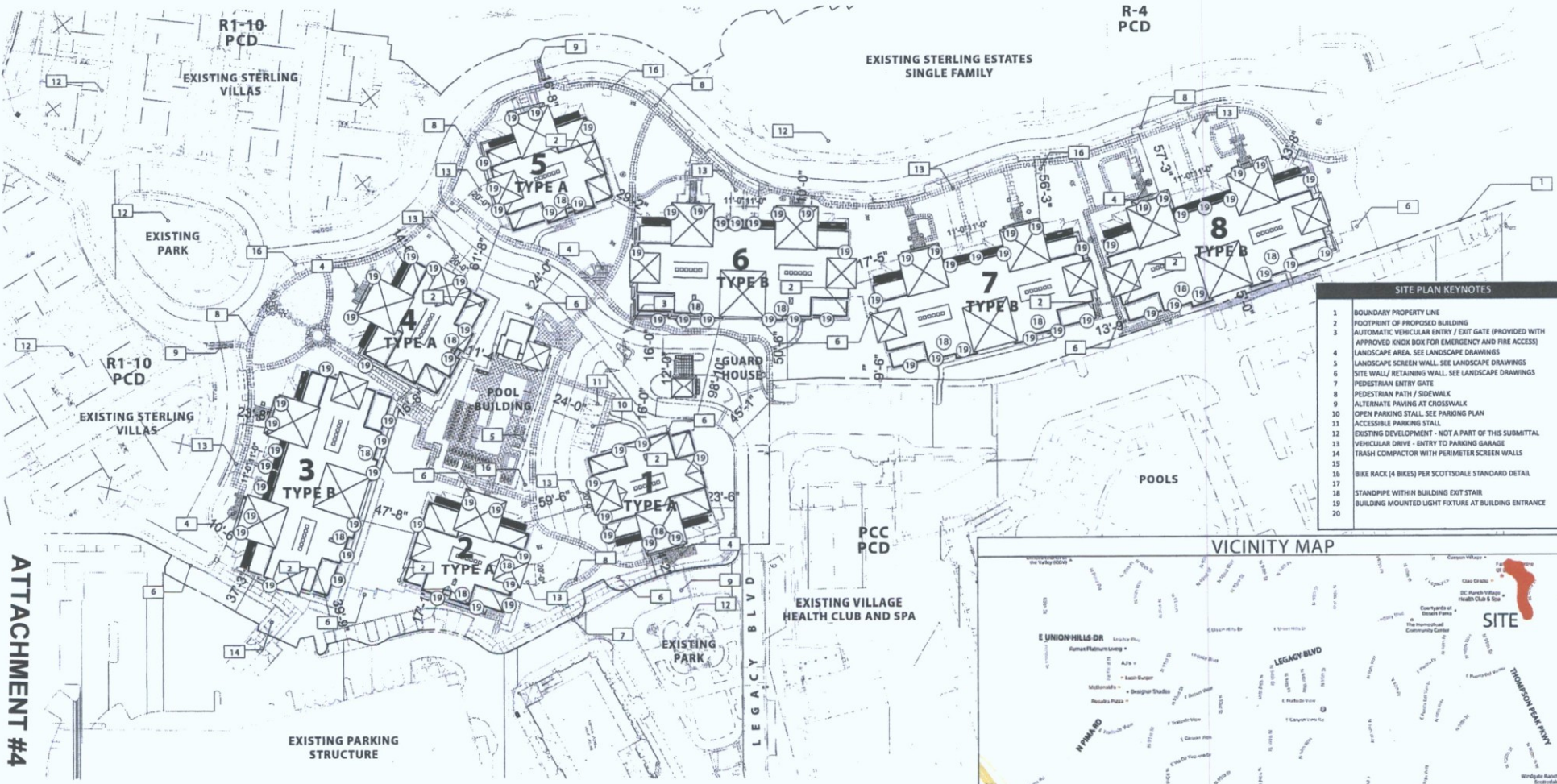
Response: Although there is no Cultural Improvement Program or public art within the Request, the project is designed around the obelisk park which in turn will be enjoyed by the project's future residents.

B. The property owner shall address all applicable criteria in this section.

Response: The above criteria have been addressed.

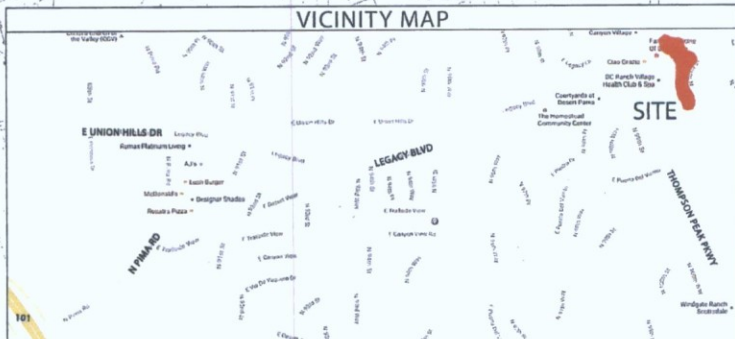
XVII. SUMMARY

The proposed Sterling at Silverleaf will complete the development of the Town Center and one of the last development parcels in exclusive Silverleaf. Not only does the proposal represent a smaller scale project than previously envisioned and approved, it will result in the development of a residential offering absent from DC Ranch – thereby giving DC Ranch residents (both new and old) additional opportunities to stay within the community. Importantly, Sterling at Silverleaf complies with all pertinent and applicable policy and regulatory documents including the City's General Plan, and the complex DC Ranch entitlement documents. The proposal complements the design character of the Silverleaf and DC Ranch communities it sits within. The proposed development is similar to but importantly, less dense than the previous design concepts approved by the City of Scottsdale DRB in 2005 and 2013. The architectural character, landscaping and site design of Sterling at Silverleaf will promote a desirable relationship between the structures of the Town Center with architecture, building context, landscaping, minimized fencing, open spaces and connections tying them together. The proposed design takes advantage of the topography of the site to provide social transitions within the project. The project has been designed to complete the architectural and landscape character of the Town Center and avoids excessive variety and monotonous repetition. The detailing of the building architecture and placement of courtyards through-out the project, connected by tree-lined streets ensure that the proposed design recognizes the unique climatic and environmental factors of the Sonoran Desert.



SITE PLAN KEYNOTES

- 1 BOUNDARY PROPERTY LINE
- 2 FOOTPRINT OF PROPOSED BUILDING
- 3 AUTOMATIC VEHICULAR ENTRY / EXIT GATE (PROVIDED WITH APPROVED KNOX BOX FOR EMERGENCY AND FIRE ACCESS)
- 4 LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS
- 5 LANDSCAPE SCREEN WALL. SEE LANDSCAPE DRAWINGS
- 6 SITE WALL / RETAINING WALL. SEE LANDSCAPE DRAWINGS
- 7 PEDESTRIAN ENTRY GATE
- 8 PEDESTRIAN PATH / SIDEWALK
- 9 ALTERNATE PAVING AT CROSSWALK
- 10 OPEN PARKING STALL. SEE PARKING PLAN
- 11 ACCESSIBLE PARKING STALL
- 12 EXISTING DEVELOPMENT - NOT A PART OF THIS SUBMITTAL
- 13 VEHICULAR DRIVE - ENTRY TO PARKING GARAGE
- 14 TRASH COMPACTOR WITH PERIMETER SCREEN WALLS
- 15
- 16 BIKE RACK (4 BIKES) PER SCOTTSDALE STANDARD DETAIL
- 17
- 18 STANDPIPE WITHIN BUILDING EXIT STAIR
- 19 BUILDING MOUNTED LIGHT FIXTURE AT BUILDING ENTRANCE
- 20



ATTACHMENT #4



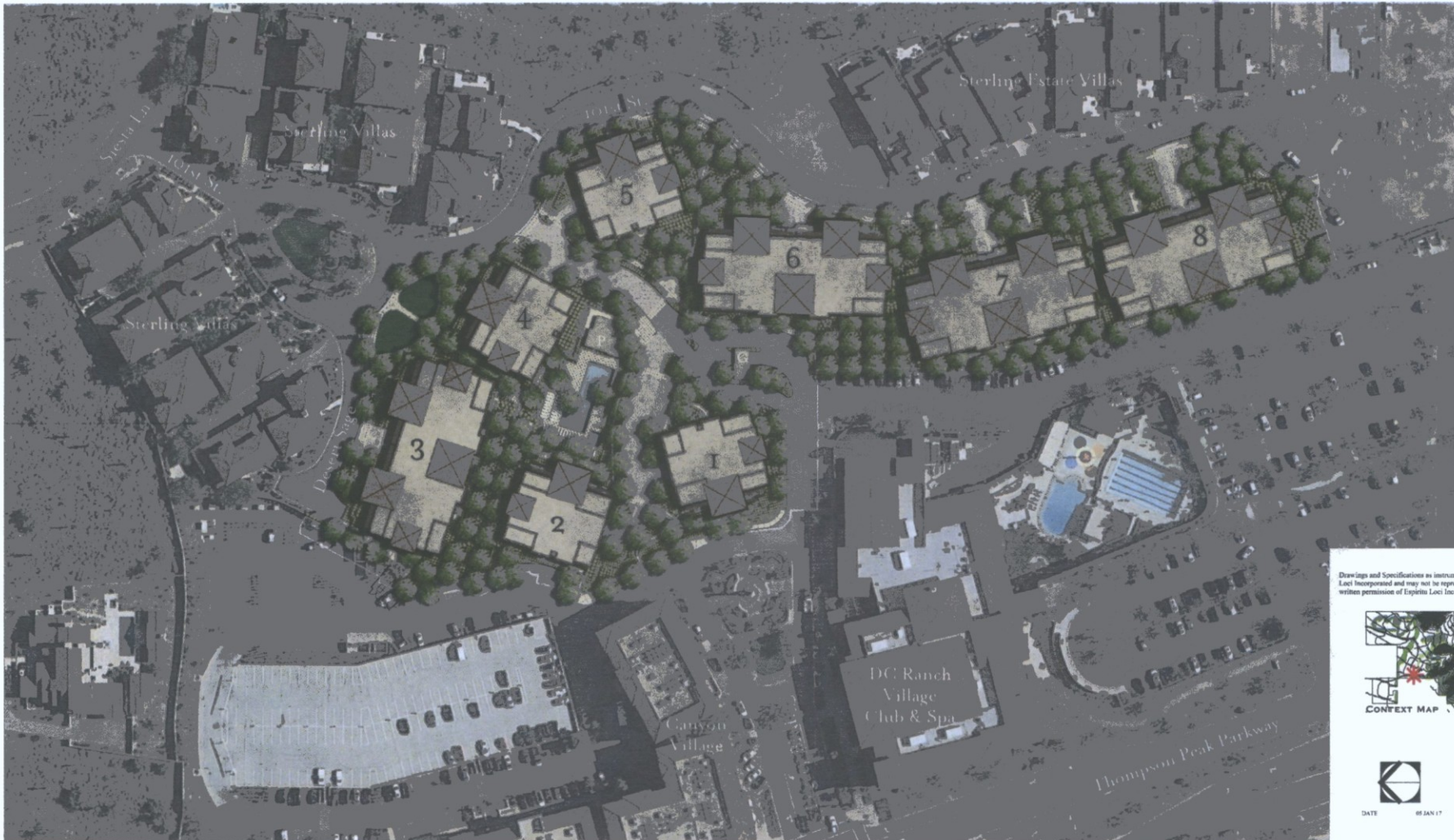
ILLUSTRATIVE SITE PLAN AND PROJECT DATA
STERLING AT SILVERLEAF
 SCOTTSDALE, ARIZONA



