

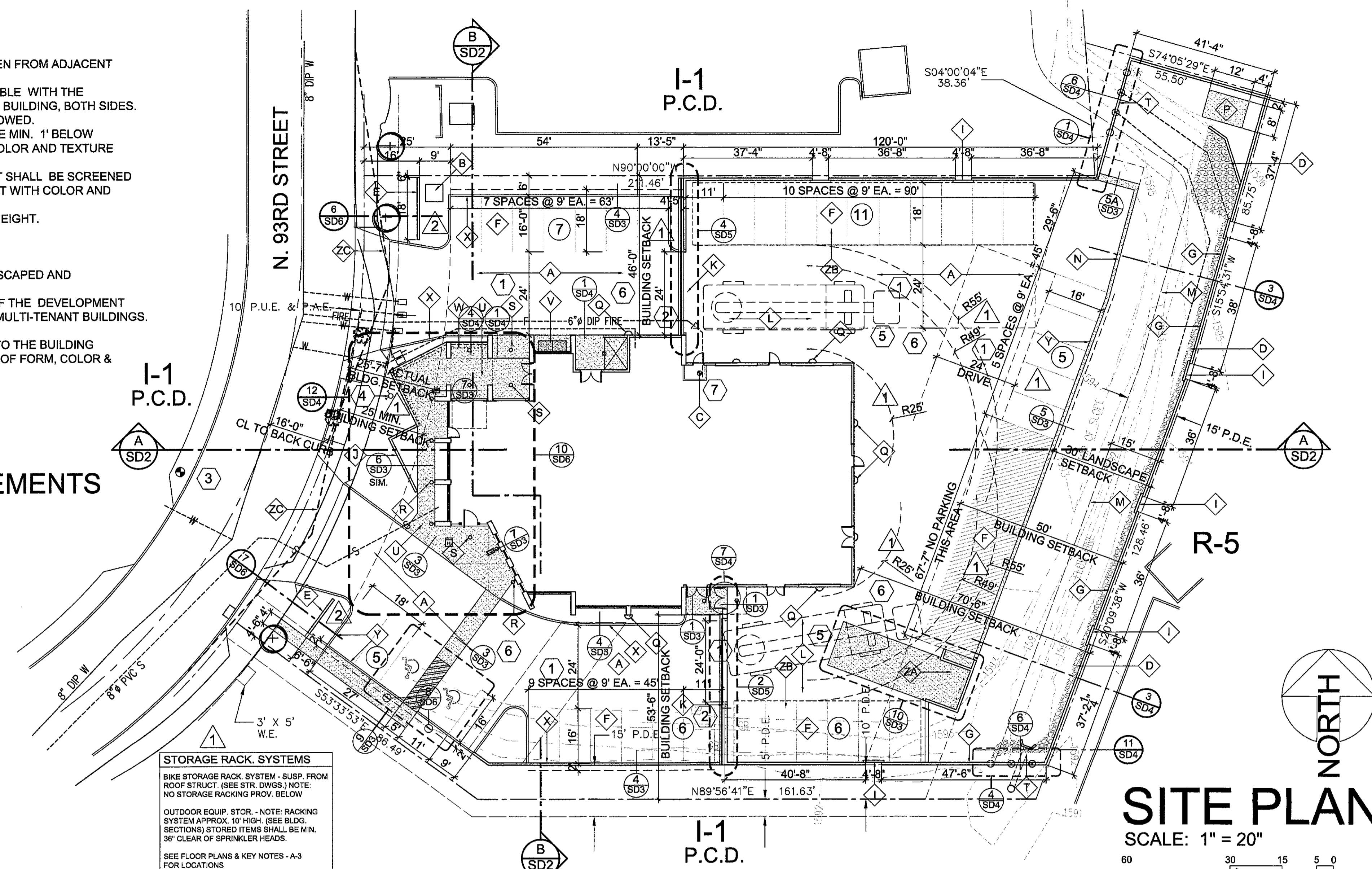
Final Plans

PLANNING NOTES

- NO SIGNS SHALL BE ALLOWED WITHIN A BUILDING WHICH CAN BE SEEN FROM ADJACENT PROPERTIES THROUGH OVERHEAD DOORS.
- REFUSE ENCLOSURES SHALL BE SCREENED BY MATERIALS COMPATIBLE WITH THE BUILDING MATERIALS. COLOR AND TEXTURE SHALL MATCH THE BUILDING, BOTH SIDES.
- NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- ALL ROOFTOP MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE MIN. 1' BELOW PARAPET & COMPLETELY SCREENED BY PARAPET WALLS WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
- ALL GROUND MOUNTED MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS AT LEAST 1'-0" ABOVE HEIGHT OF TALLEST UNIT WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
- ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
- SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
- NO EXTERIOR LADDERS SHALL BE VISIBLE.
- FLAG POLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
- NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- ALL EQUIPMENT, UTILITIES OR OTHER APURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR & TEXTURE.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- NO TURF AREAS SHALL BE PROVIDED.

