

**Correspondence Between
Staff and Applicant
Approval Letter**



Community & Economic Development Division
Planning, Neighborhood & Transportation

7447 East Indian School Road
Scottsdale, Arizona 85251

January 25, 2017

68-DR-2000#5

Jim Lloyd

DFDG

4545 East McKinley Street

Phoenix, AZ 85008

RE: DRB APPROVAL NOTIFICATION

Case Reference No: 68-DR-2000#5 Wentworth Properties Perimeter Center Parking Garages

The Development Review Board approved the above referenced case on January 19, 2017. For your use and reference, we have enclosed the following documents:

- Approved Stipulations/Ordinance Requirements
- Site Plan with Fire Dept. Requirements Notations
- Construction Document Submittal Requirements/Instructions
- This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.
 - These instructions are provided to you so that you may begin to assemble information you will need when submitting your construction documents to obtain a building permit. For assistance with the submittal instructions, please contact your project coordinator, Dan Symer, AICP, 480-312-4218.
- Table: "About Fees"
 - A brief overview of fee types. A plan review fee is paid when construction documents are submitted, after which construction may begin. You may review the current years fee schedule at: <http://www.scottsdaleaz.gov/bldgresources/Fees/default.asp>

Please note that fees may change without notice. Since every project is unique and will have permit fees based upon its characteristics, some projects may require additional fees. Please contact the One Stop Shop at 480-312-2500.

Finally, please note that as the applicant, it is your responsibility to distribute copies of all enclosed documents to any persons involved with this project, including but not limited to the owner, engineers, architect, and developer.

Sincerely,



Dan Symer, AICP
Senior Planner
dsymer@ScottsdaleAZ.gov

About Fees -



August 26, 2016

Jim Lloyd
DFDG
4545 East McKinley Street
Phoenix, Arizona 85008

RE: 68-DR-2000#5
Wentworth Properties Perimeter Center Parking Garages

Dear Mr. Lloyd:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on July 21, 2016. The following **1st Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. Please revise the building elevations to include a dimension to the top of the elevator bulkheads. The maximum height of elevator bulkheads shall comply with Section 7.102.A. of the Zoning Ordinance.
2. Please revise the building elevation height to comply with the Drainage comments below. Please be advised that the maximum height of the parking structure shall comply with Section 5.1804.C. of the Zoning Ordinance - maximum: fifty-two (52) feet.
3. Please dimension the minimum distance from the new driveways to the south and east property lines near the southeast corner of the property. If the distance is less than thirty-five (35) feet, please revise the site design to include a screen wall that will match the existing parking lot screen walls to screen the new drive aisles and new parking spaces from views along the East Bell Road and Loop 101 Frontage Road South Bound frontages (Section 10.402. of the Zoning Ordinance). Also, refer to comment number 11.
4. Please revise the site plan to include the total number of accessible parking spaces for each new parking garage and surface parking lot, which shall be four (4) percent of the space provided

(Section 9.106.B.4. and 9.106.K. of the Zoning Ordinance, and Section 208.2 of the 2010 ADA Standards for Accessible Design).

5. Please dimension the vertical clearance of the garage vehicle entries on building elevation of garage 2 and 5. The minimum vertical clearance shall be eight (8) feet two (2) inches (Section 9.106.O.2. of the Zoning Ordinance). This clearance shall be provided from the vehicle entrance to and above all accessible parking spaces (Section 9.106.O.1. and 2. of the Zoning Ordinance). In accordance with Section 208.3.1. of 2010 ADA Standards for Accessible Design, all van accessible parking spaces may be on one level.
6. Please provide information and details on the building elevations pertaining to the methodology for the roof drainage system (Section 7.105 of Zoning Ordinance). In accordance with Section 2-1.401.4 of the Design Standards & Policies Manual (DSPM), roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas near rooftop drainage locations shall be designed and constructed to minimize erosion or staining of nearby building walls and direct water away from the building foundations.
7. Please revise the parking lot light poles and bases location in the new parking lot area adjacent to the southeast corner of the property so that the poles are not placed in the parking stall. In accordance with Section 9.106.A. of the Zoning Ordinance, the entire width and length of a parking stall shall be unobstructed over a height of six (6) inches.
8. Please revise the landscape plan to include the summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping (Section 10.200.B.2. of the Zoning Ordinance).

Drainage:

9. Please revise the Conceptual Grading & Drainage Plan address the following:
 - a. The project site is located in the FEMA 'AO' flood zone. Therefore, the Lowest floor based on the 1988 datum (LF₈₈) for each parking garage must be elevated to at least 2.0 feet. above the pre-development Highest Adjacent Grade (HAG) for each structure or the LF (Lowest Floor) must be "dry floodproofed" to at least 2.0 feet. above the pre-development HAG by following the FEMA "dry floodproofing" regulations. Please call out the LF₈₈ for each parking garage on the Conceptual Grading & Drainage Plan. Also, please call out the "dry floodproofing" elevation for each parking garage, if applicable. [Reference: COS Stormwater Ordinance: Section 37-26 & Section 37-29]
 - b. According to the historical aerial maps available on the City's Land Information System (LIS), it appears that the site was disturbed between 1997 and 1999. Therefore, the pre-development topography based on which the individual HAG for each parking garage needs to be identified, must date back prior to 1997. Please add an additional plan sheet to the Conceptual Grading & Drainage Plan and show the pre-development topography on this sheet. Show the footprints of all existing buildings and the two proposed garages on this plan sheet, indicated the individual LF₈₈ for each building (both existing and proposed), and call out the HAG for each parking garage on this plan sheet. [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DSPM: Sections 4-1.900 & 4-1B]
 - c. Please find attached a copy of the approved Grading & Drainage Plans for "Scottsdale Perimeter Center, Phase Two" (COS Case #: 15-DR-1988) which includes a number of 11"x17" printouts of some of the relevant pages and which shows the pre-development

topography of the project site. However, the topography line aren't legible at some places and therefore, the Engineer may come to the City to obtain a more legible copy of the approved plans, or may contact original Engineering firm that prepared the Grading & Drainage Plans for "Scottsdale Perimeter Center, Phase Two" (COS Case #: 15-DR-1988). It should be noted here that the pre-development topography which appears on Grading & Drainage Plans for "Scottsdale Perimeter Center, Phase Two", may well be referenced to the NGVD 29 datum instead of the NAVD₈₈ datum. The Engineer must verify the datum reference prior to showing the pre-development topography on the request plan size (24-inch x 36-inch) HAG sheet as a part of the Conceptual Grading & Drainage Plan. [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DS&PM: Sections 4-1.900 & 4-1B]

- d. Put a "Drainage Note" on the Conceptual Grading & Drainage Plan stating that "A dry floodproofing certificate will be provided with the Improvement Plans submittal". [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DSPM: Sections 4-1.800, 4-1.900 & 4-1B]
- e. Please note that storm drain pipes and/or manholes are not allowed under permanent structures (buildings). Please verify it on Sheet 2 of 2 of the Conceptual Grading & Drainage Plan. [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DSPM: Sections 4-1.800, 4-1.900 & 4-1B]
- f. Please show a total number of four (4) sections across the two parking garages as marked up by sections A-A, B-B, C-C, & D-D on the redline Conceptual Grading & Drainage Plan. Show and call out the HAG (s), LF₈₈ (s) and profile (s) of any storm drain pipes on these sections as appropriate. [Reference: COS DSPM: Section 4-1.900 & Section 4-1B].

Other:

10. Please ensure all plans have 3/16-inch (12 pt), 1/8-inch preferred, minimum lettering. This is to ensure that lettering is readable when reduced for the applicable reports and record documents (Section 1.204 of the Zoning Ordinance and Plan & Report Requirements for Development Applications (PRRDA)).

Significant Policy Related Issues

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site Design:

11. Please revise the site design to include a screen wall to match the existing parking lot screen walls to screen the new drive aisles and new parking spaces from views along the East Bell Road and Loop 101 Frontage Road South Bound frontages (Design Guidelines for Office Development, Site Design and Planning, Circulation and Parking 16).
12. Please revise the site design at the southeast corner of Garage 5 to maintain an unobstructed pedestrian route from the west, south of Garage 5 and abutting the parking spaces, around the underground parking garage stairwell to the north-south pedestrian connection that leads from Garage 5 to the building (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). As proposed, the proposed Garage 5 placement interferes with this pedestrian connection.

13. Please revise the site design at the southwest corner of Garage 5 to provide a pedestrian connection from the Garage 5 stairwell to the pedestrian sidewalk adjacent to the south (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). Also, please see comment number 19. The width of the new sidewalk connection shall match the existing sidewalk widths, but no less than 6-foot wide (Section 2-1.808. of the DSPM).
14. Please revise the site design at the southeast corner of Garage 2 to provide a pedestrian connection from the Garage 2 stairwell to the pedestrian sidewalk circulation on the west side of the adjacent northwest-southeast driveway (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). The width of the new sidewalk connection shall be a match the existing sidewalk widths, but no less than 6-foot wide (Section 2-1.808. of the DSPM).