78-DR-2005 #3
12/20/2016

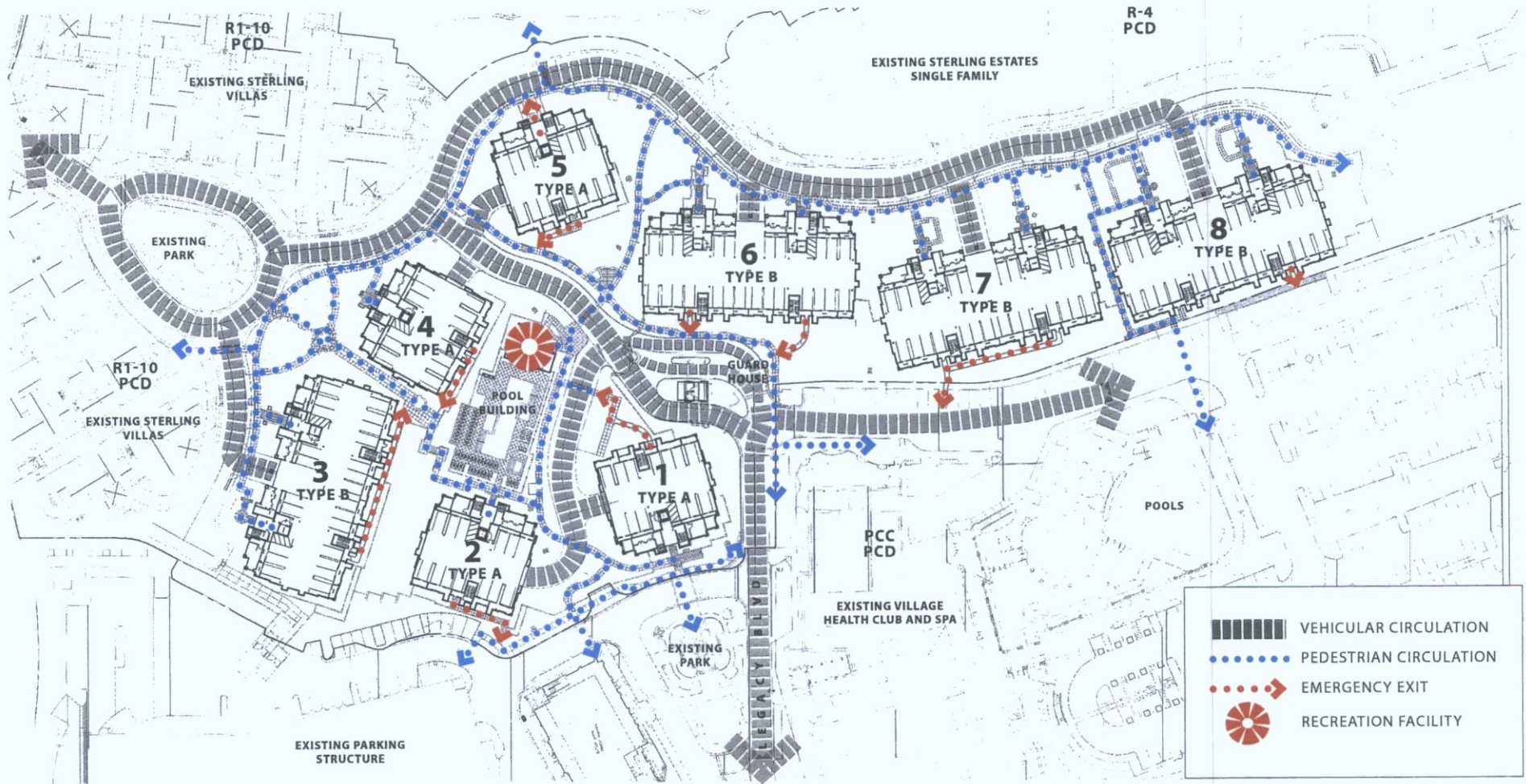
PREPARED BY: NEW HOME COMPANY
 DATE: 12/20/16
 PROJECT NUMBER: 15000

CONCEPTUAL SITE PLAN



Drawings and Specifications as instruments of service are the property of Espiritu Loci Incorporated and may not be reproduced or used for anything without the written permission of Espiritu Loci Incorporated.

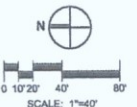




	VEHICULAR CIRCULATION
	PEDESTRIAN CIRCULATION
	EMERGENCY EXIT
	RECREATION FACILITY

PEDESTRIAN AND VEHICULAR
CIRCULATION PLAN
STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15040
12/20/16



78-DR-2005 #3
12/20/2016



LEFT ELEVATION



FRONT ELEVATION

MATERIALS



REAR ELEVATION



RIGHT ELEVATION

COLORS



BUILDING A ELEVATIONS
 COLORS MAY VARY. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



R H A

ROBERT HIDEY ARCHITECTS

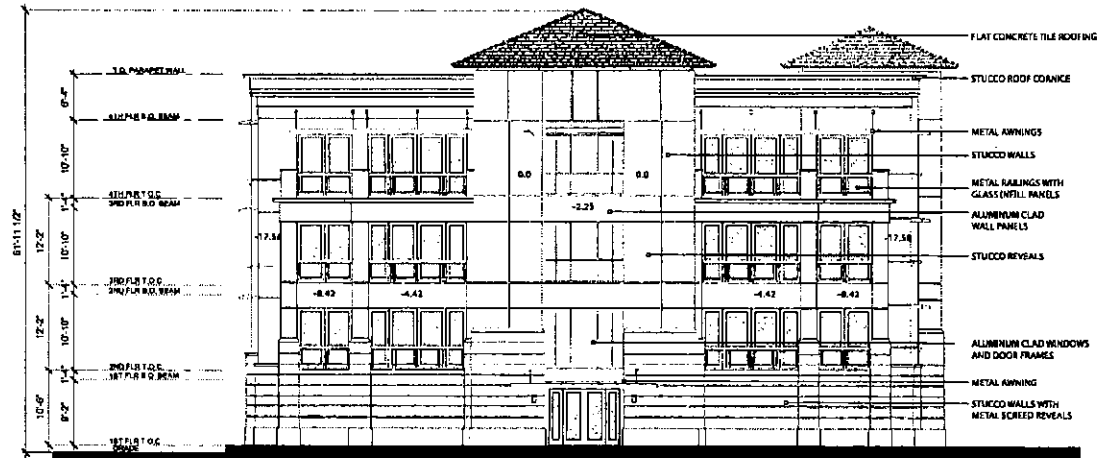
PROJECT NUMBER: 15060
 11/15/16

ROBERT HIDEY ARCHITECTS
 1214 MICHELLE DR. SUITE 100, SCOTTSDALE, AZ 85262 TELEPHONE 480-945-1100
 4301 WASHINGTON AVENUE, SUITE 200, P.O. BOX 1000, SAN ANTONIO, TX 78204 TELEPHONE 214-343-1110
 WWW.ROBERTHIDEYARCHITECTS.COM, SCOTTSDALE, ARIZONA

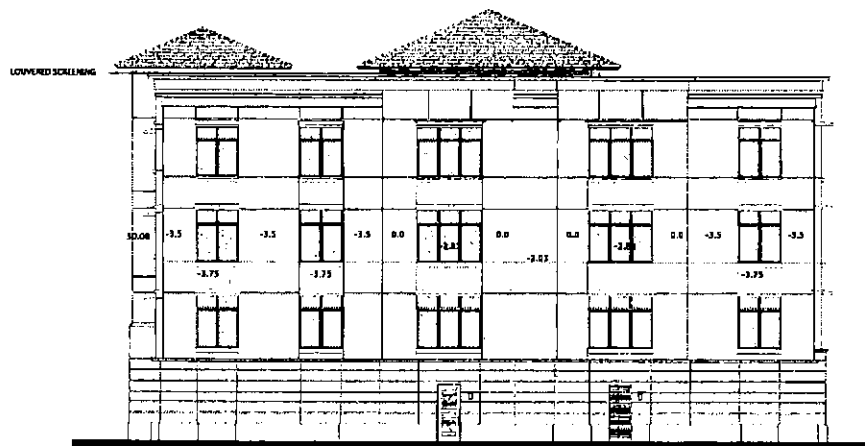
78-DR-2005 #3
11/17/2016



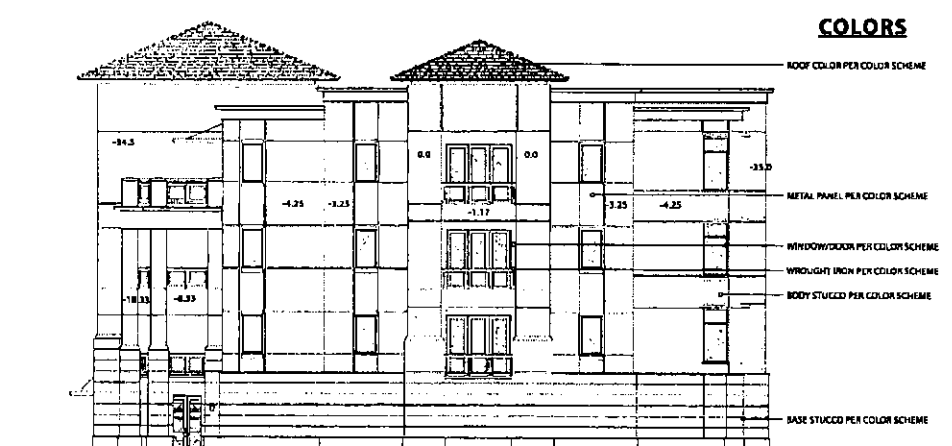
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

MATERIALS

COLORS



NO. 81-1531-01-01-01
 1171 N. COVINGTON, SUITE 100, SCOTTSDALE, ARIZONA 85259
 480-449-8000 FAX: 480-449-8001
 WWW.RHAA.COM

**BUILDING A
 ELEVATIONS
 STERLING AT SILVERLEAF
 SCOTTSDALE, ARIZONA**



R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15840
 11/14/2016



FRONT ELEVATION

MATERIALS

- FLAT CONCRETE TILE ROOFING
- STUCCO ROOF CORNICE
- METAL AWNINGS
- STUCCO WALLS
- METAL RAILINGS WITH GLASS INFILL PANELS
- ALUMINUM CLAD WALL PANELS
- STUCCO REVEALS
- ALUMINUM CLAD WINDOWS AND DOOR FRAMES
- METAL AWNING
- STUCCO WALLS WITH METAL SCREED REVEALS