FIRE ORDINANCE REQUIREMENTS

- MINIMUM DRIVE WIDTHS FOR FIRE ACCESS - 24' - Fire Ordinance 4045, 503.2.1
- KEY SWITCH/PRE-EMPTION SENSOR @ GATE - Fire Ordinance 4045, 503.6.1.
- EXIST. FIRE HYDRANT. SPACING IN COMPLIANCE WITH - Fire Ordinance 4045, 507.5.1.2.
- FDC LOCATION - Fire Ordinance 4045, 912. PER MAG DET. 2367 - MIN. 36" ABOVE GRADE WALL MOUNT - NOTE: CMU APPROX. 36" HIGH SEE DET. 4/SD6 - MAINTAIN. SHRUBS @ 18"
- FIRE TRUCK TURNING RADII IN COMPLIANCE WITH DSPM 2-1-802(5) - SEE DETAIL - SHT. SD-4
- FIRE LANE BEARING CAPACITY SHALL BE 83,000 lb. PER DSPM 2-1-802(3).
- FIRE SPRINKLER RISER ROOM PER DSPM 6-1-504(1) - MAG STD 2368 SEE 1st FLOOR PLAN - SHT. A-1



STORAGE RACK SYSTEMS
 BIKE STORAGE RACK SYSTEM - SUSP. FROM ROOF STRUCT. (SEE STR. DWGS.) NOTE: NO STORAGE RACKING PROV. BELOW
 OUTDOOR EQUIP. STOR. - NOTE: RACKING SYSTEM APPROX. 10' HIGH (SEE BLDG. SECTIONS) STORED ITEMS SHALL BE MIN. 36" CLEAR OF SPRINKLER HEADS.
 SEE FLOOR PLANS & KEY NOTES - A-3 FOR LOCATIONS

SITE PLAN
 SCALE: 1" = 20"
 60 30 15 5 0

- ASPHALT CONC. PAVING PER CIVIL DWGS. & SOILS REPORT
- NEW ELECTR. TRANSFORMER - EXACT LOCAT. PER A.P.S. - SCREENED BY GABION WALL
- FIRE SPR. RISER IN A.F.S. RISER ROOM W/ H.M. DOOR ACCESS FROM EXTER.
- FLOOD CONTROL RIP RAP - SEE CIVIL ROCKS TO MATCH NATIVE STONE FOR TYPE & SIZE
- 3' HIGH C.M.U. SCREEN WALL - COLOR TO MATCH BUILDING TYPE & TEXTURE - SEE 6 & 7/SD-6 & 6/SD-3 (PER. COND.)
- PARKING SPACE PER C.O.S. STANDARD 9' X 18' MIN. (9' X 16' W/ 24" O.H. PER COND.)
- 8' HIGH C.M.U. SECURITY WALL COMB. 8X8X16 STD. & SPLIT FACE SEE WALL ELEVS. FOR DETAILS
- 8X8X16 C.M.U. PIER STD. & SPLIT FACE TO MATCH BLDG. WALLS - SEE BLDG. ELEVS. & WALL SECTION B/A3.3
- 8X8X16 SCORED SPLIT FACE C.M.U. ACCENT INSERT - SEE WALL ELEVS. FOR DETS. - SHT. SD-2
- C.M.U. RETAINING WALL TO MATCH BUILDING TYPE & COLOR - SEE 5/SD6 FOR DETS.
- 8' HIGH ROLLING STL. GATE T.S. W/ PERF. MTL. TO MATCH SOLAR CANOPIES - SEE DET. PROVIDE 'KNOX' BOX FOR F.D. ACCESS
- FIRE TRUCK ACCESS CLEARANCES SEE SCOTTSDALE FIRE TRUCK DET.
- 15' WIDE DRAINAGE EASEMENT - SEE CIVIL DWGS. FOR DETAILS
- 30' LANDSCAPE BUFFER FROM RESID.
- WALL PACK SECURITY LIGHTING MOUNTED ON WALL - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- STAFF BREAK AREA - COLORED CONC.
- WALL PACK SECURITY LIGHTING MOUNTED ON BUILDING WALL - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- WALL SCONCE - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- CAN LIGHT FIXT. - SEE PHOTOMETRICS PLAN AND LIGHT SCHED.
- WASH CROSSING @ WALL PER DETAILS SHT. SD-4
- COLORED CONCRETE WALK OR PATIO
- ELECTRICAL SERVICE RECESSED BEHIND 2ND FLOOR O.H.
- 2" DIA. STD. STL. PIPE FENCE
- C.I.P. CONC. CURB
- 12" W X 12" C.I.P. CONC. RIBBON CURB
- CONCRETE PAVERS TO STAFF BREAK AREA
- REFUSE ENCLOSURE PER C.O.S. STD DET. 2146-1 - SEE DET. 10/SD3 COVERED PARKING (FUTURE) UNDER SEPARATE PERMIT SEE DET. - SHT. A-4
- SITE DISTANCE TRIANGLE - MAINTAIN VISIBILITY AREA BETWEEN 2' AND 7' REF. CITY OF SCOTTSDALE STANDARDS FIGS. 3.1-13 & 3.1-8 (LOCAL INDUSTRIAL) NOTE: *ALL TREE CANOPIES WITHIN THE SITE DISTANCE TRIANGLE SHALL BE INSTALLED WITH A CANOPY ABOVE 7'