Landscape Design:

15. Due to the thorny spines of the *Ferocactus cylindraceus* Compass Barrel Cactus and the *Opuntia ficus indica* Indian Fig Prickly Pear, these plants shall be located at a minimum of least four (4) feet, based on the mature plant size, away from adjacent the edge of the walkway and pedestrian areas that they are planted to any walkway or other pedestrian area (Section 1.1001.13. of the DSPM). Please revise the landscape plan accordingly.
16. Due to the broad arching form of the leaves and flower stems of *Hesperaloe parviflora* Red Yucca this plant, the location of these plants shall be located at a minimum of least four (4) feet, based on the mature plant size, away from adjacent the edge of the walkway and pedestrian areas that they are planted to any walkways or other pedestrian areas (Section 1.1001.13. of the DSPM). Please revise the landscape plan accordingly.
17. Please indicate location of the electrical service entrance sections (SES) for Garage 2 and 5. The SES shall be incorporated into the design of the building, either in a separate utility room, or the face of the SES shall be flush with the building face. An SES that is incorporated into the building, shall not be located on the side of a building that is adjacent to a public right-of-way, roadway easement, or private streets. Please refer to the Scottsdale Design Standards and Policies Manual, Section 2-1.402.

Building Elevation Design:

18. Please revise the north building elevation design of Garage 5 to incorporate vertical building mass that articulate recessing and/or shifting the wall plane, or by incorporating the prefinished metal screens – similar to the screens provided on the east building elevation of Garage 2 (Scottsdale Sensitive Design Principle 9 and the Design Guidelines for Office Development, Architecture, Parking Structure 32).
19. Please revise the southwest corner stairwell design of Garage 5 so that the entry/exist from the stairwell is oriented toward the existing pedestrian path that is on the north side of the existing ground-level parking area adjacent parking structure (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). This is allow direct pedestrian access to the stairwell, instead of require the pedestrian to walk down the drive aisle and through parking structure to access the stairwell.

Lighting Design:

20. Please revise the lighting design so that all proposed light fixtures comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff – specifically the proposed fixture L1.

Considerations

The following considerations have been identified in the first review of this application. While these considerations are not critical to scheduling the application for public hearing, they may improve the quality and may reduce the delays in obtaining a decision regarding the proposed development. Please consider addressing the following:

Site Design:

21. The building elevations for Garage 2 and Garage 5 indicate 'green screen metal mesh' in vertical alignment with structural lines C, D, E, and F. Please revise the landscape plans so that it will include plants to be utilized on these 'green screen metal mesh' elements.

Building Elevation Design:

22. In order to improve readability of the building elevations, please consider adding number notations (0.0, +1.5, -0.5, etc.) that indicate the differences between planer surfaces or utilize thicker and thinner lines to indicate portions of the building that are nearer or farther from view.

Lighting Design:

23. Please consider revising the location of the parking lot light pole and fixtures on the west side of Garage 2 adjacent to the pedestrian path so that light of the fixture is not obstructed by the proposed trees. It is recommended that there is a minimum of a twenty (20) foot separation between trees and pole lighting fixtures. To assist in the place of the parking lot light pole and fixtures, please show them on the landscape plan, and resolve any conflicts.

Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Site:

24. Please revise the site plan to include the location, dimensions and identification of all right-of-way, utility, drainage, site visibility easements (Section 1.204 of the Zoning Ordinance and Plan & Report Requirements for Development Applications (PRRDA)).
25. Will there be any new above ground utility equipment or vaults? If so, please indicate the location of above ground utility equipment and vaults on the site and landscape plan (Section 1.204 of the Zoning Ordinance and Plan and the PRRDA) The ground utility equipment shall be integrated in to the site and screened (Standards & Policies Manual, Section 2-1.401.1).

Building Elevations:

26. Please provide information and details related to the roof drainage system. All roof drainage shall be interior to the building, except for scuppers (Section 7.105 of the Zoning Ordinance and Section 2-1.401.4 of the DSPM).

Airport:

27. Pursuant to Chapter 5, Scottsdale Revised Code, Aviation, this project falls within the AC-2 area. Prior to issuance of the building permit, the property owner shall submit the Federal Aviation Administration response to Federal Aviation Administration form 7460-1, noise disclosure, and grant the City of Scottsdale an Avigation Easement (Chapter 5, Scottsdale Revised Code, Aviation).

Other:

28. Please be advised that prior to the obtaining a building permit, the property owner shall replat the property as one lot.

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional information is necessary.

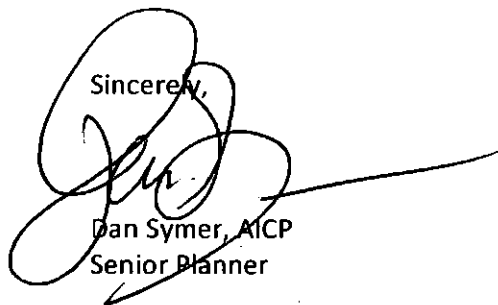
PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURNED TO THE APPLICANT.

The Planning & Development Services Division has had this application in review for twenty-six (26) Staff Review Days since the application was determined to be administratively complete.

These 1st Review Comments are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-4218 or at dsymer@ScottsdaleAZ.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Symer', with a long horizontal line extending to the right.

Dan Symer, AICP
Senior Planner

cc: Wentworth Property
Jared Langenhuizen
2701 East Camelback Road, Suite 185
Phoenix, Arizona 85016

**ATTACHMENT A
Resubmittal Checklist**

Case Number: **68-DR-2000#5**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 1/2 x 11 shall be folded):

- One copy: COVER LETTER – Respond to all the issues identified in the 1st Review Comment Letter
- One copy: Revised CD of submittal (DWG or DWF format only)

Site Plan:

4	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
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Elevations:

Color	1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
B/W	1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"

Landscape Plan:

Color	1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
B/W	1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"

Lighting Site Plan(s):

1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
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Photometric Analysis Plan(s):

1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
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Manufacturer Cut Sheets of All Proposed Lighting:

1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
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Any other plan that is revised to address the comments:

1	24" x 36"	1	11" x 17"	1	8 1/2" x 11"
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Grading and Drainage Plan

Please submit two (2) copies of the revised Conceptual Grading & Drainage Plan with the original red-lined copy of the Conceptual Grading & Drainage Plan to your Project Coordinator with the rest of the resubmittal material identified in Attachment A.



Community & Economic Development Division
Planning, Neighborhood & Transportation

7447 East Indian School Road
Scottsdale, Arizona 85251

Date: 7-21-2016
Contact Name: JIM LLOYD
Firm name: DFOG
Address: 4545 E. MCKINLEY ST.
City, State Zip: PHOENIX, AZ 85008

RE: Application Accepted for Review.
416 - PA - 2016

Dear JIM LLOYD:

It has been determined that your Development Application for WENTWICKH PROPERTIES has been accepted for review.

Upon completion of the Staff's review of the application material, I will inform you in writing or electronically either: 1) the steps necessary to submit additional information or corrections; 2) the date that your Development Application will be scheduled for a public hearing or, 3) City Staff will issue a written or electronic determination pertaining to this application. If you have any questions, or need further assistance please contact me.

Sincerely,

68-DR-2000#5
07/21/16

Name: DAN SYMER
Title: SENIOR PLANNER
Phone number: 480312 4218
Email address: dsymer@scottsdaleaz.gov

Perone, Steve

From: Bob Patoni <BPatoni@azdot.gov>
Sent: Wednesday, August 03, 2016 8:39 AM
To: Projectinput
Cc: Vanessa Nunez
Subject: 68-DR-2000#5

RE: 68-DR-2000#5
8665, 8701 & 8777 E. Hartford Dr.
Wentworth Properties Perimeter Center
Parking Garages

Attention: Dan Symer

Thank you for the notice of request to approval of site plan for the above-referenced development. After review, we have determined that the referenced development will have no impact upon ADOT highway facilities. We appreciate the opportunity to review and comment.

Robert A. Patoni, SR/WA

Bob Patoni, SR/WA

Right of Way Project Coordinator

205 S. 17th Ave. MD: 612E

Phoenix, AZ 85007

602-712-6126

WWW.AZDOT.GOV

ADOT
Intermodal Transportation

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July 20, 2016

Dan Symer
Planning Coordinator
Planning & Development Services, City of Scottsdale

Re: Project Notification Report
Wentworth Garage Project
Case# 416-PA-2016
DFDG Project #: 1613

Dear Mr. Symer:

As required by Planning & Development Services for the purpose of Development Review Board, this Project Notification Report outlines the efforts made to notify neighboring property owners and HOAs of our proposed project.

Enclosed you will find a draft copy of the letter and site plan that will be mailed to all property owners on HOAs within 750' of the project site, as well as all individuals indicated by the City of Scottsdale as Interested Parties. Along with the letter and site plan, you will find the list of recipients of the notification.

DFDG intends to address promptly any inquiries or concerns given in response to the notification letters. A final Project Notification Report will be made 30 days after the mailings have been sent, and this report will be submitted to Planning & Development Services.

Sincerely,



Jim Lloyd, AIA
Project Manager

Enclosed: Project Notification Letter, Proposed Site Plan, Project Notification Contact List

68-DR-2000#5
07/21/16

July 08, 2016

Re: Wentworth Garages
DFDG Project #: 1613



Dear Property Owner:

This letter is to inform you of a prospective construction project to be built at 8701 E Hartford Dr. in Scottsdale, Arizona. The City of Scottsdale has requested that notification of this project be sent to neighbors and interested parties.