REAR ELEVATION

COLORS

- | |
|-------------------|
| ROOF |
| BORAL |
| SAXONY 900 SLATE |
| APPALACHIAN BLEND |
-
- | |
|---------------------------|
| WROUGHT IRON/METAL CANOPY |
| SHERWIN-WILLIAMS |
| MATTE FINISH |
| SW 7675 |
| SEALSKIN |
-
- | |
|-------------------------|
| METAL PANELS |
| ALUCOBOND |
| ANODIC DARK BRONZE MICA |
-
- | |
|-----------------------|
| BASE STUCCO |
| OMEGA |
| SMOOTH FINISH |
| 1 1/2 422 |
| DE 6222 WEATHER BOARD |
| LRV 28 |

WINDOW/DOOR FRAMES
SIERRA PACIFIC
ALUMINUM-CLAD
INDUSTRIAL COLLECTION
DARK BRONZE 102

BODY STUCCO
OMEGA
30/30 SAND FINISH
SW 7544 FENLAND
LRV 35

BUILDING B ELEVATIONS
COLORS MAY VARY. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



ROBERT HIDEY ARCHITECTS
1221 AVENUE 100, SUITE 110, PHOENIX, AZ 85012 TELEPHONE 602.441.1100
AND 1400 BUCKLE UP DRIVE, SUITE 100, P.O. BOX 100, SCOTTSDALE, AZ 85251 TELEPHONE 480.424.4100
WWW.ROBERTHIDEYARCHITECTS.COM



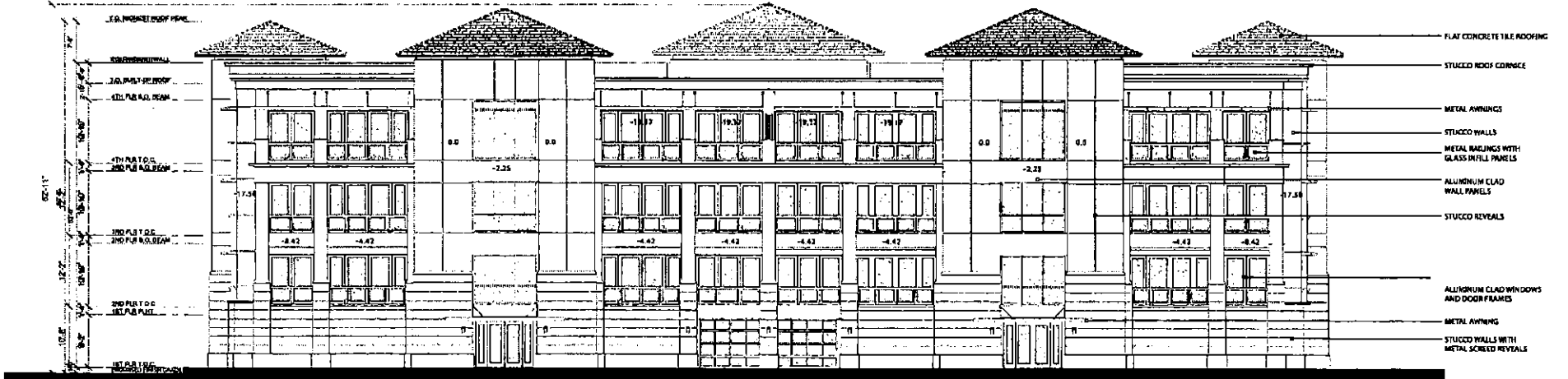
R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16

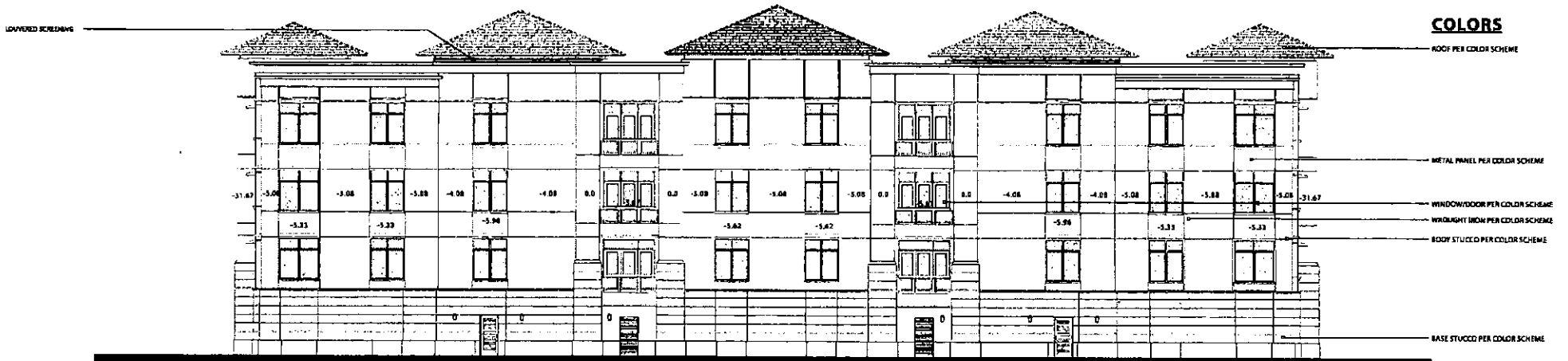
78-DR-2005 #3
11/17/2016

MATERIALS



FRONT ELEVATION

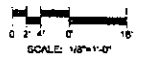
COLORS



REAR ELEVATION



**BUILDING B
ELEVATIONS
STERLING AT SILVERLEAF
SCOTTSDALE, ARIZONA**



R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15003
1/11/2016

NOTED: SEE ARCHITECTS' PLAN FOR MATERIALS. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE.



LEFT ELEVATION



RIGHT ELEVATION

**BUILDING B
ELEVATIONS**

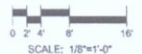
COLORS MAY VARY. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



ROBERT HIDEY ARCHITECTS
2323 WESTMOUNTAIN DRIVE, SUITE 100, BIRMGHAM, AL 35202 TELEPHONE 205.945.1100
4301 WALNUT HILL DRIVE, SUITE 300, PLACENTIA, CA 92669 TELEPHONE 714.946.4444
© 2016 ROBERT HIDEY ARCHITECTS, ALL RIGHTS RESERVED

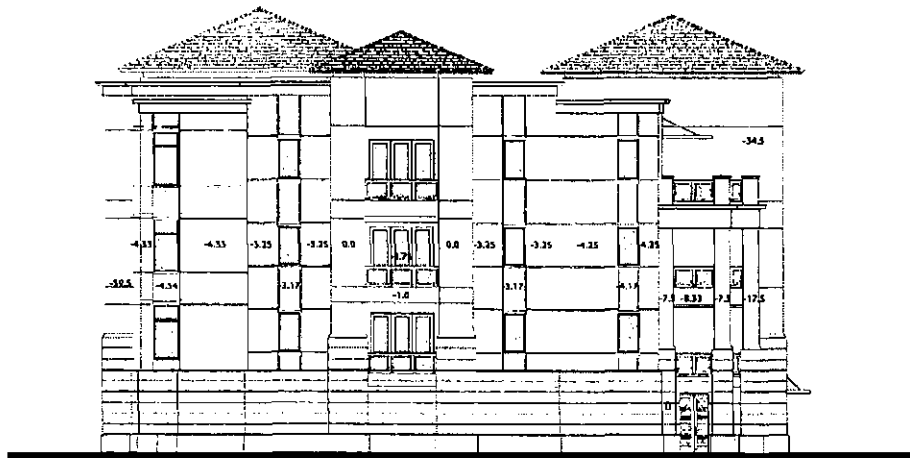


R H A

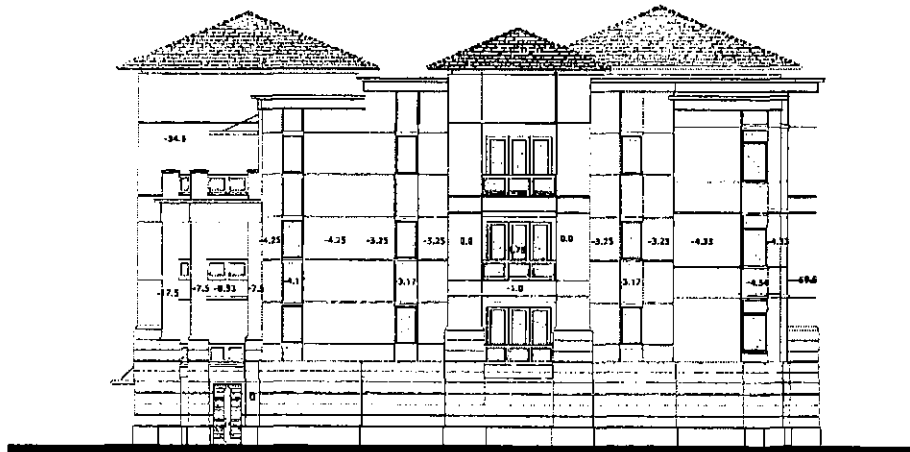
ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/13/16

78-DR-2005 #3
11/17/2016



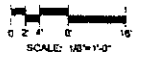
LEFT ELEVATION



RIGHT ELEVATION

**BUILDING B
ELEVATIONS
STERLING AT SILVERLEAF**

SCOTTSDALE, ARIZONA

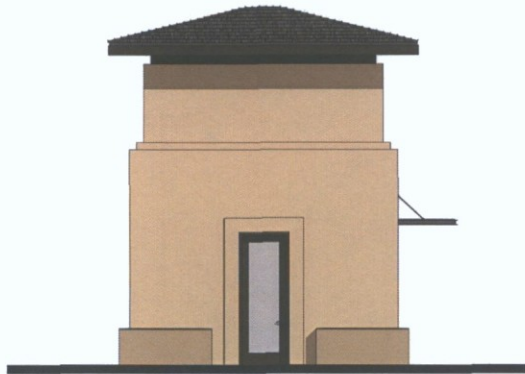


R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 1500
1/16/2016

NEW HOME COMPANY IS AN EQUAL OPPORTUNITY DEVELOPER. THIS PLAN IS A REPRESENTATION OF A CONCEPTUAL DESIGN AND IS NOT A CONTRACT DOCUMENT. ALL DIMENSIONS AND FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SEE ARCHITECT'S SPECIFICATIONS FOR COMPLETE LIST OF FINISHES AND MATERIALS. © 2015 NEW HOME COMPANY. ALL RIGHTS RESERVED.