Project Description:

Corporate offices and warehousing for Arizona Outback Adventures, that specializes in guided day & multi-day tours for cycling, hiking & back packing in Arizona, Utah Colorado & California. Additionally, they provide rafting, kayaking & paddle boarding trips on the Salt River. Retail use will be provided for bike rentals and an annual sale for their fleet of rental bicycles at the end of their season. The retail use will comply with the requirements of the Scottsdale Zoning Ordinance for the I-1 Use. (1,000 sf or 10% of the building area per the Floor Plan Work Sheet)

Project Address:

16465 N. 93rd Street
 Scottsdale, AZ. 85255

Site Areas:

Gross Site Area 43,736 sf (1 acre)
 Net Site Area 43,736 sf (1 acre)

Lot Coverage:

Coverage Allowed: 43,736 X 50% = 21,868 sf
 Coverage Provided: 12,550 / 43,736 = 28.7%

Building Height:

Maximum Allowed: 36'-0" at the 50' setback
 24'-0" at the 30' setback (Rear setback adj. to Resid.)
 Height Provided: 31'-4"

Building Setbacks:

REQUIRED:	
Front / Street:	25'
Side Yards:	10'
Rear Yard:	(a) 10'
Adj. to Residential (Rear Yard)	30'
Landscape Buffer Adj. to Resid.	30'
(Req'd. per DC Ranch Development Guidelines)	
(a) 50' Building setback required adjacent to residential for building heights greater than 24'	
PROVIDED:	
Front / Street:	25'-0"
Side Yards:	
North:	46'-0"
South:	53'-6"
Rear Yard:	70'-6"
Landscape req. adj. to Resid.	30'-0"

Building Code Data:

Construction Type: IIIB w. A.F.S.

Occupancy Groups: (a)

Occup.	Descr.
B	Office
S-2	Warehouse
F-1	Bike maint.

(a) Occupancy groups & non-separated use per I.B.C. Section 508.3.2

Fire Protection:

NFPA 13

Building Areas:

FIRST FLOOR (GROSS AREAS)	
Office	2,099 sf
Retail	496 sf
Manuf. (Bike maint. & prep. kitchen)	942 sf
Warehouse	3,918 sf
Total	7,455 sf
SECOND FLOOR	
Office	3,642 sf
Warehouse	1,453 sf
Total	5,095 sf
Total Building Area	12,550 sf

Parking Requirements:

PARKING REQUIRED:

OFFICE	
1st Floor	2,099
2nd Floor	3,642
Total Office	5,741/300 = 19.1 spaces
Retail	496/250 = 2.0 spaces
Manuf.	942/500 = 1.9 spaces
WAREHOUSE	
1st Floor	3,918
2nd Floor	1,453
Total Warehouse	5,371/800 = 6.7 spaces
Total Req'd.	30 spaces

PARKING PROVIDED: 40 spaces

Handicap Spaces Req'd. - 40 spaces x .04 = 1.6 or 2 spaces
 Handicap Spaces Prov. - 2 spaces

Bicycle Parking Req'd. - 1 / 10 spaces = 4 Bicycles
 Bicycle Parking Prov. - 4 Bicycles @ racks + Additional @ pipe fencing @ N.W. patio

Open Space Calculations:

REQUIRED:

Base O.S. Required - Lot Area X 10%	
43,736 X 10% (12' bldg. hgt.) =	4,373 sf
+ 31.33 - 12 = 19.33 x 0.4% = 7.7%	3,368 sf
Total Base Open Space Required =	7,741 sf