The prospective construction project will include two new private parking garages to be constructed within the existing parking lot of the office buildings located at 8701 E Hartford Dr. in Scottsdale. The parcel is 470,657 SF in size and is zoned as Industrial Park (I-1). This project will not exceed the allowable use and size of buildings, as outlined by the current Scottsdale Zoning Ordinance and all applicable building codes.

The project is currently seeking Design Review Approval from the City of Scottsdale Planning and Development Services Department. The City of Scottsdale project number assigned to this case is 416-PA-2016. Should you have any questions or concerns about this project, please feel free to contact either the Architect or the Scottsdale Planning Coordinator (contact information below).

Architect:

James Lloyd, AIA
Dick & Fritsche Design Group
602-954-9060
jlloyd@dfdg.com

City of Scottsdale Planning Coordinator:

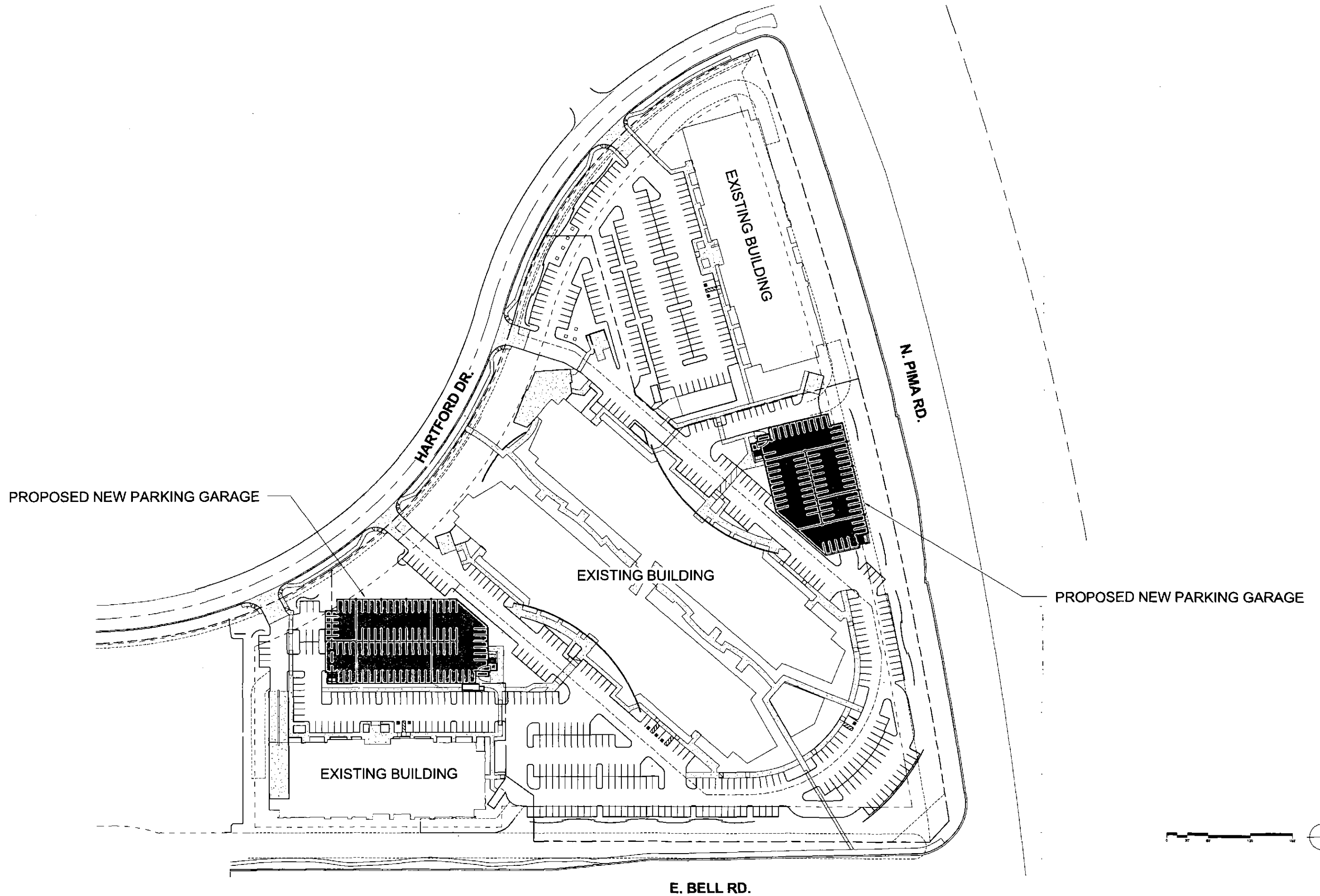
Dan Symer
Planning and Development Services, City of Scottsdale
480-312-4218
dsymer@scottsdaleaz.gov

Sincerely,

A handwritten signature in black ink, appearing to read 'James Lloyd', is written over a light blue horizontal line.

James Lloyd
Architect

Enclosed: Proposed Site Plan



Wentworth Garage Project: Case # 416-PA-2016

Neighborhood Notification Contact List (including all Property Owners within 750' and those indicated by COS from the Interested Party List)

NAME	COMPANY NAME	ADDRESS	CITY	STATE	ZIP
17207 PERIMETER DR LLC		PO BOX 16460	PHOENIX	AZ	85011
8753 EAST BELL ROAD LLC		7121 E VALLEY TRL	PARADISE VALLEY	AZ	85353
ACUHEALTH INC		8591 E BELL RD UNIT C103	SCOTTSDALE	AZ	85260
ARIZONA STATE OF DEPARTMENT OF TRANSPORTATION		205 S 17TH AVE	PHOENIX	AZ	85007-3212
B & F & Y PROPERTIES LLC		10859 E FEATHERSONG LN	SCOTTSDALE	AZ	85255
BARAKAT HOLDINGS LLC		4631 E SPORTS DR	GILBERT	AZ	85298
BARAKAT HOLDINGS LLC		4631 E SPORTS DR	GILBERT	AZ	85298
BELL-101 / RANCHO VERDE INVESTORS LLC		11861 E DESERT TR RD	SCOTTSDALE	AZ	85259
BELL-DESERT FAIRWAYS LLC		PO BOX 28670	SCOTTSDALE	AZ	85255
BLUE RIDGE HOLDING LLC		8757 E BELL RD	SCOTTSDALE	AZ	85260
BOYLE JEFFREY RICHARD		8595 E BELL RD STE D 102	SCOTTSDALE	AZ	85260
CHP PRINCESS MEDICAL LLC		3434 47TH ST STE 220	BOULDER	CO	80301
CONCORD EQUITIES LLC		8475 E HARTFORD NO 201	SCOTTSDALE	AZ	85255
CORNWELL PROPERTIES LLC		14851 N SCOTTSDALE RD STE 203	SCOTTSDALE	AZ	85254
COYOTE VIEW PLAZA LLC		8535 E HARTFORD DR STE 108	SCOTTSDALE	AZ	85255
DANA FREEWAY BUILDING LLC		3716 E PALM ST	MESA	AZ	85215
DC-8521 EAST PRINCESS DRIVE LLC		4890 W KENNEDY BLVD STE 650	TAMPA	FL	33609-1840
DESERT FAIRWAYS 204-205, LLC		8765 E BELL RD	SCOTTSDALE	AZ	85260
DESERT FAIRWAYS 204-205, LLC		8765 E BELL RD	SCOTTSDALE	AZ	85260
DESERT FAIRWAYS 204-205, LLC		8765 E BELL RD	SCOTTSDALE	AZ	85260
DESERT FAIRWAYS 204-205, LLC		8765 E BELL RD	SCOTTSDALE	AZ	85260
DESERT FAIRWAYS INVESTORS LLC		8940 E RAINTREE DR STE 200	SCOTTSDALE	AZ	85258
DOMPIER PROPERTIES LLC		8765 E BELL RD BUILDING B UNITS 204-206	SCOTTSDALE	AZ	85260
DOMPIER PROPERTIES LLC		8765 E BELL RD BUILDING B UNITS 204-206	SCOTTSDALE	AZ	85260
DOMPIER PROPERTIES LLC		8765 E BELL RD BUILDING B UNITS 204-206	SCOTTSDALE	AZ	85260
DS INVESTMENT LLC		16254 N 48TH WAY	SCOTTSDALE	AZ	85254
DTR10A LLC		17207 N PERIMETER DR 200	SCOTTSDALE	AZ	85255
DTR12 LLC		8900 E PINNACLE PEAK RD STE E-200	SCOTTSDALE	AZ	85255
DTR14 LLC		17207 N PERIMETER DR STE 200	SCOTTSDALE	AZ	85255
DTR14 LLC		17207 N PERIMETER DR STE 200	SCOTTSDALE	AZ	85255
EAST BELL ROAD LLC		111 PIN OAK PL	CAMPBELL	OH	44405
EAST BELL ROAD LLC		111 PIN OAK PL	CAMPBELL	OH	44405
EAST BELL ROAD LLC		111 PIN OAK PL	CAMPBELL	OH	44405
FAE3 LLC		8755 E BELL RD	SCOTTSDALE	AZ	85260
GUERRA PROPERTIES LLC		4646 E GREENWAY RD 100	PHOENIX	AZ	85032
GUERRA PROPERTIES LLC		4646 E GREENWAY RD 100	PHOENIX	AZ	85032
GUERRA PROPERTIES LLC		4646 E GREENWAY RD 100	PHOENIX	AZ	85032
H F OFFICE LLC		8765 E BELL RD UNIT B207	SCOTTSDALE	AZ	85260
HALMI & ROENIGK PROPERTIES LLC		7402 E VISTA DR	SCOTTSDALE	AZ	85250
HAROLD F HUTTON TRUST		1350 FASHION VALLEY RD 3RD FLOOR	SAN DIEGO	CA	92108
ICAM MEDICAL BUILDING LLC		8759 E BELL RD	SCOTTSDALE	AZ	85260
JEFFREY D AND ROBIN L CLARK FAMILY TRUST		7986 E HANOVER WY	SCOTTSDALE	AZ	85255
JEFFREY D AND ROBIN L CLARK FAMILY TRUST		7986 E HANOVER WY	SCOTTSDALE	AZ	85255
JEFFREY D AND ROBIN L CLARK FAMILY TRUST		7986 E HANOVER WY	SCOTTSDALE	AZ	85255
MABRY INVESTMENTS II LLC		8595 E BELL RD STE D 101	SCOTTSDALE	AZ	85260
MABRY INVESTMENTS LLC		8595 E BELL RD STE D100	SCOTTSDALE	AZ	85260