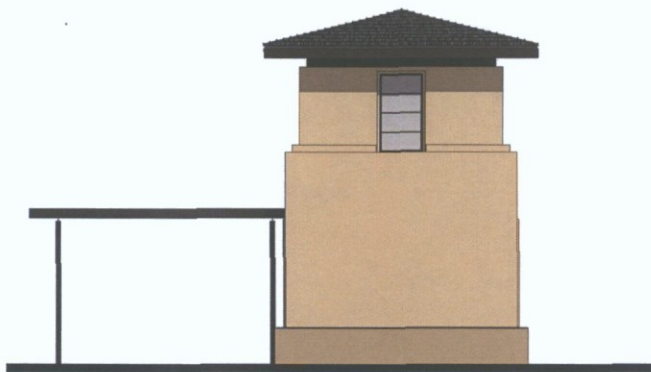
LEFT ELEVATION



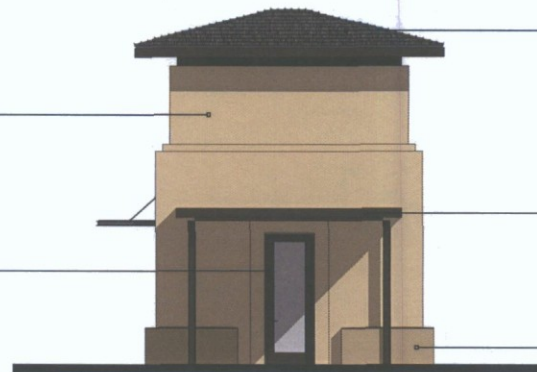
FRONT ELEVATION

MATERIALS

- FLAT CONCRETE TILE ROOFING
- ALUMINUM CLAD ROOF FASCIA
- METAL ROOF CANOPY
- METAL AWNING
- METAL POST
- STUCCO WALLS
- ALUMINUM CLAD WINDOWS AND DOOR FRAMES



REAR ELEVATION



RIGHT ELEVATION

COLORS

BODY STUCCO
OMEGA
30/30 SAND FINISH
DET638 SEPIA TONE
LRV 39

WINDOW/DOOR FRAMES
SIERRA PACIFIC
ALUMINUM-CLAD
HERITAGE COLLECTION
BRONZE 024

ROOF
BORAL
SAXONY 900 SLATE
APPALACHIAN BLEND

WROUGHT IRON/METAL CANOPY
SHERWIN-WILLIAMS
MATTE FINISH
SW 7675
SEALSKIN

BASE STUCCO
OMEGA
SMOOTH FINISH
DEC760 DESERT GRAY
LRV 36



R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16

GUARD HOUSE ELEVATIONS

COLORS MAY VARY, PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



ROBERT HIDEY ARCHITECTS
4321 AMB WILLOW DRIVE, SUITE 110, IRVINE, CA 92614, TELEPHONE 949-455-1301
4321 AMB WILLOW DRIVE, SUITE 110, IRVINE, CA 92614, TELEPHONE 949-455-1301
© 2016 ROBERT HIDEY ARCHITECTS ALL RIGHTS RESERVED

78-DR-2005 #3
11/17/2016



LEFT ELEVATION



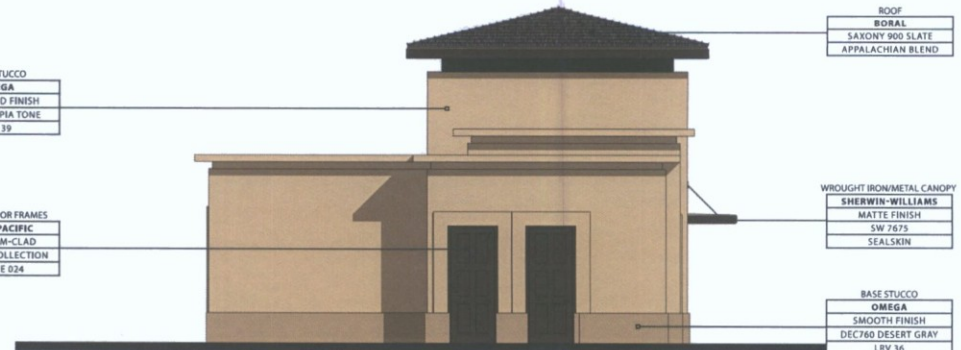
MATERIALS

- FLAT CONCRETE TILE ROOFING
- ALUMINUM CLAD ROOF FASCIA
- STUCCO WALLS
- STUCCO REVEALS
- STUCCO ROOF CORNICE
- METAL AWNING
- ALUMINUM CLAD WINDOWS AND DOOR FRAMES

FRONT ELEVATION



REAR ELEVATION



COLORS

- | | |
|------|-------------------|
| ROOF | BORAL |
| | SAXONY 900 SLATE |
| | APPALACHIAN BLEND |
-
- | | |
|---------------------------|------------------|
| WROUGHT IRON/METAL CANOPY | SHERWIN-WILLIAMS |
| | MATTE FINISH |
| | SW 7675 |
| | SEALSKIN |
-
- | | |
|-------------|--------------------|
| BASE STUCCO | OMEGA |
| | SMOOTH FINISH |
| | DEC780 DESERT GRAY |
| | LRV 36 |
-
- | | |
|-------------|-------------------|
| BODY STUCCO | OMEGA |
| | 30/30 SAND FINISH |
| | DET638 SEPIA TONE |
| | LRV 39 |
-
- | | |
|--------------------|---------------------|
| WINDOW/DOOR FRAMES | SIERRA PACIFIC |
| | ALUMINUM-CLAD |
| | HERITAGE COLLECTION |
| | BRONZE 024 |

RIGHT ELEVATION

POOL BUILDING ELEVATIONS

COLORS MAY VARY. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16



ROBERT HIDEY ARCHITECTS
2525 ANN HILL ROAD, SUITE 110, IRVINE, CA 92614, TELEPHONE 949.455.1344
4351 VAN NUYS AVENUE, SUITE 200, VAN NUYS, CA 91411, TELEPHONE 818.708.0140
© 2016 ROBERT HIDEY ARCHITECTS, ALL RIGHTS RESERVED

78-DR-2005 #3
11/17/2016

ATTACHMENT #7



VIEW 1



STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA

R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16

ROBERT HIDEY ARCHITECTS
 2525 WASHINGTON AVENUE, SUITE 100, PHOENIX, AZ 85016 TELEPHONE: 602.954.1300
 4300 W. WASHINGTON AVENUE, SUITE 200, FLAGSTAFF, AZ 86001 TELEPHONE: 928.774.4141
 1600 W. BROADWAY, SUITE 100, DENVER, CO 80202 TELEPHONE: 303.733.8800

78-DR-2005 #3

11/17/2016



VIEW 2



3D PERSPECTIVE VIEWS
STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA

R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16

ROBERT HIDEY ARCHITECTS
3725 MARSHALL CIRCLE, SUITE 1100, BERKELEY, CA 94704 | TELEPHONE 949.845.1394
AND 415.863.0396 | FAX 415.863.0397 | WWW.RHAYARCHITECTS.COM
© 2016 ROBERT HIDEY ARCHITECTS. ALL RIGHTS RESERVED.

78-DR-2005 #3
11/17/2016



VIEW 3



3D PERSPECTIVE VIEWS
STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA

R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16

ROBERT HIDEY ARCHITECTS
1521 W. MCLELLAN AVENUE, SUITE 110, PHOENIX, ARIZONA TELEPHONE: 604.4415.1100
1501 W. MCLELLAN AVENUE, SUITE 100, PHOENIX, ARIZONA TELEPHONE: 604.4415.1100
1501 W. MCLELLAN AVENUE, SUITE 100, PHOENIX, ARIZONA TELEPHONE: 604.4415.1100

78-DR-2005 #3
11/17/2016



VIEW 4



3D PERSPECTIVE VIEWS
STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA

R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/15/16

ROBERT HIDEY ARCHITECTS
2015 AND PELLICCIOLI STREET, SUITE 110, BERKELEY, CALIFORNIA 94704-1100
4150 WILSON ROAD, SUITE 200, PLACENTIA, CA 92669
© 2016 ROBERT HIDEY ARCHITECTS, P.A. ALL RIGHTS RESERVED

78-DR-2005 #3
11/17/2016



VIEW 5



3D PERSPECTIVE VIEWS
STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA

R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
11/13/16

ROBERT HIDEY ARCHITECTS
2500 WEST WILLOW STREET, SUITE 110, IRVINE, CA 92614 TELEPHONE: 949.440.1100
4001 WEST WILLOW STREET, SUITE 100, PLAZA SANCTUARY PLAZA, IRVINE, CA 92614
© 2016 ROBERT HIDEY ARCHITECTS, ALL RIGHTS RESERVED

78-DR-2005 #3
11/17/2016



BUILDING 8

BUILDING 7

BUILDING 6



BUILDING 5

BUILDING 4

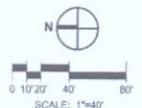
BUILDING 3

ATTACHMENT #8



101ST STREET RENDERED STREET SCENE
STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA



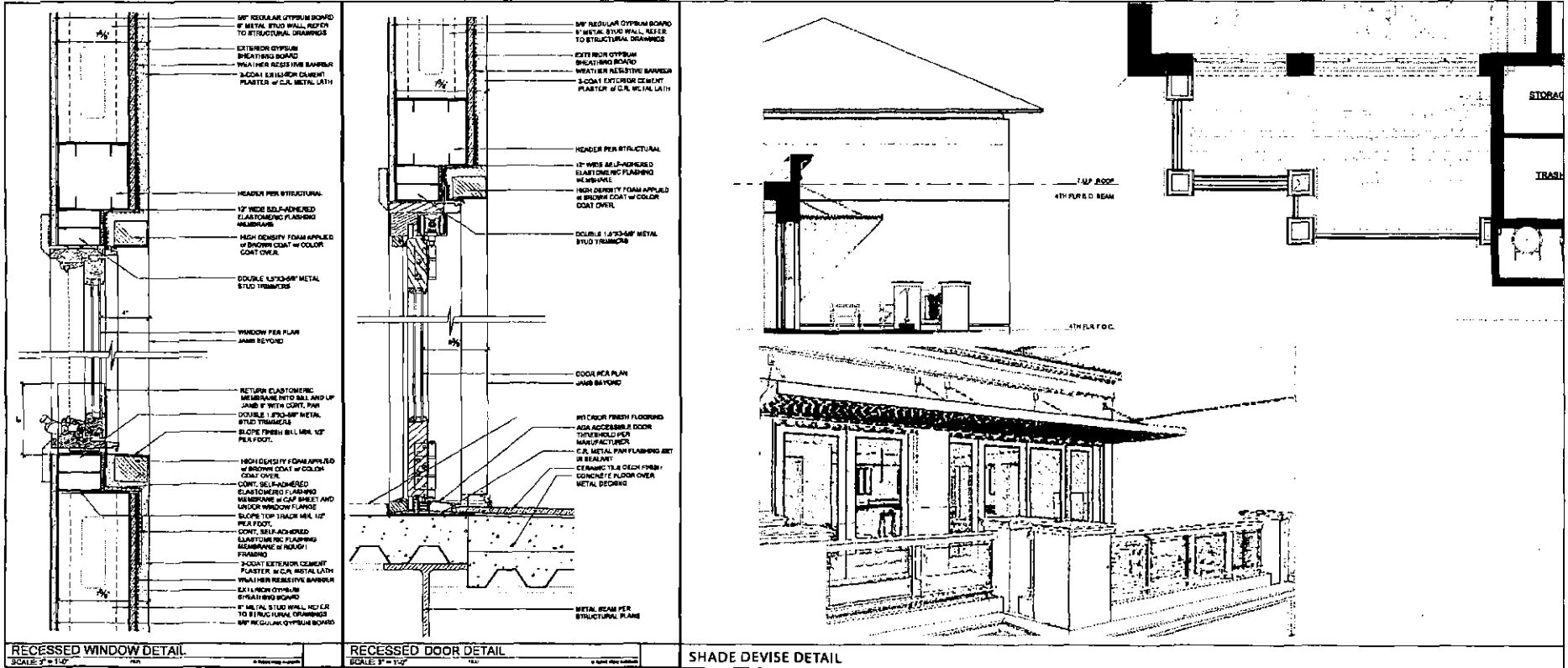
R H A

ROBERT HIDEY ARCHITECTS

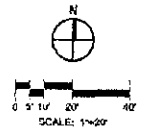
PROJECT NUMBER: 15060
11/15/16

ROBERT HIDEY ARCHITECTS
2524 WASHINGTON AVENUE, SUITE 100, BIRMINGHAM, AL 35202 TELEPHONE: 205.988.1500
1901 W. HANCOCK AVENUE, SUITE 200, PLACERMINSTER, CA 95663 TELEPHONE: 916.424.4444
6 SOUTH STREET, SUITE 100, BOSTON, MA 02108

78-DR-2005 #3
11/17/2016



DETAILS
STERLING AT SILVERLEAF
SCOTTSDALE, ARIZONA



R H A

ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15000
2/14/2016

NOTES: SEE ALL OTHER SHEETS FOR PROJECT INFORMATION. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.

