

Marked Agendas
Approved Minutes
Approved Reports

**The January 19, 2017
Development Review Board
Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 19, 2017 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Wentworth Properties Perimeter Center Parking Garages 68-DR-2000#5

Location: 8665, 8701, and 8777 E. Hartford Drive

Request: Request approval of the site plan, landscape plan, building elevations, and exterior lighting plan for two new four-level parking garages, with a total of 486 additional parking spaces, at an existing office complex, all on a 16.7-acre site.

OWNER

Wentworth Property
602-296-1098

ARCHITECT/DESIGNER

Dick & Fritsche Design Group
602-761-5120

ENGINEER

Zell Company, LLC
623-541-2500

APPLICANT CONTACT

Dick & Fritsche Design Group
Jim Lloyd
602-761-5120

BACKGROUND

Zoning

This site is zoned Planned Community district with Industrial Park comparable zoning with amended development standards (I-1 PCD)

Context

Located at the intersection of East Bell Road and the Loop 101 southbound frontage road, the surrounding developments are primarily office uses.

Adjacent Uses and Zoning

- North East Hartford Drive, and farther north are existing office uses zoned Planned Community district with Industrial Park comparable zoning (I-1 PCD).
- South East Hartford Drive, and farther north are existing office and restaurant uses, zoned Planned Community district with Industrial Park comparable zoning (I-1 PCD).
- East Loop 101 freeway, and farther east is vacant land, zoned Planned Community district, with comparable zoning (I-1 PCD) and Planned Regional Commercial Planned Community district (PRC PCD).
- West East Hartford Drive, and farther north are existing office uses, zoned Planned Community district with Industrial Park comparable zoning (I-1 PCD).

Key Items for Consideration

- Scottsdale Design Guidelines for Office Development

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The purpose of this request is for approval of the site plan, building elevations, landscape plan, and exterior lighting plan for two new parking garages in order to provide additional parking for the existing office building.

Neighborhood Communication

The applicant and City staff have notified all property owners within 750 feet of the site. In addition, a hearing notice sign has been posted at the site. City Staff has not received any comments or inquiries regarding the proposal.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Located at the northwest corner of East Bell Road and the southbound Loop 101 freeway frontage road, and fronting East Hartford Drive the proposed addition of two parking structures to the existing office development is not anticipated to have a negative impact on the adjoining properties. The existing office use and new parking structures on the property are consistent with the General Plan employment designation that include related uses that would support the complementary office and restaurant uses in the area.

Existing developments in the contextual design area are comprised of various building forms, materials, and colors. Most of the buildings in the area of the proposed development were developed in the early and mid-2000s and represent of a contemporary southwest architectural appearance.

Within the existing site and adjacent to the existing office buildings, the proposed parking structures respond to the existing various building forms, volumes, massing, colors, and materials by incorporating a similar hierarchy to the building features and elements and a consistent color and material scheme. The proposed of continuity to the development project’s architectural style and a complementary human scale are consistent with Scottsdale Sensitive Design Principles and the Design Guidelines for Office Development.

The pedestrian access to the proposed parking structures will be connected to the existing walkways within the site that provide pedestrian access the office buildings and East Hartford Drive.

In addition, vehicular access to the proposed parking structures will be provided from the internal driveways, which provide vehicular access to East Hartford Drive.

Development Information

- Existing Use: Office
- Proposed Use: Office
- Parcel Size: 726,319 square feet / 16.674 gross acres
- Gross Floor Area Existing: 376,931 square feet
- Floor Area Ratio Existing: 0.52
- Building Height Allowed: 50 feet, excluding rooftop appurtenances
- Building Height Proposed: 39 feet 6.5 inches excluding rooftop appurtenances
- Parking Required: 1,257 spaces
- Parking Provided: 1,626 spaces
- Open Space Required: 146,717 square feet
- Open Space Provided: 155,634 square feet

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Wentworth Properties Perimeter Center Parking Garages, Case No. 68-DR-2000#5 per the attached stipulations, finding that the provisions of General Plan policies and goals and the Development Review Criteria have been met.

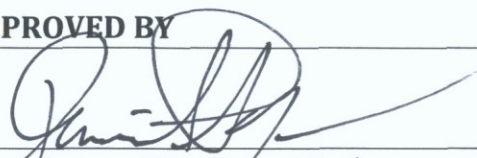
RESPONSIBLE DEPARTMENT

Planning and Development Services
Current Planning Services

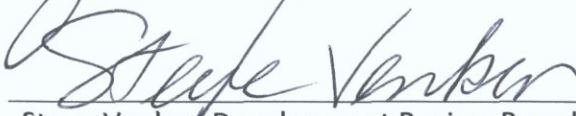
STAFF CONTACT

Dan Symer
Senior Planner
480-312-4218
E-mail: dsymer@scottsdaleaz.gov

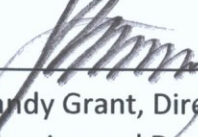
APPROVED BY



Dan Symer, AICP, Report Author
Date 12-22-2016



Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov
Date 1/4/17



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov
Date 1/6/17

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Combined Context Aerial and Site Plan
 - 5. Site Plan
 - 6. Building Elevations and Perspective
 - 7. Material and Color Board
 - 8. Landscape Plans
 - 9. Electrical Site Plan
 - 10. Exterior Lighting Cutsheets

**Stipulations for the
Development Review Board Application:
Wentworth Properties Perimeter Center Parking Garages
Case Number: 68-DR-2000#5**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Dick & Fritsche Design Group, with a city staff date of 12/22/2016.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Dick & Fritsche Design Group, with a city staff date of 12/22/2016.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Trueform, with a city staff date of 12/22/2016.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning and DRB case(s) for the site were: Cases 69-ZN-1988, 68-DR-2000, 68-DR-2000#2-4, 50-SA-2008, and 361-SA-2005.
- B. This approval is limited to the parking structures, and site modification indicated in the above referenced plans. The existing buildings and site improvement not included with this approval shall be governed by the Development Review Board approvals associated with those improvements, respectively.

SITE DESIGN:

Ordinance

- C. Prior to or concurrent with the construction document submit for the parking garages, the property shall submit a final plat plan to replat the property into one lot. The final plat plan shall be recorded prior to the issuance of a building permit.

DRB Stipulations

2. All new site walls shall be constructed to match the existing site walls.

LANDSCAPE DESIGN:

DRB Stipulations

3. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that demonstrate how any salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

EXTERIOR LIGHTING:

Ordinance

- D. Any new exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- E. Any new exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- F. The light poles on the top of the parking garage shall not exceed a height of 50 feet to the top of the fixture in accordance with the definition of building height.

DRB Stipulations

4. All new exterior luminaires, include luminaires within the parking structure shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
5. The total lumen per luminaire shall not exceed 24,000 lumens.
6. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0-foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5-foot-candles. All exterior luminaires shall be included in this calculation.

Parking Garage Lighting:

- d. The maintained average horizontal luminance level, on the top level of the parking garage, shall not exceed 2.0-foot-candles. All exterior luminaires shall be included in this calculation.
- e. The maintained maximum horizontal luminance level, on the top of the parking garage, shall not exceed 8.0-foot-candles. All exterior luminaires shall be included in this calculation

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- G. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

7. The Improvement Plans must identify the pre-development Highest Adjacent Grade (HAG) for the underground garages based on the conceptual flood zone plan which was prepared by the Engineer of Record indicated on the grading and drainage plan with a city staff date of 12/22/2016.
8. Both Parking Structure 1 (Garage 1) and Parking Structure 2 (Garage 2) must be "dry floodproofed" to at least 2.0 ft. above the pre-development HAG by following the FEMA "dry floodproofing" regulations. A "dry floodproofing" certificate prepared by the Civil Engineer and/or the licensed Architect on this project must be submitted with the Improvement Plans submittal.
9. The entry ramps to both Parking Structure 1 (Garage 1) and Parking Structure 2 (Garage 2) shall be elevated to at least 2.0 ft. above the pre-development HAG and the ramp elevations must be called out on the Improvement Plans.
10. The client shall submit an approved Notice of Intent Certification from Arizona Department of Environmental Quality with an AZCON number with the Improvement Plans submittal. The Improvement Plans shall also include the Stormwater Pollution Prevention Plan (SWPPP) plans and a SWPPP report.



**Q.S.
37-48**

Google Earth Pro Imagery

Wentworth Properties Perimeter Center Parking Garages

68-DR-2000#5



Q.S.
37-48

Google Earth Pro Imagery

Wentworth Properties Perimeter Center Parking Garages

68-DR-2000#5



Wentworth Properties Perimeter Center Parking Garages

68-DR-2000#5

July 18, 2016

Project Narrative: Wentworth Perimeter Center Parking Garages

Originally constructed in the early 2000's, the Perimeter Center was created as part of a larger mixed use commercial office area. The original two buildings, located at the center of this site, were intended to house office uses, with sufficient parking per the zoning ordinance to perform as such. Later, these office spaces were used as a large data center, with a much smaller parking need. With the data center in place, a smaller parking lot was needed and two new office buildings were constructed on adjoining sites, with shared parking for all four buildings. Included with these office buildings were two underground parking facilities to help offset some of the parking lost to the buildings, and to create additional parking necessary to support these two buildings. This created ample parking for the two office buildings and the data center. Eventually, the data center found a new home, leaving the two original buildings in the center of the campus without a major tenant. The two central buildings have been mostly vacant since.