NAME	COMPANY NAME	ADDRESS	CITY	STATE	ZIP
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MCCLAMMY THOMAS V/CHRISTINE E		8765 E BELL RD 213	SCOTTSDALE	AZ	85260
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NATURAL ALTERNATIVES FOR OPTIMUM HEALTH LLC		20704 N 90TH PL STE 2071	SCOTTSDALE	AZ	85255
NELSON DANIEL D/JODI B		8595 E BELL RD STE D101	SCOTTSDALE	AZ	85260
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SCOTTSDALE VISTELLA LLC LEASE 03-108992		40 N CENTRAL AVE STE 2700	PHOENIX	AZ	85004
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Dr. Sonnie Kirtley	COGS	8507 East Highland Avenue	Scottsdale	AZ	85251-1822
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Jim Haxby		7336 E. Sunnyside Dr.	Scottsdale	AZ	85260
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John Washington		3518 N Cambers Court	Scottsdale	AZ	85251
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Linda Whitehead		9681 E Chuckwagon Lane	Scottsdale	AZ	85262
Lori Haye		P.O. Box 426	Cave Creek	AZ	85327
Maricopa County Superintendent of Schools		4041 N. Central Avenue Suite 1200	Phoenix	AZ	85012
Mike Leary	Michael P. Leary, LTD, Real Estate Development Consulting	10278 E. Hillery Dr.	Scottsdale	AZ	85255
Mike McNeal, Supervisor	AT&T	1231 W. University Drive	Mesa	AZ	85201
Planning & Engineering Section Manager	Arizona State Land Department	1616 W. Adams Street	Phoenix	AZ	85007

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Richard Turner, Planning and Zoning Administrator	Town of Fountain Hills	16705 E. Avenue of the Fountains	Fountain Hills	AZ	85268
Sherry Wagner/Right-of-Way Technician, SR.	Mail Station PAB348	P.O. Box 520251	Phoenix	AZ	85072-2025
	Withey Morris, PLC	2525 E. Arizona Biltmore Circle, Suite A-212	Phoenix	AZ	85016
	Gammage & Burnham, PLC	2 N. Central Avenue, 15th floor	Phoenix	AZ	85004
	Arizona Commerce Authority	333 N. Central Avenue, Suite 1900	Phoenix	AZ	85004
	Paradise Valley Unified School District	15002 N. 32nd Street	Phoenix	AZ	85032
	Granite Reef Neighborhood Resource Center	1700 N Granite Reef Road	Scottsdale	AZ	85257
	Southwest Gas Corporation	10851 N. Black Canyon Hwy, Ste 100	Phoenix	AZ	85029-4756
Vairo, Bob	Coalition of Pinnacle Peak	10040 E Happy Valley Rd # 451	Scottsdale	AZ	85255-2388
Whitehead, Linda	Coalition of Pinnacle Peak	9681 E. Chuckwagon Ln	Scottsdale	AZ	85262

August 25, 2016

Dan Symer
Planning Coordinator
Planning & Development Services, City of Scottsdale

Re: Project Notification Report
Wentworth Garage Project
Case# 416-PA-2016
DFDG Project #: 1613

Dear Mr. Symer:

As required by Planning & Development Services for the purpose of Development Review Board, this Project Notification Report outlines the efforts made to notify neighboring property owners and HOAs of our proposed project.

Enclosed you will find a draft copy of the letter and site plan that was mailed to all property owners and HOAs within 750' of the project site, as well as all individuals indicated by the City of Scottsdale as Interested Parties. Along with the letter and site plan, you will find the list of recipients of the notification. These items were sent as a 1st Class Letter on August 01, 2016.

DFDG received no communication in response to the letters that were sent. Some letters were returned to DFDG as undeliverable, and are listed below:

- Southwest Gas Corporation
- Real Alliance II LLC
- Perimeter Gateway I LLC
- Perimeter Gateway V LLC
- Scottsdale Area Association of Realtors
- Desert Fairways Investors LLC
- ZRR LLC
- Scottsdale Vistella LLC Lease 03-108992

Sincerely,



Jim Lloyd, AIA
Project Manager

Enclosed: Project Notification Letter, Proposed Site Plan, Project Notification Contact List, Returned Undeliverable Letters

July 08, 2016

Re: Wentworth Garages
DFDG Project #: 1613



Dear Property Owner:

This letter is to inform you of a prospective construction project to be built at 8701 E Hartford Dr. in Scottsdale, Arizona. The City of Scottsdale has requested that notification of this project be sent to neighbors and interested parties.

The prospective construction project will include two new private parking garages to be constructed within the existing parking lot of the office buildings located at 8701 E Hartford Dr. in Scottsdale. The parcel is 470,657 SF in size and is zoned as Industrial Park (I-1). This project will not exceed the allowable use and size of buildings, as outlined by the current Scottsdale Zoning Ordinance and all applicable building codes.

The project is currently seeking Design Review Approval from the City of Scottsdale Planning and Development Services Department. The City of Scottsdale project number assigned to this case is 416-PA-2016. Should you have any questions or concerns about this project, please feel free to contact either the Architect or the Scottsdale Planning Coordinator (contact information below).

Architect:

James Lloyd, AIA
Dick & Fritsche Design Group
602-954-9060
jlloyd@dfdg.com

City of Scottsdale Planning Coordinator:

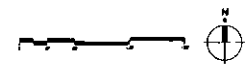
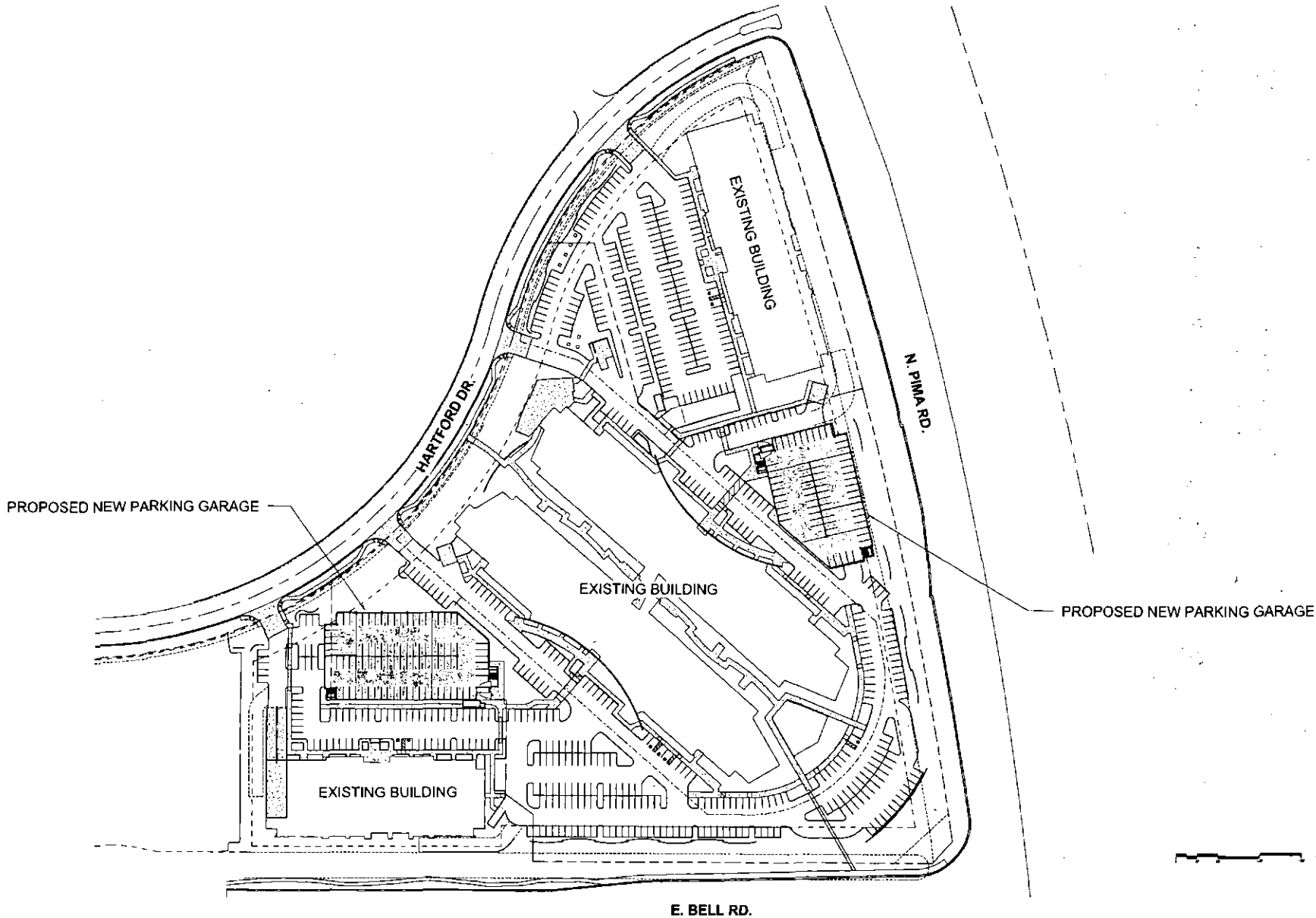
Dan Symer
Planning and Development Services, City of Scottsdale
480-312-4218
dsymer@scottsdaleaz.gov