NOTES AND PLANT SCHEDULE

SHEET INDEX

SHEET #	SHEET DESCRIPTION
1	NOTES AND PLANT SCHEDULE
2	CONCEPTUAL WALL, FOUNTAIN & HARDSCAPE PLAN
3	CONCEPTUAL WALL ELEVATIONS
4	HARDSCAPE AND FOUNTAIN IMAGES
5	CONCEPTUAL LANDSCAPE PLAN
6	LANDSCAPE CHARACTER IMAGES

LANDSCAPE NARRATIVE

THIS HIGH-END CONDOMINIUM DEVELOPMENT IS LOCATED WITHIN THE DC RANCH CANYON VILLAGE. THE COMMUNITY FITS AMONGST THE EXISTING HEALTH CLUB AND SPA, COMMERCIAL BUILDINGS AND SURROUNDING RESIDENTIAL DEVELOPMENTS PROVIDING THE FINAL COMPONENT OF THIS DISTRICT.

THE LANDSCAPE VERNACULAR COMPLEMENTS THE ADJACENT CHARACTER AND THEME ESTABLISHED WITHIN THIS SECTION OF THE TOWN CENTER AND AS CHARACTERIZED IN THE 3.5.6, EDMF. THE PERIMETER LANDSCAPE WILL FEEL CONNECTED TO THE ADJACENT INFLUENCES WHILE THE INTERIOR FABRIC WILL CREATE A UNIQUE IMPRESSION WITH DEFINED TREE MASSINGS AND SHRUB PATTERNS. THE INDIVIDUAL BUILDINGS WILL HAVE A UNIQUE LANDSCAPE QUALITY EMPHASIZED AT EACH ENTRY WHILE BLENDING INTO THE OVERALL FABRIC OF THE LANDSCAPE MASTER CONCEPT.

IRRIGATION MASTER PLAN:

ALL LANDSCAPE IMPROVEMENTS SHALL BE WATERED BY AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM MAINTAINED BY A PRIVATE H.O.A. UNLESS NOTED OTHERWISE. LAYOUT AND EQUIPMENT SHALL BE CONSISTENT WITH DC RANCH IRRIGATION STANDARDS. TREES AND SHRUBS WILL BE SEPARATELY VALVED.

WATER INTENSIVE LANDSCAPE/TURF CALCULATION

TOTAL AREA OF LOTS: (5.88 ACRES or 256,132 S.F.) INITIAL 9,000 SQ. FT. x 10% = 900 SQ. FT.
MAX 217,800 SQ. FT. x 5% = 10,890 SQ. FT.
TOTAL WATER INTENSIVE LANDSCAPE AREA ALLOWED: 11,790 SQ. FT.

TOTAL TURF PROVIDED: 2,850 SQ. FT.
TOTAL WATER INTENSIVE AREA PLANTING PROPOSED: 3,000 SQ. FT.
TOTAL WATER INTENSIVE LANDSCAPE PROPOSED: 7,850 SQ. FT.

SUMMARY DATA TABLE

LANDSCAPE CALCULATIONS
ON SITE LANDSCAPE = 101,000 S.F.
RIGHT OF WAY LANDSCAPE = 1,900 S.F.
PARKING LOT LANDSCAPE = 690 S.F. (ISLANDS ADJACENT TO CANYON VILLAGE AND AREA WITHIN THE TREE GRATES)

SHAPING AND FINE GRADING:

ALL AREAS DISTURBED BY CONSTRUCTION WILL BE FINE GRADED AND SHAPED TO A CHARACTER TO BLEND WITH ADJACENT LANDFORMS AND PROPOSED SITE IMPROVEMENTS. ENGINEERED PLANS SHALL INCORPORATE OVERALL PROPOSED SHAPING CONSIDERATIONS. LANDSCAPE ARCHITECT TO WALK THE SITE WITH CONTRACTOR AND VERIFY SHAPING CONSIDERATIONS TO MANIPULATE PRIOR TO BEGINNING LANDSCAPE INSTALLATION. NATIVE DESERT PAVEMENT OR DECOMPOSED GRANITE SHALL BE UTILIZED TO TOPDRESS ALL LANDSCAPE AREAS.

NOTES:

- LANDSCAPE IMPROVEMENTS TO BE IN CONFORMANCE WITH THE SILVER LEAF DESIGN GUIDELINES.
- NO SALVAGE MATERIAL EXISTS ON THE SITE.
- ALL PLANTS UTILIZED IN THE R.O.W. SHALL BE LISTED ON THE ARIZONA DEPARTMENT OF WATER RESOURCES (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST.
- ALL TREES AND SHRUBS PLANTED OR INSTALLED WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT DISTANCE LINE SHALL BE MAINTAINED AND MEET THE CITY OF SCOTTSDALE REQUIREMENTS FOR THOSE AREAS.
- MULTI-TRUNK TREES SHALL NOT BE PROVIDED IN S.V.T
- 50% OF TREES WILL BE EITHER SINGLE TRUNK WITH 3" CALIPER OR MULTI TRUNK WITH 1 1/2" CALIPER.
- ALL SHRUBS WILL BE 5 GALLON.

MASTER PLANT SCHEDULE

TREES	COMMON NAME / BOTANICAL NAME	SIZE	QUANTITIES						TOTAL
			PHASE A	PHASE B	PHASE C	PHASE D	PHASE E	PHASE F	
	CASCALOTE / CAESALPINIA CACALACO 'SMOOTHIE' TM	36"BOX	7	2	-	3	-	-	12
	DESERT IRONWOOD / OLNEYA TESOTA	36"BOX	6	2	-	-	-	-	8
	DESERT MUSEUM PALO VERDE / PARKINSONIA X 'DESERT MUSEUM'	36"BOX	19	35	8	6	3	15	86
	ARGENTINE MESQUITE / PROSOPIS ALBA THORNLESS	36"BOX	12	5	6	3	22	6	54
	SOUTHERN LIVE OAK / QUERCUS VIRGINIANA	36"BOX	33	10	3	18	-	-	64
	GREEN HOPSEED BUSH / DODONAEA VISCOSA 'GREEN'	5 GAL	218	67	124	152	121	126	808
	WINTER BLAZE / EREMOPHILA GLABRA CARNOSA	5 GAL	158	-	2	125	240	-	525
	VALENTINE BUSH / EREMOPHILA MACULATA 'VALENTINE'	5 GAL	173	-	-	-	131	11	315
	TURPENTINE BUSH / ERICAMERIA LARICIFOLIA	5 GAL	778	677	77	451	-	-	1,983
	GREEN CLOUD SAGE / LEUCOPHYLLUM FRUTESCENS	5 GAL	74	163	5	36	56	-	334
	TEXAS SAGE / LEUCOPHYLLUM REVOLUTUM 'HOUDINI' TM	5 GAL	-	-	-	-	44	-	44
	JAPANESE PRIVET / LIGUSTRUM JAPONICUM	5 GAL	-	104	105	-	-	61	270
	COMPACT MYRTLE / MYRTUS COMMUNIS	5 GAL	592	215	69	267	66	-	1,209
	DWARF OLIVE / OLEA EUROPAEA	5 GAL	60	-	34	-	-	272	366
	VARIEGATED FITOSPORUM / FITOSPORUM TOBIRA 'VARIEGATA'	5 GAL	-	-	-	-	6	-	6
	BRITISH RUELLIA / RUELLIA BRITTONIANA	5 GAL	223	235	152	-	164	71	845
	DESERT RUELLIA / RUELLIA PENINSULARIS	5 GAL	-	33	81	-	-	224	338
	VARIEGATED CENTURY PLANT / AGAVE AMERICANA 'VAREGATA'	5 GAL	-	-	-	6	38	-	44
	TROPICAL AGAVE / AGAVE DESMETIANA	5 GAL	-	-	65	27	-	-	92
	TWIN FLOWERED AGAVE / AGAVE GEMINIFLORA	5 GAL	-	21	-	-	70	-	91
	WEBER'S AGAVE / AGAVE WEBERI	5 GAL	48	29	14	48	-	-	139
	MEDICINAL ALOE / ALOE BARBADENSIS	5 GAL	-	-	-	70	-	-	70
	ALOE / ALOE DAWSEI	5 GAL	-	-	-	-	56	43	99
	CORAL ALOE / ALOE STRIATA	5 GAL	-	-	-	27	-	-	27
	PINK LADY'S SLIPPER / CYPRIPIEDRUM ACAULE	5 GAL	-	57	-	-	-	110	167
	FORTNIGHT LILY / DIETES BICOLOR	5 GAL	-	-	-	-	-	6	6
	YELLOW YUCCA / HESPERALOE PARVIFLORA 'YELLOW'	5 GAL	75	26	-	-	-	-	101
	PINK PARADE / HESPERALOE X	5 GAL	167	78	103	-	56	106	510
	SPINELESS YUCCA / YUCCA RECURVIFOLIA	5 GAL	94	23	6	-	-	-	123
	TOTEM POLE CACTUS / PACHYCEBUS MARGINATUS	5 GAL	84	-	5	4	-	-	93
	HUNTINGTON CARPET ROSEMARY / ROSMARINUS OFFICINALIS	1 GAL	296	114	63	-	-	-	473
	GERMANDER / TEUCRIUM CHAMAEDRYS	5 GAL	191	-	-	-	-	-	191
	CREeping FIG / FIGUS PUMILA	1 GAL	5	-	-	-	-	-	5
	LADY BANKSIA ROSE / ROSA BANKSIAE 'ALBA'	5 GAL	46	-	-	-	3	16	65
	YELLOW BANKS ROSE ESPALIER / ROSA BANKSIAE 'LUTEA'	5 GAL	49	-	-	-	-	1	50

ATTACHMENT #10



1 of 6



STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA
19 DECEMBER 2016
575-PA-2016, 78-DR-2005#3