The campus we recently purchased by the Wentworth Property Company. The buildings are in good condition, and ready to be leased to office tenants, but there is insufficient parking to meet the minimum parking requirements as an office. In addition to this, in today's business climate, many office uses require more parking than the minimum required by the zoning ordinance. In order to solve both of these issues, this project proposes to add approximately 70 surface parking spaces by removing several large planters that were placed as security around the two central buildings, and reconfiguring areas of the parking lot. In addition to the surface parking added, two above-grade parking garages are proposed for the site. One (garage 2) south of the northern-most building and east of the central buildings on the east side of the site, along North Pima Road; and the other (garage 5) north of the western-most office building and west of the central buildings, along Hartford Drive. Both buildings are located over areas that are currently, mostly parking, with some landscaping. This layout places the garages such that both are largely not visible from Bell Road. Garage 2 would be mostly obscured from Bell Road by large trees along Pima Road, and garage 5 would be obscured from Bell Road by large trees and the adjacent office buildings. These two garages are to be connected to the existing office buildings via accessible paths at the elevators. Both garages will also be connected to areas already serving as major drives into and around the site.

As part of the 70 surface spaces listed above, and in addition to the parking garages, there is an area of new parking proposed at the southeast corner of the site, near the intersection of Pima and Bell Roads. This parking would displace some parking in the area, but would not be visible from the street, due to the large bermed area at that corner of the property. In order to accommodate this parking, a retaining wall would be constructed that would maintain the view of the landscaped berm from the intersection of Bell and Pima Roads.

The additional surface parking and the garages are intended to service the office use of the site, which is in general conformance with the General Plan for the site and surrounding area. Due to the configuration of the site, the northwest corner of garage 5 is currently shown to encroach approximately 11' on the 50' setback along Hartford Drive. The garage is pinned in on the south by the existing underground garage, and placed in the east-west direction by the location of the existing exit stairs from the adjacent underground garage. The size of the garage is set to achieve the maximum number of parking stalls, with minimal height. The standard front yard setback per the zoning ordinance for an I-1 Zone is 20'. The proposed setback at that corner of the building is approximately 39'. The overall setback distance varies as the road curves away from the building. The maximum setback distance is approximately 145', giving an average setback distance of 67', which exceeds the 50' setback requirement. As such, we believe the site to be in general conformance with the intent of the zoning ordinance.

The site is currently divided into three separate parcels. Under new ownership, it is intended that part of this development will combine the three parcels into one overall parcel.

The existing buildings on site are two stories tall, ranging from approximately 33' to 36' in height. The buildings are constructed from a combination of precast concrete panels and integrally colored cmu walls, with minimal decorative metal. Buildings on adjacent sites vary from one to four stories in height, with similar construction materials. The new garages will vary in height, with the tallest portion of the parking deck located approximately 33'-8" above finished grade, and the parking screening about 4'-6' above that. There is also an elevator for each garage that would be approximately 46' tall at the top of the parapet walls. The varying heights of the parking decks, coupled with the higher mass of the elevator shafts, create massing similar in nature to the existing buildings on site. The garages would be constructed using similar materials to the existing buildings. The main portion of the garages would be constructed with precast concrete panels, painted in colors to complement the existing office buildings. At the stair and elevator towers, walls of integrally colored smooth and split face cmu would be constructed with similar detailing to that found in the cmu walls of the office buildings. Both garages are intended to be constructed with similar detailing, though garage 5 is slightly larger than garage 2. Due to its location along Pima Road, garage 2 has a metal screen system along its eastern-most side that provides a stepped façade at the sloped parking decks. This feature minimized the visual cue that there is a sloped parking deck along the east side and blocks the view into the garage as one approaches along Pima Road from the north. There is not sidewalk along Pima Road, and directly east of the road is the 101 Freeway, which is elevated to a height above that of the top of the buildings. Due to this location, garage 2 will largely not be seen looking directly from the east.



1 Site Plan
1" = 60'-0"



CONTEXT AERIAL SITE PLAN

DEDG
DICK & FUTSCHLE DESIGN GROUP

• Architecture
• Planning
• Interiors

4043 East McDowell Street
Phoenix, Arizona 85008
Telephone: 602.994.9060
Fax: 602.994.8264
www.dfdg.com

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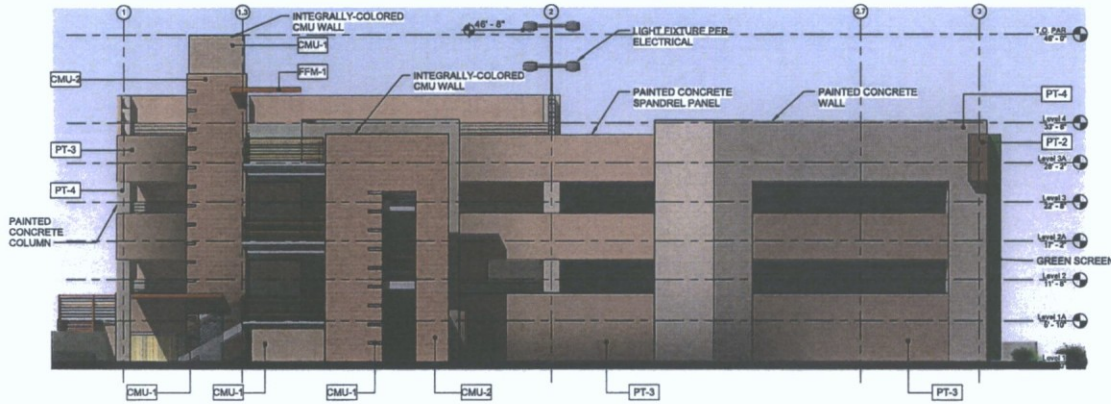
10/19/16
Wentworth Properties
AS.03

MATERIAL LEGEND

MARK	MANUFACTURER	PRODUCT
CMU-1	Superlite	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Superlite	Integrally-Colored Split-Face CMU, Color: Autumn Brown
FFM-1	Alas	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Bear in Mind" LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6064 "Roxy Brown" LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lark" LRV 24
PT-4	Dunn Edwards	Painted Concrete: DEC716 "Coral Clay" LRV 42

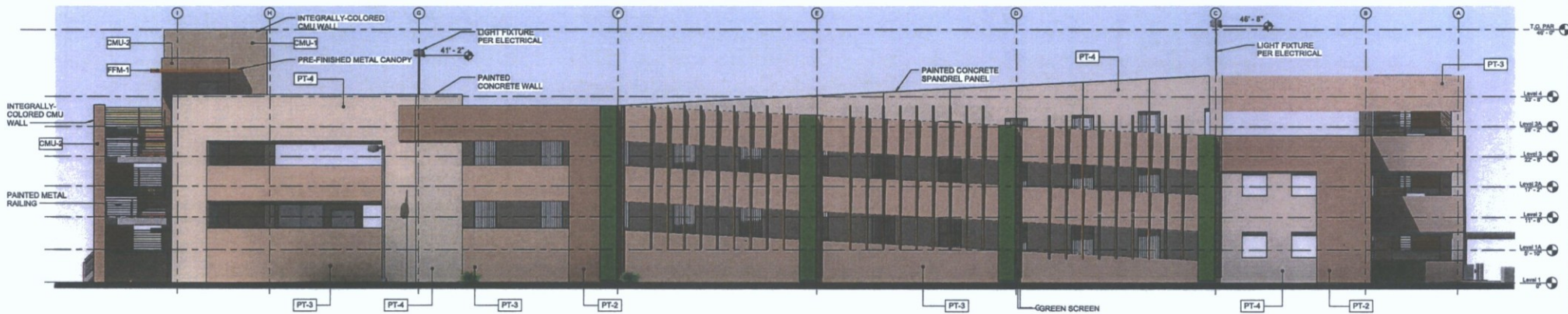
GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scuppers will be included in this project.



1 East Colored Elevation

1/8" = 1'-0"



2 North Colored Elevation

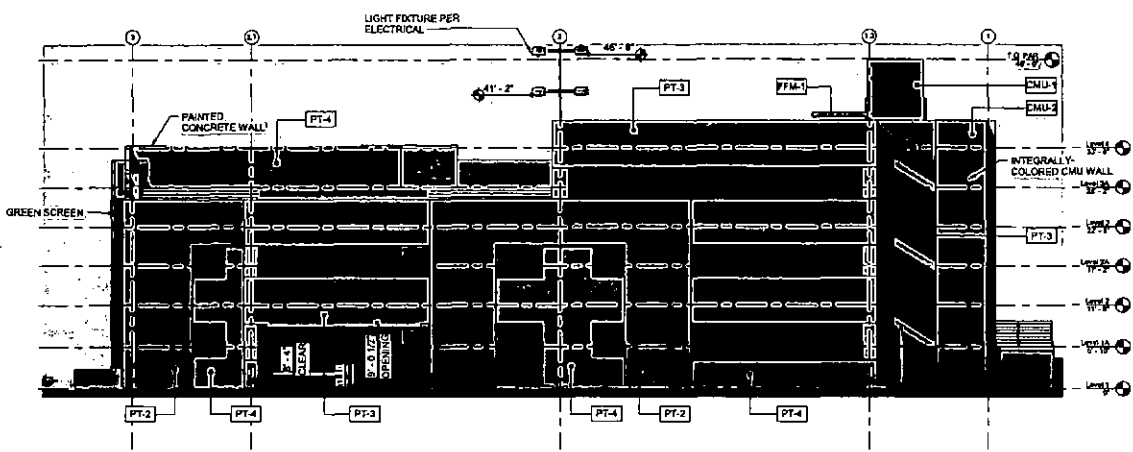
1/8" = 1'-0"