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Lloyd', is written over a light blue horizontal line.

James Lloyd
Architect

Enclosed: Proposed Site Plan



Wentworth Garage Project: Case # 416-PA-2016

Neighborhood Notification Contact List (including all Property Owners within 750' and those indicated by COS from the Interested Party List)

NAME	COMPANY NAME	ADDRESS	CITY	STATE	ZIP
17207 PERIMETER DR LLC		PO BOX 16460	PHOENIX	AZ	85011
8753 EAST BELL ROAD LLC		7121 E VALLEY TRL	PARADISE VALLEY	AZ	85353
ACUHEALTH INC		8591 E BELL RD UNIT C103	SCOTTSDALE	AZ	85260
ARIZONA STATE OF DEPARTMENT OF TRANSPORTATION		205 S 17TH AVE	PHOENIX	AZ	85007-3212
B & F & Y PROPERTIES LLC		10859 E FEATHERSONG LN	SCOTTSDALE	AZ	85255
BARAKAT HOLDINGS LLC		4631 E SPORTS DR	GILBERT	AZ	85298
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BELL-101 / RANCHO VERDE INVESTORS LLC		11861 E DESERT TR RD	SCOTTSDALE	AZ	85259
BELL-DESERT FAIRWAYS LLC		PO BOX 28670	SCOTTSDALE	AZ	85255
BLUE RIDGE HOLDING LLC		8757 E BELL RD	SCOTTSDALE	AZ	85260
BOYLE JEFFREY RICHARD		8595 E BELL RD STE D 102	SCOTTSDALE	AZ	85260
CHP PRINCESS MEDICAL LLC		3434 47TH ST STE 220	BOULDER	CO	80301
CONCORD EQUITIES LLC		8475 E HARTFORD NO 201	SCOTTSDALE	AZ	85255
CORNWELL PROPERTIES LLC		14851 N SCOTTSDALE RD STE 203	SCOTTSDALE	AZ	85254
COYOTE VIEW PLAZA LLC		8535 E HARTFORD DR STE 108	SCOTTSDALE	AZ	85255
DANA FREEWAY BUILDING LLC		3716 E PALM ST	MESA	AZ	85215
DC-8521 EAST PRINCESS DRIVE LLC		4890 W KENNEDY BLVD STE 650	TAMPA	FL	33609-1840
DESERT FAIRWAYS 204-205, LLC		8765 E BELL RD	SCOTTSDALE	AZ	85260
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DTR14 LLC		17207 N PERIMETER DR STE 200	SCOTTSDALE	AZ	85255
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F AE3 LLC		8755 E BELL RD	SCOTTSDALE	AZ	85260
GUERRA PROPERTIES LLC		4646 E GREENWAY RD 100	PHOENIX	AZ	85032
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HALMI & ROENIGK PROPERTIES LLC		7402 E VISTA DR	SCOTTSDALE	AZ	85250
HAROLD F HUTTON TRUST		1350 FASHION VALLEY RD 3RD FLOOR	SAN DIEGO	CA	92108
JCAM MEDICAL BUILDING LLC		8759 E BELL RD	SCOTTSDALE	AZ	85260
JEFFREY D AND ROBIN L CLARK FAMILY TRUST		7986 E HANOVER WY	SCOTTSDALE	AZ	85255
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SCOTTSDALE, AZ 85260

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BOULDER, CO 80301

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MESA, AZ 85215

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TAMPA, FL 33609-1840

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CAMPBELL, OH 44405

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HALMI & ROENIGK PROPERTIES LLC
7402 E VISTA DR
SCOTTSDALE, AZ 85250

HAROLD F HUTTON TRUST
1350 FASHION VALLEY RD 3RD
FLOOR
SAN DIEGO, CA 92108

ICAM MEDICAL BUILDING LLC
8759 E BELL RD
SCOTTSDALE, AZ 85260

JEFFREY D AND ROBIN L CLARK
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7986 E HANOVER WY
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SCOTTSDALE AREA ASSOC OF
REALTORS
4221 N SCOTTSDALE RD
SCOTTSDALE, AZ 85251

SCOTTSDALE VISTELLA LLC LEASE
03-108992
40 N CENTRAL AVE STE 2700
PHOENIX, AZ 85004

SCOTTSDALE VISTELLA LLC LEASE
03-108992
40 N CENTRAL AVE STE 2700
PHOENIX, AZ 85004

SERENITY LLC
7711 E HARTFORD DR
SCOTTSDALE, AZ 85255

SERENITY LLC
7711 E HARTFORD DR
SCOTTSDALE, AZ 85255

STARWEST ASSOCIATES LLC
1501 W FOUNTAINHEAD PKWY STE
650
TEMPE, AZ 85282

TAVANA HOLDINGS LLC
8753 E BELL RD NO 105
SCOTTSDALE, AZ 85260

THOMAS PICCOLO J PC
8591 E BELL RD STE 100
SCOTTSDALE, AZ 85260

TOP GUN PARTNERS LLC
8589 E BELL RD
SCOTTSDALE, AZ 85260

TOP GUN PARTNERS LLC
8589 E BELL RD
SCOTTSDALE, AZ 85260

USA-BOR
23636 N 7TH ST
PHOENIX, AZ 85024

ZRR LLC
8591 E BELL RD STE 102
SCOTTSDALE, AZ 85260

Annette Petrillo
1169 E. Clovefield Street
Gilbert, AZ 85298

Audry Villaverde
Withey Morris, PLC
2525 E. Arizona Biltmore Circle;
Suite A-212
Phoenix, AZ 85016
David G. Gulino
7525 E. Camelback Road, Suite 104
Scottsdale, AZ 85251

Chris Schaffner
7346 E. Sunnyside Dr.
Scottsdale, AZ 85260

Dan Sommer
12005 N 84th Street
Scottsdale, AZ 85260

Dr. Sonnie Kirtley
COGS
8507 East Highland Avenue
Scottsdale, AZ 85251-1822

Ed Toschik, President
7657 E Mariposa Grande Dr
Scottsdale, AZ 85255

Guy Phillips
7131 E. Cholla St.
Scottsdale, AZ 85254

Jim Funk
Gainey Ranch Community
Association
7720 Gainey Ranch Road
Scottsdale, AZ 85258
John Washington
3518 N Cambers Court
Scottsdale, AZ 85251

Jim Haxby
7336 E. Sunnyside Dr.
Scottsdale, AZ 85260

John Berry/Michele Hammond
Berry Riddell, LLC
6750 E Camelback Rd, Ste 100
Scottsdale, AZ 85251

Leon Spiro
7814 E Oberlin Way
Scottsdale, AZ 85266

Linda Whitehead
9681 E Chuckwagon Lane
Scottsdale, AZ 85262

Lori Haye
P.O. Box 426
Cave Creek, AZ 85327

Mike McNeal, Supervisor
AT&T
1231 W. University Drive
Mesa, AZ 85201

Randall P. Brown
Spring Creek Development
7134 E. Stetson Drive; Suite 400
Scottsdale, AZ 85251

Withey Morris, PLC
2525 E. Arizona Biltmore Circle;
Suite A-212
Phoenix, AZ 85016

Paradise Valley Unified School
District
15002 N. 32nd Street
Phoenix, AZ 85032
Vairo, Bob
Coalition of Pinnacle Peak
10040 E Happy Valley Rd # 451
Scottsdale, AZ 85255-2388

Mail Processing Center - FAA
Southwest Regional Office
Obstruction Evaluation Group
2601 Meacham Boulevard
Fort Worth, TX 76193