Parking Lot Landscaping Req'd. - 15%
 21,722 X 15% = 3,258 sf
 Total Open Space Req'd. 10,999 sf

INTERIOR PARKING L.S. REQUIRED:
 33.3% OF TOTAL REQUIRED
 3,258 X 33.3% = 1,086 sf

Interior Parking Lot O.S. Provided 1,654 sf

TOTAL O.S. PROVIDED:

Base O.S. Provided	9,399 sf
Parking Lot O.S. Provided	3,334 sf
Total O.S. Provided	12,743 sf

BUILDING VOLUME CALCULATIONS:

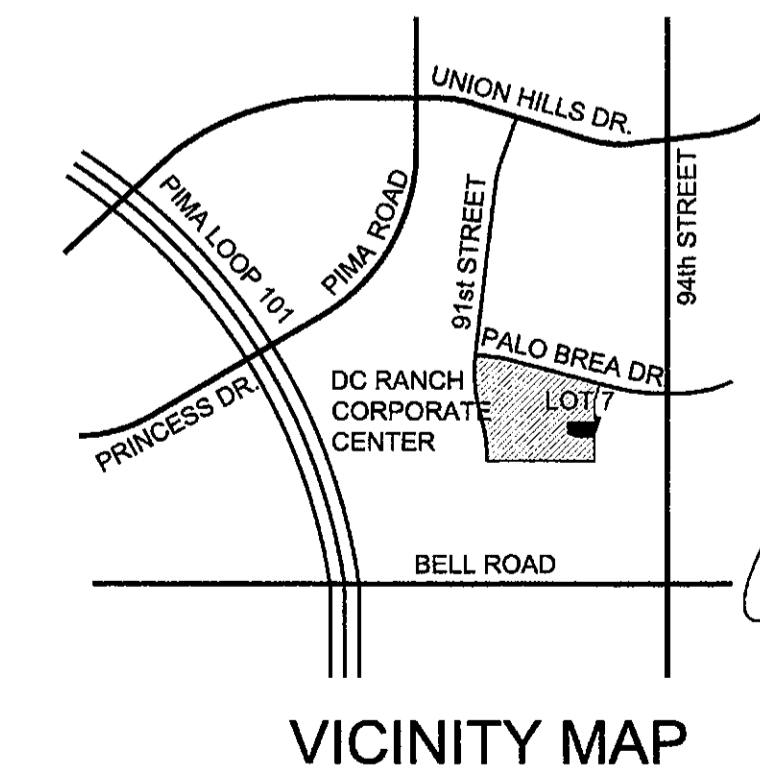
Allowable - Site Area X 9	393,624 cf
43,736 X 9 =	393,624 cf
Building Volume Provided	191,880 cf

Sloped Roof Areas:

25% of total building footprint per DC Ranch Development Guidelines
 Section 5 ARCHITECTURAL DESIGN STANDARDS Roof Form