MATERIAL LEGEND

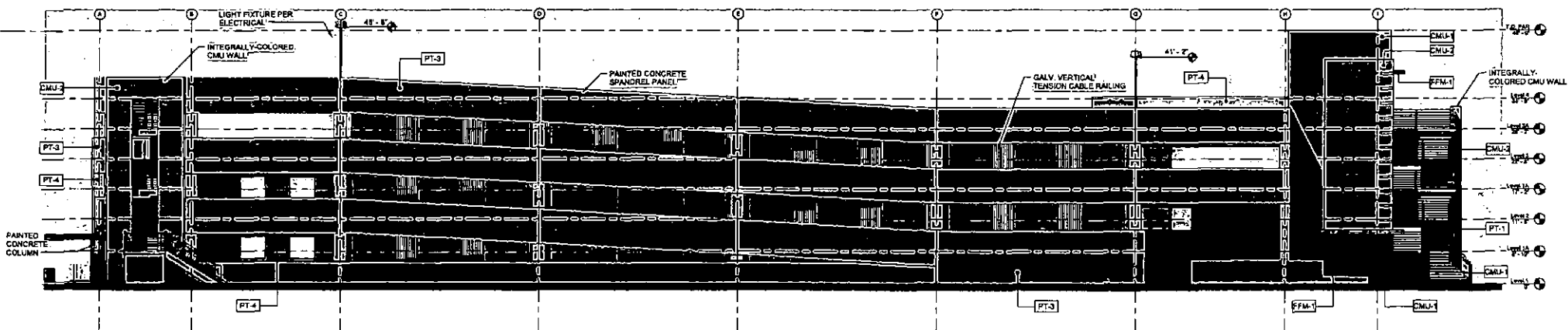
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FFM-1	Alus	Pra-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Bees in Mind" LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6084 "Rise & Shine" LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lake" LRV 24
PT-4	Dunn Edwards	Painted Concrete: DEC719 "Coral Clay" LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage docks to have internal area drains.
- D. No scuppers will be included in this project.

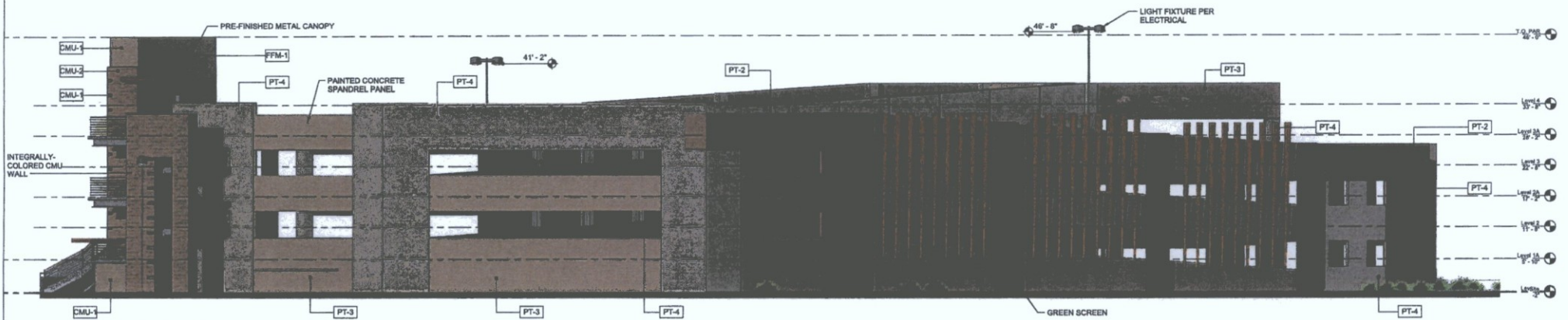


1 West Colored Elevation
1/8" = 1'-0"



2 South Colored Elevation
1/8" = 1'-0"

GARAGE 5 - COLORED ELEVATIONS



1 Northeast Colored Elevation

1/8" = 1'-0"



2 View From Street



3 View From Parking Lot

MATERIAL LEGEND

MARK	MANUFACTURER	PRODUCT
CMU-1	Supertile	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Supertile	Integrally-Colored Split-Face CMU, Color: Autumn
FFM-1	Alata	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Bear in Mind", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6094 "Roxy Brown", LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DE0719 "Coral Clay", LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scoupers will be included in this project.

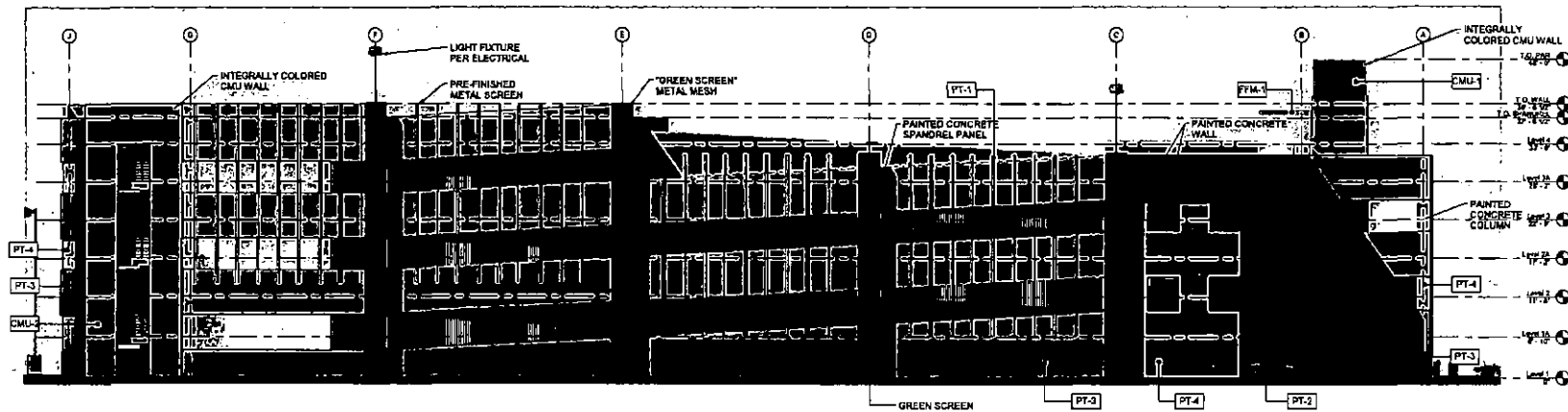


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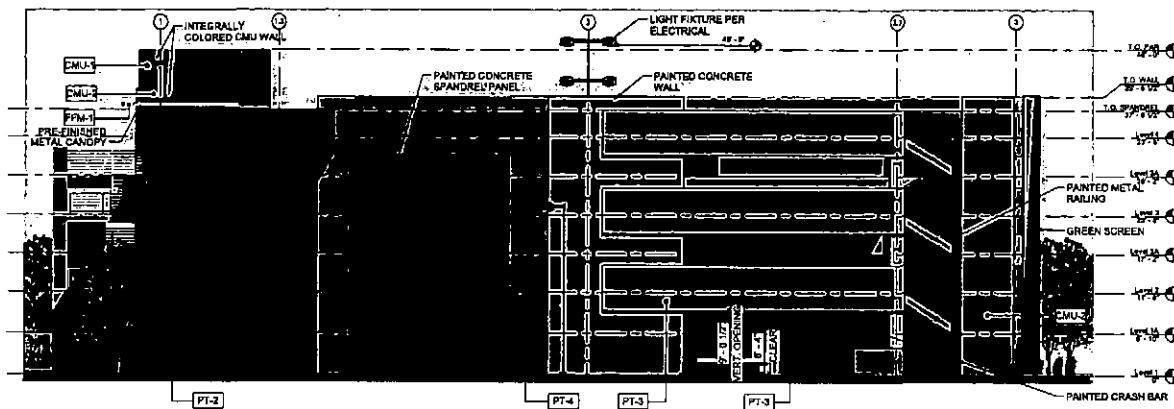
GARAGE 5 - COLORED ELEVATIONS

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10/19/16
 Wentworth Properties
 A5.11



1 East Elevation
1/8" = 1'-0"



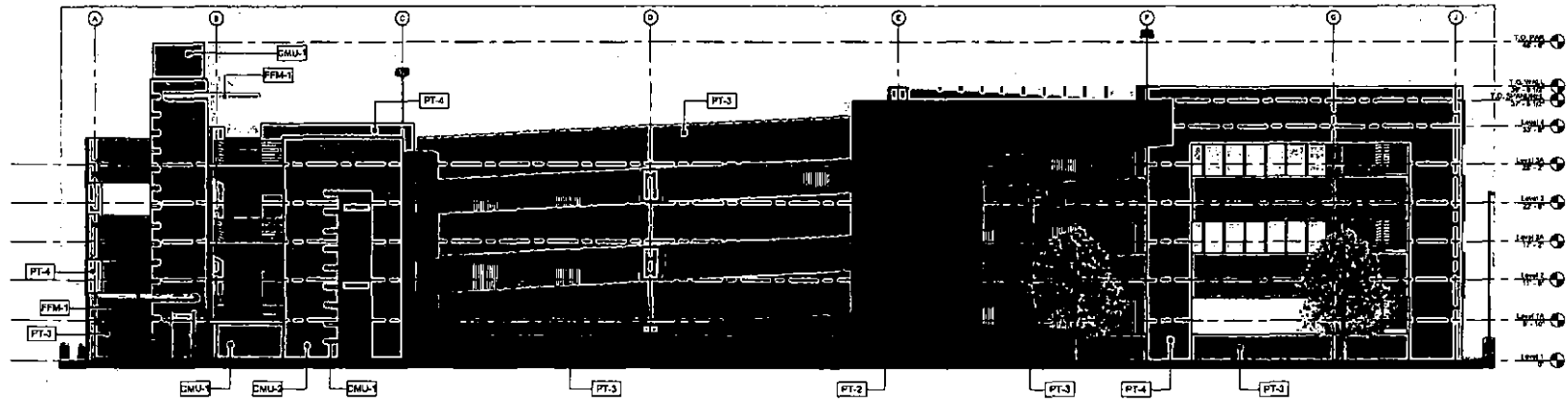
2 South Elevation
1/8" = 1'-0"