Maricopa County Superintendent
of Schools
4041 N. Central Avenue Suite 1200
Phoenix, AZ 85012

Planning & Engineering Section
Manager
Arizona State Land Department
1616 W. Adams Street
Phoenix, AZ 85007
Richard Turner, Planning and
Zoning Administrator
Town of Fountain Hills
16705 E. Avenue of the Fountains
Fountain Hills, AZ 85268

Gammage & Burnham, PLC
2 N. Central Avenue, 15th Floor
Phoenix, AZ 85004

Granite Reef Neighborhood
Resource Center
1700 N Granite Reef Road
Scottsdale, AZ 85257
Whitehead, Linda
Coalition of Pinnacle Peak
9681 E Chuckwagon Ln
Scottsdale, AZ 85262

Mike Leary
Michael P. Leary, LTD, Real Estate
Development Consulting
10278 E. Hillery Dr.
Scottsdale, AZ 85255
Project Management
Arizona Department of
Transportation
205 S. 17th Avenue MD 6012E
Phoenix, AZ 85007
Sherry Wagner/Right-of-Way
Technician, SR.
Mail Station PAB348
P.O. Box 52025
Phoenix, AZ 85072-2025

Arizona Commerce Authority
333 N. Central Avenue, Suite 1900
Phoenix, AZ 85004

Southwest Gas Corporation
10851 N Black Canyon Hwy Ste 100
Phoenix, AZ 85029-4756



TRANSMITTAL

Date: August 29, 2016

Project #: 1613

Project Name: Wentworth Garages

To: Dan Symer
Planning Coordinator
Planning & Development Services, City of Scottsdale

From: Aaron Goodmansen

Re: Case #416-PA-2016: Updated Project Notification Report



August 26, 2016

Jim Lloyd
DFDG
4545 East McKinley Street
Phoenix, Arizona 85008

RE: 68-DR-2000#5
Wentworth Properties Perimeter Center Parking Garages

Dear Mr. Lloyd:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on July 21, 2016. The following **1st Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. Please revise the building elevations to include a dimension to the top of the elevator bulkheads. The maximum height of elevator bulkheads shall comply with Section 7.102.A. of the Zoning Ordinance.
2. Please revise the building elevation height to comply with the Drainage comments below. Please be advised that the maximum height of the parking structure shall comply with Section 5.1804.C. of the Zoning Ordinance - maximum: fifty-two (52) feet.
3. Please dimension the minimum distance from the new driveways to the south and east property lines near the southeast corner of the property. If the distance is less than thirty-five (35) feet, please revise the site design to include a screen wall that will match the existing parking lot screen walls to screen the new drive aisles and new parking spaces from views along the East Bell Road and Loop 101 Frontage Road South Bound frontages (Section 10.402. of the Zoning Ordinance). Also, refer to comment number 11.
4. Please revise the site plan to include the total number of accessible parking spaces for each new parking garage and surface parking lot, which shall be four (4) percent of the space provided

68-DR-2000 #5
10/28/2016

(Section 9.106.B.4. and 9.106.K. of the Zoning Ordinance, and Section 208.2 of the 2010 ADA Standards for Accessible Design).

5. Please dimension the vertical clearance of the garage vehicle entries on building elevation of garage 2 and 5. The minimum vertical clearance shall be eight (8) feet two (2) inches (Section 9.106.O.2. of the Zoning Ordinance). This clearance shall be provided from the vehicle entrance to and above all accessible parking spaces (Section 9.106.O.1. and 2. of the Zoning Ordinance). In accordance with Section 208.3.1. of 2010 ADA Standards for Accessible Design, all van accessible parking spaces may be on one level.
6. Please provide information and details on the building elevations pertaining to the methodology for the roof drainage system (Section 7.105 of Zoning Ordinance). In accordance with Section 2-1.401.4 of the Design Standards & Policies Manual (DSPM), roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas near rooftop drainage locations shall be designed and constructed to minimize erosion or staining of nearby building walls and direct water away from the building foundations.
7. Please revise the parking lot light poles and bases location in the new parking lot area adjacent to the southeast corner of the property so that the poles are not placed in the parking stall. In accordance with Section 9.106.A. of the Zoning Ordinance, the entire width and length of a parking stall shall be unobstructed over a height of six (6) inches.
8. Please revise the landscape plan to include the summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping (Section 10.200.B.2. of the Zoning Ordinance).

Drainage:

9. Please revise the Conceptual Grading & Drainage Plan address the following:
 - a. The project site is located in the FEMA 'AO' flood zone. Therefore, the Lowest floor based on the 1988 datum (LF₈₈) for each parking garage must be elevated to at least 2.0 feet. above the pre-development Highest Adjacent Grade (HAG) for each structure or the LF (Lowest Floor) must be "dry floodproofed" to at least 2.0 feet. above the pre-development HAG by following the FEMA "dry floodproofing" regulations. Please call out the LF₈₈ for each parking garage on the Conceptual Grading & Drainage Plan. Also, please call out the "dry floodproofing" elevation for each parking garage, if applicable. [Reference: COS Stormwater Ordinance: Section 37-26 & Section 37-29]
 - b. According to the historical aerial maps available on the City's Land Information System (LIS), it appears that the site was disturbed between 1997 and 1999. Therefore, the pre-development topography based on which the individual HAG for each parking garage needs to be identified, must date back prior to 1997. Please add an additional plan sheet to the Conceptual Grading & Drainage Plan and show the pre-development topography on this sheet. Show the footprints of all existing buildings and the two proposed garages on this plan sheet, indicated the individual LF₈₈ for each building (both existing and proposed), and call out the HAG for each parking garage on this plan sheet. [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DSPM: Sections 4-1.900 & 4-1B]
 - c. Please find attached a copy of the approved Grading & Drainage Plans for "Scottsdale Perimeter Center, Phase Two" (COS Case #: 15-DR-1988) which includes a number of 11"X17" printouts of some of the relevant pages and which shows the pre-development

topography of the project site. However, the topography line aren't legible at some places and therefore, the Engineer may come to the City to obtain a more legible copy of the approved plans, or may contact original Engineering firm that prepared the Grading & Drainage Plans for "Scottsdale Perimeter Center, Phase Two" (COS Case #: 15-DR-1988). It should be noted here that the pre-development topography which appears on Grading & Drainage Plans for "Scottsdale Perimeter Center, Phase Two", may well be referenced to the NGVD 29 datum instead of the NAVD₈₈ datum. The Engineer must verify the datum reference prior to showing the pre-development topography on the request plan size (24-inch x 36-inch) HAG sheet as a part of the Conceptual Grading & Drainage Plan. [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DS&PM: Sections 4-1.900 & 4-1B]

- d. Put a "Drainage Note" on the Conceptual Grading & Drainage Plan stating that "A dry floodproofing certificate will be provided with the Improvement Plans submittal". [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DSPM: Sections 4-1.800, 4-1.900 & 4-1B]
- e. Please note that storm drain pipes and/or manholes are not allowed under permanent structures (buildings). Please verify it on Sheet 2 of 2 of the Conceptual Grading & Drainage Plan. [Reference: COS Stormwater Ordinance: Sections 37-26 & 37-29; COS DSPM: Sections 4-1.800, 4-1.900 & 4-1B]
- f. Please show a total number of four (4) sections across the two parking garages as marked up by sections A-A, B-B, C-C, & D-D on the redline Conceptual Grading & Drainage Plan. Show and call out the HAG (s), LF₈₈ (s) and profile (s) of any storm drain pipes on these sections as appropriate. [Reference: COS DSPM: Section 4-1.900 & Section 4-1B].

Other:

10. Please ensure all plans have 3/16-inch (12 pt), 1/8-inch preferred, minimum lettering. This is to ensure that lettering is readable when reduced for the applicable reports and record documents (Section 1.204 of the Zoning Ordinance and Plan & Report Requirements for Development Applications (PRRDA)).

Significant Policy Related Issues

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site Design:

11. Please revise the site design to include a screen wall to match the existing parking lot screen walls to screen the new drive aisles and new parking spaces from views along the East Bell Road and Loop 101 Frontage Road South Bound frontages (Design Guidelines for Office Development, Site Design and Planning, Circulation and Parking 16).
12. Please revise the site design at the southeast corner of Garage 5 to maintain an unobstructed pedestrian route from the west, south of Garage 5 and abutting the parking spaces, around the underground parking garage stairwell to the north-south pedestrian connection that leads from Garage 5 to the building (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). As proposed, the proposed Garage 5 placement interferes with this pedestrian connection.

13. Please revise the site design at the southwest corner of Garage 5 to provide a pedestrian connection from the Garage 5 stairwell to the pedestrian sidewalk adjacent to the south (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). Also, please see comment number 19. The width of the new sidewalk connection shall match the existing sidewalk widths, but no less than 6-foot wide (Section 2-1.808. of the DSPM).
14. Please revise the site design at the southeast corner of Garage 2 to provide a pedestrian connection from the Garage 2 stairwell to the pedestrian sidewalk circulation on the west side of the adjacent northwest-southeast driveway (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). The width of the new sidewalk connection shall be a match the existing sidewalk widths, but no less than 6-foot wide (Section 2-1.808. of the DSPM).