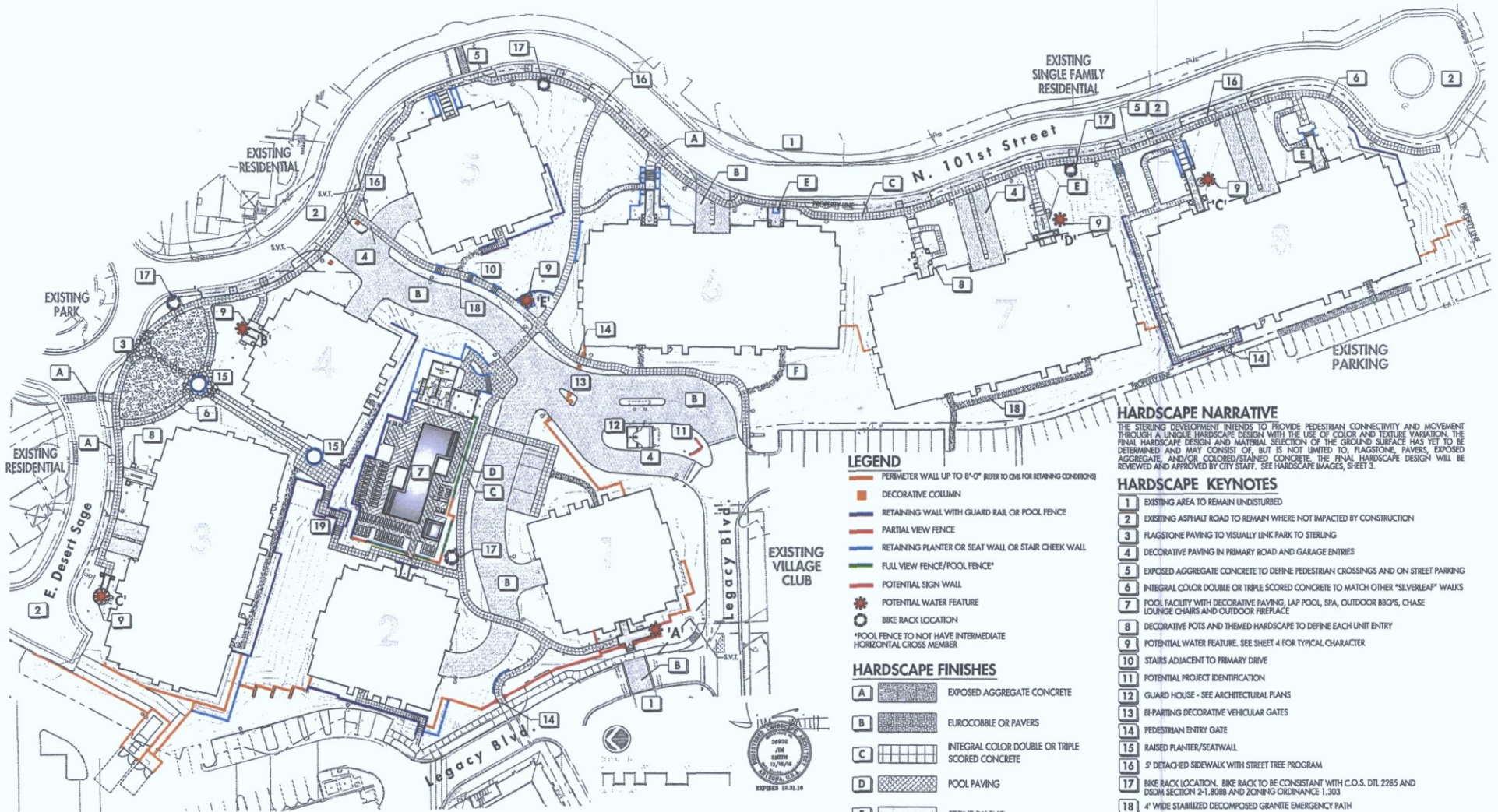
collectiV R H A
landscape architects

***PORT HIDEY ARCHITECTS

78-DR-2005 #3
12/20/2016

PROJECT NUMBER: 13060
12/19/2016

CONCEPTUAL WALLS, FOUNTAINS & HARDSCAPE PLAN



HARDSCAPE NARRATIVE

THE STERLING DEVELOPMENT INTENDS TO PROVIDE PEDESTRIAN CONNECTIVITY AND MOVEMENT THROUGH A UNIQUE HARDSCAPE DESIGN WITH THE USE OF COLOR AND TEXTURE VARIATION. THE FINAL HARDSCAPE DESIGN AND MATERIAL SELECTION OF THE GROUND SURFACE HAS YET TO BE DETERMINED AND MAY CONSIST OF, BUT IS NOT LIMITED TO, FLAGSTONE, PAVERS, EXPOSED AGGREGATE AND/OR COLORED/STAINED CONCRETE. THE FINAL HARDSCAPE DESIGN WILL BE REVIEWED AND APPROVED BY CITY STAFF. SEE HARDSCAPE IMAGES, SHEET 1.

HARDSCAPE KEYNOTES

- 1 EXISTING AREA TO REMAIN UNDISTURBED
- 2 EXISTING ASPHALT ROAD TO REMAIN WHERE NOT IMPACTED BY CONSTRUCTION
- 3 FLAGSTONE PAVING TO VISUALLY LINK PARK TO STERLING
- 4 DECORATIVE PAVING IN PRIMARY ROAD AND GARAGE ENTRIES
- 5 EXPOSED AGGREGATE CONCRETE TO DEFINE PEDESTRIAN CROSSINGS AND ON STREET PARKING
- 6 INTEGRAL COLOR DOUBLE OR TRIPLE SCORED CONCRETE TO MATCH OTHER "SILVERLEAF" WALKS
- 7 POOL FACILITY WITH DECORATIVE PAVING, LAP POOL, SPA, OUTDOOR BBQ'S, CHASE LOUNGE CHAIRS AND OUTDOOR FIREPLACE
- 8 DECORATIVE POTS AND THEMED HARDSCAPE TO DEFINE EACH UNIT ENTRY
- 9 POTENTIAL WATER FEATURE. SEE SHEET 4 FOR TYPICAL CHARACTER
- 10 STAIRS ADJACENT TO PRIMARY DRIVE
- 11 POTENTIAL PROJECT IDENTIFICATION
- 12 GUARD HOUSE - SEE ARCHITECTURAL PLANS
- 13 BI-PARTING DECORATIVE VEHICULAR GATES
- 14 PEDESTRIAN ENTRY GATE
- 15 RAISED PLANTER/SEATWALL
- 16 5' DETACHED SIDEWALK WITH STREET TREE PROGRAM
- 17 BIKE RACK LOCATION. BIKE RACK TO BE CONSISTANT WITH C.O.S. DTL 2285 AND DSDM SECTION 2-1.808B AND ZONING ORDINANCE 1.303
- 18 4' WIDE STABILIZED DECOMPOSED GRANITE EMERGENCY PATH
- 19 STAIR ACCESS FROM BETWEEN 3 AND 4 TO POOL AMENITY

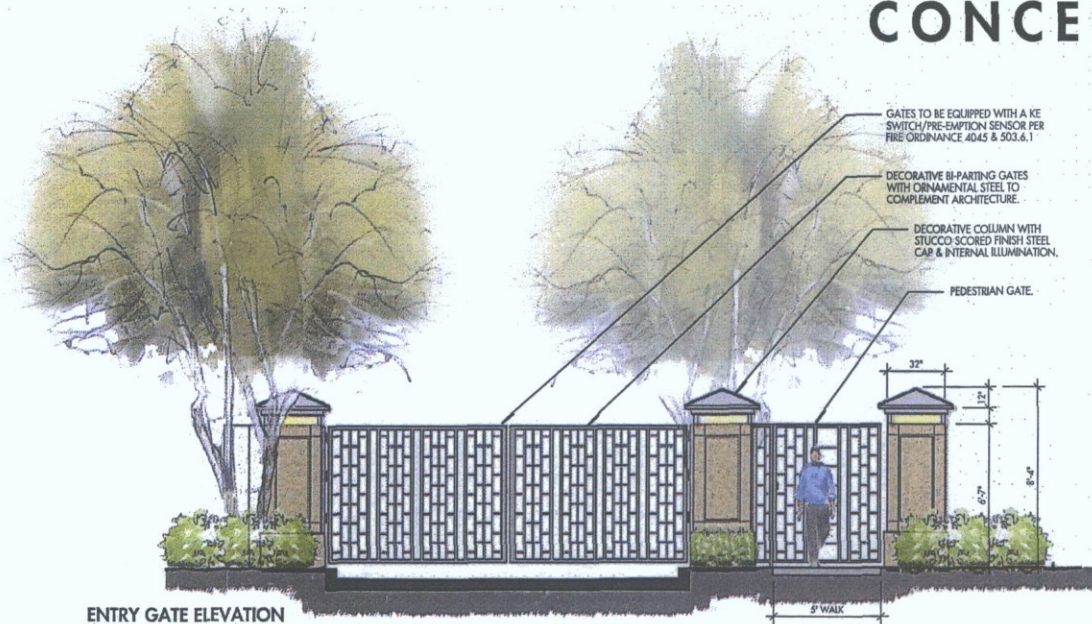
LEGEND

- PERIMETER WALL UP TO 8'-0" (REFER TO CIVIL FOR RETAINING CONDITIONS)
- DECORATIVE COLUMN
- RETAINING WALL WITH GUARD RAIL OR POOL FENCE
- PARTIAL VIEW FENCE
- RETAINING PLANTER OR SEAT WALL OR STAIR CHEEK WALL
- FULL VIEW FENCE/POOL FENCE*
- POTENTIAL SIGN WALL
- POTENTIAL WATER FEATURE
- BIKE RACK LOCATION
- *POOL FENCE TO NOT HAVE INTERMEDIATE HORIZONTAL CROSS MEMBER

HARDSCAPE FINISHES

- A EXPOSED AGGREGATE CONCRETE
- B EUROCOBBLE OR PAVERS
- C INTEGRAL COLOR DOUBLE OR TRIPLE SCORED CONCRETE
- D POOL PAVING
- E STONE PAVING
- F EMERGENCY STABILIZED D.G. PATH

CONCEPTUAL WALL ELEVATIONS



ENTRY GATE ELEVATION



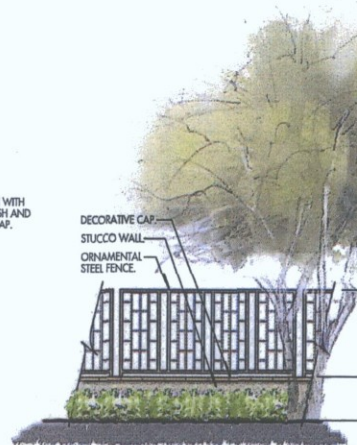
PERIMETER WALL CHARACTER*



FULL VIEW/POOL FENCE ELEVATION

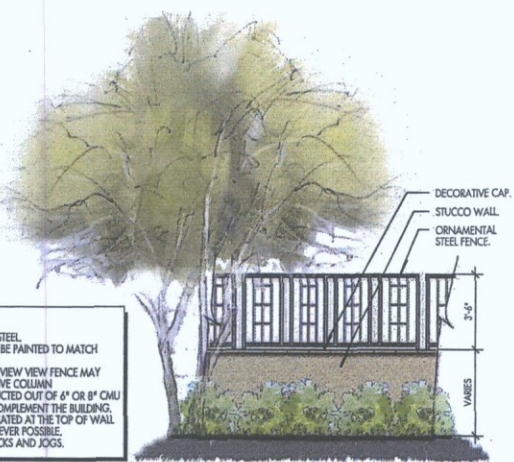


FULL VIEW /POOL FENCE WITH COLUMN



PARTIAL VIEW FENCE*

NOTE:
 • POOL FENCE TO NOT HAVE INTERMEDIATE HORIZONTAL STEEL.
 • ALL ORNAMENTAL FENCE TO BE PAINTED TO MATCH ARCHITECTURAL STEEL.
 • PARTIAL PERIMETER AND FULL VIEW VIEW FENCE MAY INCORPORATE THE DECORATIVE COLUMN.
 • ALL WALLS WILL BE CONSTRUCTED OUT OF 4" OR 8" CMU AND FINISHED TO MATCH/COMPLEMENT THE BUILDING.
 • GRADE BREAKS SHALL BE LOCATED AT THE TOP OF WALL AT PERS OR CORNERS WHEREVER POSSIBLE.
 • SEE PLAN FOR VARIOUS SETBACKS AND JOGS.