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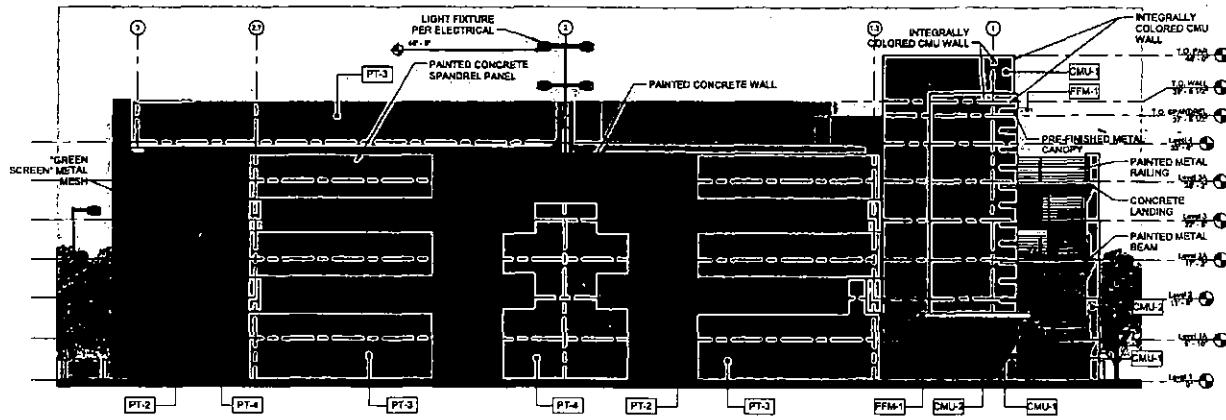
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PFM-1	Alco	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE8042 "Base in Mind", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE8084 "Rusty Brown" LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE8076 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DEC719 "Coral Clay" LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scuppers will be included in this project.



① West Elevation
1/8" = 1'-0"



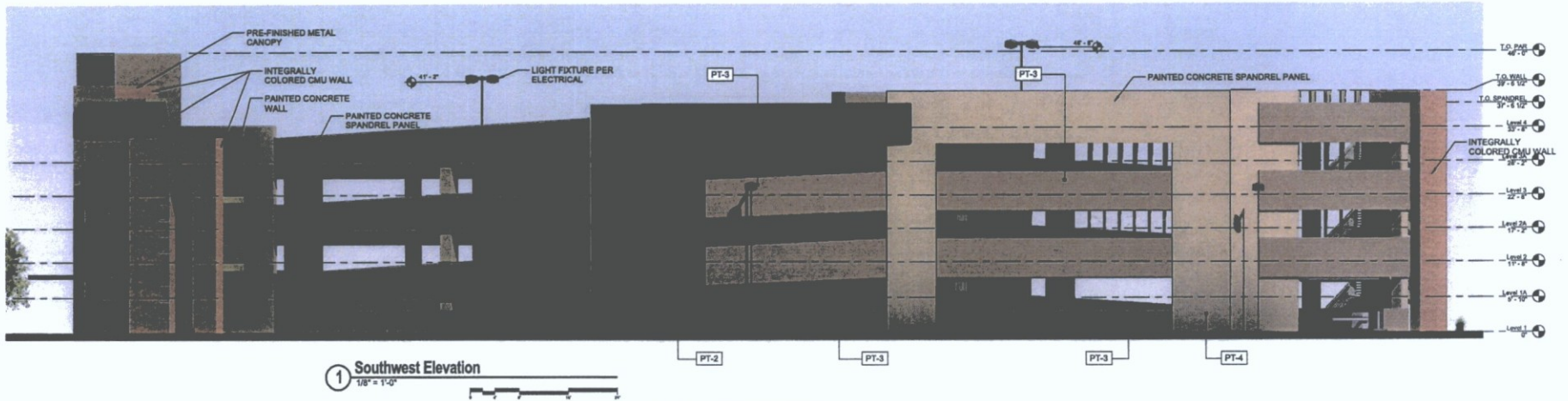
② North Elevation
1/8" = 1'-0"

MATERIAL LEGEND

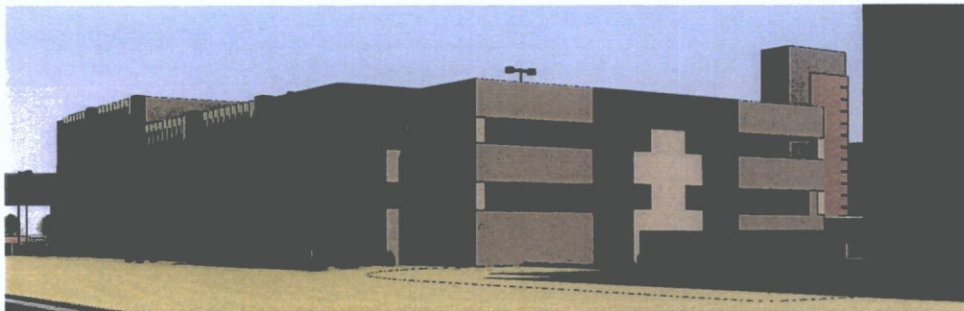
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FFM-1	Alas	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Bar in Ming", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6084 "Rusty Brown", LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DE6119 "Coral Cay", LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scoopers will be included in this project.



1 Southwest Elevation
1/8" = 1'-0"



2 View From Frontage Road

MATERIAL LEGEND

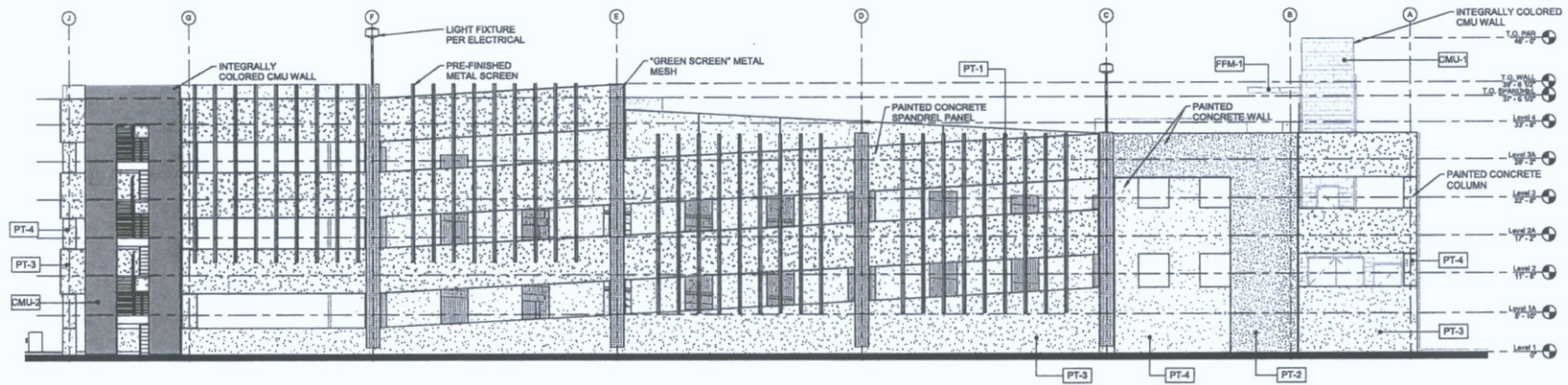
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FFM-1	Atlas	Pre-Finished Metal - 04 Chocolate Brown
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PT-2	Dunn Edwards	Painted Concrete: DE6084 "Roxy Brown" LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DEC719 "Coral Clay" LRV 42

GENERAL NOTES

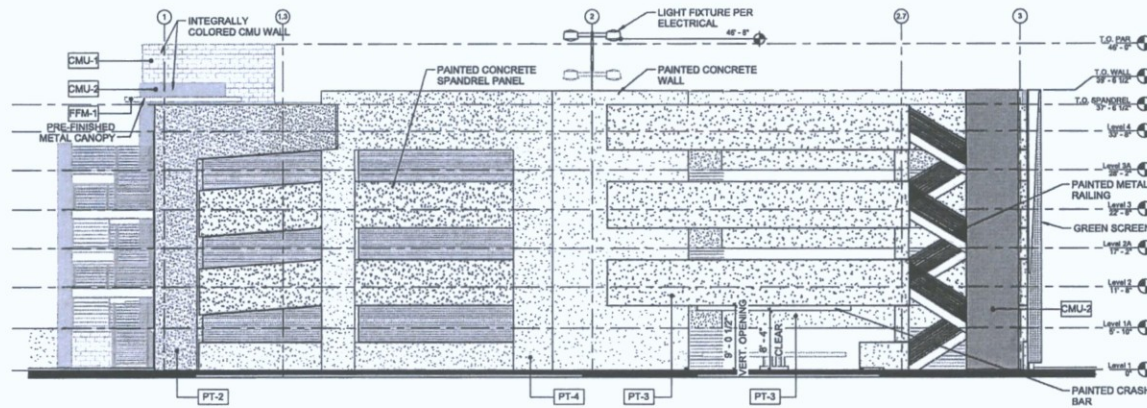
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- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scuppers will be included in this project.