Landscape Design:

15. Due to the thorny spines of the *Ferocactus cylindraceus* Compass Barrel Cactus and the *Opuntia ficus indica* Indian Fig Prickly Pear, these plants shall be located at a minimum of least four (4) feet, based on the mature plant size, away from adjacent the edge of the walkway and pedestrian areas that they are planted to any walkway or other pedestrian area (Section 1.1001.13. of the DSPM). Please revise the landscape plan accordingly.
16. Due to the broad arching form of the leaves and flower stems of *Hesperaloe parviflora* Red Yucca this plant, the location of these plants shall be located at a minimum of least four (4) feet, based on the mature plant size, away from adjacent the edge of the walkway and pedestrian areas that they are planted to any walkways or other pedestrian areas (Section 1.1001.13. of the DSPM). Please revise the landscape plan accordingly.
17. Please indicate location of the electrical service entrance sections (SES) for Garage 2 and 5. The SES shall be incorporated into the design of the building, either in a separate utility room, or the face of the SES shall be flush with the building face. An SES that is incorporated into the building, shall not be located on the side of a building that is adjacent to a public right-of-way, roadway easement, or private streets. Please refer to the Scottsdale Design Standards and Policies Manual, Section 2-1.402.

Building Elevation Design:

18. Please revise the north building elevation design of Garage 5 to incorporate vertical building mass that articulate recessing and/or shifting the wall plane, or by incorporating the prefinished metal screens – similar to the screens provided on the east building elevation of Garage 2 (Scottsdale Sensitive Design Principle 9 and the Design Guidelines for Office Development, Architecture, Parking Structure 32).
19. Please revise the southwest corner stairwell design of Garage 5 so that the entry/exist from the stairwell is oriented toward the existing pedestrian path that is on the north side of the existing ground-level parking area adjacent parking structure (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). This is allow direct pedestrian access to the stairwell, instead of require the pedestrian to walk down the drive aisle and through parking structure to access the stairwell.

Lighting Design:

20. Please revise the lighting design so that all proposed light fixtures comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff – specifically the proposed fixture L1.

Considerations

The following considerations have been identified in the first review of this application. While these considerations are not critical to scheduling the application for public hearing, they may improve the quality and may reduce the delays in obtaining a decision regarding the proposed development. Please consider addressing the following:

Site Design:

21. The building elevations for Garage 2 and Garage 5 indicate 'green screen metal mesh' in vertical alignment with structural lines C, D, E, and F. Please revise the landscape plans so that it will include plants to be utilized on these 'green screen metal mesh' elements.

Building Elevation Design:

22. In order to improve readability of the building elevations, please consider adding number notations (0.0, +1.5, -0.5, etc.) that indicate the differences between planer surfaces or utilize thicker and thinner lines to indicate portions of the building that are nearer or farther from view.

Lighting Design:

23. Please consider revising the location of the parking lot light pole and fixtures on the west side of Garage 2 adjacent to the pedestrian path so that light of the fixture is not obstructed by the proposed trees. It is recommended that there is a minimum of a twenty (20) foot separation between trees and pole lighting fixtures. To assist in the place of the parking lot light pole and fixtures, please show them on the landscape plan, and resolve any conflicts.

Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Site:

24. Please revise the site plan to include the location, dimensions and identification of all right-of-way, utility, drainage, site visibility easements (Section 1.204 of the Zoning Ordinance and Plan & Report Requirements for Development Applications (PRRDA)).
25. Will there be any new above ground utility equipment or vaults? If so, please indicate the location of above ground utility equipment and vaults on the site and landscape plan (Section 1.204 of the Zoning Ordinance and Plan and the PRRDA) The ground utility equipment shall be integrated in to the site and screened (Standards & Policies Manual, Section 2-1.401.1).

Building Elevations:

26. Please provide information and details related to the roof drainage system. All roof drainage shall be interior to the building, except for scuppers (Section 7.105 of the Zoning Ordinance and Section 2-1.401.4 of the DSPM).

Airport:

27. Pursuant to Chapter 5, Scottsdale Revised Code, Aviation, this project falls within the AC-2 area. Prior to issuance of the building permit, the property owner shall submit the Federal Aviation Administration response to Federal Aviation Administration form 7460-1, noise disclosure, and grant the City of Scottsdale an Avigation Easement (Chapter 5, Scottsdale Revised Code, Aviation).

Other:

28. Please be advised that prior to the obtaining a building permit, the property owner shall replat the property as one lot.

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional information is necessary.

PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURNED TO THE APPLICANT.

The Planning & Development Services Division has had this application in review for twenty-six (26) Staff Review Days since the application was determined to be administratively complete.

These **1st Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-4218 or at dsymer@ScottsdaleAZ.gov.

Sincerely,

Dan Symer, AICP
Senior Planner

cc: Wentworth Property
Jared Langenhuizen
2701 East Camelback Road, Suite 185
Phoenix, Arizona 85016

**ATTACHMENT A
Resubmittal Checklist**

Case Number: **68-DR-2000#5**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

- One copy: COVER LETTER – Respond to all the issues identified in the 1st Review Comment Letter
- One copy: Revised CD of submittal (DWG or DWF format only)

Site Plan:

_____ 4 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 1 _____ 8 ½" x 11"

Elevations:

Color	_____ 1 _____	24" x 36"	_____ 1 _____	11" x 17"	_____ 1 _____	8 ½" x 11"
B/W	_____ 1 _____	24" x 36"	_____ 1 _____	11" x 17"	_____ 1 _____	8 ½" x 11"

Landscape Plan:

Color	_____ 1 _____	24" x 36"	_____ 1 _____	11" x 17"	_____ 1 _____	8 ½" x 11"
B/W	_____ 1 _____	24" x 36"	_____ 1 _____	11" x 17"	_____ 1 _____	8 ½" x 11"

Lighting Site Plan(s):

_____ 1 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 1 _____ 8 ½" x 11"

Photometric Analysis Plan(s):

_____ 1 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 8 ½" x 11"

Manufacturer Cut Sheets of All Proposed Lighting:

_____ 1 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 1 _____ 8 ½" x 11"

Any other plan that is revised to address the comments:

Flow plans

_____ 1 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 8 ½" x 11"

Grading and Drainage Plan

Please submit two (2) copies of the revised Conceptual Grading & Drainage Plan with the original red-lined copy of the Conceptual Grading & Drainage Plan to your Project Coordinator with the rest of the resubmittal material identified in Attachment A.



October 24, 2016

Dan Symer
Planning Coordinator
City of Scottsdale
7447 E. Indian School Road #125
Scottsdale, AZ 85251

Re: Wentworth Garages, Case 68-DR-2000#5
DFDG Project #: 1613

Dear Dan:

Enclosed in this resubmittal are the requested items found in "Attachment A" from your 1st Review Comment Letter dated August 26, 2016 and include the typed responses to the comments, folded drawings and CD of electronic media.

Sincerely,

Aaron Goodmansen, LEED AP BD+C
Project Manager

Wentworth Garages DRB Comments & Responses

#	Comment	Assigned	Response	Status
1	Please revise the building elevations to include a dimension to the top of the elevator bulkheads. The maximum height of elevator bulkheads shall comply with Section 7.102.A. Of the Zoning Ordinance.	Architectural	Elevation callouts are provided at the top of the elevator enclosure.	Done
3	Please dimension the minimum distance from the new driveways to the south and east property lines near the southeast corner of the property. If the distance is less than thirty-five (35) feet, please revise the site design to include a screen wall that will match the existing parking lot screen walls to screen the new drive aisles and new parking spaces from views along the East Bell Road and Loop 101 Frontage Road South Bound frontages (Section 10.402. of the Zoning Ordinance). Also, refer to comment number 11.	Architectural	Dimensions added. Screen walls added as needed.	Done
4	Please revise the site plan to include the total number of accessible parking spaces for each new parking garage and surface parking lot, which shall be four (4) percent of the space provided (Section 9.106.B.4. and 9.106.K. of the Zoning Ordinance, and Section 208.2 of the 2010 ADA Standards for Accessible Design).	Architectural	4% Accessible parking spaces provided at Garage 2, Garage 5 and Surface Lot.	Done
5	Please dimension the vertical clearance of the garage vehicle entries on building elevation of garage 2 and 5. The minimum vertical clearance shall be eight (8) feet two (2) inches (Section 9.106.0.2. of the Zoning Ordinance). This clearance shall be provided from the vehicle entrance to and above all accessible parking spaces (Section 9.106.0.1. and 2. of the Zoning Ordinance). In accordance with Section 208.3.1. of 2010 ADA Standards for Accessible Design, all van accessible parking spaces may be on one level.	Architectural	Dimensions added. Dimension exceeds minimum.	Done
6	Please provide information and details on the building elevations pertaining to the methodology for the roof drainage system (Section 7.105 of Zoning Ordinance). In accordance with Section 2-1.401.4 of the Design Standards Policies Manual (DSPM), roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas near rooftop drainage locations shall be designed and constructed to minimize erosion or staining of nearby building walls and direct water away from the building foundations.	Architectural	Description of roof drainage system has been added in the General Notes on all Elevations Sheets.	Done
11	Please revise the site design to include a screen wall to match the existing parking lot screen walls to screen the new drive aisles and new parking spaces from views along the East Bell Road and Loop 101 Frontage Road South Bound frontages (Design Guidelines for Office Development, Site Design and Planning, Circulation and Parking 16).	Architectural	Screen walls added.	Done
12	Please revise the site design at the southeast corner of Garage 5 to maintain an unobstructed pedestrian route from the west, south of Garage 5 and abutting the parking spaces, around the underground parking garage stairwell to the north-south pedestrian connection that leads from Garage 5 to the building (Design Guidelines for Office Development, Site Design and planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). As proposed, the proposed Garage 5 placement interferes with this pedestrian connection.	Architectural	Route has been revised as requested.	Done
13	Please revise the site design at the southwest corner of Garage 5 to provide a pedestrian connection from the Garage 5 stairwell to the pedestrian sidewalk adjacent to the south (Design Guidelines for Office Development, Site Design and planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design Principle 7). Also, please see comment number 19. The width of the new sidewalk connection shall match the existing sidewalk widths, but no less than 6-foot wide (Section 2-1.808. of the DSPM).	Architectural	Route has been revised as requested.	Done
14	please revise the site design at the southeast corner Of Garage 2 to provide a pedestrian connection from the Garage 2 stairwell to the pedestrian sidewalk circulation on the west side of the adjacent northwest-southeast driveway (Design Guidelines for Office Development, Site Design and Planning, pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design principle 7). The width of the new sidewalk connection shall be a match the existing sidewalk widths, but no less than 6- foot wide (Section 2-1.808. of the DSPM).	Architectural	Route has been provided through the garage and across the drive aisle.	Done
18	please revise the north building elevation design of Garage 5 to incorporate vertical building mass that articulate recessing and/or shifting the wall plane, Or by incorporating the prefinished metal screens — similar to the screens provided on the east building elevation of Garage 2 (Scottsdale Sensitive Design Principle 9 and the Design Guidelines for Office Development, Architecture, parking Structure 32).	Architectural	Screens added to north elevation.	Done