Building Footprint	7,455 sf
Sloped Roof Required X 25% =	1,846 sf

Main Roof Area 1,676 sf
 Entry Canopy 239 sf
 Total Sloped Roof Area 1,915 sf



APPROVED
 FINAL PLANS PLANNING
 DATE: 12.4.16

REGISTERED ARCHITECT
 CERTIFICATE NO. 11005
 JAMES ROBERT ELSON
 12.16.11
 STATE OF ARIZONA, U.S.A.
 EXPIRES 9.30.2017

29 DR 2016 54 ZN 1989#9 4 PP 2006
 ARIZONA OUTBACK ADVENTURES
 DC RANCH CORPORATE CENTER - LOT 7
 17465 N. 93rd PLACE

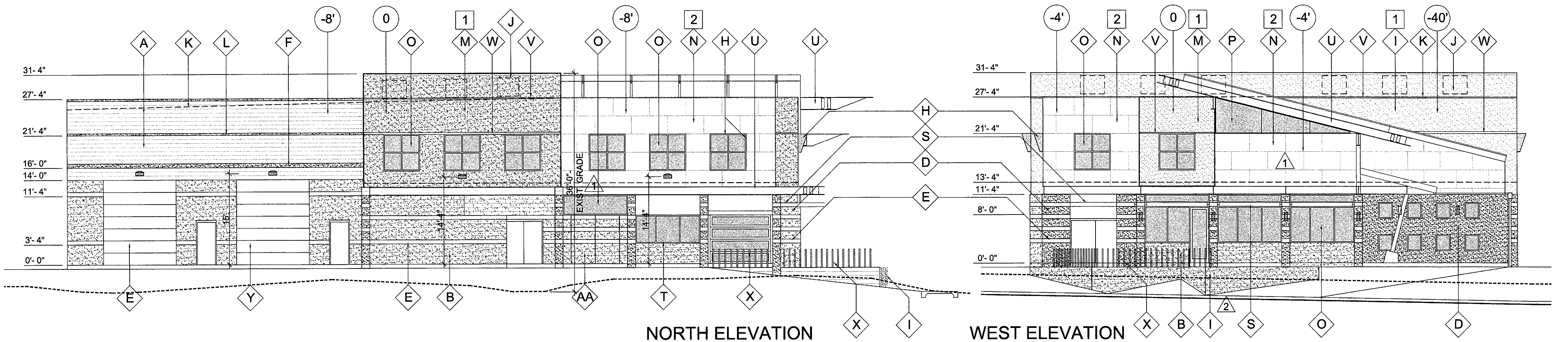
DATE: 12.4.16
 REVISION: 1.23.17
 C.O.S. PLAN REVIEW
 3.16.17
 OWNER REVISIONS

james elson
 architect

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 suite two hundred five
 scottsdale, arizona
 85260

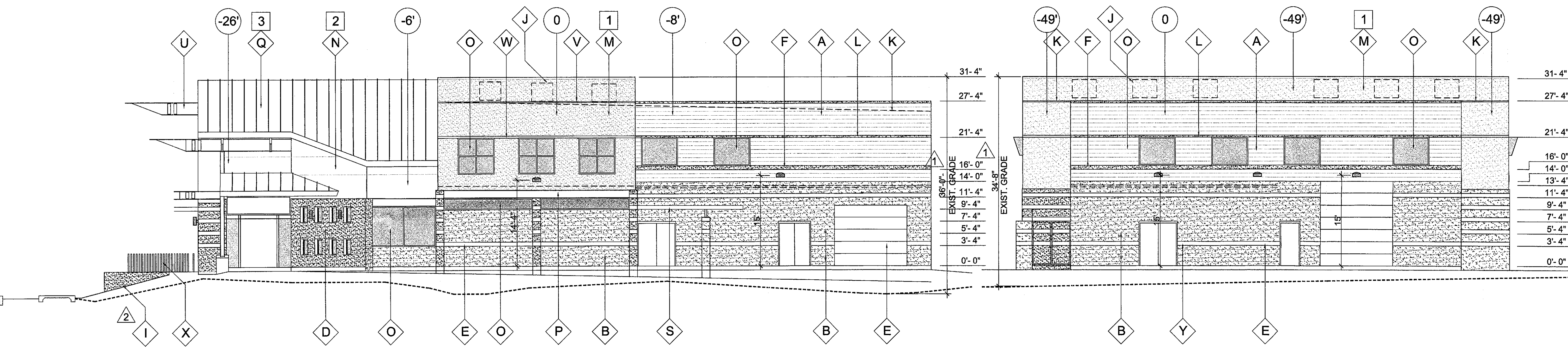
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SD1
 SITE PLAN



NORTH ELEVATION

WEST ELEVATION



SOUTH ELEVATION

EAST ELEVATION

ELEVATION KEY NOTES

- | | | |
|---|---|--|
| AA ELECTR. SERVICE ENTRANCE RECESSED BEHIND 2nd FLR. O.H. | G 8X4X16 STD. C.M.U. ACCENT BAND | M E.I.F.S. OVER METAL FRAMING |
| A 8X8X16 STD. C.M.U. | H 1/2" STEEL BENT PL. SOLAR SCREEN - SEE 9/SD-4 FOR DETS. | N RUSTED STEEL S.M.SIDING OVER METAL FRAMING |
| B 8X8X16 SPLIT FACE C.M.U. | I C.M.U. RETAINING WALL SEE SD-1 & SD-4 FOR DETS. | O 1" DK.SOLAR BRONZE INSULATED GLASS IN DK. BRNZ. ANOD. ALUM. STOREFRONT - SEE DR STIP. No. 2 |
| C 8X8X16 SCORED STD. C.M.U. - SAND BLASTED | J ROOF TOP MECH. EQUIP. BEHIND PARAPET WALL TO BE COMPLETELY SCREENED - SHOWN DASHED - SEE SECTIONS, SD-2 & ROOF PLAN, A-3 | P 1" DK.SOLAR BRONZE INSULATED GLAZ. CHANNEL - SEE DR STIP. No. 2 |
| D 8X8X16 C.M.U. PIER STD. & SPLIT FACE TO MATCH BUILDING WALLS PATTERN | K OUTLINE OF ROOF BEYOND - SHOWN DASHED | Q STANDING SEAM METAL ROOF OVER STL. BM. FRAM. |
| E 8X8X16 STD. C.M.U. ACCENT BAND | L 8X4X16 SPLIT FACE C.M.U. ACCENT BAND | R LIGHT FIXTURE - SEE PHOTOMETRIC SITE PLAN - SL-1 & SITE LIGHTING PLAN SL-2 FOR FIXT. TYPE. |
| F 8X8X16 SPLIT FACE C.M.U. ACCENT BAND | | |