3 View From Intersection



1 East Elevation
1/8" = 1'-0"



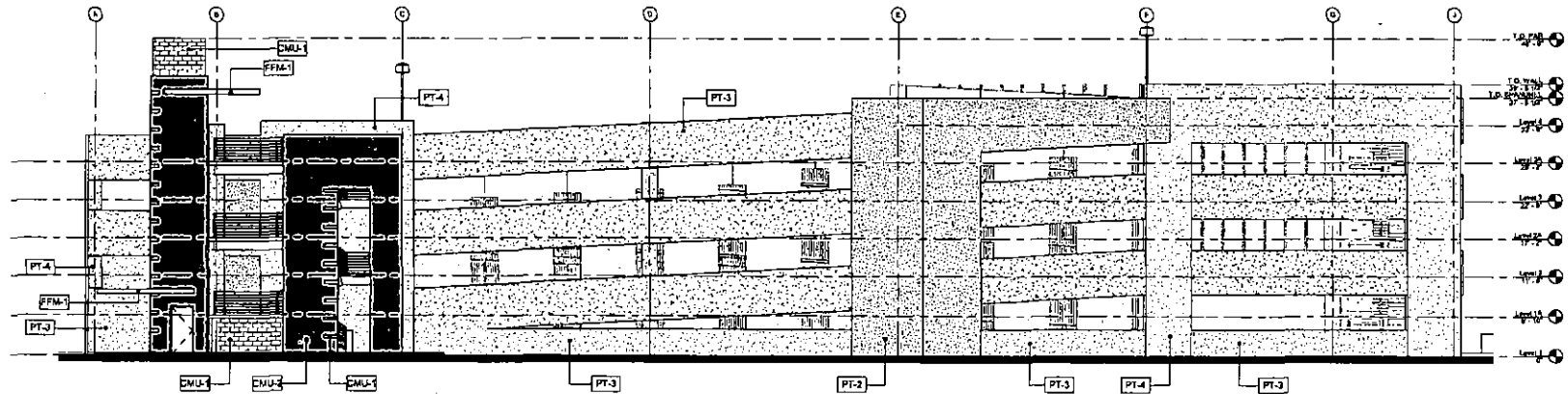
2 South Elevation
1/8" = 1'-0"

MATERIAL LEGEND

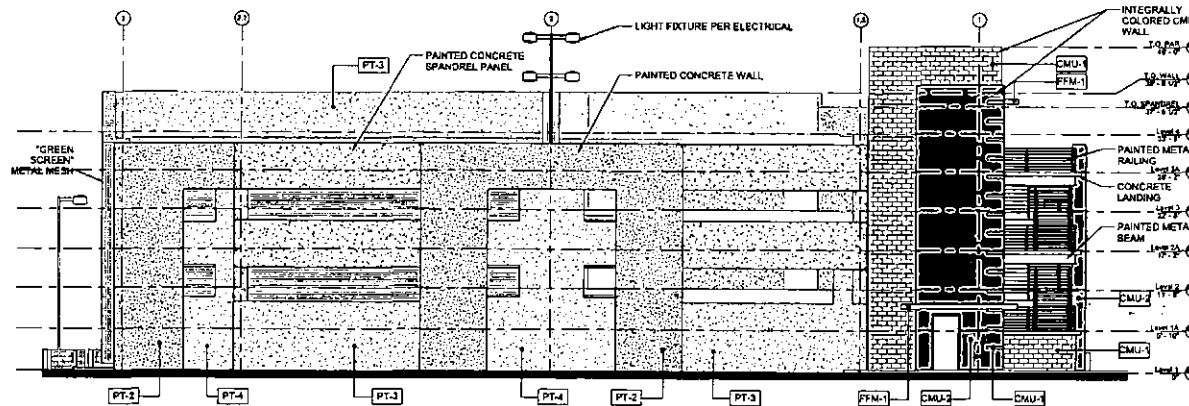
MARK	MANUFACTURER	PRODUCT
CMU-1	Superlite	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Superlite	Integrally-Colored Split-Face CMU, Color: Autumn
FFM-1	Alas	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Bear in Mind", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6084 "Roxy Brown", LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE8076 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DECT19 "Coral Clay", LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scuppers will be included in this project.



① West Elevation
1/8" = 1'-0"



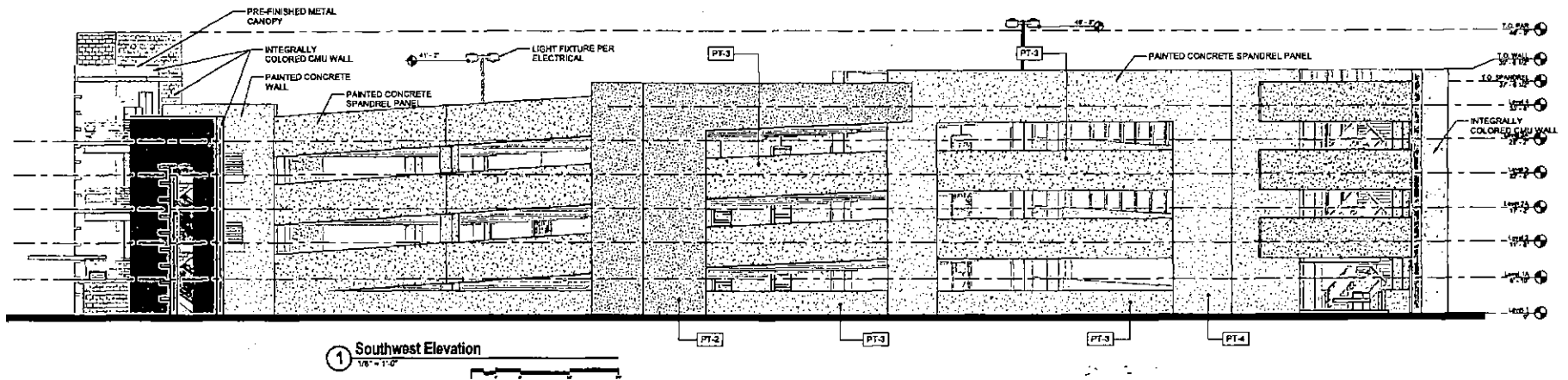
② North Elevation
1/8" = 1'-0"

MATERIAL LEGEND

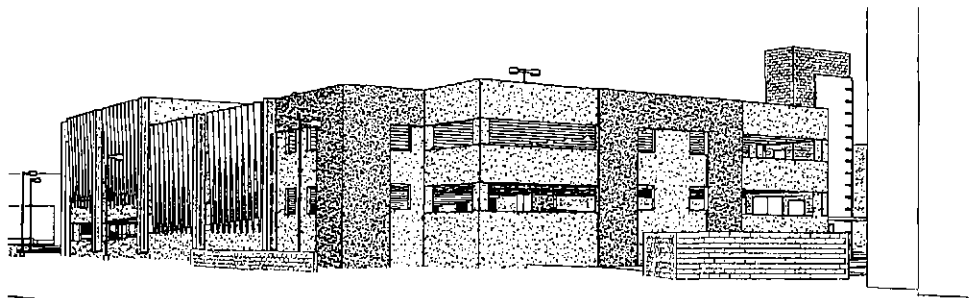
MARK	MANUFACTURER	PRODUCT
CMU-1	Supertile	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Supertile	Integrally-Colored Split-Face CMU, Color: Umber Brown
PFM-1	Atlas	Pre-Finished Metal - R4 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Eave in Silver", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6034 "Bony Brown", LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6076 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DE6719 "Coral Clay", LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage doors to have internal area drains.
- D. No scuppers will be included in this project.



① Southwest Elevation
1/8" = 1'-0"



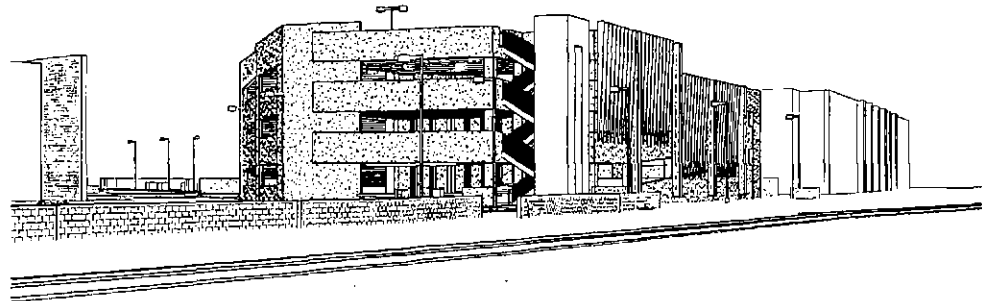
② View From Frontage Road

MATERIAL LEGEND

MARK	MANUFACTURER	PRODUCT
CMU-1	Supertile	Integrally-Colored Smooth CMU, Color: Umber/Brown
CMU-2	Supertile	Integrally-Colored Split-Face CMU, Color: Autumn
PFM-1	Atlas	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Concrete: DE6942 "Star in Hand", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6984 "Rusty Brown", LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6975 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DEC719 "Coral Clay", LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scuppers will be included in this project.