Wentworth Garages DRB Comments & Responses

#	Comment	Assigned	Response	Status
19	Please revise the southwest corner stairwell design of Garage 5 so that the entry/exist from the stairwell is oriented toward the existing pedestrian path that is on the north side of the existing ground-level parking area adjacent parking structure. (Design Guidelines for Office Development, Site Design and Planning, Pedestrian, Transit and Bicycle Facilities 18 and Scottsdale Sensitive Design principle 7). This is allow direct pedestrian access to the stairwell, instead of require the pedestrian to walk down the drive aisle and through parking structure to access the stairwell.	Architectural	Stair configuration has been modified to orient the bottom landing towards the walkway.	Done
22	In order to improve readability of the building elevations, please consider adding number notations (0.0, +1.5, -0.5, etc.) that indicate the differences between planer surfaces or utilize thicker and thinner lines to indicate portions of the building that are nearer or farther from view.	Architectural	Lineweights have been modified to accentuate the depth of the geometry.	Done
24	Please revise the site plan to include the location, dimensions and identification of all right-of-way, utility, drainage, site visibility easements (Section 1.204 of the Zoning Ordinance and Plan & Report Requirements for Development Applications (PRRDA)).	Architectural	Dimensions and identification callouts have been added.	Done
25	Will there be any new above ground utility equipment or vaults? If so, please indicate the location of above ground utility equipment and vaults on the site and landscape plan (Section 1.204 of the Zoning Ordinance and Plan and the PRRDA) The ground utility equipment shall be integrated in to the site and screened (Standards & Policies Manual, Section 2-1.401.1).	Architectural	General Note added indicating that all new ground utility equipment or vaults are to be screened with screen wall to match existing.	Done
26	Please provide information and details related to the roof drainage system. All roof drainage shall be interior to the building, except for scuppers (Section 7.105 of the Zoning Ordinance and Section 2-1.401.4 of the DSPM).	Architectural	Description of roof drainage system has been added in the General Notes on all Elevations Sheets.	Done
27	Pursuant to Chapter 5, Scottsdale Revised Code, Aviation, this project falls within the AC-2 area. Prior to issuance of the building permit, the property owner shall submit the Federal Aviation Administration response to Federal Aviation Administration form 7460-1, noise disclosure, and grant the City of Scottsdale an Avigation Easement (Chapter 5, Scottsdale Revised Code, Aviation).	Architectural	Submittal has been made. Determination of no hazzard has been issued by the FAA.	Done



Phone: 623 • 547 • 2500

Fax: 623 • 547 • 2501

3400 North Dysart Road

Suite 130

Avondale • Arizona

85392

October 19, 2016

City of Scottsdale
7447 E. Indian School Road #125
Scottsdale, Arizona 85251

Attn: Plan Reviewers
Re: Wentworth Garage at Perimeter Center
68-DR-2000#5
ZCJN 16-027

Please accept this letter as our responses to the 1st review comments on the civil DRB plans for the new Wentworth Garages at Perimeter Center. Our numbering system corresponds with the system used in the reviewer notes dated August 26th, 2016. This letter only addresses comments pertaining to the civil engineering drawings.

DRAINAGE

Comment 9

- a. This comment relates to the AO flood zone. We spoke with Don Gerkin, drainage reviewer from the city. Since this project is not constructing habitable space, the flood-proofing requirement is not applicable. We are required to insure that the entrance ramp into the parking structures are a minimum of 12" above the base flood elevation as determined by the pre-disturbed topography that existing prior to Perimeter Center being constructed.
- b. We have added a sheet that shows the proposed parking garages overlaid on the original topo map from pre-1995. We found a tiff file from the master water plan for Perimeter Center that allowed us to "best fit" into the current conditions. The Highest Adjacent Grade (HAG) adjusted for the datum shift has been noted at each entrance ramp as requested. We did not add a LF₈₈ for the parking garage since they are ramps and do not have a level finished floor.
- c. The vertical elevation differences between the original Perimeter Center documents (NGVD 29) and the current drawings (NAVD88) were adjusted by adding 1.736 feet to the contours shown on the original Perimeter Center documents. We then added 24" to the original HAG to

at your service

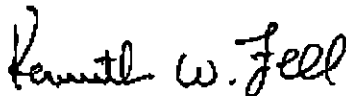
establish the minimum elevation at the parking garage entrance ramps.

- d. We did not add the drainage note for dry floodproofing since it is our understanding that it is not required for a parking structure if the entrance ramp is elevated 12" above the 100-year storm depth.
- e. The storm drains and manholes have been eliminated from beneath the parking structure.
- f. The requested cross sections have been added to the plan set. We showed the horizontal limits of the parking structures in the cross sections, but did not add finished floor elevations since the parking ramps are sloped.

This addresses all of the comments on the civil engineering DRB drawings. Please call me if you have any questions or need additional information.

Sincerely,

Zell Company, LLC



Kenneth W. Zell, P.E.
Managing Member

October 18, 2016

James Lloyd
Dick and Fritsche Design Group
4545 E. McKinley St.
Phoenix, AZ 85008

RE: Wentworth Garage – Design Review Comments
RE Job Number: DFDG0075

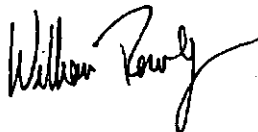
Dear James:

Below are the responses to the responses to the City comments dated 8/26/16.

- Item 7 – Pole locations revised.
- Item 20 – All fixtures comply with IES for full cutoff. Type L1 specification has been revised. Refer to photometric cutsheet on sheet E102.
- Item 23 – Architect to direct landscape architect to remove tree where light fixture is indicated. There is no other place to put the light pole.

Sincerely,

ROWLEY ENGINEERING



William Rowley
Principal

(WDR)

File:

Memo

Date: October 7, 2016
Project Name: Wentworth Perimeter Garage
Re: DRB 1st Review Comments D68-DR-2000#5
To: Jim Lloyd - DFDG
From: Roger Socha – Trueform landscape architecture studio

Plan Review Comment Response:

8. Please revise the landscape plan to include the summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping.
Response: Landscape summary data has been provided.
15. Due to the thorny spines of the *Ferocactus cylindricus* Compass Barrel Cactus and the *Opuntia ficus indica* Indian Fig Prickly Pear, these plants shall be located at a minimum of at least four (4) feet, based on the mature plant size, away from the edge of an adjacent walkway or pedestrian area.
Response: All thorny species are now located further than (4) four feet from walkways and pedestrian areas.
16. Due to the broad arching form of *Hesperaloe parviflora* Red Yucca these plants shall be located at a minimum of at least four (4) feet, based on the mature plant size, away from the edge of an adjacent walkway or pedestrian area.
Response: All *Hesperaloe parviflora* Red Yucca are now located further than (4) four feet from walkways and pedestrian areas.
17. Please indicate the location of the electrical service entry sections (SES) for Garage 2 and 5.
Response: SES locations have been included on the site plan.

Site Design:

21. The building elevations for Garage 2 and Garage 5 indicate 'green screen metal mesh' in vertical alignment with structural lines C, D, E and F. Please revise the landscape plans so that it will include plants to be utilized on these 'green screen metal mesh' elements
Response: Planting plan updated to provide vines to utilize the mesh elements.