COLOR KEY NOTES

- | | |
|--|--|
| 1 TAWNY OWL DET 640 (LRV 26) | S 8X4X1/2 T.S.SHADE CANOPY W/ 1/2" PERF. STEEL SHADE SCREEN |
| 2 RUSTED STEEL PANELS SOUTHWEST RUST - 24 ga. | T ANOD.ALUM.SECTIONAL O.H. GARAGE DOOR W/ SOLAR GREY GLASS |
| 3 STANDING SEAM METAL ROOF CHARCOAL GREY - 24 ga. | U STEEL BEAM |
| 4 RECLAIMED WOOD (MASONRY STAIN) DET 625 (LRV 47) | V 2" REVEAL |
| 5 PIGEON GRAY (MASONRY STAIN) DE 6214 (LRV 43) | W 4" REVEAL |
| | X 2" STD. STL. PIPE FENCE |
| | Y STEEL COILING O.H. GARAGE DOOR |
| | Z SECOND FLOOR SHOWN DASHED |

WALL PLANE LEGEND

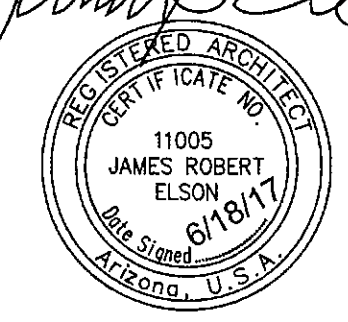
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|---|
| 0 REFERENCE WALL PLANE |
| -6 DISTANCE BEHIND REFERENCE WALL PLANE (FEET) |

DEVELOPMENT REVIEW STIPULATIONS

- ALL EXTERIOR WINDOW GLAZING SHALL BE RECESSED A MINIMUM OF FIFTY (50) PERCENT OF THE WALL DEPTH, INCLUDING GLASS WINDOWS WITHIN ANY TOWER/CLERESTORY ELEMENTS. THE AMOUNT OF RECESS SHALL BE MEASURED FROM THE FACE OF THE EXTERIOR WALL TO THE FACE OF THE GLAZING, EXCLUSIVE OF EXTERNAL DETAILING. WITH THE FINAL PLAN SUBMITTAL THE ARCHITECT SHALL PROVIDE HEAD, JAMB AND SILL DETAILS CLEARLY SHOWING THE AMOUNT OF RECESS FOR ALL WINDOW TYPES
- ALL EXTERIOR DOORS SHALL BE RECESSED A MINIMUM OF THIRTY (30) PERCENT OF THE WALL DEPTH, INCLUDING GLASS WINDOWS WITHIN ANY TOWER/CLERESTORY ELEMENTS. THE AMOUNT OF RECESS SHALL BE MEASURED FROM THE FACE OF THE EXTERIOR WALL TO THE FACE OF THE DOOR, EXCLUSIVE OF EXTERNAL DETAILING. WITH THE FINAL PLAN SUBMITTAL THE ARCHITECT SHALL PROVIDE HEAD, JAMB AND SILL DETAILS CLEARLY SHOWING THE AMOUNT OF RECESS FOR ALL DOOR TYPES

APPROVED
 FINAL PLANS PLANNING
 DATE: 11/19/2017
 APPROVED BY: [Signature]

James Robert Elson



DATE: 12.4.16
 REVISED:
 1 1.23.17 C.O.S. PLAN REVIEW
 2 3.16.17 OWNER REVISIONS

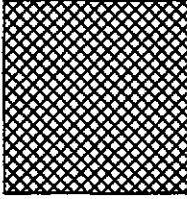
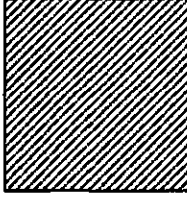
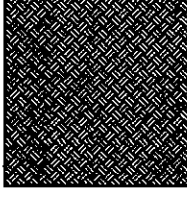
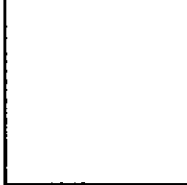
james elson
 architect