③ View From Intersection

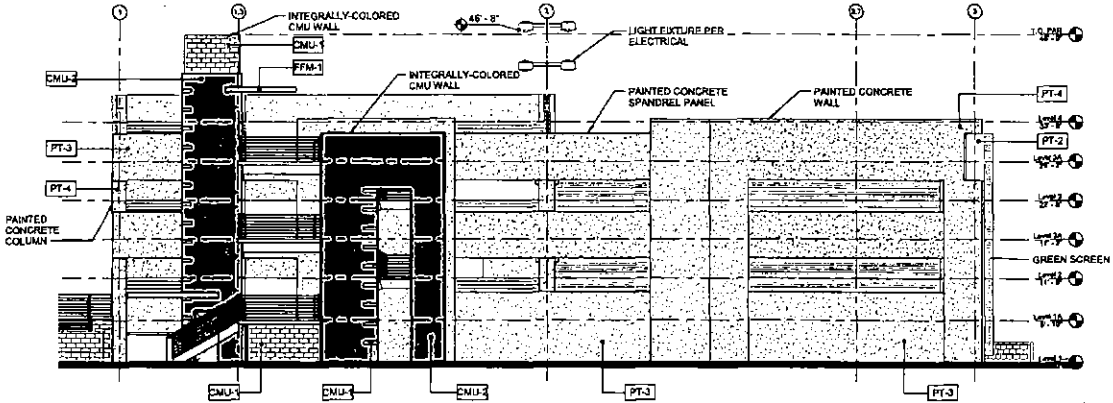
GARAGE 2 - BUILDING ELEVATIONS

MATERIAL LEGEND

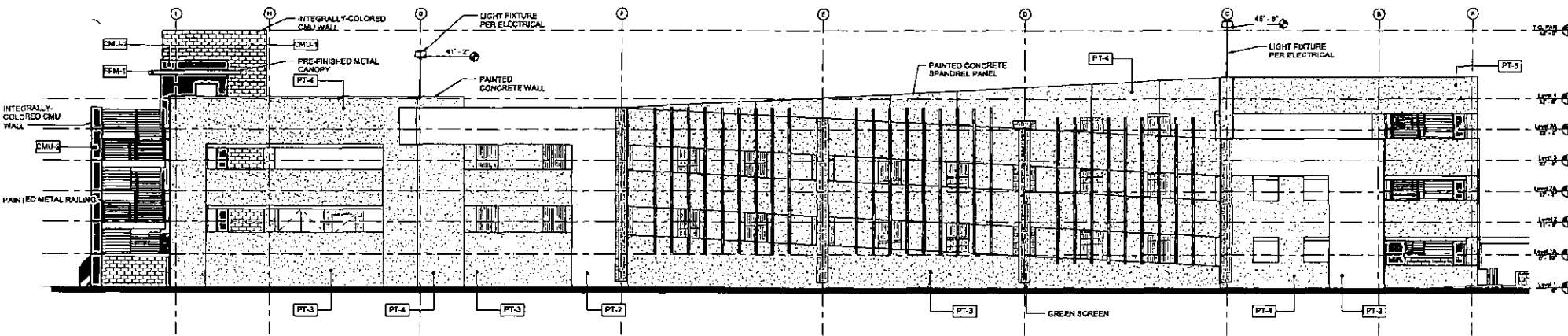
MARK	MANUFACTURER	PRODUCT
CMU-1	Supertite	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Supertite	Integrally-Colored Split-Face CMU, Color: Autumn
FFM-1	Alas	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Dunn Edwards	Painted Metal: DE6042 "Bar in Mind", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6034 "Rusty Brown", LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DEC719 "Coral Clay", LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No scuppers will be included in this project.



1 East Elevation
1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"

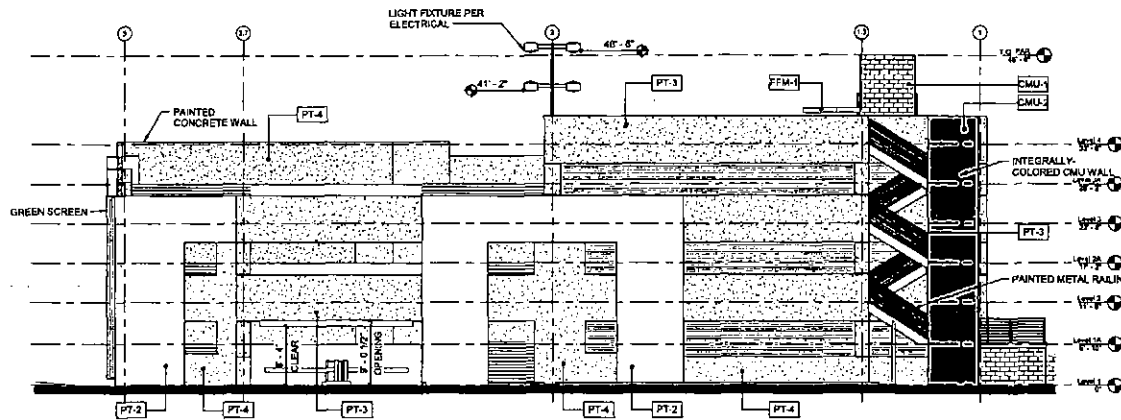
GARAGE 5 - BUILDING ELEVATIONS

MATERIAL LEGEND

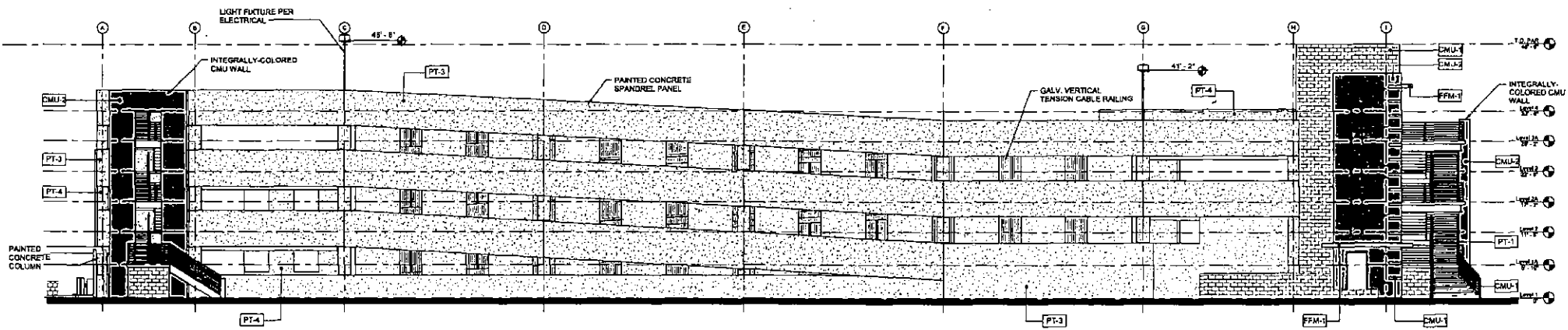
MARK	MANUFACTURER	PRODUCT
CMU-1	Supertite	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Supertite	Integrally-Colored Split-Face CMU, Color: Autumn Brown
FFM-1	Alas	Pre-Finished Metal - 04 Chocolate Brown
PT-1	Quinn Edwards	Painted Metal: DE6042 "Bays in Mind" LRV 7
PT-2	Quinn Edwards	Painted Concrete: DE6084 "Roxy Brown" LRV 11
PT-3	Quinn Edwards	Painted Concrete: DE6075 "Wood Lake" LRV 24
PT-4	Quinn Edwards	Painted Concrete: DE6718 "Corsi Gray" LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drains.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No cuppers will be included in this project.



1 West Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"

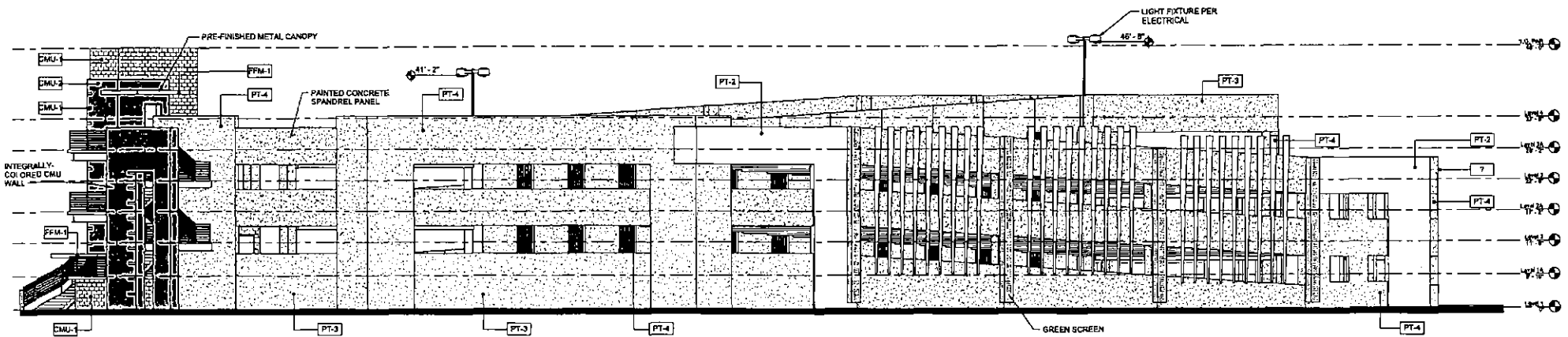
DEDG
DICK & EDWARDS DESIGN GROUP

1625 East 14th Street
Phoenix, Arizona 85006
Telephone: 602.974.9300
Fax: 602.974.9395
www.dedg.com

GARAGE 5 - BUILDING ELEVATIONS

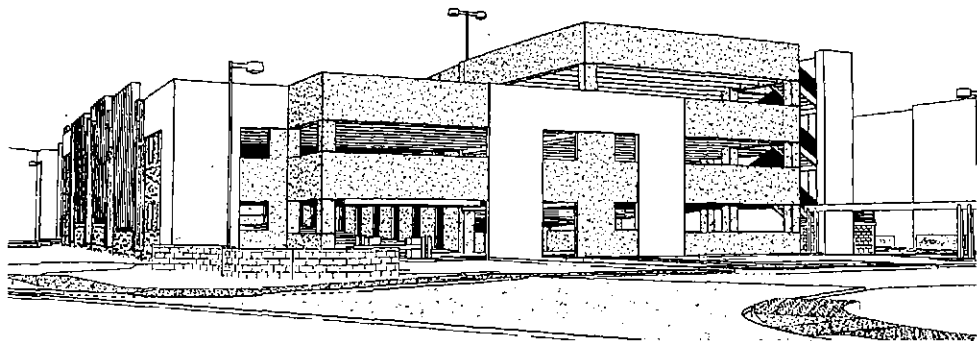
10/19/16
Wentworth Properties
A5.07

10/19/16
PRELIMINARY NOT FOR CONSTRUCTION
ISSUED AS SUPPLEMENTAL SHEET



1 Northeast Elevation

1/8" = 1'-0"