GUARD RAIL FENCE*



3 of 6



STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA
 7 NOVEMBER 2016
 575-PA-2016, 78-DR-2005#3



ROBERT HIDEY ARCHITECTS
 PROJECT NUMBER: 15040
 09/13/2016

78-DR-2005 #3
 11/17/2016

ROBERT HIDEY ARCHITECTS
 3337 ANCHORAGE DRIVE, SUITE 400, FOLSOM, CA 95630 TELEPHONE 916.451.1100
 4801 W. HUNTER DRIVE, SUITE 100, PLACENTIA, CA 91769 TELEPHONE 923.404.4949
 © 2016 ROBERT HIDEY ARCHITECTS - ALL RIGHTS RESERVED

HARDSCAPE & FOUNTAIN IMAGES



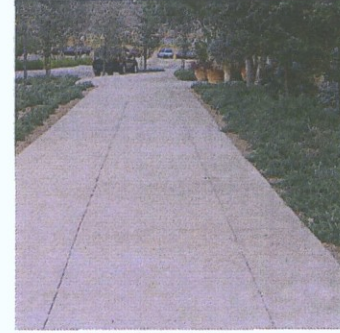
DECORATIVE PAVING/EUROCOBBLE



DECORATIVE PAVERS



FLAGSTONE



MULTIPLE SCORED INTEGRAL COLOR CONCRETE "SILVERLEAF"



EXPOSED AGGREGATE CONCRETE



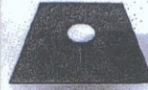
POOL PAVING



TRAVERTINE/STONE PAVING



SITE FURNITURE



POTS/PLANTERS



*FOUNTAIN 'A'



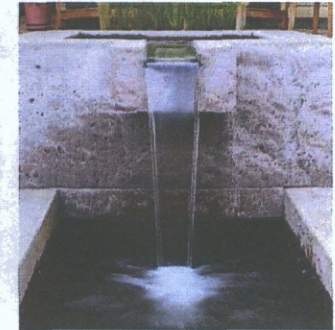
*FOUNTAIN 'B'



*FOUNTAIN 'C'



*FOUNTAIN 'D'



*FOUNTAIN 'E'



4 of 6

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA
7 NOVEMBER 2016
575-PA-2016, 78-DR-2005#3

collectiV
landscape architecture

R H A

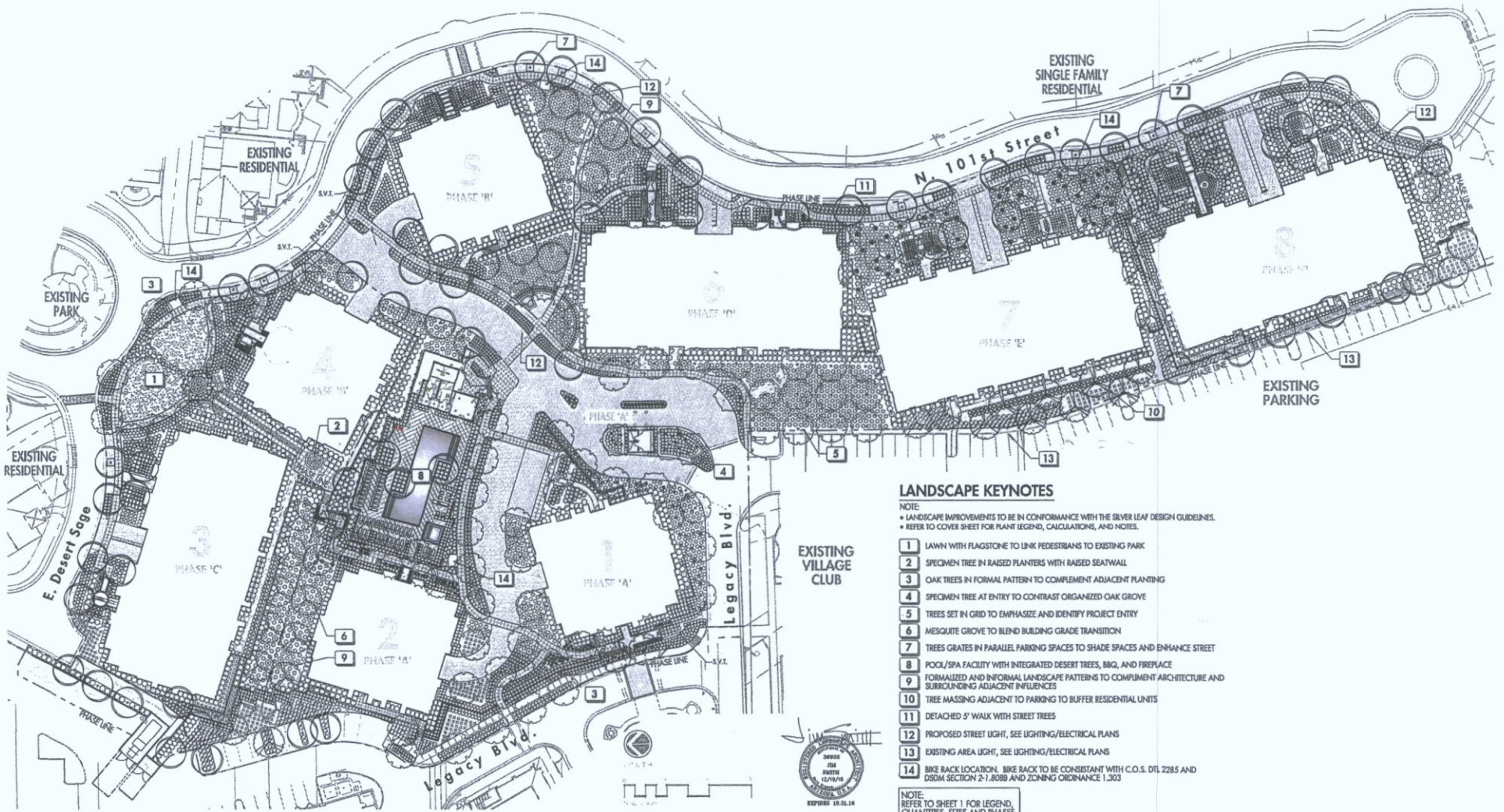
ROBERT HIDEY ARCHITECTS

PROJECT NUMBER: 15060
09/13/2016

78-DR-2005 #3
11/17/2016

ROBERT HIDEY ARCHITECTS
3357 ANGELTON DRIVE, SUITE 100, WILSONVILLE, OR 97150
503.535.1100
2500 ROBERT HIDEY ARCHITECTS HALL, SILVERLEAF

CONCEPTUAL LANDSCAPE PLAN



LANDSCAPE KEYNOTES

NOTE:

- LANDSCAPE IMPROVEMENTS TO BE IN CONFORMANCE WITH THE SILVER LEAF DESIGN GUIDELINES.
- REFER TO COVER SHEET FOR PLANT LEGEND, CALCULATIONS, AND NOTES.

- 1 LAWN WITH FLAGSTONE TO LINK PEDESTRIANS TO EXISTING PARK
- 2 SPECIMEN TREE IN RAISED PLANTERS WITH RAISED SEATWALL
- 3 OAK TREES IN FORMAL PATTERN TO COMPLEMENT ADJACENT PLANTING
- 4 SPECIMEN TREE AT ENTRY TO CONTRAST ORGANIZED OAK GROVE
- 5 TREES SET IN GRID TO EMPHASIZE AND IDENTIFY PROJECT ENTRY
- 6 MESQUITE GROVE TO BLEND BUILDING GRADE TRANSITION
- 7 TREES GRATES IN PARALLEL PARKING SPACES TO SHADE SPACES AND ENHANCE STREET
- 8 POOL/SPA FACILITY WITH INTEGRATED DESERT TREES, BBQ, AND FIREPLACE
- 9 FORMALIZED AND INFORMAL LANDSCAPE PATTERNS TO COMPLEMENT ARCHITECTURE AND SURROUNDING ADJACENT INFLUENCES
- 10 TREE MASSING ADJACENT TO PARKING TO BUFFER RESIDENTIAL UNITS
- 11 DETACHED 5' WALK WITH STREET TREES
- 12 PROPOSED STREET LIGHT, SEE LIGHTING/ELECTRICAL PLANS
- 13 EXISTING AREA LIGHT, SEE LIGHTING/ELECTRICAL PLANS
- 14 BIKE RACK LOCATION. BIKE RACK TO BE CONSISTENT WITH C.O.S. DTL 2285 AND OSDM SECTION 2-1.208B AND ZONING ORDINANCE 1.303