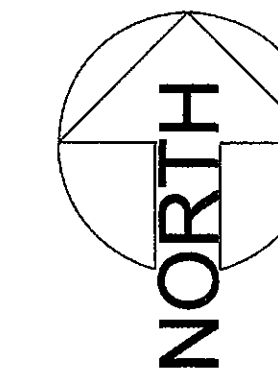
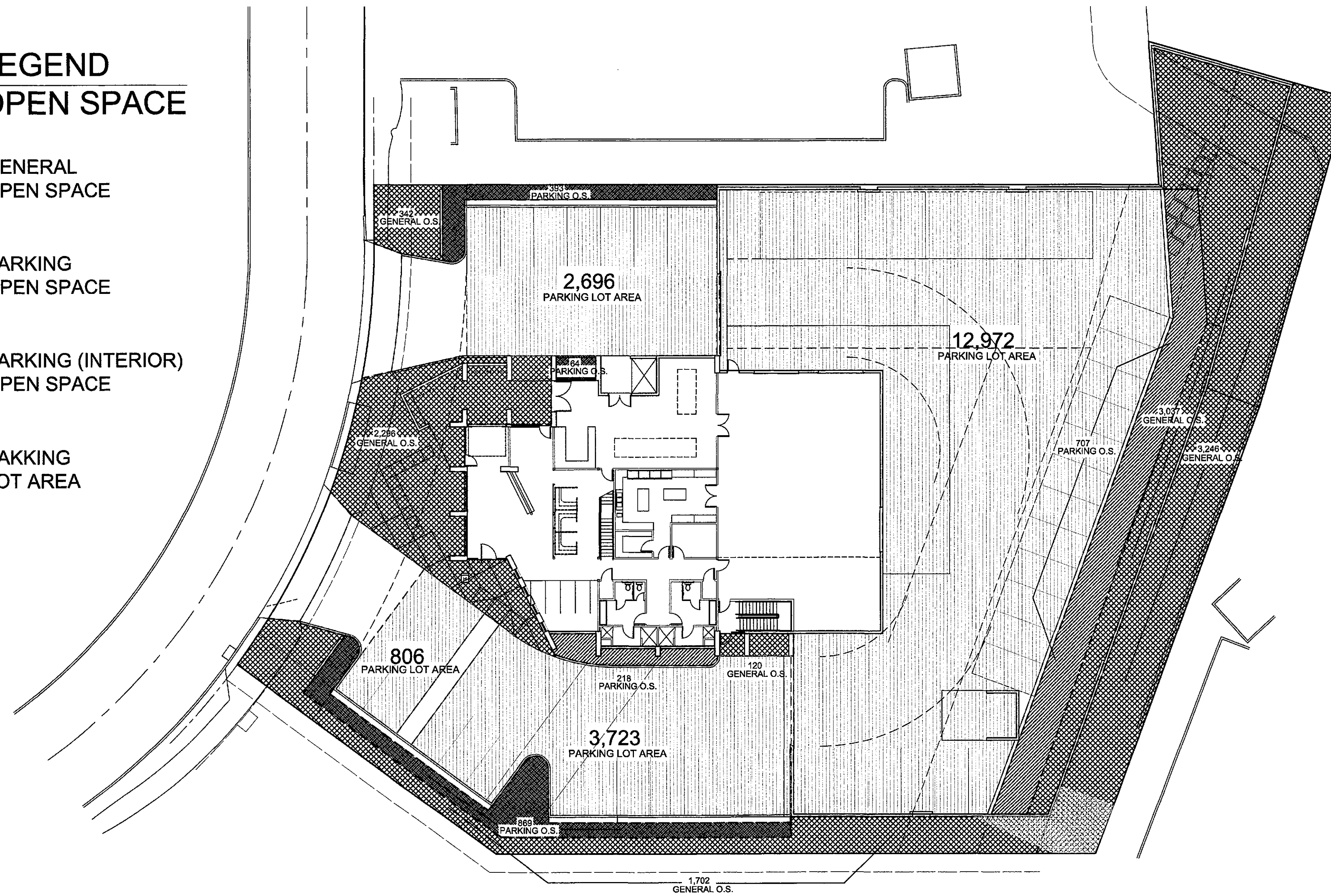
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EXPIRES 9.30.2017

LEGEND
OPEN SPACE

-  GENERAL OPEN SPACE
-  PARKING OPEN SPACE
-  PARKING (INTERIOR) OPEN SPACE
-  PARKING LOT AREA



OPEN SPACE
SITE PLAN
SCALE: 1" = 20"