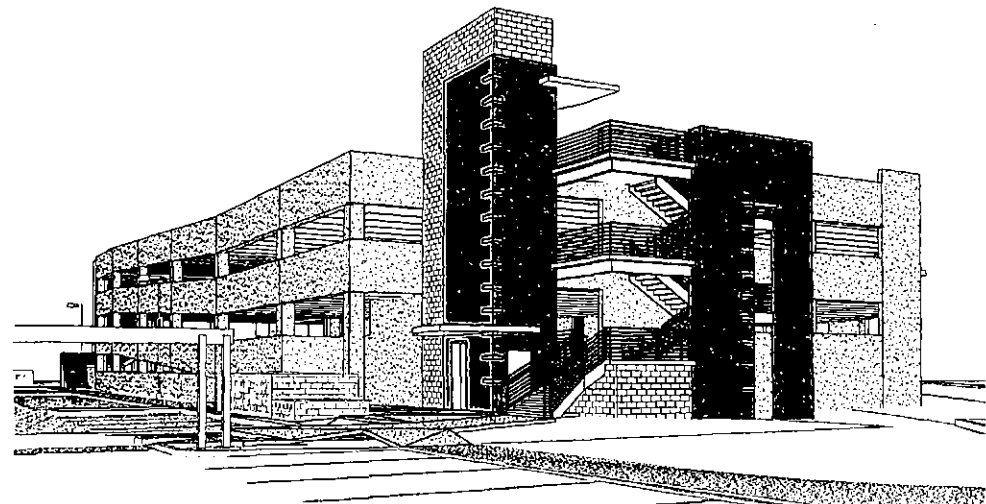
2 View From Street

MATERIAL LEGEND

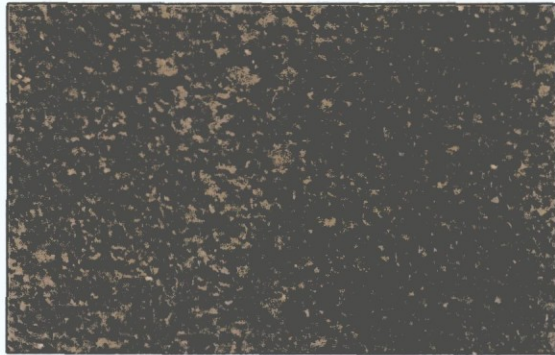
MARK	MANUFACTURER	PRODUCT
CMU-1	Supertile	Integrally-Colored Smooth CMU, Color: Umber Brown
CMU-2	Supertile	Integrally-Colored Split-Face CMU, Color: Autumn
PFM-1	Alfa	Pre-Finished Metal - 04 Cacao/Brown Brown
PT-1	Dunn Edwards	Painted Metal: DE6043 "Steel n' Mild", LRV 7
PT-2	Dunn Edwards	Painted Concrete: DE6084 "Rusty Brown" LRV 11
PT-3	Dunn Edwards	Painted Concrete: DE6075 "Wood Lake", LRV 24
PT-4	Dunn Edwards	Painted Concrete: DECT19 "Coast Clay" LRV 42

GENERAL NOTES

- A. All elevator enclosures to have roof drain with internal roof drain leaders.
- B. All canopies to have 1/8" per foot slope and shed onto garage deck.
- C. All garage decks to have internal area drains.
- D. No supports will be included in this project.



3 View From Parking Lot



CMU-1, SMOOTH
SUPERLITE "UMBER BROWN"



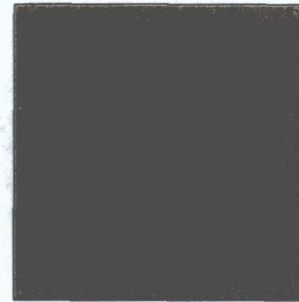
CMU-2, SPLIT FACE
SUPERLITE "AUTUMN"



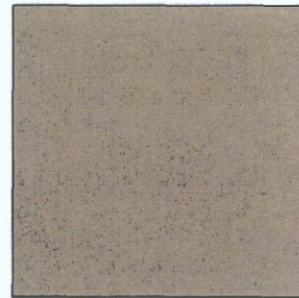
PT-1 DUNN EDWARDS
DE6042 "BEAR IN MIND"



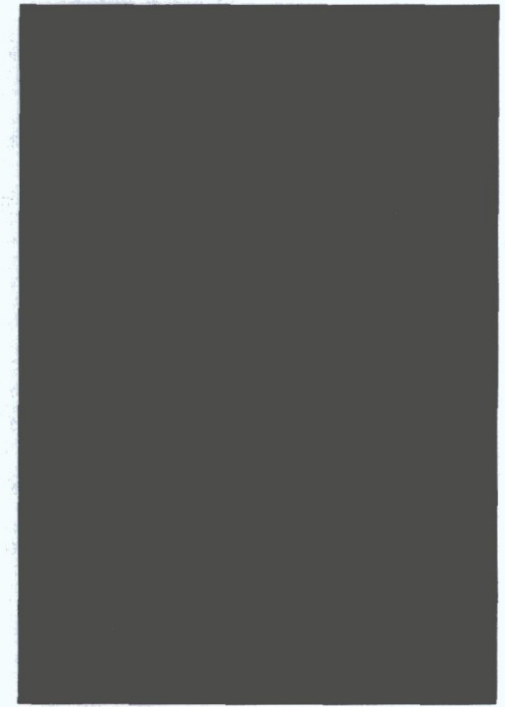
PT-2 DUNN EDWARDS
DE6064 "ROXY BROWN"



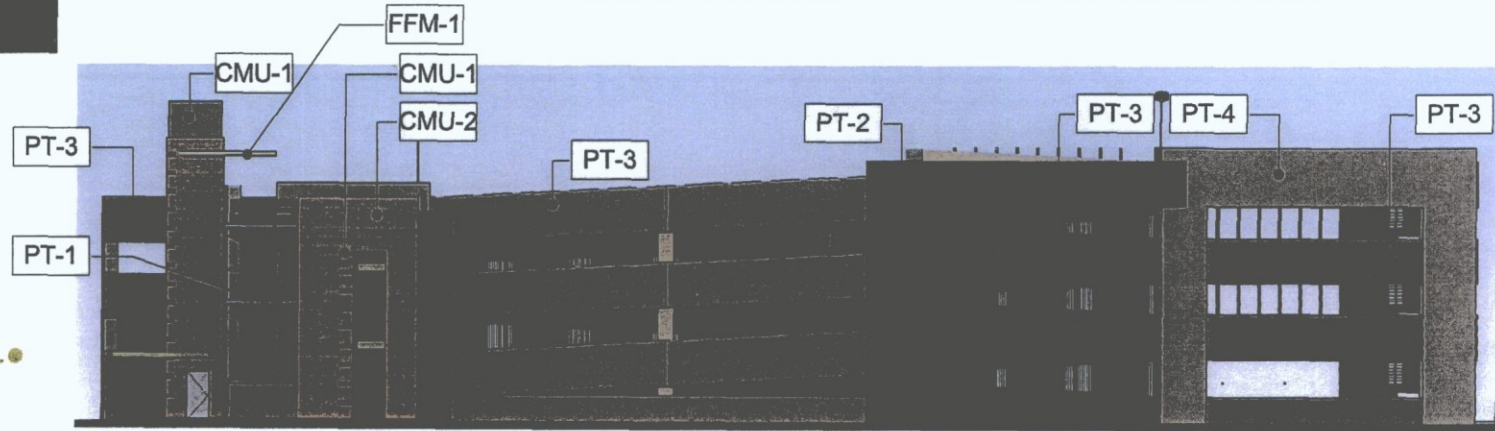
PT-3 DUNN EDWARDS
DE6075 "WOOD LAKE"