NOTE:
REFER TO SHEET 1 FOR LEGEND,
QUANTITIES, SIZES AND PHASES



5 of 6

STERLING AT SILVERLEAF

SCOTTSDALE, ARIZONA
19 DECEMBER 2016
573-PA-2016, 78-DR-2005#3

collectiV R H A

ROBERT HIDEY ARCHITECTS
PROJECT NUMBER: 15060
12/19/2016

78-DR-2005 #3
12/20/2016

LANDSCAPE CHARACTER IMAGES



STERLING AT SILVERLEAF

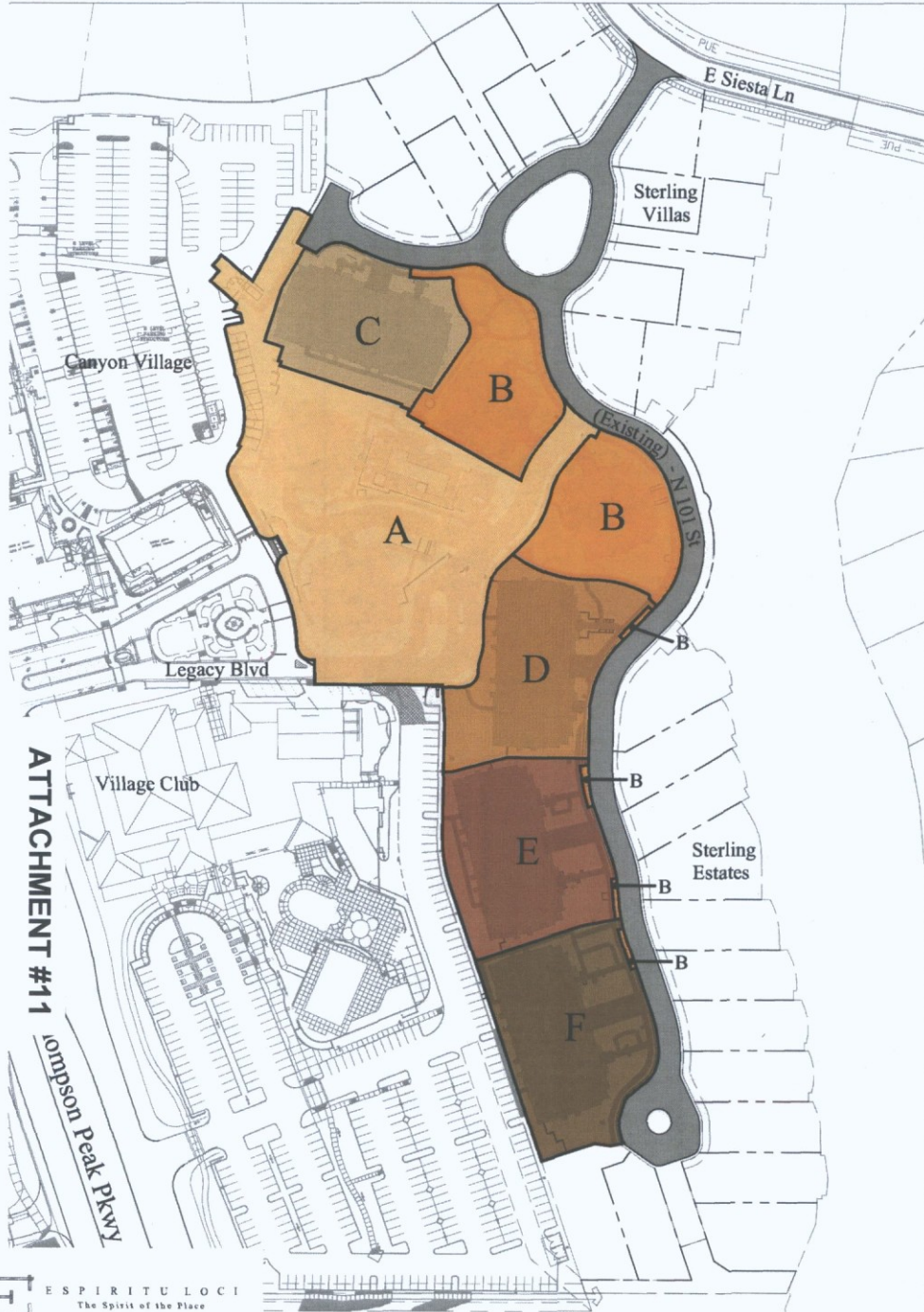
SCOTTSDALE, ARIZONA
7 NOVEMBER 2016
575-PA-2016, 78-DR-2005#3

collectiV R H A







ROBERT HIDEY ARCHITECTS
PROJECT NUMBER: 15060
09/13/2016

78-DR-2005 #3
11/17/2016

ROBERT HIDEY ARCHITECTS
2800 PHOENIX CIRCLE, SUITE 110, PHOENIX, AZ 85016 TELEPHONE 480-945-1200
4000 ANCHORAGE DRIVE, SUITE 100, SACRAMENTO, CA 95834 TELEPHONE 916-486-0840
13336 SHILOH AVENUE, SUITE 100, REDDING, CA 96001 TELEPHONE 530-241-1100

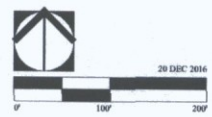


Phasing will start adjacent to Canyon Village move east, north and then finish to the south. Phase A will start construction in 2017.

-  Phase A - Buildings 1 and 2, Including Gate House, Pool and Pool House, Roadway Improvements Along Legacy Boulevard Loop and Connecting Legacy Boulevard to 101st Street, Trash and Recycling Enclosures, Adjacent Landscaping, Associated Utilities and Storm Water Improvements.
-  Phase B - Buildings 4 and 5, Parking Along 101st Street, Adjacent Landscaping, Associated Utilities and Storm Water Improvements.
-  Phase C - Building 3, Including Adjacent Landscape, Associated Utilities and Storm Water Improvements.
-  Phase D - Building 6 Including Adjacent Landscape, Associated Utilities and Storm Water Improvements.
-  Phase E - Building 7 Adjacent Landscape, Associated Utilities and Storm Water Improvements.
-  Phase F - Building 8 Including Adjacent Landscape, Associated Utilities and Storm Water Improvements.

ATTACHMENT #11

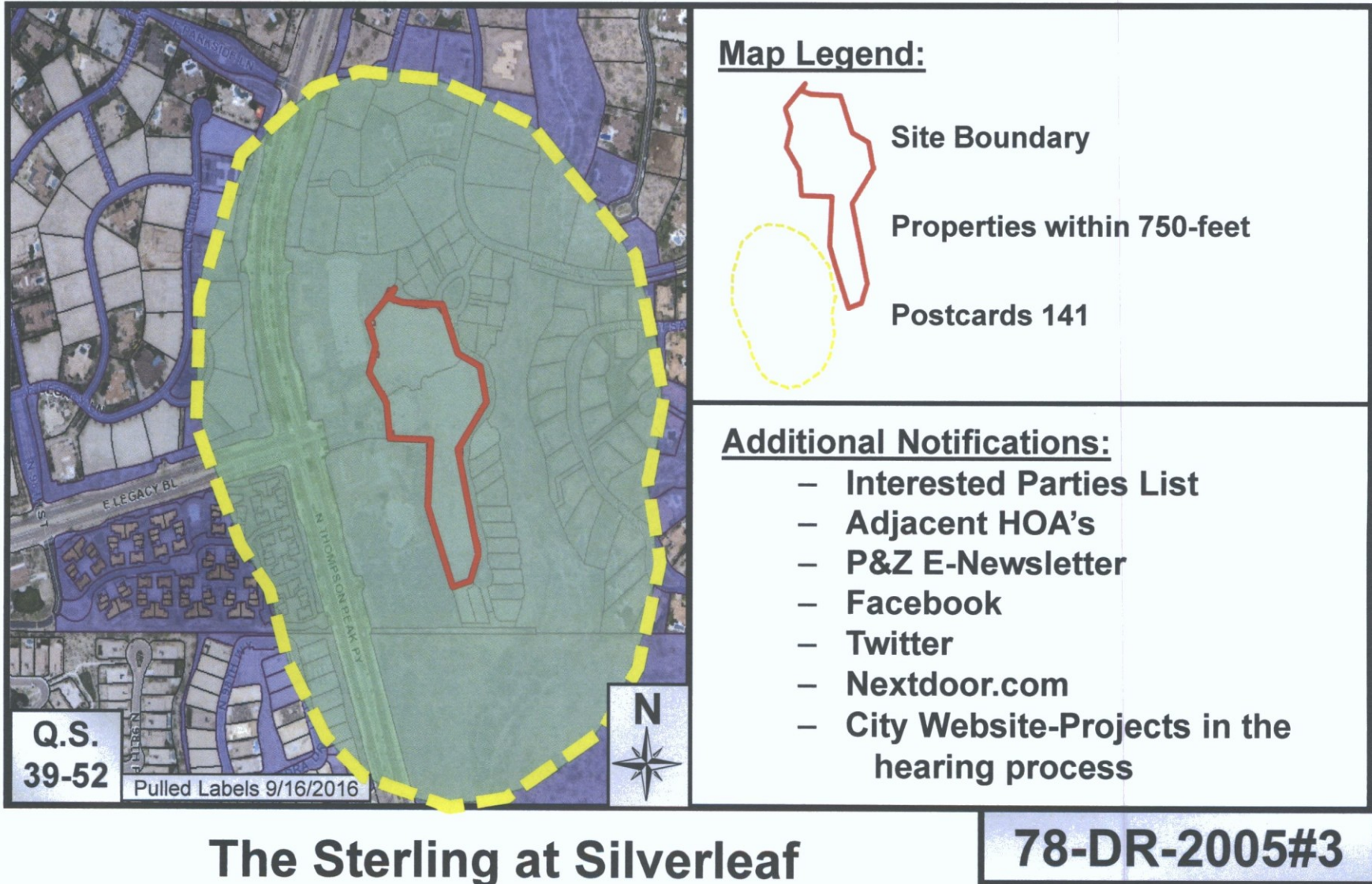
Tompson Peak Pkwy



78-DR-2005 #3
12/20/2016

City Notifications – Mailing List Selection Map

ATTACHMENT #12



Niederer, Keith

From: beachbound2005@cox.net
Sent: Tuesday, September 20, 2016 8:36 PM
To: Niederer, Keith
Subject: The New Home Collection

Keith,

Thank you for taking the opportunity to speak with me this evening regarding the proposed condominium project represented by The New Home Collection. As discussed I feel that the architectural style and color scheme of the project presented this evening in no way is consistent or complimentary to the Mediterranean theme of the existing structures that will surround the proposed project nor to the surrounding Sterling home collection within Silverleaf.

As a resident of the Sterling Villas it is my concern that the project in its current proposed state would severely impact and diminish our property values. While I was only able to reach out to a few neighbors within our immediate community, the reaction and feeling of opposition toward the project's exterior appearance was unanimous. We all felt that the appearance of the Sterling Collection (2013) was a much better fit for the community. The architectural style, color theme, and raised red tiled roofs allowed the project to create a pleasant flow to the existing homes and structures within the Sterling neighborhood.

While we are excited toward the future development on the vacant parcel, we ask that the Sterling homeowner concerns surrounding the project design be taken into consideration during the initial stages of planning. I would greatly appreciate being informed of any future meetings or hearings regarding the project. Please feel free to reach out to me if you would like to further discuss. Thanks again for your time this evening and for your consideration.

Pamela Matheny
602-300-6071

Niederer, Keith

From: Joe Goryeb <joe@goryeb.com>
Sent: Thursday, January 12, 2017 4:49 AM
To: Niederer, Keith
Cc: Jeanneathome@aol.com; Kurt A. Jones
Subject: Sterling at Silverleaf Condo Proposed project

Mr. Niederer,

My wife, Jeanne and I have comments/concerns regarding the proposed condo project inside Silverleaf. As background, we reside at 18903 N. 101st Street in Scottsdale. This was new construction and we moved into our home in 2013. When we purchased the lot, we specifically asked about the site immediately to the south of us and were told it was going to be single family homes.

Just prior to closing we found out that condos were then going to be built.

We understand that the project has now changed hands and that the number of condos has been reduced.

What we can't understand is how buildings of this height can be built inside of Silverleaf. It is unprecedented.

In addition the architecture of the current project is extremely unimaginative and looks like an apartment building or office complex.

It is hard for us to imagine how this architecture can be approved considering we had to go through weeks of approvals just to change out some of our landscaping in our rear yard that no one sees but us.

We feel strongly that this project will substantially negatively affect our property values as well as our neighbors.

We urge you to reconsider this project.

Would be happy to discuss if you would like to.

Thank you

Joe and Jeanne Goryeb

973-220-3000

joe@goryeb.com