Project Description:

Corporate offices and warehousing for Arizona Outback Adventures, that specializes in guided day & multi-day tours for cycling, hiking & back packing in Arizona, Utah & California. Additionally, they provide rafting, kayaking & paddle boarding trips on the Salt River. Retail use will be provided for bike rentals and an annual sale for their fleet of rental bicycles at the end of their season. The retail use will comply with the requirements of the Scottsdale Zoning Ordinance for the I-1 Use. (1,000 sf or 10% of the building area per the Floor Plan Work Sheet)

Project Address:

16465 N. 93rd Street
Scottsdale, AZ. 85255

Site Area:

43,736 sf (1 acre)

Lot Coverage:

Coverage Allowed:
43,736 X 50% = 21,868 sf
Coverage Provided:
11,011 / 43,736 = 25.2%

Building Height:

Maximum Allowed: 36'-0" at the 50' setback
24'-0" at the 30' setback
(Rear setback adj. to Resid.)
Height Provided: 31'-0"

Building Setbacks:

REQUIRED:	
Front / Street:	25'
Side Yards:	10'
Rear Yard:	(a) 10'
Adj. to Residential (Rear Yard)	30'
Landscape Buffer Adj. to Resid.	30'
(Req'd. per DC Ranch Development Guidelines)	

(a) 50' Building setback required adjacent to residential for building heights greater than 24'

PROVIDED:	
Front / Street:	25'-0"
Side Yards:	
North	46'-0"
South	53'-6"
Rear Yard:	74'-3"
Landscape req. adj. to Resid.	30'-0"

Building Code Data:

Construction Type:	IIIB w. A.F.S.
Occupancy Groups: (a)	
Occup. Desc.	
B Office	
S-2 Warehouse	
F-1 Bike maint.	
(a) Occupancy groups & non-separated use per I.B.C. Section 508.3.2	

Fire Protection: NFPA 13

Building Areas:

FIRST FLOOR	
Office	2,706 sf
Retail	584 sf
Manuf. (Bike maint.)	317 sf
Warehouse	3,777 sf
Total	7,384 sf
SECOND FLOOR	
Office	3,627 sf
Total Building Area	11,011 sf

Parking Requirements:

PARKING REQUIRED:	
OFFICE	
1st Floor	2,706
2nd Floor	3,627
Total Office	6,333/300
Retail	3,777/250
Manuf.	7,384/500
Warehouse	3,627/800
Total Req'd.	29 spaces

PARKING PROVIDED:	
Bicycle Parking Req'd. -	47 spaces
1 / 10 spaces =	5 Bicycles
Bicycle Parking Prov. -	20 Bicycles

Open Space Calculations:

REQUIRED:	
Base O.S. Required - Lot Area X 10%	
43,736 X 10% (12' bldg. hgt.) =	4,373 sf
+ 31 - 12 = 9 x 0.4% = 7.6%	3,324 sf
Total Base Open Space Required =	7,697 sf

Parking Lot Landscaping Req'd. - 15%	
20,197 X 15% =	3,030 sf
Total Open Space Req'd.	10,727 sf

INTERIOR PARKING L.S. REQUIRED:	
33.3% OF TOTAL REQUIRED	
3,030 X 33.3% =	1,010 sf

interior Parking Lot O.S. Provided 1,262 sf

TOTAL O.S. PROVIDED:	
Base O.S. Provided	9,858 sf
Parking Lot O.S. Provided	3,136 sf
Total O.S. Provided	12,994 sf

BUILDING VOLUME CALCULATIONS:	
Allowable - Site Area X 9	
43,736 X 9 =	393,624 cf
Building Volume Provided	191,880 cf

Sloped Roof Areas:

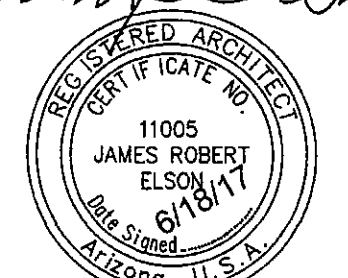
25% of total building footprint per DC Ranch Development Guidelines Section 5 ARCHITECTURAL DESIGN STANDARDS Roof Form

Building Footprint	7,384 sf
Sloped Roof Required X 25% =	1,846 sf

Main Roof Area	1,676 sf
Entry Canopy	239 sf
Total Sloped Roof Area	1,915 sf

APPROVED
FINAL PLANS PLANNING
DATE: 07/18/2017 APPROVED BY: [Signature]

[Signature]



DATE: 6.4.16
REVISED:

james elson
architect

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EXPIRES 9.30.2017