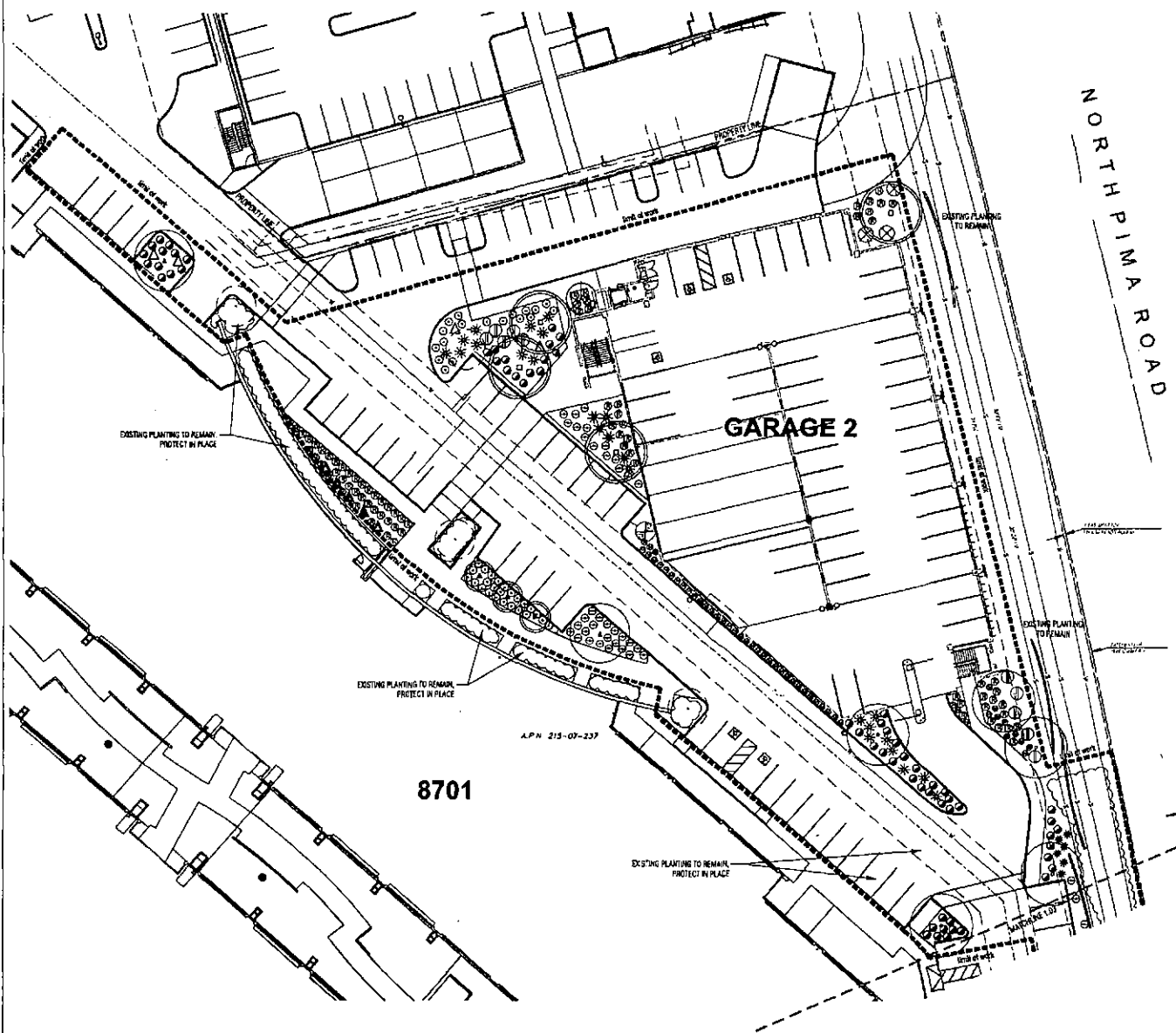


PT-4 DUNN EDWARDS
DEC719 "CORAL CLAY"



FFM-1 ATAS
04 "CHOCOLATE BROWN"





NORTH PIMA ROAD

GARAGE 2

8701

APN 215-07-237

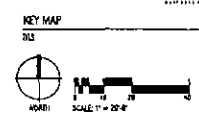
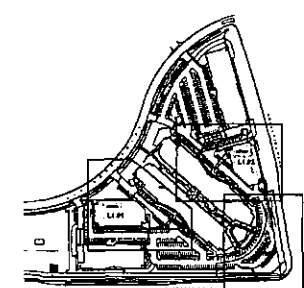
PLANT LEGEND:

SYMBOL	TYPE	SIZE	QTY.	REMARKS - HEIGHT X WIDTH - CALIPER SIZE
Tree				
(Symbol)	Existing Tree/Planting to Remain			Protect in Place
(Symbol)	Callalilly pistachio	24" Box	6	M&B - Truck 5.0-7.0 8.0-8.0 1.0 MA
(Symbol)	Callalilly pistachio	36" Box	7	M&B - Truck 7.0-8.0 6.0-8.0 2.0 MA
(Symbol)	Callalilly pistachio	36" Box	9	M&B - Truck 6.0-8.0 4.0-6.0 1.75 MA
(Symbol)	Callalilly pistachio	36" Box	9	M&B - Truck 6.0-10.0 8.0-8.0 1.75 MA
(Symbol)	Callalilly pistachio	24" Box	11	M&B - Truck 3.0-4.0 2.0-5.0 .75 MA
Shrub				
(Symbol)	Callalilly pistachio	5 Galton	25	
(Symbol)	Callalilly pistachio	5 Galton	278	
(Symbol)	Callalilly pistachio	5 Galton	26	
(Symbol)	Callalilly pistachio	5 Galton	161	
Accent				
(Symbol)	Callalilly pistachio	5 Galton	1	
(Symbol)	Callalilly pistachio	5 Galton	240	
(Symbol)	Callalilly pistachio	5 Galton	113	
(Symbol)	Callalilly pistachio	5 Galton	25	
(Symbol)	Callalilly pistachio	5 Galton	108	
(Symbol)	Callalilly pistachio	5 Galton	41	
(Symbol)	Callalilly pistachio	6 Galton	16	
Groundcover/Landmark				
(Symbol)	Callalilly pistachio	1 Galton	83	
(Symbol)	Callalilly pistachio	1 Galton	81	
(Symbol)	Callalilly pistachio	6 Galton	8	

NOTES

DUST CONTROL INFORMATION:
IN ALL LANDSCAPE AREAS PROVIDE 1/2" LAYERS DECOMPOSED GRANITE
MINIMUM 2" DEPTH
COLOR TO MATCH EXISTING

LANDSCAPE AREAS IN SQUARE FEET
ON-SITE LANDSCAPE AREA: 155.6M
RIGHT OF WAY LANDSCAPE AREA: 6
PARKING LOT LANDSCAPE AREA: 50.20M



DICK & FRITZCH DESIGN GROUP
4445 EAST MAXWELL STREET
PHOENIX, ARIZONA 85008
TELEPHONE: (480) 854-9334
FACSIMILE: (480) 854-9334
WWW.DFG.COM

NOT FOR CONSTRUCTION



PROJECT REGISTERED IN CITY
ISSUE

REVISIONS

TRUEFORM
LANDSCAPE ARCHITECTURE STUDIO

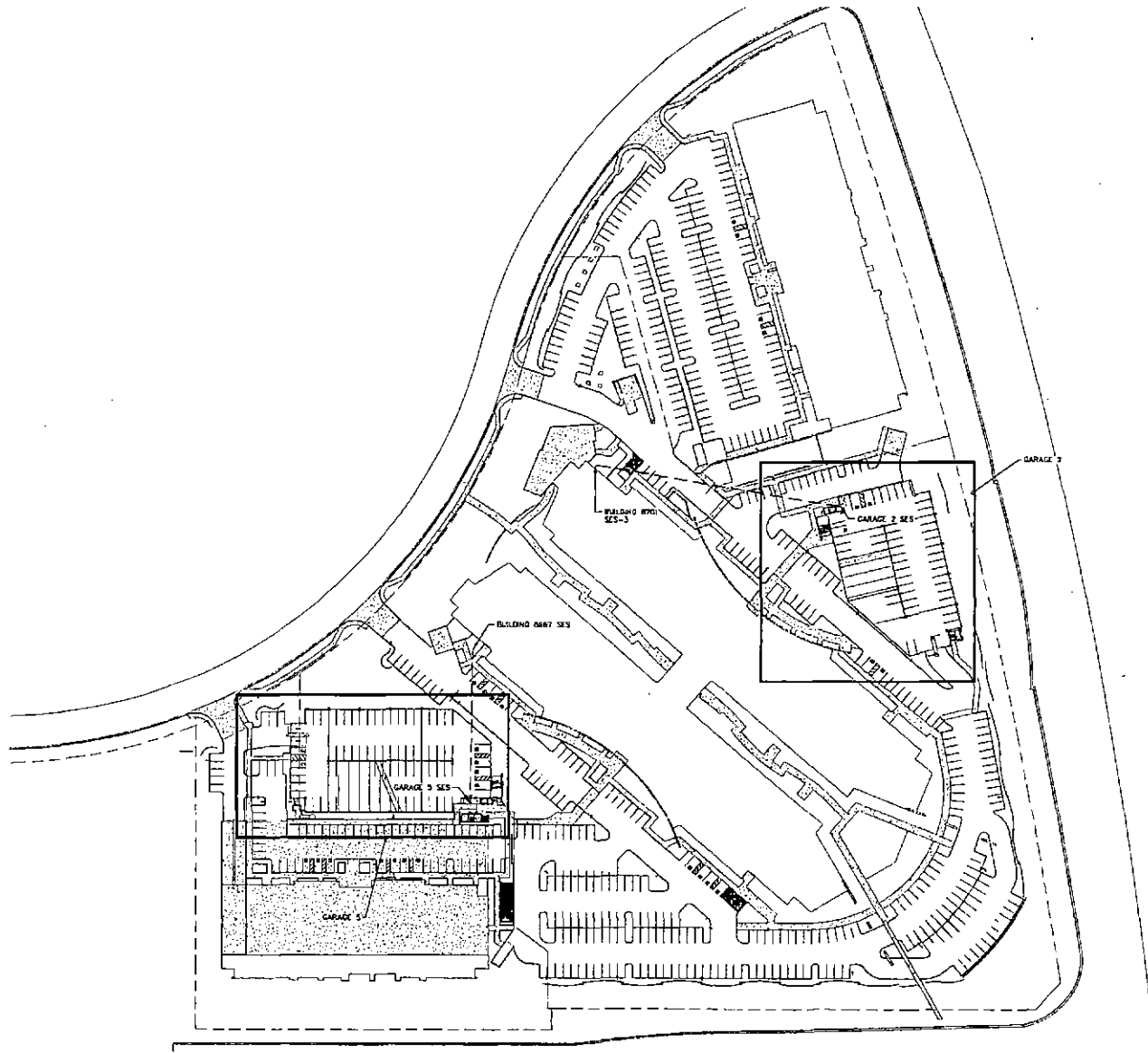
2500 NORTH 7TH AVENUE
PHOENIX, AZ 85008
1-480-342-4244
WWW.TRUEFORMAZ.COM
General Note:
This drawing is prepared in accordance with the requirements of the Arizona State Board of Landscape Architecture and the International Association of Professional Landscape Architects.

DRB SUBMITTAL
12.21.2016

Wentworth Perimeter Center
8665 & 8701 E. Harford Drive
Scottsdale, AZ

LANDSCAPE PLAN
L1.02





1 Electrical Site Plan
1" = 60'-0"



4545 Elm Lakeside Blvd
Phoenix, Arizona 85008
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Fax: 602.998.2564
www.dedg.com

ELECTRICAL SITE PLAN

<p>CDOT Project No. 1311 PRELIMINARY, NOT FOR CONSTRUCTION <small>© 2011 DEDG</small></p>	<p>7604316 Wentworth Properties E200</p>
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ATTACHMENT #9

